

2318 VENABLE STREET, RICHMOND, VA 23223

PROPERTY DESCRIPTION:

2318 STANDS ON THE NORTH SIDE OF VENABLE STREET. ORIGINALLY BUILT IN 1910, THE LOT MEASURES 17.79'x137.5' THE STRUCTURE IS SIGNIFICANTLY COMPROMISED.

PROPOSED WORK:

THERE IS AN ADDITION AT THE NORTH-EAST CORNER OF THE BUILDING EXTENDING THROUGH EACH LEVEL OF THE BUILDING, PULLED 1' IN FROM THE EXISTING PARTY WALL, AND SQUARES OFF AT THE EXTENT OF THE PREVIOUS ADDITION. THE REST OF THE WORK IS TO BRING THE EXISTING STRUCTURE BACK TO LIFE WITH NEW STAIRS, AND UPDATED FINISHES AND FIXTURES.

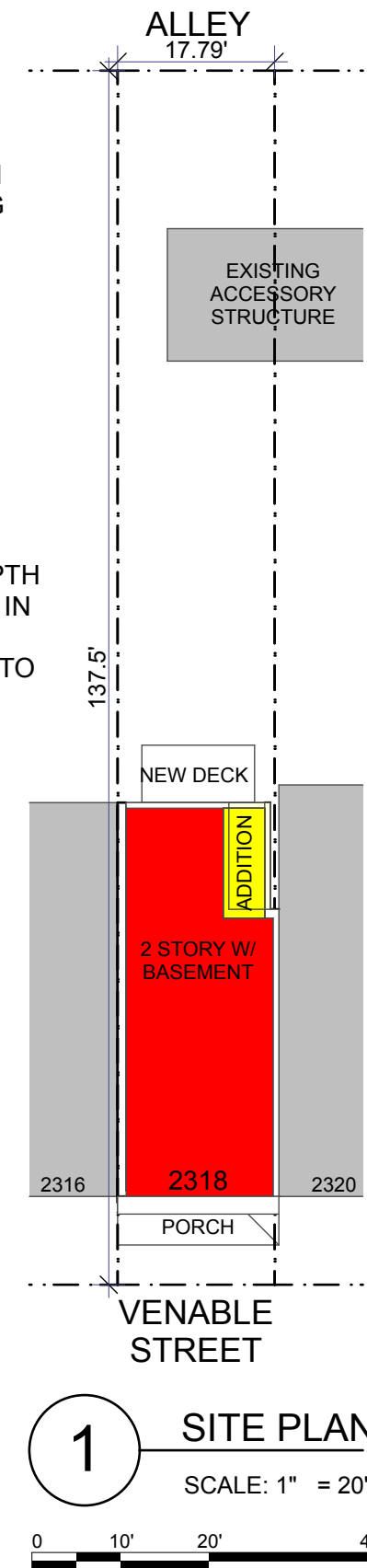
CURRENT BUILDING CONDITION:

THE MAJORITY OF THE PARTY WALLS ARE IN GOOD SHAPE, THE ONLY EXCEPTION BEING ON THE EAST SIDE OF THE 2ND FLOOR. THERE IS ONE COLLAPSED WALL (THIS IS INDICATED ON THE PLANS). THE INTERIOR HAS BEEN STRIPPED OF ALL FINISHES AND FIXTURES, THERE IS NO BATHROOM, KITCHEN, APPLIANCES, EQUIPMENT, ETC. THE FLOOR JOISTS ARE IN FAIR CONDITION, AND THE 1x6 SUBFLOOR IS AT THE END OF ITS LIFE. ALL EXTERIOR WALLS ARE OF TWO AND THREE WYTHE BRICK, THERE IS A PREVIOUS ADDITION (ROUGHLY 11'x11') AT THE NORTH-WEST CORNER OF THE BUILDING, THE WALLS ARE CONSTRUCTED USING CMU BLOCK, THE EXTERIOR IS PAINTED STUCCO.

PROPOSED NEW MATERIALS:

THE INTERIOR FITOUT WILL USE WOOD STUD FURRING, INSULATION AND DRYWALL. THE NEW FLOOR STRUCTURE WILL INCREASE THE JOIST DEPTH TO ALLOW FOR AN OPEN PLAN, WITH A 3/4" TONGUE AND GROOVE SUBFLOOR. THE EXISTING WINDOWS AND ENTRANCE DOOR WILL BE REPLACE IN SIMILAR LIKENESS, WITH THE EXCEPTION OF THE KITCHEN WINDOW (AS INDICATED ON PLANS AND ELEVATION). THE FRONT FACADE WILL BE REPAINTED, THE REAR FACADE WILL BE REPAINTED AND REPAIRED AS NEEDED AND THE FINISH WILL EXTEND OVER THE ADDITION. IN REGARDS TO THE ADDITION, THE EXTERIOR FINISH WILL BE PLANK SIDING.

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THREE MILES

DESIGN + CONSTRUCTION

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PROJECT INFORMATION

Name:

2318

Address:

2318 Venable Street
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Owner:

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NOTES

SHEET INFORMATION

Name:

PROJECT INFORMATION

Sheet:

G.01

Page:

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THREE MILES

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Name:

PHOTOGRAPHS - STREET
FACADE

Sheet:

G.02

Page:

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1 EXISTING FRONT FACADE



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Name:

PHOTOGRAPHS - REAR
FACADE

Sheet:

G.03

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1

EXISTING REAR FACADE



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Name:

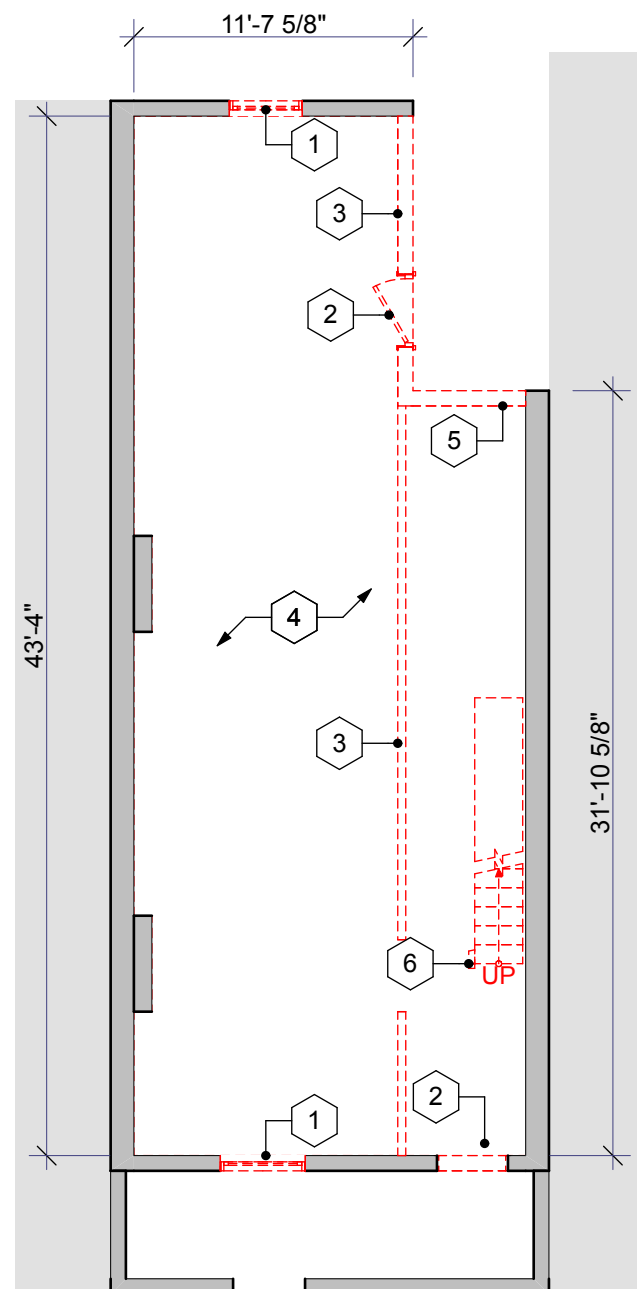
BASEMENT

Sheet:

A.01

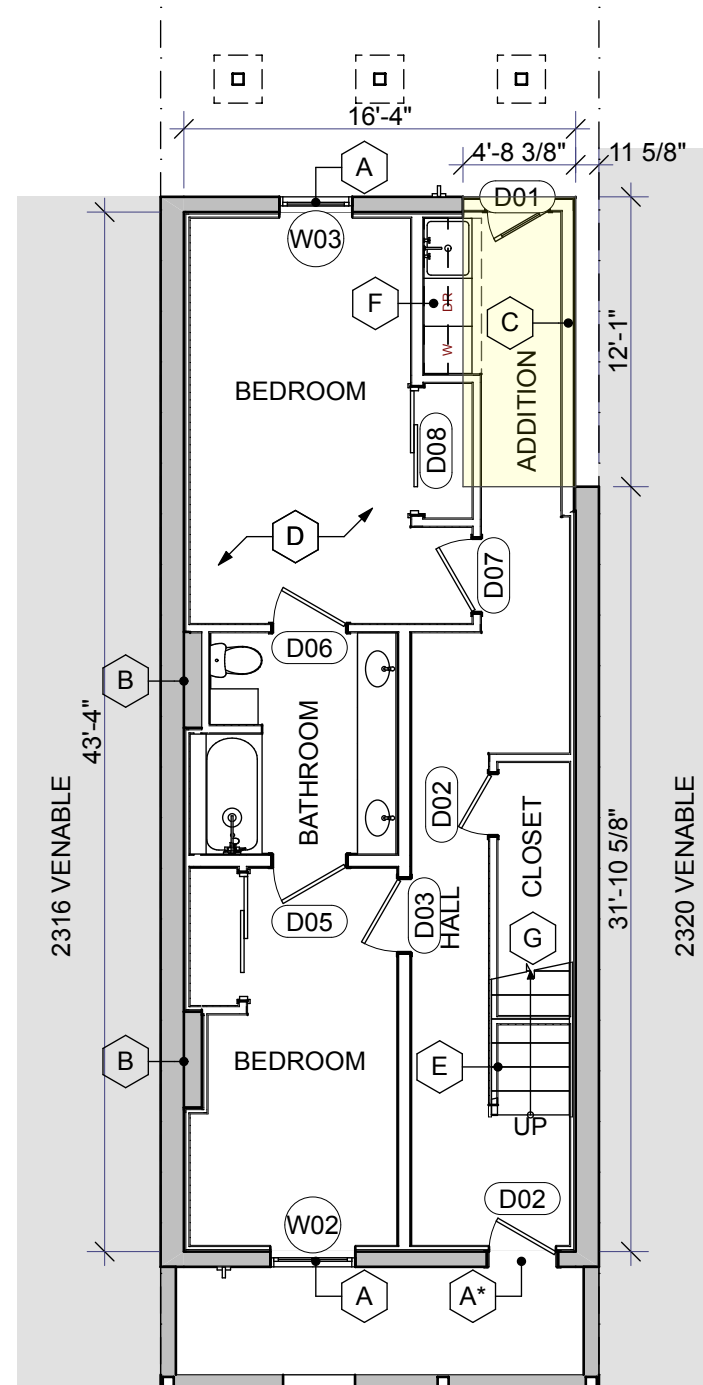
Page:

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- 1 - REMOVE WINDOW
- 2 - REMOVE DOOR
- 3 - DEMO WALL
- 4 - DEMOLISH FLOOR
- 5 - WALL NOT PRESENT
- 6 - DEMOLISH STAIRS

1 BASEMENT DEMOLITION PLAN
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



- A - REPLACE WINDOW IN EXISTING OPENING
- A* - REPLACE DOOR IN EXISTING OPENING
- B - ENCLOSE FIREPLACE
- C - NEW WALL
- D - CONCRETE SLAB THROUGHOUT
- E - NEW STAIR
- F - LAUNDRY EQUIPMENT
- G - HOT WATER HEATER

2 BASEMENT CONSTRUCTION PLAN
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



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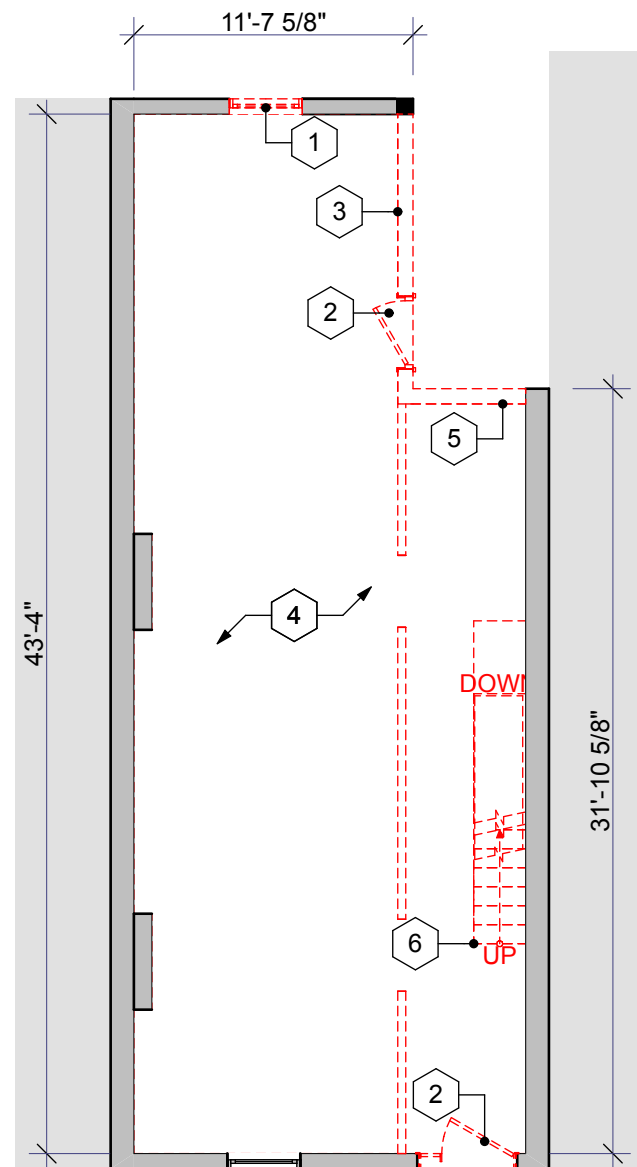
Name: 2318
Address: 2318 Venable Street
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NOTES

SHEET INFORMATION

Name: FIRST FLOOR
Sheet: A.02
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NOTE: DECK STRUCTURE TO BE CONSTRUCTED OF EXTERIOR GRADE WOOD, THEN PAINTED

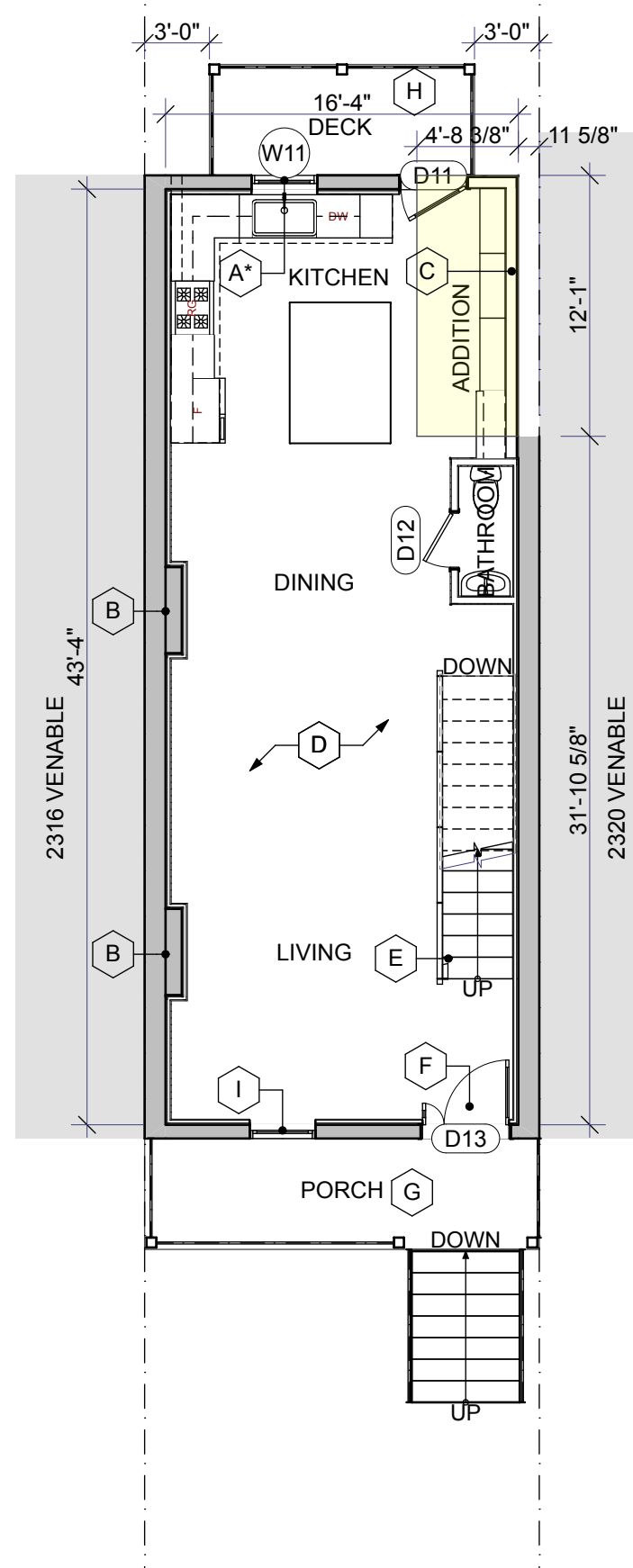
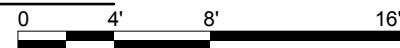


- 1 - REMOVE WINDOW
- 2 - REMOVE DOOR
- 3 - DEMO WALL
- 4 - DEMOLISH FLOOR
- 5 - WALL NOT PRESENT
- 6 - DEMOLISH STAIRS

1

1ST FLOOR DEMOLITION

SCALE: 1/8" = 1'-0"

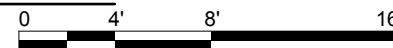


- A - REPLACE WINDOW IN EXISTING OPENING
- A* - REPLACE WITH SHORTER WINDOW IN EXISTING OPENING, INFILL OPENING TO MATCH EXISTING EXTERIOR SURFACE
- B - ENCLOSE FIREPLACE
- C - NEW WALL
- D - NEW FLOOR STRUCTURE
- E - NEW STAIR
- F - REPLACE DOOR
- G - REBUILD PORCH TO HISTORIC PRECEDENT
- H - NEW DECK
- I - EXISTING WINDOW TO REMAIN

2

1ST FLOOR CONSTRUCTION

SCALE: 1/8" = 1'-0"





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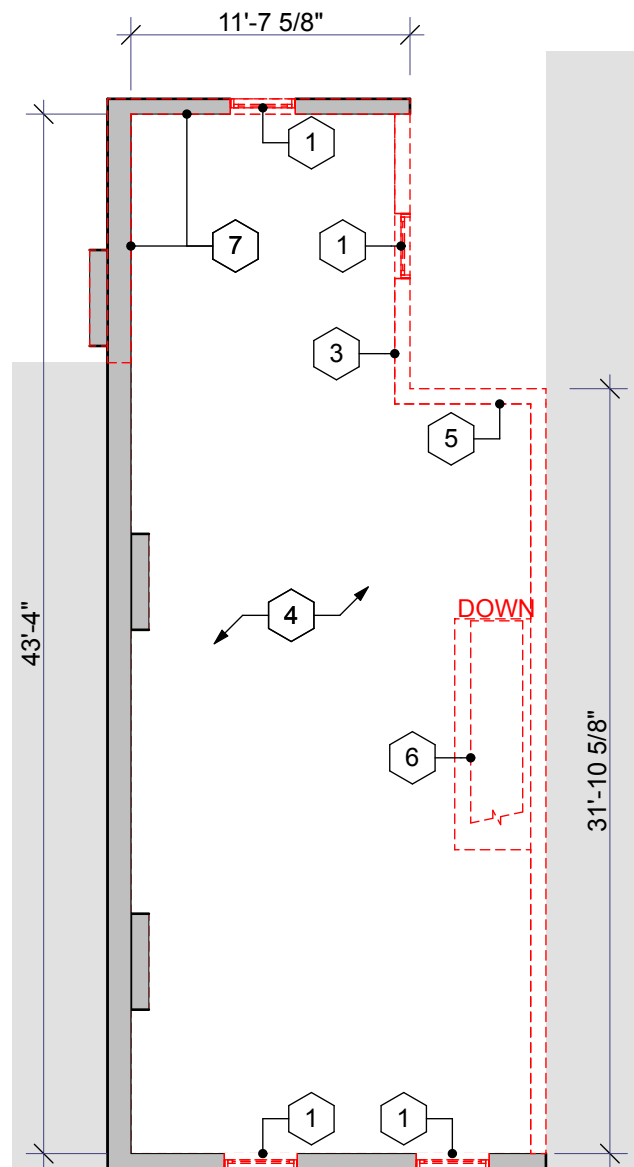
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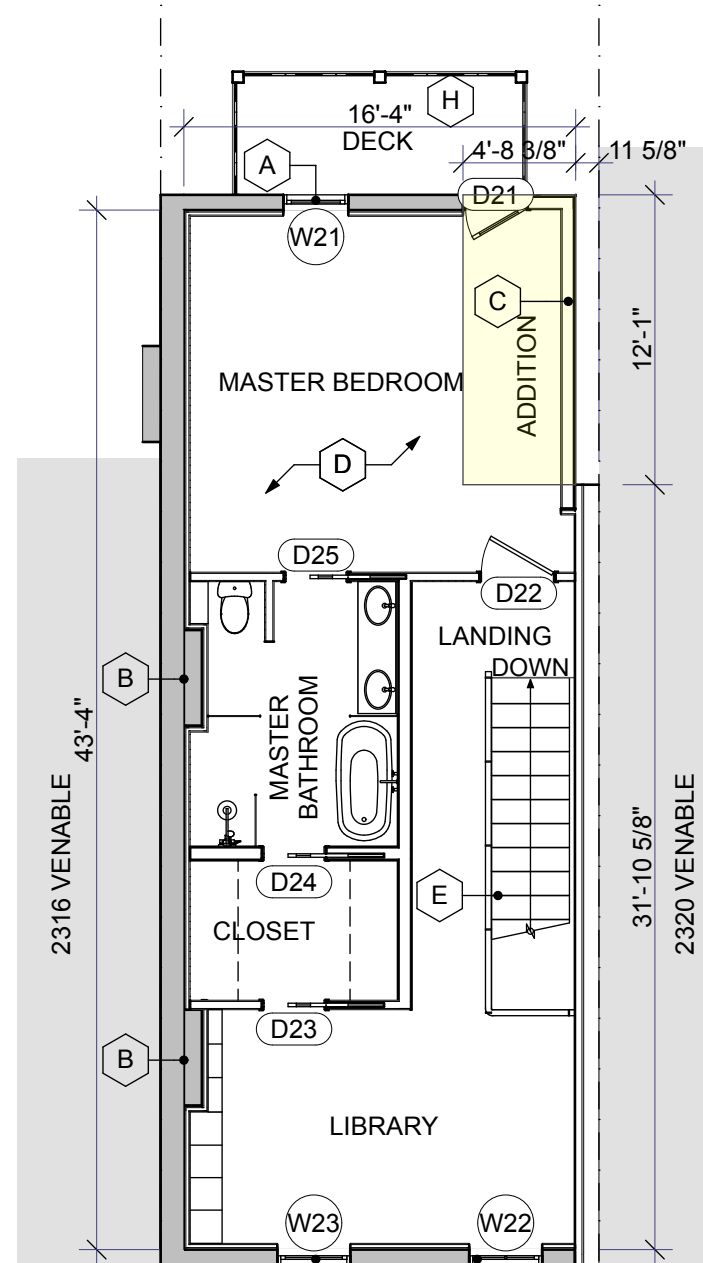
Name:
 SECOND FLOOR
 Sheet:
 A.03
 Page:
 6 of 25

NOTE: DECK STRUCTURE TO BE CONSTRUCTED OF EXTERIOR GRADE WOOD, THEN PAINTED



- 1 - REMOVE WINDOW
- 2 - REMOVE DOOR
- 3 - DEMO WALL
- 4 - DEMOLISH FLOOR
- 5 - WALL NOT PRESENT
- 6 - DEMOLISH STAIRS
- 7 - REBUILD WALLS AND CHIMNEY AT ADDITION

2 2ND FLOOR DEMOLITION
 SCALE: 1/8" = 1'-0"
 0 4' 8' 16'



- A - REPLACE WINDOW IN EXISTING OPENING
- B - ENCLOSE FIREPLACE
- C - NEW WALL
- D - NEW FLOOR STRUCTURE
- E - NEW STAIR
- F - REPLACE DOOR
- G - REBUILD PORCH OVER EXISTING FOUNDATION
- H - NEW DECK

1 2ND FLOOR CONSTRUCTION
 SCALE: 1/8" = 1'-0"
 0 4' 8' 16'



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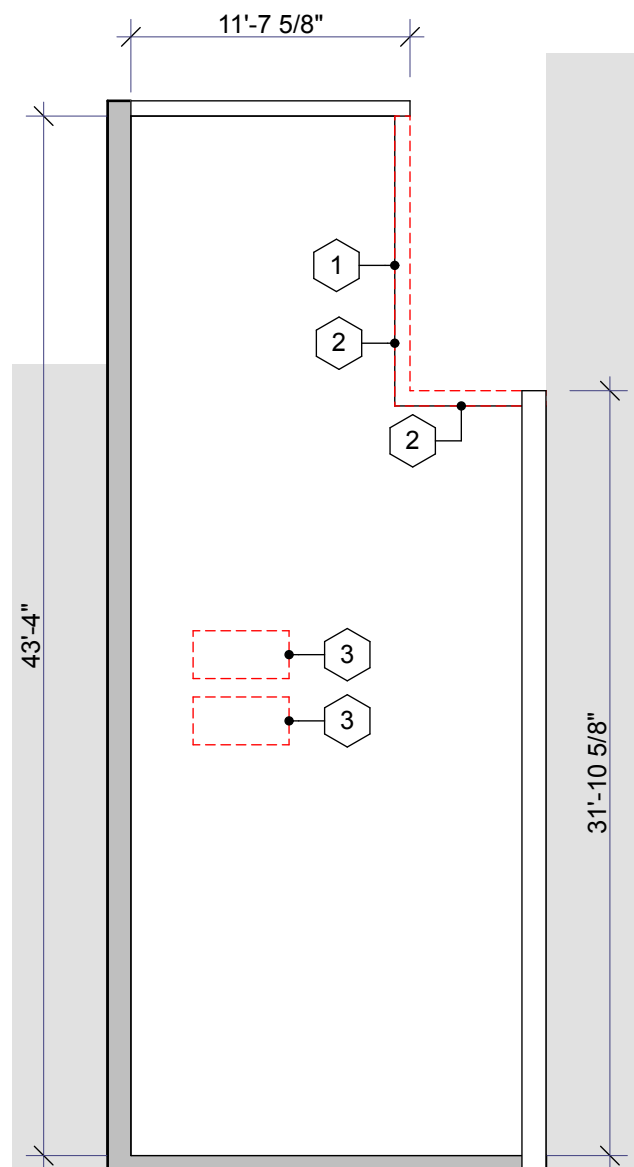
ROOF

Sheet:

A.04

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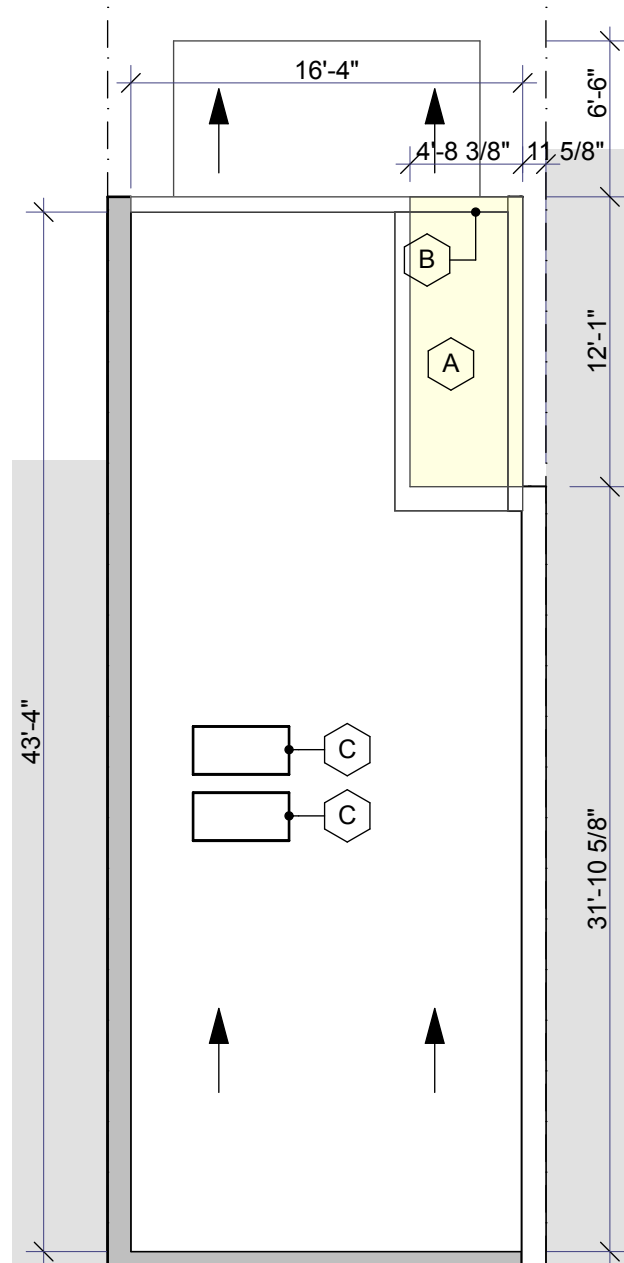
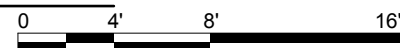


- 1 - DEMO PARAPET
- 2 - PREP ROOF TO TIE IN TO ADDITION
- 3 - CREATE OPENING FOR SKYLIGHTS

1

ROOF DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

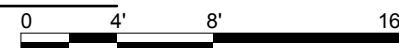


- A - ADDITION, MATCH EXISTING ROOF
- B - NEW PARAPET, MATCH EXISTING
- C - SKYLIGHTS

2

ROOF CONSTRUCTION PLAN

SCALE: 1/8" = 1'-0"





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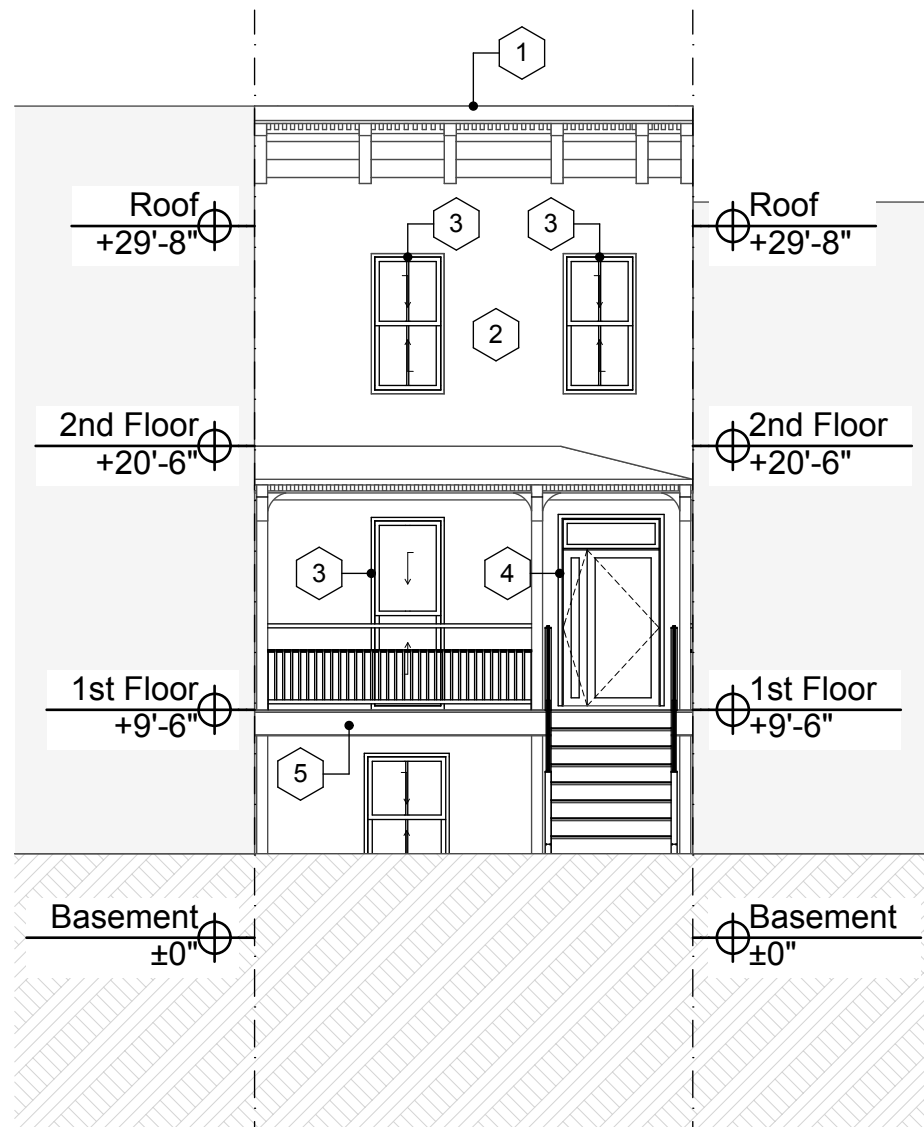
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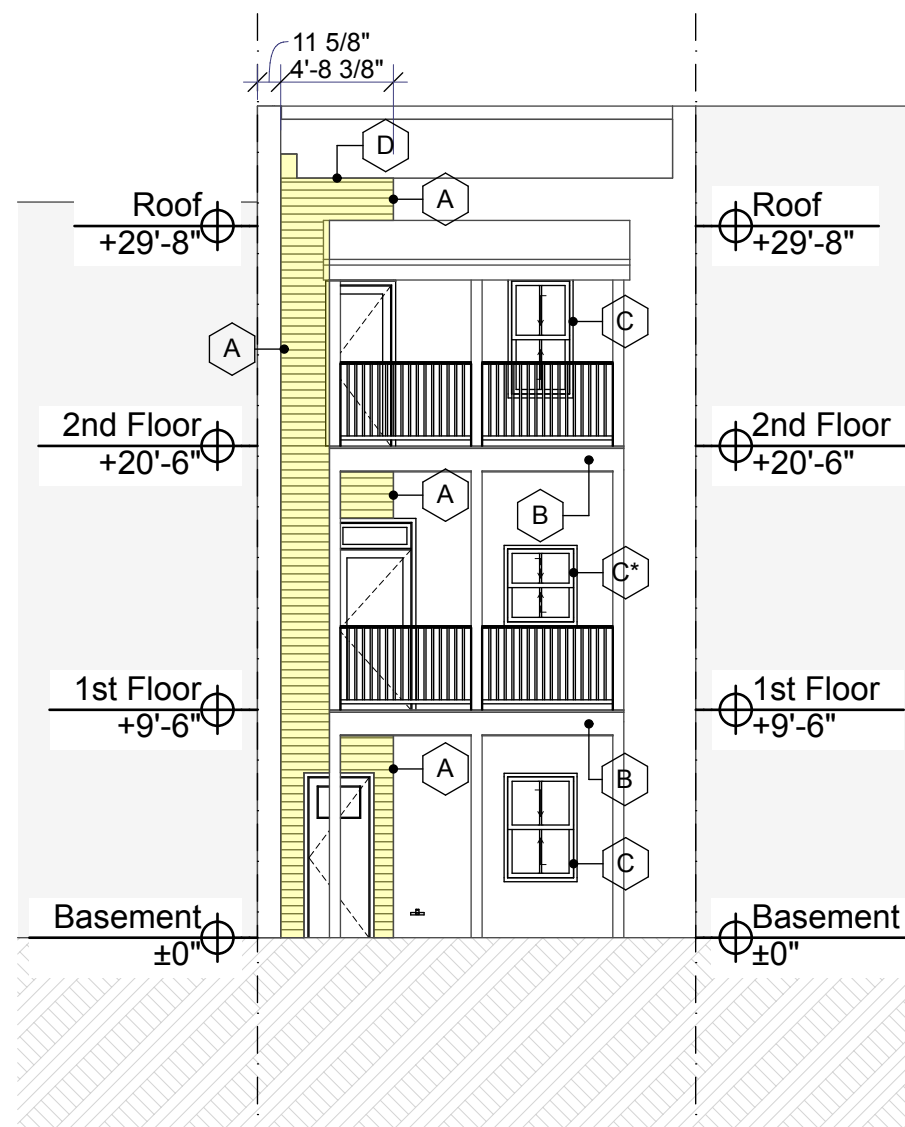
NOTES

SHEET INFORMATION

Name: NORTH AND SOUTH
ELEVATIONS
Sheet: A.05
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- 1 - RESTORE CORNICE
- 2 - REPAINT FACADE
- 3 - REPLACE WINDOW
- 4 - REPLACE DOOR
- 5 - REBUILD PORCH



NOTE: DECK STRUCTURE
TO BE CONSTRUCTED OF
EXTERIOR GRADE
WOOD, THEN PAINTED

- A - NEW WALL, PLANK
SIDING EXTERIOR
- B - DECK
- C - REPLACE WINDOW
- C* - REPLACE WITH
SHORTER WINDOW IN
EXISTING OPENING,
INFILL OPENING TO
MATCH EXISTING
EXTERIOR SURFACE
- D - MATCH EXISTING
PARAPET HEIGHT

1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'

2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"
0 4' 8' 16'



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SHEET INFORMATION

Name:

EAST ELEVATION

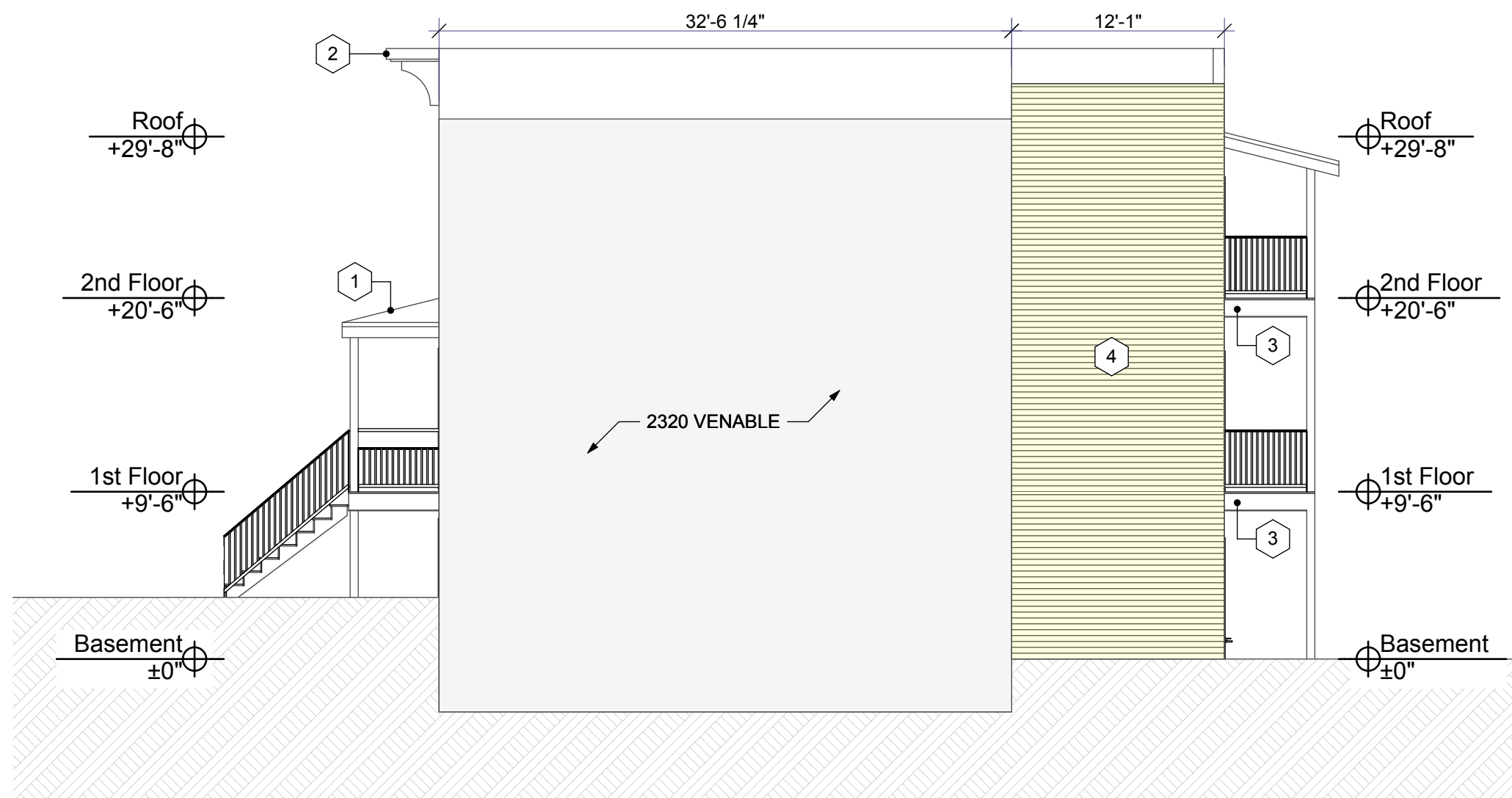
Sheet:

A.06

Page:

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NOTE: DECK STRUCTURE TO BE
CONSTRUCTED OF EXTERIOR GRADE
WOOD, THEN PAINTED



- 1 - REBUILD PORCH
- 2 - RESTORE CORNICE
- 3 - NEW DECK
- 4 - NEW WALL, PLANK SIDING

1 EAST ELEVATION

SCALE: 1/8" = 1'-0"



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Name:

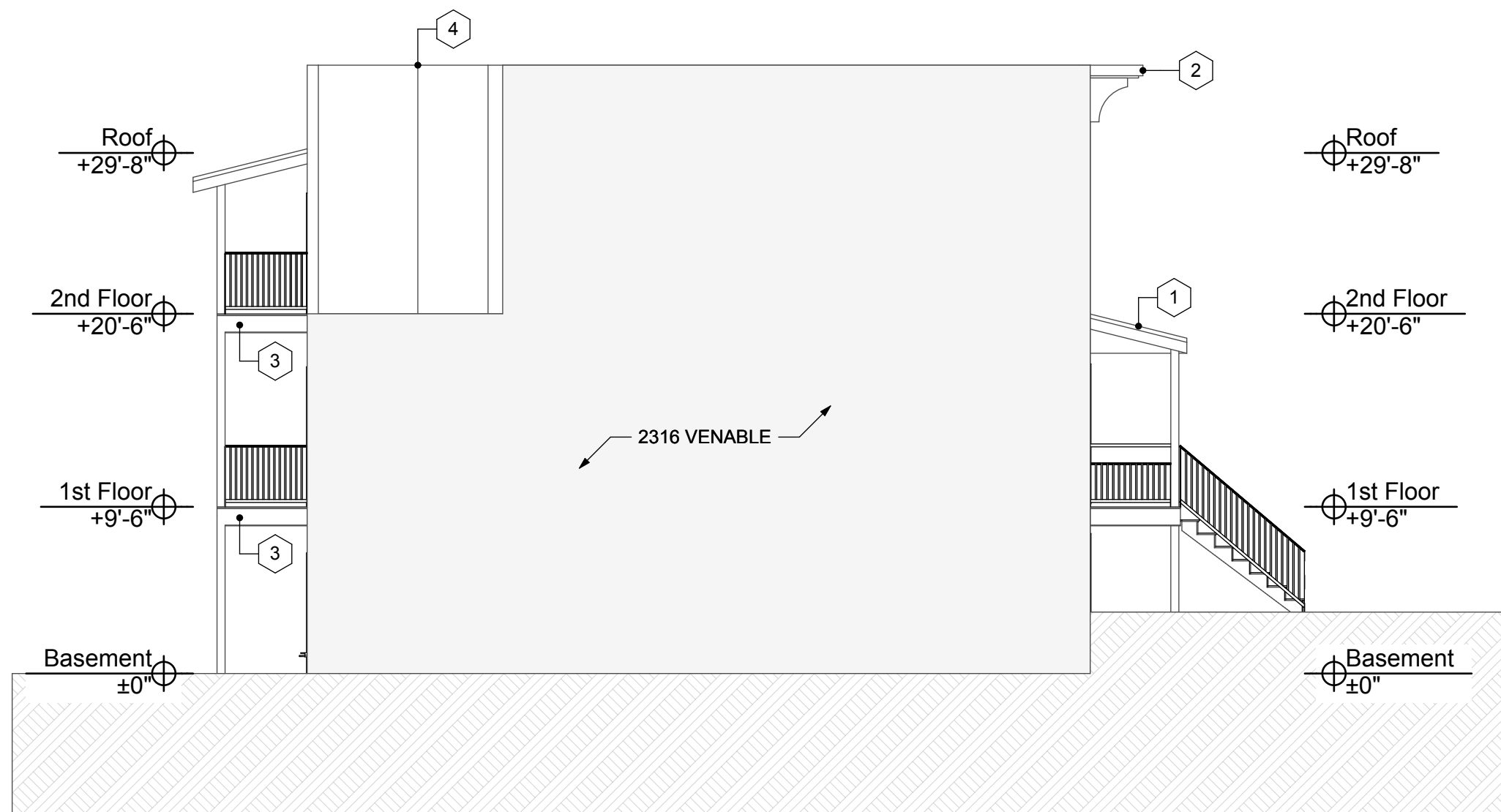
WEST ELEVATION

Sheet:

A.07

Page:

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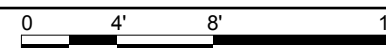


NOTE: DECK STRUCTURE TO BE
CONSTRUCTED OF EXTERIOR GRADE
WOOD, THEN PAINTED

- 1 - REBUILD PORCH
- 2 - RESTORE CORNICE
- 3 - NEW DECK
- 4 - REBUILD WALL AND
CHIMNEY AT ADDITION

1 WEST ELEVATION

SCALE: 1/8" = 1'-0"

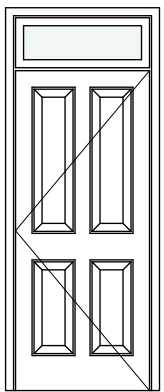
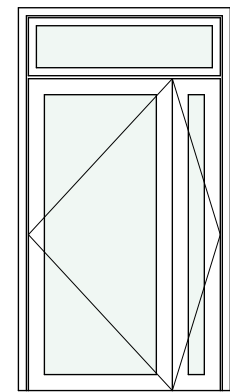
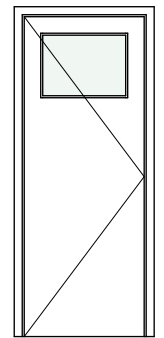


DOOR SCHEDULE

ID	DOOR LEAF		TYPE	REMARKS
	NOMINAL WIDTH	NOMINAL HEIGHT		
D01	2'-6"	6'-8"	GLASS PANEL 2	EXTERIOR - BASEMENT - INSWING
D02	2'-9 1/2"	6'-8"	GLASS PANEL 2	EXTERIOR - BASEMENT - INSWING
D02	2'-6"	6'-8"	STANDARD 4 PANEL	INTERIOR - CLOSET - OUTSWING
D03	3'-0"	6'-8"	STANDARD 4 PANEL	INTERIOR - BEDROOM - INSWING
D04	5'-0"	6'-8"	STANDARD 4 PANEL	INTERIOR - CLOSET - DOUBLE SLIDE
D05	3'-0"	6'-8"	STANDARD 4 PANEL	INTERIOR - BATHROOM - OUTSWING
D06	3'-0"	6'-8"	STANDARD 4 PANEL	INTERIOR - BATHROOM - OUTSWING
D07	3'-0"	6'-8"	STANDARD 4 PANEL	INTERIOR - BEDROOM - INSWING
D08	5'-0"	6'-8"	STANDARD 4 PANEL	INTERIOR - CLOSET - DOUBLE SLIDE
D11	3'-0"	6'-8"	NO GRID	EXTERIOR - DECK - INSWING
D12	2'-6"	6'-8"	STANDARD 4 PANEL	INTERIOR - BATHROOM - OUTSWING
D13	4'-0"	6'-6"	NO GRID	EXTERIOR - ENTRANCE - INSWING
D21	2'-6"	6'-8"	NO GRID	EXTERIOR - DECK - INSWING
D22	3'-0"	6'-8"	STANDARD 4 PANEL	INTERIOR - BEDROOM - INSWING
D23	2'-6"	6'-8"	STANDARD 4 PANEL	INTERIOR - CLOSET - POCKET
D24	2'-6"	6'-8"	STANDARD 4 PANEL	INTERIOR - BATHROOM - POCKET

2 DOOR SCHEDULE

DOOR LEGEND

TYPE	Standard 4 Panel	No Grid	Glass Panel 2
VIEW			

1 DOOR LEGEND



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NOTES

SHEET INFORMATION

Name: DOORS
Sheet: A.08
Page: 11 of 25



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NOTES

SHEET INFORMATION

Name:

WINDOWS

Sheet:

A.09

Page:

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WINDOW SCHEDULE

ID	WINDOW SIZE		TYPE	U-VALUE	TEMPERED
	NOMINAL WIDTH	NOMINAL HEIGHT			
W02	3'-6"	5'-4"	Double Hung	MIN. 0.35	<input type="checkbox"/>
W03	3'-0"	4'-6"	Double Hung	MIN. 0.35	<input type="checkbox"/>
W11	3'-0"	3'-4"	Double Hung	MIN. 0.35	<input checked="" type="checkbox"/>
W21	2'-8"	5'-0"	Double Hung	MIN. 0.35	<input type="checkbox"/>
W22	3'-0"	5'-10"	Double Hung	MIN. 0.35	<input type="checkbox"/>
W23	3'-0"	5'-10"	Double Hung	MIN. 0.35	<input type="checkbox"/>

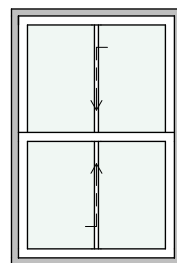
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WINDOW SCHEDULE

WINDOW LEGEND

WINDOW TYPE Double Hung

VIEW



1

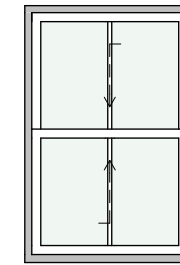
WINDOW LEGEND

WINDOW SCHEDULE

ID	WINDOW SIZE		TYPE	U-VALUE	TEMPERED
	NOMINAL WIDTH	NOMINAL HEIGHT			
W02	3'-6"	5'-4"	Double Hung	MIN. 0.35	<input type="checkbox"/>
W03	3'-0"	4'-6"	Double Hung	MIN. 0.35	<input type="checkbox"/>
W11	3'-0"	3'-4"	Double Hung	MIN. 0.35	<input checked="" type="checkbox"/>
W21	2'-8"	5'-0"	Double Hung	MIN. 0.35	<input type="checkbox"/>
W22	3'-0"	5'-10"	Double Hung	MIN. 0.35	<input type="checkbox"/>
W23	3'-0"	5'-10"	Double Hung	MIN. 0.35	<input type="checkbox"/>

WINDOW LEGEND

WINDOW TYPE Double Hung



VIEW

NOTE:

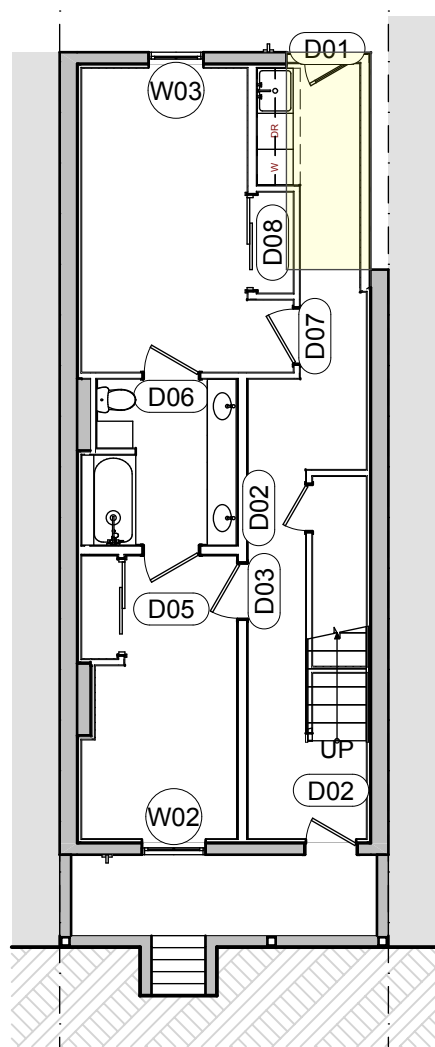
REPLACEMENT WINDOWS TO BE JELD-WEN, SITELINE CLAD-WOOD, WITH CUSTOM MUNTINS (SINGLE, VERTICAL) TO BE CONSISTENT WITH ORIGINAL WINDOWS.

GENERAL NOTE:

DUE TO THE EXISTING CONDITIONS OF THE WINDOWS, WE PROPOSE REPLACING ALL WINDOWS WITH NEW UNITS WITHIN THE EXISTING OPENING, UNLESS OTHERWISE NOTED.

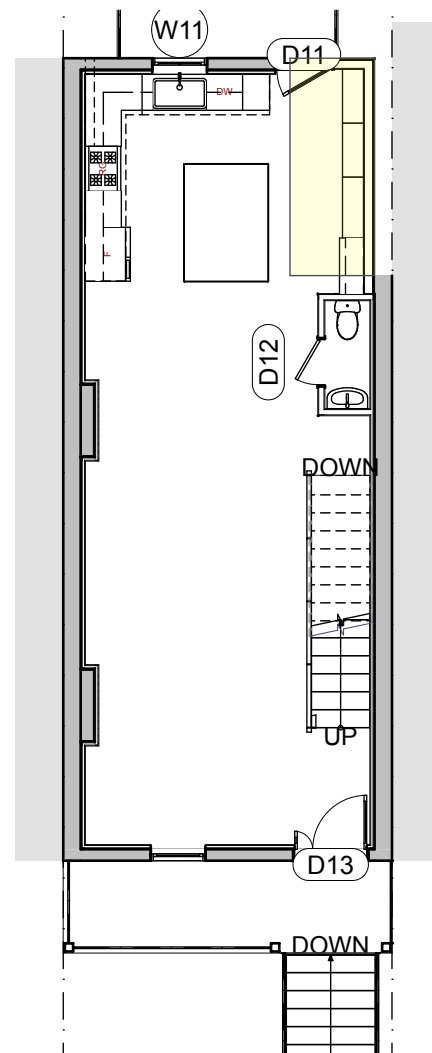
THE ONE EXCEPTIONS IS W11.

W11 IS TO REPLACE A WINDOW WHICH IS NO LONGER PRESENT. THE REVISED LAYOUT PLACES THE KITCHEN SINK IN FRONT OF THIS WINDOW. AS SUCH, THE SILL WILL BE RAISED ABOVE COUNTER HEIGHT, THE INFILL BELOW THE SILL WILL MATCH THE EXISTING WALL.



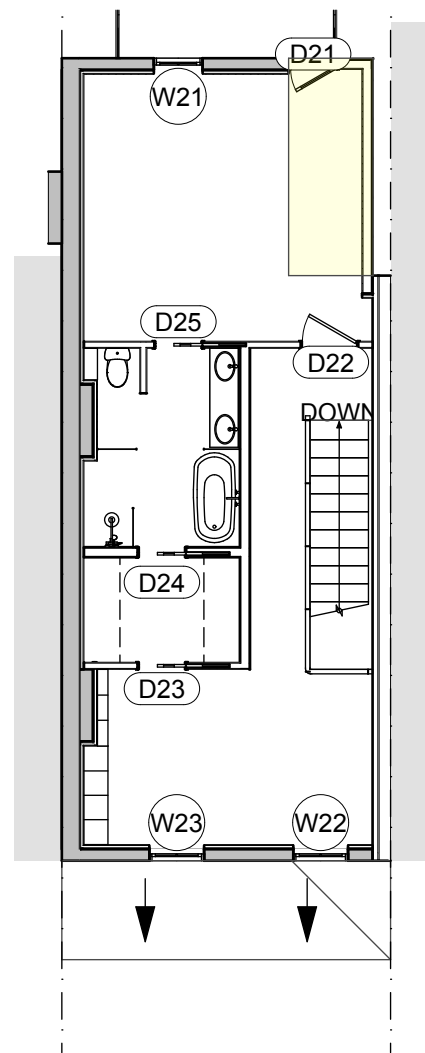
1 BASEMENT PLAN

SCALE: 3/32" = 1'-0"



2 1ST FLOOR PLAN

SCALE: 3/32" = 1'-0"



3 2ND FLOOR PLAN

SCALE: 3/32" = 1'-0"



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NOTES

SHEET INFORMATION

Name:

FLOORPLAN AND
SCHEDULE

Sheet:

W.01

Page:

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EXISTING:

SINGLE HUNG WINDOW, 42"x64"
DIVIDED LITES, 3x2 PER SASH

PROPOSED:

DOUBLE HUNG WINDOW, 42"x64"
DIVIDED LITES 1x2 PER SASH

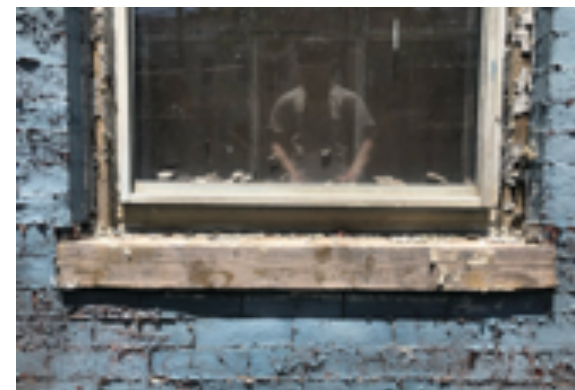
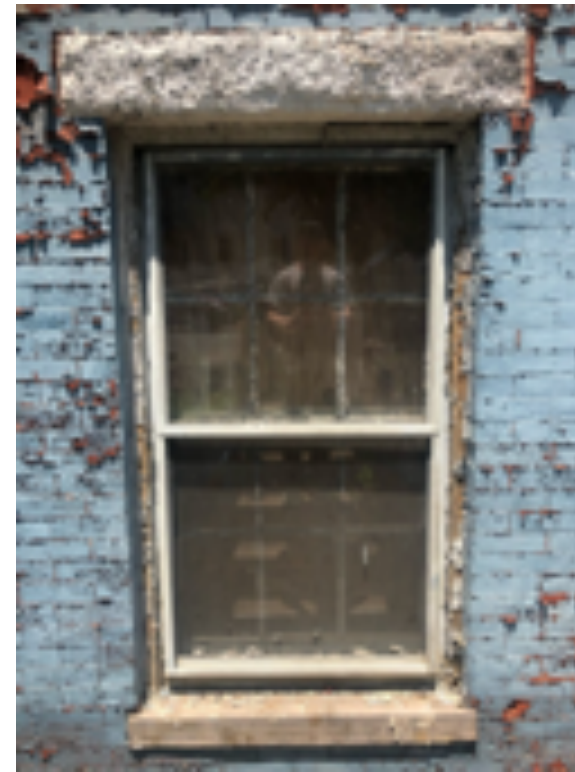
INTERIOR



EXTERIOR



DETAILS



THREE MILES

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NOTES

SHEET INFORMATION

Name:

W02

Sheet:

W.02

Page:

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EXISTING:

SINGLE HUNG WINDOW, 36"x54"
DIVIDED LITES, 3x2 PER SASH

PROPOSED:

DOUBLE HUNG WINDOW, 36"x54"
DIVIDED LITES, 1x2 PER SASH

INTERIOR



EXTERIOR



DETAILS



THREE MILES

DESIGN + CONSTRUCTION

1723 Arlington Road
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804-677-1151

chrish@threemiles.com

PROJECT INFORMATION

Name:

2318

Address:

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Owner:

DMS Construction LLC
PO Box 35437
Richmond, VA 23235

NOTES

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EXISTING:

WINDOW NOT EXISTING
OPENING 36"x64"

PROPOSED:

DOUBLE HUNG WINDOW, 36"x40"
DIVIDED LITES 1x2
RAISE SILL TO ABOVE COUNTERTOP LEVEL
INFILL BELOW SILL AND AROUND WINDOW WHERE
MISSING WITH SALVAGED BRICK

INTERIOR



EXTERIOR



THREE MILES

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EXISTING:

SINGLE HUNG WINDOW, 36"x96"
DIVIDED LITES 1x2
TOP SASH OPERABLE

PROPOSED:

RESTORE WINDOW STRUCTURE AND TRIM
REPLACE STORM WINDOW LAYER

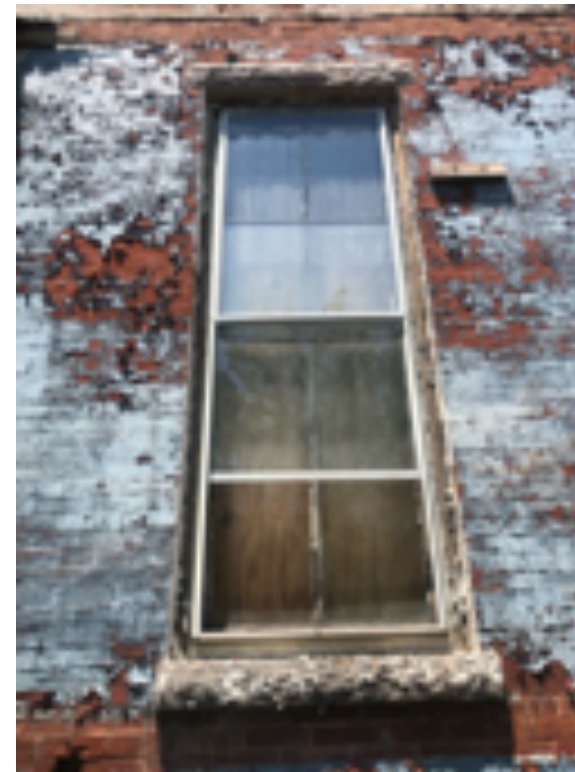
INTERIOR



EXTERIOR



DETAILS



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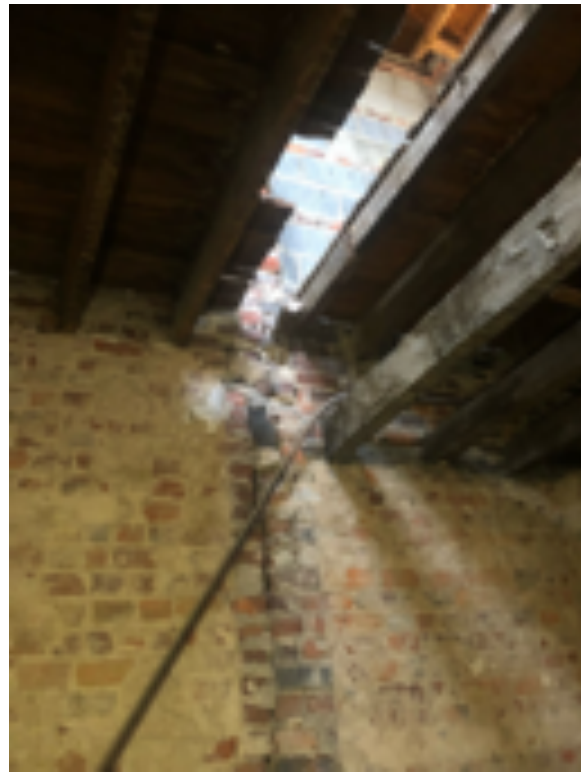
EXISTING:

SINGLE HUNG WINDOW, 32"x60"
DIVIDED LITES, 2x3
NOTE: WALL CONSTRUCTION SUGGESTS THIS
PORTION OF THE BUILDING IS NOT ORIGINAL

PROPOSED:

DOUBLE HUNG WINDOW, 32"x60"
DIVIDED LITES, 1x2

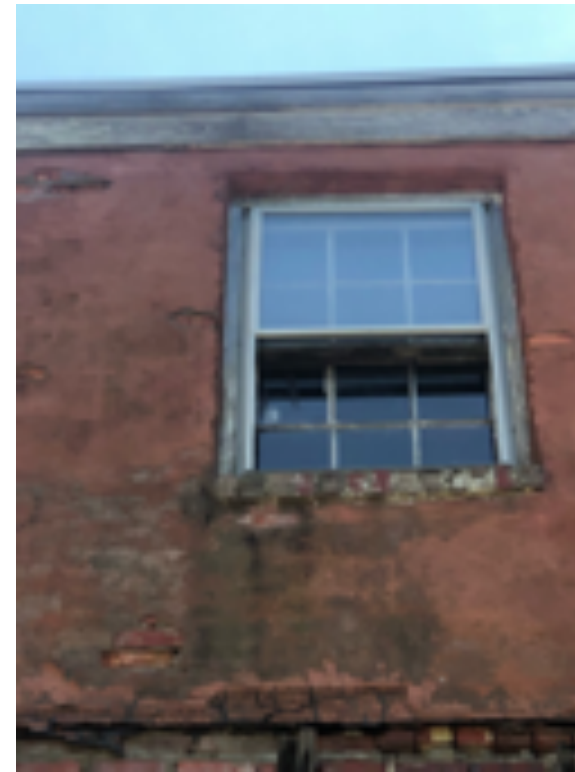
DETAILS



INTERIOR



EXTERIOR



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EXISTING:

SINGLE HUNG WINDOW, 36"x70"
DIVIDED LITES, 1x2
NOTE: WINDOW APPEARS TO HAVE BEEN PREVIOUSLY RESTORED/REPLACED

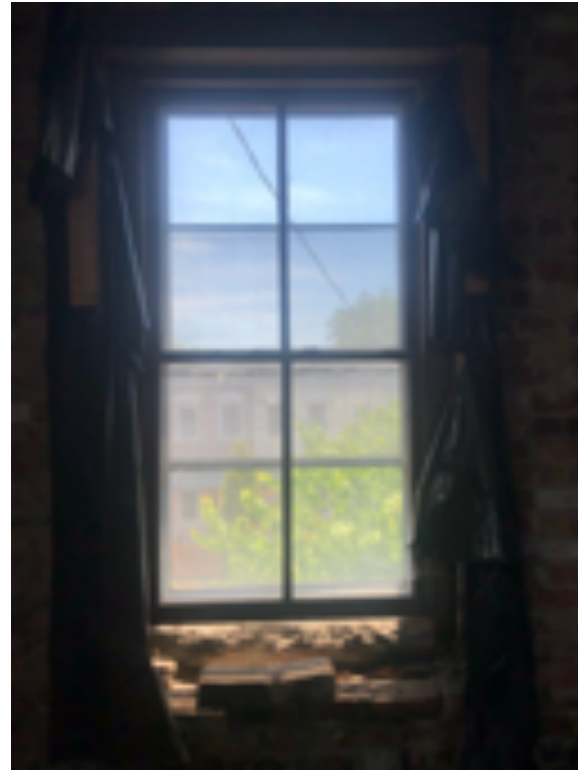
PROPOSED:

DOUBLE HUNG WINDOW, 36"x70"
DIVIDED LITES, 1x2

DETAILS



INTERIOR



EXTERIOR



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EXISTING:

SINGLE HUNG WINDOW, 36"x70"
DIVIDED LITES, 1x2
NOTE: WINDOW APPEARS TO HAVE BEEN
PREVIOUSLY RESTORED/REPLACED

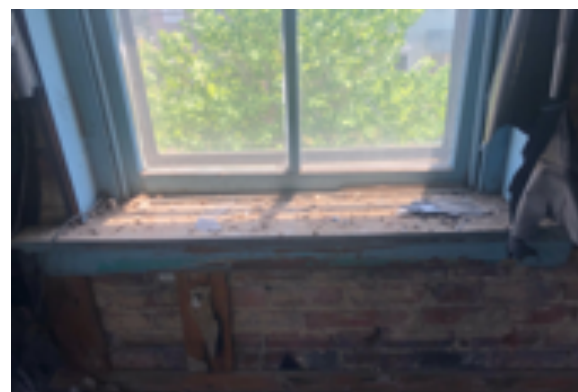
PROPOSED:

DOUBLE HUNG WINDOW, 36"x70"
DIVIDED LITES, 1x2

DETAILS



INTERIOR



EXTERIOR



THREE MILES

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EXISTING:

ENTRY DOOR, 33.5"x82" WITH 16" TRANSOM
2 GLASS LITE, 2 PANEL

PROPOSED:

REPLACE IN SAME LIKENESS

INTERIOR



EXTERIOR



DETAILS



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EXISTING:

ENTRY DOOR, 36"x80" WITH 16" TRANSOM AND 12" WOOD SIDELITE
4 SMALL GLASS LITES AT TOP, 4 PANEL
NOTE: DOOR DOES NOT APPEAR TO BE ORIGINAL, WOOD SIDELITE APPEARS TO HAVE REPLACED GLASS

PROPOSED:

ENTRY DOOR, 48"x80" DOUBLE DOOR WITH 16" TRANSOM
FULL GLAZED SINGLE LITE DOOR

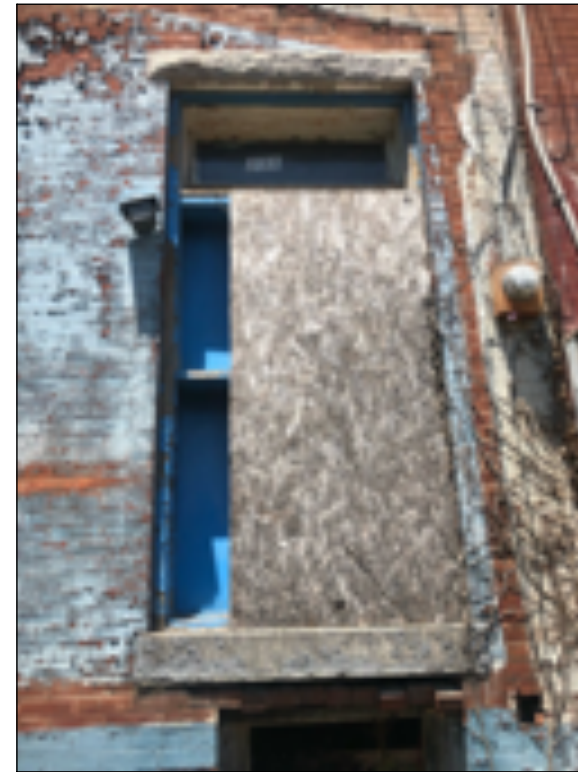
DETAILS



INTERIOR



EXTERIOR



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THREE MILES

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RAILING NOTES:

THE INTENT OF THE PORCH REBUILD IS TO REPLICATE THE NEIGHBORING ATTACHED PROPERTY AT 2316 VENABLE STREET. FROM WHAT IS DISCERNIBLE, THE PORCH THERE IS A RESTORED, ORIGINAL CONSTRUCTION. THE RAILING IS TO BE WOOD, AND WHAT IS COLLOQUIALLY REFERRED TO AS "RICHMOND RAIL", PAINTED WHITE. THERE IS A PROFILED TOP RAIL, WITH SLENDER RECTANGULAR BALUSTERS, SUPPORTED BY A THICKER BOTTOM RAIL AND AFFIXED TO COLUMNS AT THE STAIRS AND CORNERS OF THE PORCH.

TO COMPLY WITH MODERN BUILDING CODES, A STEEL BAR WILL BE INSTALLED AT 42".

GENERAL NOTES:

DIMENSIONS ARE OMITTED AS PORCH WILL BE CUSTOM BUILT TO MATCH ON SITE.

EXTERIOR TO BE REPAINTED. CORNICE TO BE RESTORED AND REPAINTED.

ROOF NOTES:

ROOF TO BE A CONTINUATION AND MIRROR OF THE ADJACENT PORCH. DECORATIVE ELEMENTS (FRIEZE/ ENTABLATURE, COLUMNS, BRACKETS) TO MATCH AND MEET HISTORICAL ACCURACY..

ROOF STRUCTURE TO BE 2x6 RAFTERS WITH TONGE AND GROOVE DECKING, WEATHER BARRIER, AND ROOFING TO MATCH (ASSUMED ASPHALT SHINGLES).



1 STREET ELEVATION
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

2 PORCH PHOTOS
SCALE: 1' = 1'-0"
0 1/2" 1" 2"



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Name: PORCH ELEVATION
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WALL DEMOLITION NOTES:

THE EXTERIOR REAR WALL, PICTURED RIGHT, HAS ENDURED SEVERE WEATHERING AND IS IN DISREPAIR. GIVEN THE NUMBER OF CRACKS, FALLEN BRICKS, MISSING MORTAR, AND COMPROMISED OPENINGS, OUR INTENTION IS TO DEMOLISH THIS WALL, ALLOWING US TO ALSO OPEN UP THE FLOOR PLAN. TO ACCOMMODATE THE REVISED LAYOUT.

WALL REBUILD NOTES:

THE EXTERIOR WALLS, PICTURED BELOW, ARE PART OF A PREVIOUS ADDITION. THE CONSTRUCTION IS OF CMU AND STANDARD BRICK, AND IS NOT STRUCTURALLY SOUND. THIS WILL BE REBUILT.



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REAR WALL PHOTOS

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REBUILD PHOTOS

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REAR WALL PHOTOS