



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

Commission of Architectural Review
Certificate of Appropriateness Application
900 E. Broad Street, Room 510
Richmond, VA 23219
804-646-6569

Property (location of work)

Property Address: 3104 E Broad St , Richmond, VA, 23223 (BLDR-147901-2024) Current **Zoning:** R-6
Historic District: St John's Church

Application is submitted for: (check one)

- Alteration**
- Demolition**
- New Construction**

Project Description (attach additional sheets if needed):

Changes to the front: Paint similar to property next door (3106 E Broad St). Change windows like-to-like.
Handcrafted repair of the moldings where necessary. Side: Partial demo of existing masonry wall to extend area.

Applicant/Contact Person: Jean Carlos

Company: Hispanos Unidos Multi-Services
Mailing Address: 7501 Boulder View Dr, Suite 120
City: Richmond State: VA Zip Code: 23225
Telephone: (703)801-0415
Email: hispanosunidosms@gmail.com
Billing Contact? Yes Applicant Type (owner, architect, etc.): Agent

Property Owner: SER HOMES LLC - Atallah Mahases

If Business Entity, name and title of authorized signee: Atallah Mahases, Partner
Mailing Address: 5109 HARVEST GLEN DR,
City: GLEN ALLEN State: VA Zip Code: 23059
Telephone: (804)497-0985
Email: amahases72@gmail.com
Billing Contact? No

****Owner must sign at the bottom of this page****

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature:  Date: 6/30/25



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 3104 E Broad St, Richmond, VA

BUILDING TYPE

- | | |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> other |
| <input type="checkbox"/> mixed use building | |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|---|---|
| <input checked="" type="checkbox"/> addition | <input checked="" type="checkbox"/> roof |
| <input checked="" type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input checked="" type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input checked="" type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

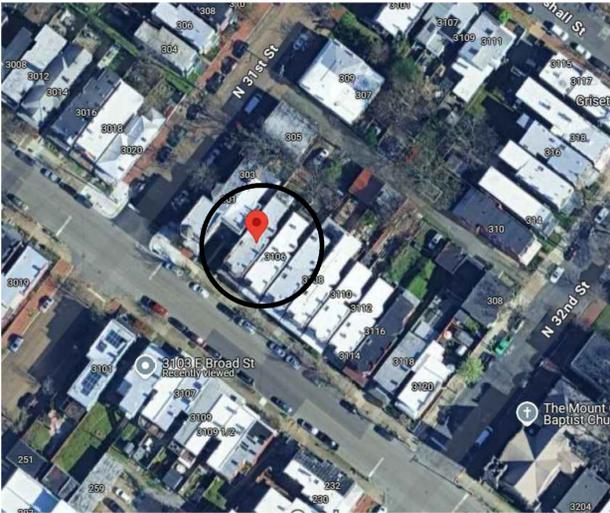
- | | | |
|--|--|---|
| <input type="checkbox"/> current site plan | <input type="checkbox"/> list of current windows and doors | <input type="checkbox"/> current elevations (all sides) |
| <input type="checkbox"/> proposed site plan | <input checked="" type="checkbox"/> list of proposed window and door | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> current floor plans | <input type="checkbox"/> current roof plan | <input checked="" type="checkbox"/> demolition plan |
| <input checked="" type="checkbox"/> proposed floor plans | <input checked="" type="checkbox"/> proposed roof plan | <input type="checkbox"/> perspective and/or line of sight |
| <input type="checkbox"/> legal "plat of survey" | | |

EXTERIOR FACADE RESTORATION DOCUMENTS



SIDE PRACTICE
DESIGN STUDIO LLC
724 BUGGY PLACE
NORTH CHESTERFIELD, VA
23205
804.512.2529
SIDEPRACTICEVA@GMAIL.COM

PROJECT LOCATION



3104 E BROAD ST
RICHMOND, VA
23223

PROJECT INFORMATION

SCOPE OF WORK:
DESCRIPTION: EXTERIOR FACADE PROVIDING RESTORATION, AND IN-KIND PLACE REPLACEMENTS BASED ON THE DISTRICT'S HISTORIC STANDARDS AND GUIDELINES

APPLICABLE CODES
2021 VIRGINIA RESIDENTIAL CONSTRUCTION CODE

CODE ANALYSIS
OCCUPANCY: R-5
CONSTRUCTION TYPE: V-B
UNSPRINKLERED

SHEET INDEX

- T-1: COVER SHEET
- A-1 PROPOSED FLOOR PLANS
- A-2: ELEVATIONS
- A-3: ENLARGED ELEVATIONS AND NOTES
- A-4: PORCH DETAILS
- A-5: RESTORATION STANDARDS AND GUIDELINES
- A-6: RESTORATION STANDARDS AND GUIDELINES

GRAPHIC SYMBOLS

GENERAL		CONSTRUCTION	
	NUMBER ON SHEET	GENERAL CONSTRUCTION SYMBOLS	
	EXTERIOR ELEVATION REFERENCE		ROOM TAG
	SHEET ON WHICH ELEVATION IS DRAWN		DOOR TAG
	INTERIOR ELEVATION REFERENCE		PARTITION TAG
	SECTION NUMBER		WINDOW TAG
	BUILDING SECTION REFERENCE		LOUVER TAG
	WALL SECTION REFERENCE	CONSTRUCTION PLAN LEGEND	
	CALLOUT NUMBER		AREA NOT IN SCOPE
	DETAIL CALLOUT REFERENCE		NEW GLASS PARTITION
	PLAN OR DETAIL NUMBER		NEW DOOR
	PLAN OR DETAIL TITLE		EXISTING DOOR TO REMAIN
	DRAWING SCALE		NEW WALL
	SHEET NUMBER		EXISTING WALL TO REMAIN
	SPOT ELEVATION		MILLWORK, PROVIDE BLOCKING WITH PARTITION AS REQUIRED, SEE REFERENCED ELEVATION AND CORRESPONDING DETAILS.
			RECESSED FIRE EXTINGUISHER CABINET
			BREAK POINT BETWEEN (2) OBJECTS/MATERIALS
			CARD READER
		DEMO PLAN LEGEND	
			DEMO GLASS PARTITION
			DEMO DOOR
			EXISTING DOOR TO REMAIN
			DEMO WALL
			EXISTING WALL TO REMAIN
			DEMO MILLWORK

GENERAL NOTES

THE RECOMMENDATIONS AND RESTORATIONS FOUND ON THIS SET ARE BASED ON THE "OLD AND HISTORIC DISTRICTS OF RICHMOND" GUIDELINES AND THE SECRETARY OF THE INTERIOR'S "STANDARDS FOR RESTORATION AND GUIDELINES FOR HISTORIC BUILDINGS". PLEASE REFER TO THESE DOCUMENTS FOR MORE IN-DEPTH INFORMATION.

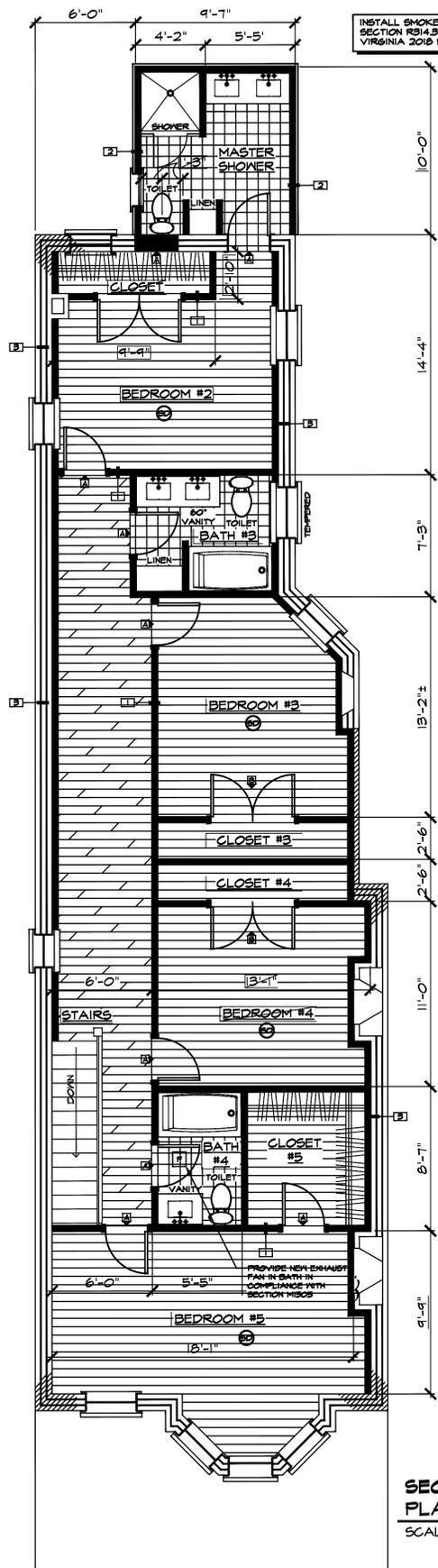
PREPARED FOR:
ATALLAH
MAHAES

EXTERIOR RESTORATION
DOCUMENTS
3104 E. BROAD ST
RICHMOND, VA
23223

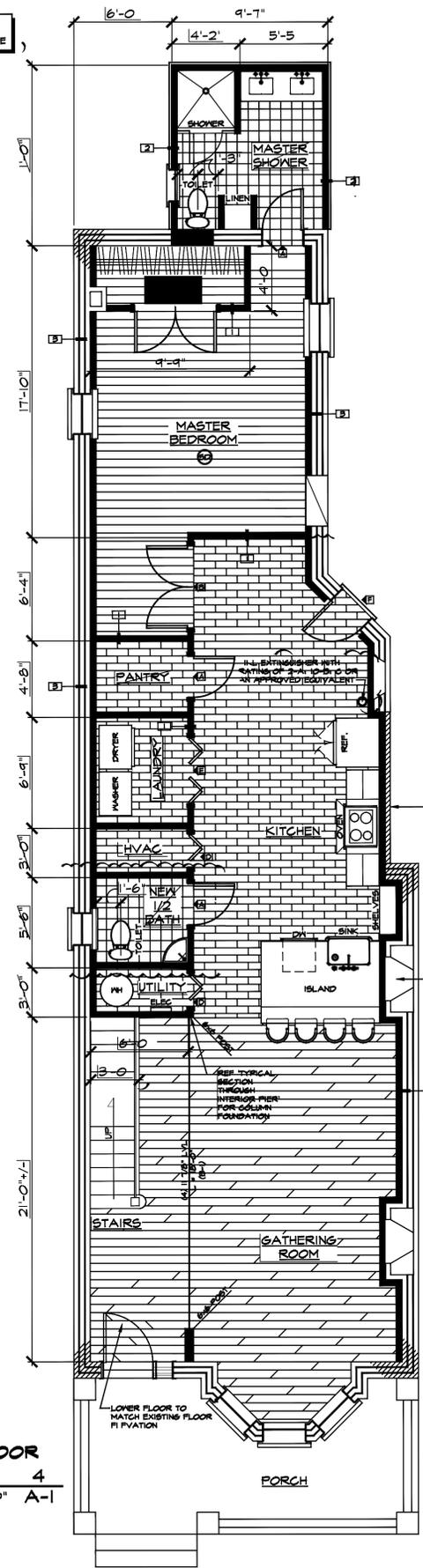
PLAN REVISIONS DATES

COVER
SHEET

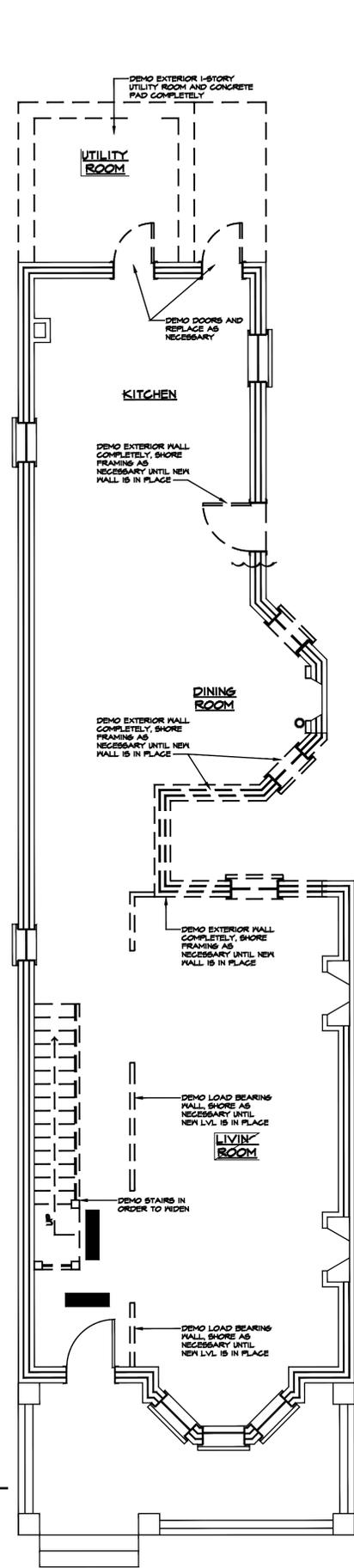
SHEET
C-1
SCALE: AS NOTED



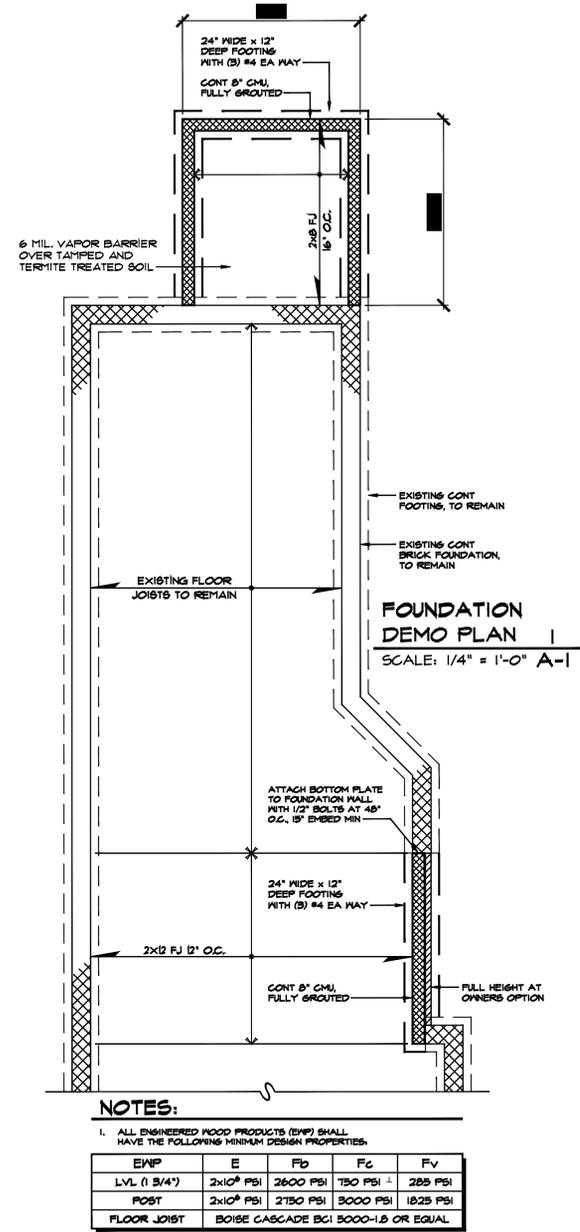
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" A-1



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" A-1



FIRST FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0" A-1



NOTES:

- ALL ENGINEERED WOOD PRODUCTS (EWP) SHALL HAVE THE FOLLOWING MINIMUM DESIGN PROPERTIES:

EWP	E	Fb	Fc	Fv
LVL (1 3/4")	2x10 ⁸ PS1	2600 PS1	150 PS1 ±	285 PS1
POST	2x10 ⁸ PS1	2750 PS1	3000 PS1	1825 PS1
FLOOR JOIST	BOISE CASCADE BC1 3000-1.5	OR EQUAL		



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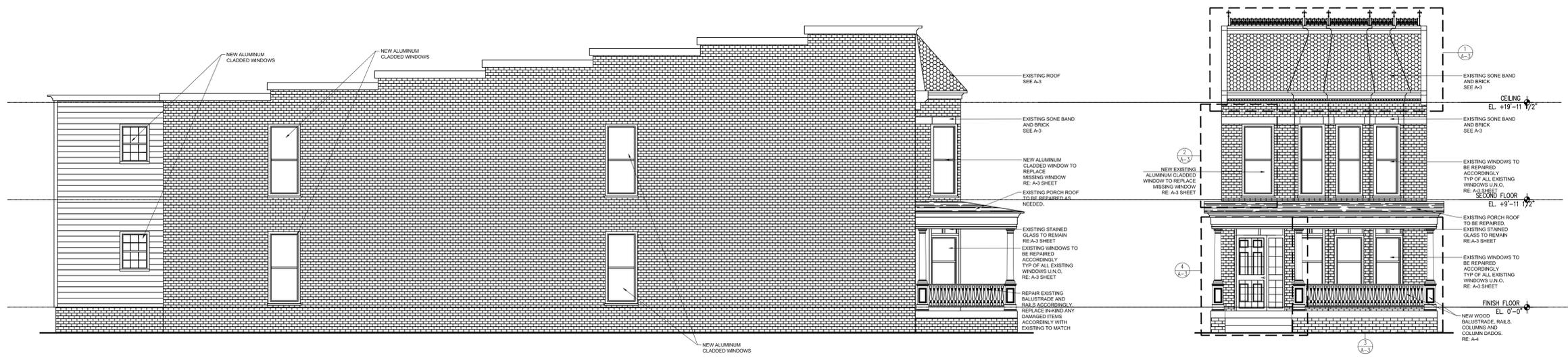
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PLAN REVISIONS DATES

ELEVATIONS

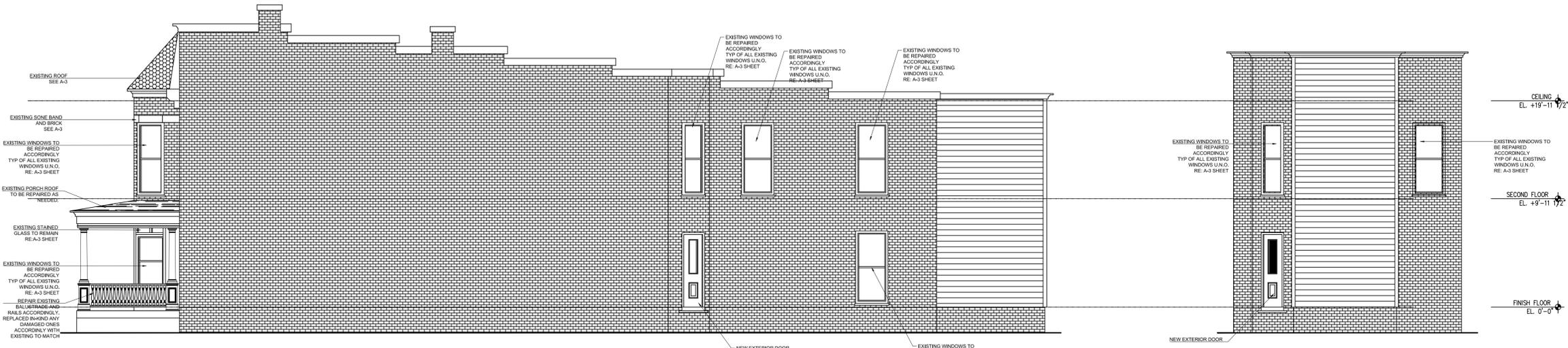
SHEET
A-2
SCALE: AS NOTED



1
A-2 **RIGHT ELEVATION**
SCALE: 3/16=1'-0"

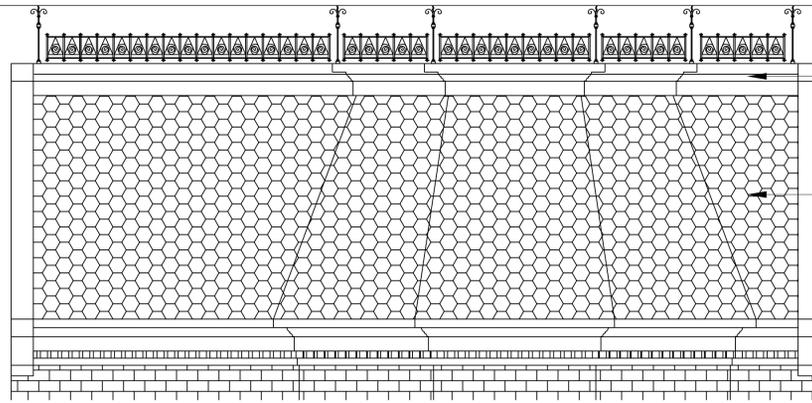
2
A-2 **FRONT ELEVATION**
SCALE: 3/16=1'-0"

SEE SHEET A-3 FOR FRONT ELEVATION ENLARGEMENTS AND NOTES



3
A-2 **LEFT ELEVATION**
SCALE: 3/16=1'-0"

2
A-2 **REAR ELEVATION**
SCALE: 3/16=1'-0"



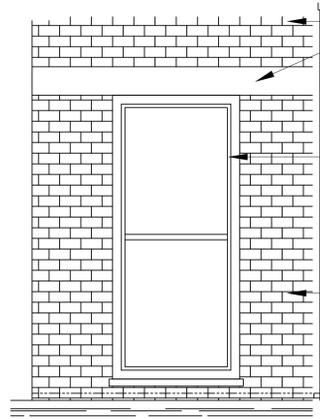
REPAINT EXISTING CORNICES

1
A-3

EXISTING SLATE ROOF. REPAIR AND REPLACE TILES AS NEEDED. INSPECT SUPPORTING STRUCTURAL MEMBERS TO ENSURE STRUCTURAL INTEGRITY. SEE RECOMMENDED ROOF REPAIR NOTES ON THIS SHEET AND SHEET A-6

THE BELOW RECOMMENDATIONS NOTES ARE BASED ON THE "OLD AND HISTORIC DISTRICTS OF RICHMOND" GUIDELINES AND THE SECRETARY OF THE INTERIOR'S "STANDARDS FOR RESTORATION AND GUIDELINES FOR HISTORIC BUILDINGS". PLEASE REFER TO THESE DOCUMENTS FOR MORE IN-DEPTH INFORMATION

ROOF REPAIRS RECOMMENDATION NOTES:
REPAIR EXISTING ROOFS WITH LIMITED REPLACEMENT IN-KIND WITH EQUAL OR COMPATIBLE MATERIAL OF THOSE EXTENSIVELY DETERIORATED OR MISSING SHINGLES.



EXISTING STONE BAND AND BRICK MASONRY TO BE CLEANED AND REPAIRED. SEE RECOMMENDATIONS TO WASHING/CLEANING AND RESTORING MASONRY NOTES ON SHEET A-5

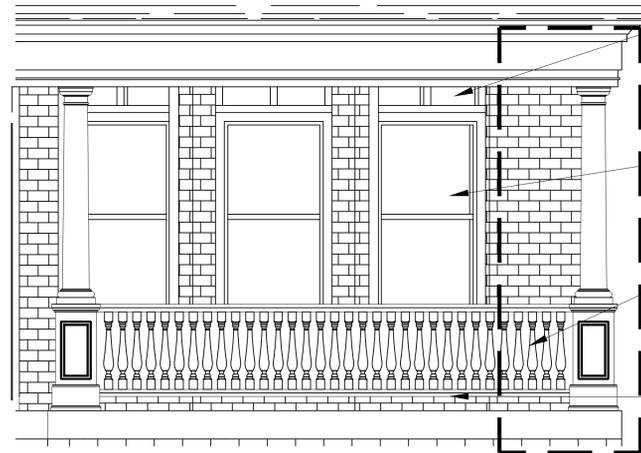
2
A-3

NEW ALUMINUM CLADDED DOUBLE HUNG REPLACEMENT WINDOW SEE NEW WINDOW NOTES ON THIS SHEET.

EXISTING STONE BAND AND BRICK MASONRY MORTAR RE-POINTED (IF NEEDED) AND REPAIRED AND NEEDED. SEE RECOMMENDATIONS TO MORTAR AND REPOINTING MASONRY NOTES ON THIS SHEET AND SHEET A-5

BRICK AND STONE WASHING RECOMMENDATIONS NOTES:
CLEANING OF MASONRY SHOULD BE CARRIED OUT BY A KNOWLEDGEABLE CONTRACTOR WHO SPECIALIZES IN NON-INVASIVE CLEANING TECHNIQUES. THE GENTLEST MEANS POSSIBLE INVOLVING LOW PRESSURE WATER WITH A MILD DETERGENT IS BEST.

MORTAR RE-POINTING RECOMMENDATION NOTES:
REPLACEMENT MORTAR SHOULD DUPLICATE ORIGINAL IN STRENGTH, COMPOSITION, COLOR TEXTURE AND PROFILE. THE RE-POINTING SHOULD BE CARRIED OUT BY A KNOWLEDGEABLE CONTRACTOR IN HISTORIC PRESERVATION REMOVE MORTAR BY HAND-RAKING THE JOINTS ONLY. NEVER USE ELECTRICAL SAWS OR HAMMERS.



EXISTING GLASS STAINED GLASS TRANSOMS TO BE CLEANED AND REPAIRED ACCORDINGLY. SEE GLASS RECOMMENDATIONS ON THIS SHEET AND SHEET A-6

3
A-3

NEW ALUMINUM CLADDED DOUBLE HUNG REPLACEMENT WINDOWS, PAINTED.

NEW PORCH FRONT WOOD BALUSTRADES PAINTED WHITE TO MATCH EXISTING IN HEIGHT AND APPEARANCE. SEE SHEET A-4 FOR MORE DETAILS.

5
A-4

NEW PORCH TONGUE AND GROVE PRESSURE TREATED DECKING. SEE SHEET A-4 FOR NEW DETAILS

EXISTING WINDOW RECOMMENDATION NOTES:
REPAIR EXISTING WOOD FRAMES AND USE IN KIND-REPLACEMENT IF PARTS ARE MISSING. TREATMENTS INCLUDE SURFACE CLEANING, RE-PAINTING, RE-COATING IF NECESSARY AND APPLYING APPROPRIATE SEALANTS FOR AIR TIGHTNESS. ORIGINAL WINDOWS SHOULD BE REPAIRED BY PATCHING, SPLICING, CONSOLIDATING OR OTHERWISE REINFORCING THEM. WINDOWS SHOULD BE WEATHER STRIPPED TO ENSURE ALL JOINTS ARE TIGHT AND SEALED TO PREVENT AIR AND WATER INFILTRATION.

NEW WINDOWS RECOMMENDATION NOTES
THE ARCHITECTURAL APPEARANCE OF WINDOWS SHOULD BE USED AS MODEL FOR NEWWINDOWS. THEY PARTICULARLY SHOULD MATCH IN HEIGHT, TYPE, SASHES, AND MUNTINS.



EXISTING PORCH WOOD ENTABLATURE TO BE REPAIRED. SEE WOOD RECOMMENDATIONS ON WOOD REPAIR OR REPLACEMENT ON THIS SHEET AND SHEET A-6

4
A-3

NEW WOOD DOOR WITH SIDELIGHT AND TRANSOM ABOVE.

EXISTING WOOD COLUMNS TO BE REPAIRED AS NEEDED. SEE RECOMMENDATIONS FOR WOOD REPAIR ON THIS SHEET AND SHEET A-6

EXISTING WOOD COLUMNS DADOS TO BE REPAIRED AS NEEDED. SEE RECOMMENDATIONS FOR WOOD REPAIR ON ON THIS SHEET AND SHEET A-6

WOOD RECOMMENDATION NOTES:
REPAIR WOOD MEMBERS BY PATCHING, PIERCING-IN CONSOLIDATING AND USING IN-KIND REPLACEMENT OF DAMAGE PIECES AS NEEDED.



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ATALLAH
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EXTERIOR RESTORATION
DOCUMENTS
3104 E. BROAD ST
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23223

PLAN REVISIONS DATES

ELEVATIONS
ENLARGEMENTS
AND NOTES

SHEET
A-3
SCALE: 1/4"=1'-0"



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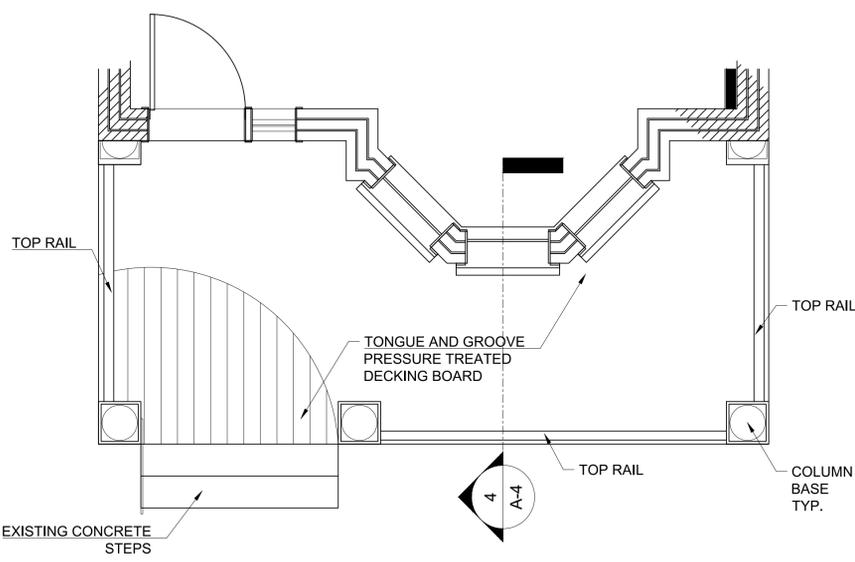
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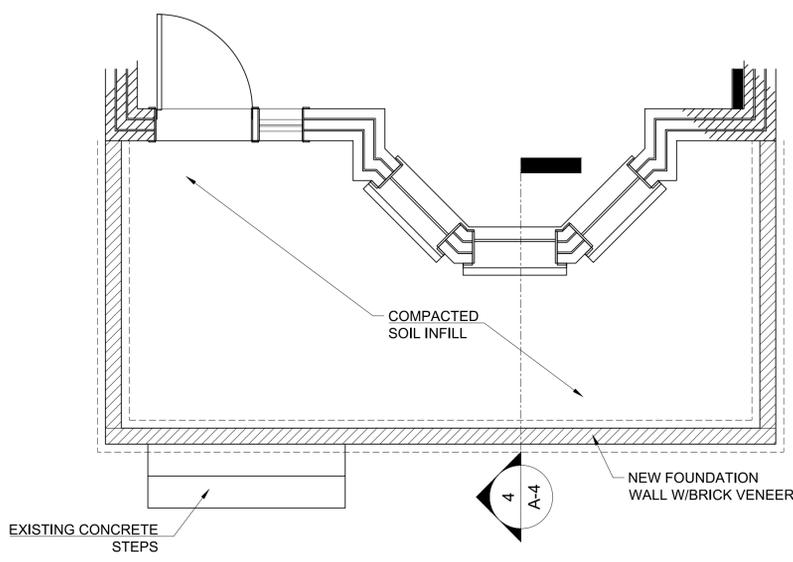
PLAN REVISIONS DATES

**PLANS AND
DETAILS**

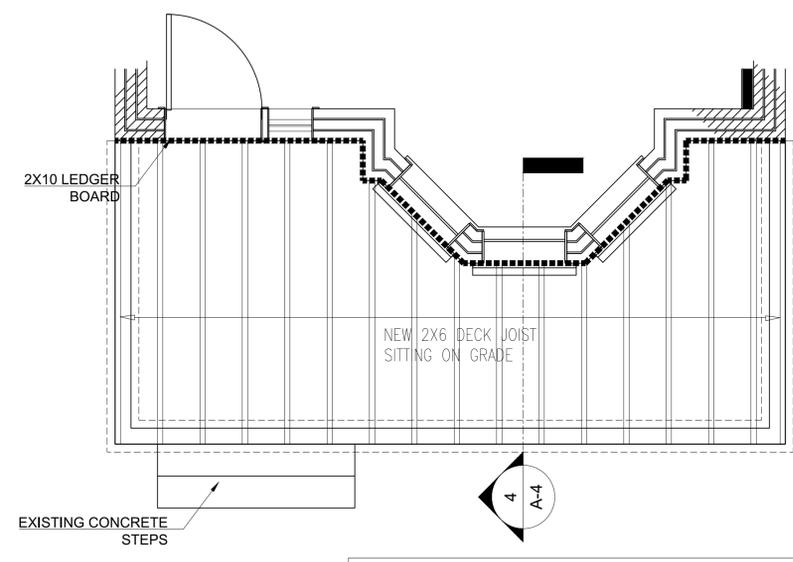
SHEET
A-4
SCALE: AS NOTED



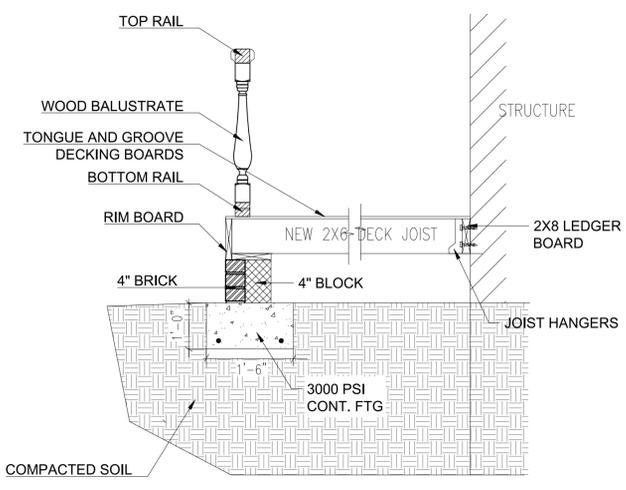
1 PORCH SURFACE PLAN
SCALE: 3/8"=1'-0"



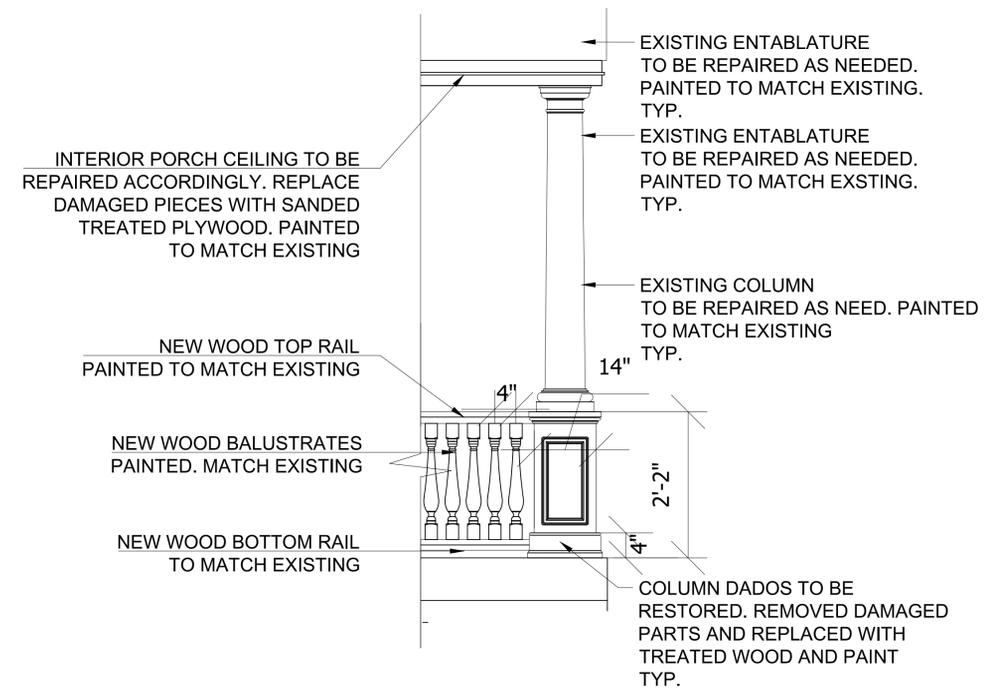
2 PORCH FOUNDATION PLAN
SCALE: 3/8"=1'-0"



NOTE: ALL DECK LUMBER IS TO BE PRESSURED TREATED
2 PORCH FRAMING PLAN
SCALE: 3/8"=1'-0"



NOTE: ALL DECK LUMBER IS TO BE PRESSURED TREATED
4 FOOTING/FRAMING SECTION
SCALE: 3/8"=1'-0"



5 FRONT FACING PORCH BALUSTRATES AND COLUMN DETAILS
SCALE: 3/8"=1'-0"

INTERIOR PORCH CEILING TO BE REPAIRED ACCORDINGLY. REPLACE DAMAGED PIECES WITH SANDED TREATED PLYWOOD. PAINTED TO MATCH EXISTING

EXISTING ENTABLATURE TO BE REPAIRED AS NEEDED. PAINTED TO MATCH EXISTING TYP.

EXISTING ENTABLATURE TO BE REPAIRED AS NEEDED. PAINTED TO MATCH EXISTING TYP.

EXISTING COLUMN TO BE REPAIRED AS NEED. PAINTED TO MATCH EXISTING TYP.

NEW WOOD TOP RAIL PAINTED TO MATCH EXISTING

NEW WOOD BALUSTRATES PAINTED. MATCH EXISTING

NEW WOOD BOTTOM RAIL TO MATCH EXISTING

COLUMN DADOS TO BE RESTORED. REMOVED DAMAGED PARTS AND REPLACED WITH TREATED WOOD AND PAINT TYP.

MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR

RECOMMENDED	NOT RECOMMENDED
Identifying, retaining and preserving masonry features from the restoration period (such as walls, brackets, railings, cornices, window and door surrounds, steps, and columns) and decorative ornament and other details, such as tooling and bonding patterns, coatings, and color.	Altering masonry features from the restoration period. Failing to document masonry features from the restoration period, which may result in their loss. Applying paint or other coatings (such as stucco) to restoration-period masonry features, or removing them, if such treatments cannot be documented to the restoration period. Changing the type of paint or coating or the color of restoration-period masonry features, unless the work can be substantiated by historical documentation.
Protecting and maintaining masonry features from the restoration period by ensuring that historic drainage features and systems that divert rainwater from masonry surfaces (such as roof overhangs, gutters, and downspouts) are intact and functioning properly.	Failing to identify and treat the causes of masonry deterioration, such as leaking roofs and gutters or rising damp.



(1) (a) When it was acquired by the National Trust for Historic Preservation in the 1980s, Montpelier in Montpelier Station, VA, the home of James and Dolley Madison, had been much altered and enlarged since it was first constructed. Based on historical documentation and research, Montpelier was accurately restored to its 1820s appearance when the president and his wife lived there (b). Photos: Courtesy of The Montpelier Foundation.



MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR

RECOMMENDED	NOT RECOMMENDED
Cleaning masonry only when necessary to halt deterioration or remove heavy soiling.	Cleaning masonry surfaces from the restoration period when they are not heavily soiled to create a "like-new" appearance, thereby needlessly introducing chemicals or moisture into historic materials.
Carrying out masonry cleaning tests when it has been determined that cleaning is appropriate. Test areas should be examined to ensure that no damage has resulted and, ideally, monitored over a sufficient period of time to allow long-range effects to be predicted.	Cleaning masonry surfaces without testing or without sufficient time for the testing results to be evaluated.
Cleaning soiled restoration-period masonry surfaces with the gentlest method possible, such as using low-pressure water and detergent and natural bristle or other soft-bristle brushes.	Cleaning or removing paint from masonry surfaces from the restoration period using most abrasive methods (including sandblasting, other media blasting, or high-pressure water) which can damage the surface of the masonry and mortar joints. Using a cleaning or paint-removal method that involves water or liquid chemical solutions when there is any possibility of freezing temperatures. Cleaning with chemical products that will damage some types of masonry (such as using acid on limestone or marble), or failing to neutralize or rinse off chemical cleaners from masonry surfaces.
Using biodegradable or environmentally-safe cleaning or paint-removal products.	
Using paint-removal methods that employ a poultice to which paint adheres, when possible, to neatly and safely remove old lead paint.	
Using coatings that encapsulate lead paint, when possible, where paint is not required to be removed to meet environmental regulations.	
Allowing only trained conservators to use abrasive or laser cleaning methods, when necessary, to clean hard-to-reach, highly-carved, or detailed decorative stone features.	

MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR

RECOMMENDED	NOT RECOMMENDED
Removing damaged or deteriorated paint only to the next sound layer using the gentlest method possible (e.g., hand scraping) prior to repainting.	Removing paint that is firmly adhered to masonry surfaces.
Applying compatible paint coating systems to historically-painted, restoration-period masonry following proper surface preparation.	Failing to follow manufacturers' product and application instructions when repainting masonry features.
Repainting historically-painted masonry features with colors that are documented to the restoration period of the building (i.e., verifying through paint analysis).	Using paint colors on historically-painted masonry features that are not documented to the restoration period.
Protecting adjacent restoration-period materials when cleaning or removing paint from masonry features from the restoration period.	Failing to protect adjacent restoration-period materials when cleaning or removing paint from masonry features from the restoration period.
Evaluating the overall condition of masonry from the restoration period to determine whether more than protection and maintenance, such as repairs to masonry features will be necessary.	Failing to undertake adequate measures to ensure the protection of masonry features from the restoration period.
Repairing masonry features from the restoration period by patching, splicing, consolidating, or otherwise reinforcing the masonry using recognized preservation methods. Repair may include the limited replacement in kind or with a compatible substitute material of those extensively deteriorated or missing components of masonry features from the restoration period when there are surviving prototypes (such as terra-cotta brackets or stone balusters) or when the replacement can be based on physical or historic documentation. The new work should match the old in material, design, scale, color, and finish.	Removing masonry from the restoration period that could be stabilized, repaired, and conserved, or using untested consolidants and unskilled personnel, potentially causing further damage to materials.

MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR

RECOMMENDED	NOT RECOMMENDED
Repairing masonry walls and other masonry features from the restoration period by repointing the mortar joints where there is evidence of deterioration, such as disintegrating mortar, cracks in mortar joints, loose bricks, or damaged plaster.	
Removing deteriorated lime mortar from the restoration period carefully by hand raking the joints to avoid damaging the masonry.	Removing restoration-period mortar that is not deteriorated from sound joints.



(2) (a) Decatur House in Washington, DC, was designed by William Henry Latrobe and constructed in 1816. (b) In the late-19th century, the facade was "modernized" by removing the limestone lintels on the first floor and replacing them with decorative sandstone lintels in the style of the period. (c) In the mid-20th century, the house was brought back to its original appearance based on historic documentation. Photos: The White House Historical Association and Decatur House, a National Trust Site.



MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR

RECOMMENDED	NOT RECOMMENDED
Using power tools only on horizontal joints on restoration-period brick masonry in conjunction with hand chiseling to remove hard mortar that is deteriorated or that is a non-historic material which is causing damage to the masonry units. Mechanical tools should be used only by skilled masons in limited circumstances and generally not on short, vertical joints in brick masonry.	Allowing unskilled workers to use masonry saws or mechanical tools to remove deteriorated mortar from joints prior to repointing.
Duplicating historic mortar joints in strength, composition, color, and texture when repointing is necessary. In some cases, a lime-based mortar may also be considered when repointing Portland cement mortar joints because it is more flexible.	Repointing masonry units with mortar of high Portland cement content (unless it is the content of the mortar from the restoration period).
Duplicating restoration-period mortar joints in width and joint profile when repointing is necessary.	Using "surface grouting" or a "scrub" coating technique, such as a "sack rub" or "mortar washing," to repoint exterior masonry units from the restoration period instead of traditional repointing methods. Changing the width or joint profile when repointing masonry from the restoration period.



(3) Not Recommended: Although the Dutchman stone repair has been well executed, the replacement stone is not a good color match.

MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR

RECOMMENDED	NOT RECOMMENDED
Applying non-historic surface treatments, such as water-repellent coatings, to masonry from the restoration period only after repointing and only if masonry repairs have failed to arrest water penetration problems.	Applying waterproof, water-repellent, or other coatings that are not from the restoration period (such as stucco) to masonry as a substitute for repointing and masonry repairs.
Applying permeable, anti-graffiti coatings to masonry from the restoration period when appropriate.	Applying water-repellent or anti-graffiti coatings that change the historic appearance of the masonry from the restoration period or that may trap moisture if the coating is not sufficiently permeable.
Replacing in kind an entire masonry feature from the restoration period that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature. Examples can include a large section of a wall, a cornice, balustrade, pier, or parapet. If using the same kind of material is not feasible, then a compatible substitute material may be considered. The new work may be unobtrusively dated to guide future research and treatment.	Removing a masonry feature from the restoration period that is unrepairable and not replacing it, or replacing it with a new feature that does not match. Using a substitute material for the replacement that does not convey the same appearance of the surviving components of the masonry.
<i>The following Restoration work is highlighted to indicate that it involves the removal or alteration of existing historic masonry features that would be retained in Preservation and Rehabilitation treatments, and the replacement of missing masonry features from the restoration period using all new materials.</i>	
Removing Existing Features from Other Historic Periods	
Removing masonry features from other historic periods, such as a door surround, porch, or steps.	Failing to remove a masonry feature from another period, thereby confusing the depiction of the building's appearance from the restoration period.
Documenting masonry features dating from other periods prior to their alteration or removal. If possible, selected examples of these features or materials should be stored for future research.	Failing to document masonry features from other historic periods that are removed from the building so that a valuable portion of the historic record is lost.
Recreating Missing Features from the Restoration Period	
Recreating a missing masonry feature that existed during the restoration period based on documentary and physical evidence; for example, duplicating a terra-cotta bracket or stone balustrade. The new work may be unobtrusively dated to guide future research and treatment.	Constructing a masonry feature that was part of the original design for the building but was never actually built, or a feature which was thought to have existed during the restoration period but which cannot be documented.

MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR

RECOMMENDED	NOT RECOMMENDED
Repairing stucco from the restoration period by removing the damaged material and patching with new material that duplicates the historic stucco in strength, composition, color, and texture.	Removing sound stucco from the restoration period or repairing with new stucco that is different in composition from the historic stucco. Patching stucco or concrete from the restoration period without removing the source of deterioration. Replacing deteriorated stucco from the restoration period with synthetic stucco, an exterior finish and insulation system (EFIS), or other non-traditional materials.
Using mud plaster or a compatible lime-plaster adobe render, when appropriate, to repair adobe from the restoration period.	Applying cement stucco, unless it already exists, to adobe from the restoration period.
Sealing joints in concrete from the restoration period with appropriate flexible sealants and backer rods, when necessary.	Repointing masonry units from the restoration period (other than concrete) with a synthetic caulking compound instead of mortar.
Cutting damaged concrete from the restoration period back to remove the source of deterioration, such as corrosion on metal reinforcement bars. The new patch must be applied carefully so that it will bond satisfactorily with and match the historic concrete.	Patching concrete from the restoration period without removing the source of deterioration.
Using a non-corrosive, stainless-steel anchoring system when replacing damaged stone, concrete, or terra-cotta units from the restoration period that have failed.	
Repairing masonry features from the restoration period by patching, splicing, consolidating, or otherwise reinforcing the masonry using recognized preservation methods. Repair may include the limited replacement in kind or with a compatible substitute material of those extensively deteriorated or missing components of masonry features from the restoration period when there are surviving prototypes (such as terra-cotta brackets or stone balusters) or when the replacement can be based on physical or historic documentation. The new work should match the old in material, design, scale, color, and finish.	Removing masonry from the restoration period that could be stabilized, repaired, and conserved, or using untested consolidants, improper repair techniques, or unskilled personnel, potentially causing further damage to materials. Replacing an entire masonry feature from the restoration period, such as a cornice or balustrade, when repair of the masonry and limited replacement of deteriorated or missing components are appropriate.



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PLAN REVISIONS DATES

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SHEET
A-5
SCALE: AS NOTED

ROOFS

RECOMMENDED	NOT RECOMMENDED
Repairing a roof from the restoration period by reinforcing the materials that comprise the roof using recognized preservation methods. Repair may include the limited replacement in kind or with a compatible substitute material of those extensively deteriorated or missing components of features when there are surviving prototypes (such as cupola louvers, cresting, dormer roofing, roof monitors, or slate or tile on a main roof) or when replacement can be based on physical or historic documentation. The new work should match the old in materials, design, scale, color, and finish.	Replacing an entire roof feature from the restoration period, such as a dormer, when repair of the roofing materials and limited replacement of deteriorated or missing components are feasible.
Replating in kind an entire roof covering or feature from the restoration period that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. Examples of such a feature could include a large section of roofing, a dormer, or a chimney. If using the same kind of material is not feasible, then a compatible substitute material may be appropriate.	Failing to reuse intact slate or tile from the restoration period when only the roofing substrate or fasteners need replacement.
Replating in kind an entire roof covering or feature from the restoration period that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. Examples of such a feature could include a large section of roofing, a dormer, or a chimney. If using the same kind of material is not feasible, then a compatible substitute material may be appropriate.	Removing a roof feature from the restoration period that is unrepairable, such as a chimney or dormer, and not replacing it, or replacing it with a feature that does not match.
Replating in kind an entire roof covering or feature from the restoration period that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. Examples of such a feature could include a large section of roofing, a dormer, or a chimney. If using the same kind of material is not feasible, then a compatible substitute material may be appropriate.	Using a substitute material for the replacement of a single element of a roof (such as a tile or slate) or an entire feature that does not convey the same appearance of the surviving components of the roof feature from the restoration period or that is physically or chemically incompatible.
<i>The following Restoration work is highlighted to indicate that it involves the removal or alteration of existing historic masonry features that would be retained in Preservation and Rehabilitation treatments; and the replacement of missing roof features from the restoration period using all new materials.</i>	
Removing Existing Features from Other Historic Periods	
Removing roofs or roof features from other historic periods, such as a dormer or asphalt roofing.	Failing to remove a roof feature from another period, thereby confusing the depiction of the building's appearance from the restoration period.
Documenting roof features dating from other periods prior to their alteration or removal. If possible, selected examples of these features or materials should be stored for future research.	Failing to document roofing materials and roof features from other historic periods that are removed from the building so that a valuable portion of the historic record is lost.
Recreating Missing Features from the Restoration Period	
Recreating a missing roofing material or roof feature that existed during the restoration period based on documentary and physical evidence; for example, duplicating a former dormer or cupola.	Constructing a roof feature that was part of the original design for the building but was never actually built, or a feature which was thought to have existed during the restoration period but cannot be documented.

WOOD: CLAPBOARD, WEATHERBOARD, SHINGLES, AND OTHER FUNCTIONAL AND DECORATIVE ELEMENTS

RECOMMENDED	NOT RECOMMENDED
<i>The following Restoration work is highlighted to indicate that it involves the removal or alteration of existing historic masonry features that would be retained in Preservation and Rehabilitation treatments; and the replacement of missing wood features from the restoration period using all new materials.</i>	
Removing Existing Features from Other Historic Periods	
Removing wood features from other historic periods, such as a door surround, porch, or steps.	Failing to remove a wood feature from another period, thereby confusing the depiction of the building's appearance from the restoration period.
Documenting wood features dating from other periods prior to their alteration or removal. If possible, selected examples of these features or materials should be stored for future research.	Failing to document wood features from other historic periods that are removed from the building so that a valuable portion of the historic record is lost.
Recreating Missing Features from the Restoration Period	
Recreating a missing wood feature that existed during the restoration period based on documentary and physical evidence; for example, duplicating a wood dormer or porch.	Constructing a wood feature that was part of the original design for the building but was never actually built, or a feature which was thought to have existed during the restoration period but cannot be documented.



(5) New wood trim pieces were milled to match the few remaining historic features to replace those that were missing.

WINDOWS

RECOMMENDED	NOT RECOMMENDED
Identifying, retaining, and preserving the restoration-period wood or metal which comprises the window jamb, sash, and trim through appropriate surface treatments such as cleaning, paint removal, and reapplication of the same protective coatings.	Altering windows or window features from the restoration period.
Protecting and maintaining the restoration-period wood or metal which comprises the window jamb, sash, and trim through appropriate surface treatments such as cleaning, paint removal, and reapplication of the same protective coatings.	Failing to document window features from the restoration period, which may result in their loss.
Protecting windows from the restoration period against vandalism before work begins by covering them and by installing alarm systems that are keyed into local protection agencies.	Applying paint or other coatings to restoration-period window features, or removing them, if such treatments cannot be documented to the restoration period.
Installing impact-resistant glazing, when necessary for security, so that it is compatible with the historic windows from the restoration period and does not damage them or negatively impact their character.	Changing the type of paint or coating or the color of restoration-period windows, unless the work can be substantiated by historical documentation.
	Stripping windows of sound historic material (such as wood or metal) from the restoration period.
Conducting an in-depth survey of the condition of existing windows from the restoration period early in the planning process so that repair, upgrading, and, if necessary, possible replacement options can be fully explored.	Replacing windows from the restoration period solely because of peeling paint, broken glass, stuck sash, or high air infiltration. These conditions, in themselves, do not indicate that windows are beyond repair.
	Failing to protect and maintain window materials from the restoration period on a cyclical basis so that deterioration of the window results.
	Leaving windows unprotected before work begins, thereby also allowing the interior to be damaged if it can be accessed through unprotected windows.
	Installing impact-resistant glazing, when necessary, for security that is not compatible with the historic windows from the restoration period and damages them or negatively impacts their character.

WOOD: CLAPBOARD, WEATHERBOARD, SHINGLES, AND OTHER FUNCTIONAL AND DECORATIVE ELEMENTS

RECOMMENDED	NOT RECOMMENDED
Using thermal devices (such as infrared heaters) carefully to remove paint, when it is so deteriorated that total removal is necessary prior to repainting.	Using a thermal device to remove paint from wood features without first checking for and removing any flammable debris behind them.
Using paint-removal methods that employ a poultice to which paint adheres, when possible, to neatly and safely remove old lead paint.	Using thermal devices without limiting the amount of time the wood is exposed to heat.
Using coatings that encapsulate lead paint, when possible, where the paint is not required to be removed to meet environmental regulations.	
Using chemical strippers primarily to supplement other methods such as hand scraping, hand sanding, and thermal devices.	Failing to neutralize the wood thoroughly after using chemical paint removers so that new paint may not adhere.
Removing damaged or deteriorated paint to the next sound layer using the gentlest method possible (e.g., hand scraping and hand sanding) prior to repainting.	Removing paint from detachable, restoration-period wood features by soaking them in a caustic solution which can roughen the surface, split the wood, or result in staining from residual acid leaching out through the wood.
Applying compatible paint coating systems to historically-painted wood following proper surface preparation.	Using potentially-damaging paint-removal methods on restoration-period wood surfaces, such as open-flame torches, orbital sanders, abrasive methods (including sandblasting, other media blasting, or high-pressure water), or caustic paint-removers.
Repainting historically-painted wood features with colors that are documented to the restoration period of the building (i.e., verifying through paint analysis).	Removing paint that is firmly adhered to wood surfaces.
	Failing to follow manufacturers' product and application instructions when repainting wood features from the restoration period.
	Using paint colors on historically-painted wood features that are not documented to the restoration period.



(9) Historic window and shutter hardware such as that shown here should be retained and repaired in a restoration project.

WINDOWS

RECOMMENDED	NOT RECOMMENDED
Protecting restoration-period windows when working on other features of the building.	Failing to protect restoration-period windows when working on other features of the building.
Protecting and retaining historic glass from the restoration period when replacing putty or repairing other components of the window.	Failing to protect historic glass from the restoration period when making repairs.
Sustaining the historic operability of windows from the restoration period by lubricating friction points and replacing broken components of the operating system (such as hinges, latches, sash chains or cords) and replacing deteriorated gaskets or insulating units.	Failing to maintain windows and window components from the restoration period so that windows are inoperable, or sealing operable sash permanently.
Evaluating the overall condition of windows from the restoration period to determine whether more than protection and maintenance, such as repairs to windows and window features, will be necessary.	Failing to repair and reuse window hardware from the restoration period, such as sash lifts, latches, and locks.
Repairing window frames and sash from the restoration period by patching, splicing, consolidating, or otherwise reinforcing them using recognized preservation methods. Repair may include the limited replacement in kind or with a compatible substitute material of those extensively deteriorated, broken, or missing components of windows when there are surviving prototypes (such as sash, sills, hardware, or shutters) or when the replacement can be based on physical or historic documentation. The new work should match the old in material, design, scale, color, and finish.	Failing to undertake adequate measures to ensure the protection of window features from the restoration period.
	Replacing an entire window from the restoration period when repair of materials and limited replacement in kind are appropriate.
	Removing a window from the restoration period that is unrepairable and not replacing it, or replacing it with a new window that does not match.

WOOD: CLAPBOARD, WEATHERBOARD, SHINGLES, AND OTHER FUNCTIONAL AND DECORATIVE ELEMENTS

RECOMMENDED	NOT RECOMMENDED
Identifying, retaining, and preserving wood features from the restoration period (such as siding, cornices, brackets, window and door surrounds, and steps) and their paints, finishes, and colors.	Altering wood features from the restoration period.
Protecting and maintaining wood features from the restoration period by ensuring that historic drainage features that divert rain-water from wood surfaces (such as roof overhangs, gutters, and downspouts) are intact and functioning properly.	Failing to document wood features from the restoration period, which may result in their loss.
Applying chemical preservatives or paint to wood features from the restoration period that are subject to weathering, such as exposed beam ends, outriggers, or rafter tails.	Applying paint or other coatings to restoration-period wood features, or removing them, if such treatments cannot be documented to the restoration period.
Implementing an integrated pest management plan to identify appropriate preventive measures to guard against insect damage, such as installing termite guards, fumigating, and treating with chemicals.	Changing the type of paint or coating or the color of restoration-period wood features, unless the work can be substantiated by historical documentation.
Retaining coatings from the restoration period (such as paint) that protect the wood from moisture and ultraviolet light. Paint removal should be considered only when there is paint surface deterioration and as part of an overall maintenance program which involves repainting or applying other appropriate coatings.	Failing to identify and treat the causes of wood deterioration, such as faulty flashing, leaking gutters, cracks and holes in siding, deteriorated caulking in joints and seams, plant material growing too close to wood surfaces, or insect or fungal infestation.
Using biodegradable or environmentally-safe cleaning or paint-removal products.	Using chemical preservatives that can change the appearance of wood features from the restoration period.
	Stripping restoration-period paint or other coatings from wood features without recoating them.

WOOD: CLAPBOARD, WEATHERBOARD, SHINGLES, AND OTHER FUNCTIONAL AND DECORATIVE ELEMENTS

RECOMMENDED	NOT RECOMMENDED
Protecting adjacent restoration-period materials when cleaning or removing paint from wood features from the restoration period.	Failing to protect adjacent restoration-period materials when cleaning or removing paint from wood features from the restoration period.
Evaluating the overall condition of wood features from the restoration period to determine whether more than protection and maintenance, such as repairs to wood features, will be necessary.	Failing to undertake adequate measures to ensure the protection of wood features from the restoration period.
Repairing wood features from the restoration period by patching, splicing, consolidating, or otherwise reinforcing the wood using recognized preservation methods. Repair may include the limited replacement in kind or with a compatible substitute material of those extensively deteriorated or missing components of features from the restoration period when there are surviving prototypes (such as brackets, molding, or sections of siding) or when the replacement can be based on physical or historic documentation. The new work should match the old in material, design, scale, color, and finish.	Removing wood features from the restoration period that could be stabilized, repaired, and conserved, or using untested consolidants or unskilled personnel, potentially causing further damage to historic materials.
Replating in kind an entire wood feature from the restoration period that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. Examples can include a cornice, entablature, or a balustrade. If using the same kind of material is not feasible, then a compatible substitute material may be considered. The new work may be unobtrusively dated to guide future research and treatment.	Replacing an entire wood feature from the restoration period, such as a cornice or porch railing, when repair of the wood and limited replacement of deteriorated or missing components are appropriate.
	Removing a wood feature from the restoration period that is unrepairable and not replacing it, or replacing it with a new feature that does not match.
	Using substitute material for the replacement that does not convey the same appearance of the surviving components of the wood feature from the restoration period or that is physically incompatible.

WINDOWS

RECOMMENDED	NOT RECOMMENDED
Replating in kind an entire window from the restoration period that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. If using the same kind of material is not feasible, then a compatible substitute material may be considered. The new work may be unobtrusively dated to guide future research and treatment.	Removing a window from the restoration period that is unrepairable and not replacing it, or replacing it with a new window that does not match.
Removing Existing Features from Other Historic Periods	Using substitute material for the replacement that does not convey the same appearance of the surviving components of the window from the restoration period or that is physically incompatible.
Removing windows or window features from other historic period, such as the glazing pattern or inappropriate shutters.	Failing to remove a window or window feature from another period, thereby confusing the depiction of the building's appearance from the restoration period.
Documenting window features dating from other periods prior to their alteration or removal. If possible, selected examples of these features or materials should be stored for future research.	Failing to document window features from other historic periods that are removed from the building so that a valuable portion of the historic record is lost.
Recreating Missing Features from the Restoration Period	
Recreating a missing window or window feature that existed during the restoration period based on documentary and physical evidence; for example, duplicating a hoodmold or shutter.	Constructing a window feature that was part of the original design for the building but was never actually built, or constructing a feature which was thought to have existed during the restoration period but cannot be documented.



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