



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

**Commission of Architectural Review
Certificate of Appropriateness Application**

900 E. Broad Street, Room 510
Richmond, VA 23219
804-646-6569

Property (location of work)

Property Address: 3104 E Broad St , Richmond, VA, 23223 (BLDR-147901-2024) Current Zoning: R-6
Historic District: St John's Church

Application is submitted for: (check one)

- ☒ **Alteration**
☐ **Demolition**
☐ **New Construction**

Project Description (attach additional sheets if needed):

Changes to the front: Paint similar to property next door (3106 E Broad St). Change windows like-to-like.
Handcrafted repair of the moldings where necessary. Side: Partial demo of existing masonry wall to extend area.

Applicant/Contact Person: Jean Carlos

Company: Hispanos Unidos Multi-Services

Mailing Address: 7501 Boulder View Dr, Suite 120

City: Richmond State: VA Zip Code: 23225

Telephone: (703) 801-0415

Email: hispanosunidosms@gmail.com

Billing Contact? Yes Applicant Type (owner, architect, etc.): Agent

Property Owner: SER HOMES LLC - Atallah Mahases

If Business Entity, name and title of authorized signee: Atallah Mahases, Partner

Mailing Address: 5109 HARVEST GLEN DR,

City: GLEN ALLEN State: VA Zip Code: 23059

Telephone: (804) 497-0985

Email: amahases72@gmail.com

Billing Contact? No

****Owner must sign at the bottom of this page****

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature:  Date: 6/30/25



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: 3104 E Broad St, Richmond, VA

BUILDING TYPE

- | | |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage |
| <input type="checkbox"/> multi-family residence | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building | <input type="checkbox"/> other |
| <input type="checkbox"/> mixed use building | |
| <input type="checkbox"/> institutional building | |

ALTERATION TYPE

- | | |
|---|---|
| <input checked="" type="checkbox"/> addition | <input checked="" type="checkbox"/> roof |
| <input checked="" type="checkbox"/> foundation | <input type="checkbox"/> awning or canopy |
| <input checked="" type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign |
| <input checked="" type="checkbox"/> windows or doors | <input type="checkbox"/> ramp or lift |
| <input type="checkbox"/> porch or balcony | <input type="checkbox"/> other |

WRITTEN DESCRIPTION

- ☒ property description, current conditions and any prior alterations or additions
- ☒ proposed work: plans to change any exterior features, and/or addition description
- ☒ current building material conditions and originality of any materials proposed to be repaired or replaced
- ☒ proposed new material description: attach specification sheets if necessary

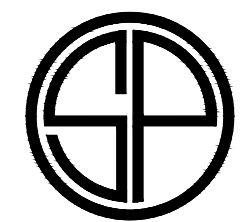
PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- ☒ elevations of all sides
- ☒ detail photos of exterior elements subject to proposed work
- ☒ historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

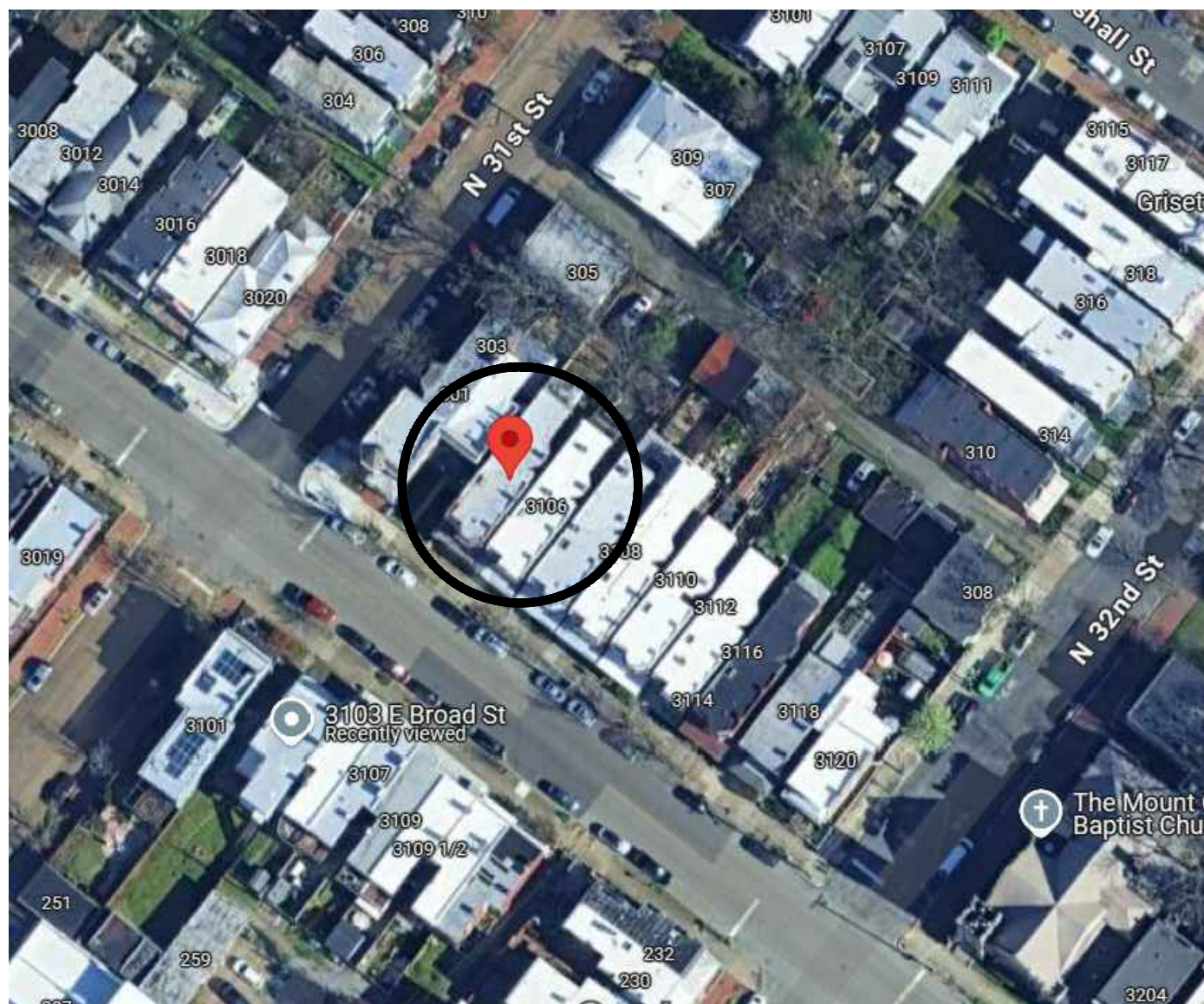
- | | | |
|--|--|---|
| <input type="checkbox"/> current site plan | <input type="checkbox"/> list of current windows and doors | <input type="checkbox"/> current elevations (all sides) |
| <input type="checkbox"/> proposed site plan | <input checked="" type="checkbox"/> list of proposed window and door | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input checked="" type="checkbox"/> current floor plans | <input type="checkbox"/> current roof plan | <input checked="" type="checkbox"/> demolition plan |
| <input checked="" type="checkbox"/> proposed floor plans | <input checked="" type="checkbox"/> proposed roof plan | <input type="checkbox"/> perspective and/or line of sight |
| <input type="checkbox"/> legal "plat of survey" | | |

EXTERIOR FACADE RESTORATION DOCUMENTS



SIDE PRACTICE
DESIGN STUDIO LLC
7224 BUGGY PLACE
NORTH CHESTERFIELD, VA
23251
804.512.5259
SIDEPRACTICEDVA@GMAIL.COM

PROJECT LOCATION



3104 E BROAD ST
RICHMOND, VA
23223

GRAPHIC SYMBOLS

GENERAL

1

A-101

NUMBER ON SHEET

1

A-101

EXTERIOR ELEVATION REFERENCE

1

A-101

SHEET ON WHICH ELEVATION IS DRAWN

1

A-101

NUMBER ON SHEET

1

A-101

INTERIOR ELEVATION REFERENCE

1

A-101

SHEET ON WHICH ELEVATION IS DRAWN

1

A-101

SECTION NUMBER

1

A-101

BUILDING SECTION REFERENCE

1

A-101

SHEET ON WHICH SECTION IS DRAWN

1

A-101

SECTION NUMBER

1

A-101

WALL SECTION REFERENCE

1

A-101

SHEET ON WHICH SECTION IS DRAWN

1

A-101

CALLOUT NUMBER

1

A-101

SHEET ON WHICH CALLOUT IS DRAWN

1

A-101

DETAIL CALLOUT REFERENCE

1

A-101

PLAN OR DETAIL NUMBER

1

A-101

PLAN OR DETAIL TITLE

1

A-101

SCALE: 1/8" = 1'-0"

1

A-101

DRAWING SCALE

1

A-101

SHEET NUMBER

1

A-101

SPOT ELEVATION

CONSTRUCTION

GENERAL CONSTRUCTION SYMBOLS

Room Name

1-000

ROOM TAG

ALIGN

ALIGN

ALIGN

C

CENTERLINE

CENTERLINE

MATCHLINE

MATCHLINE

DOOR

DOOR TAG

DOOR TAG

WALL

PARTITION TAG

PARTITION TAG

WINDOW

WINDOW TAG

WINDOW TAG

LOUVER

LOUVER TAG

LOUVER TAG

CONSTRUCTION PLAN LEGEND

AREA NOT IN SCOPE

NEW GLASS PARTITION

NEW DOOR

EXISTING DOOR TO REMAIN

NEW WALL

EXISTING WALL TO REMAIN

MILLWORK, PROVIDE BLOCKING WITHIN PARTITION AS REQUIRED, SEE REFERENCED ELEVATION AND CORRESPONDING DETAILS.

RECESSED FIRE EXTINGUISHER CABINET

BREAK POINT BETWEEN (2) OBJECTS/MATERIALS

CARD READER

DEMO PLAN LEGEND

AREA NOT IN SCOPE

DEMO GLASS PARTITION

DEMO DOOR

EXISTING DOOR TO REMAIN

DEMO WALL

EXISTING WALL TO REMAIN

DEMO MILLWORK

PROJECT INFORMATION

SCOPE OF WORK:
DESCRIPTION: EXTERIOR FACADE PROVIDING RESTORATION, AND IN-KIND PLACE REPLACEMENTS BASED ON THE DISTRICT'S HISTORIC STANDARDS AND GUIDELINES

APPLICABLE CODES
2021 VIRGINIA RESIDENTIAL CONSTRUCTION CODE

CODE ANALYSIS
OCCUPANCY: R-5
CONSTRUCTION TYPE: V-B
UNSPRINKLERED

SHEET INDEX

- T-1: COVER SHEET
- A-1 PROPOSED FLOOR PLANS
- A-2: ELEVATIONS
- A-3:ENLARGED ELEVATIONS AND NOTES
- A-4: PORCH DETAILS
- A-5: RESTORATION STANDARDS AND GUIDELINES
- A-6: RESTORATION STANDARDS AND GUIDELINES

GENERAL NOTES

THE RECOMMENDATIONS AND RESTORATIONS FOUND ON THIS SET ARE BASED ON THE "OLD AND HISTORIC DISTRICTS OF RICHMOND" GUIDELINES AND THE SECRETARY OF THE INTERIOR'S "STANDARDS FOR RESTORATION AND GUIDELINES FOR HISTORIC BUILDINGS". PLEASE REFER TO THESE DOCUMENTS FOR MORE IN-DEPTH INFORMATION.

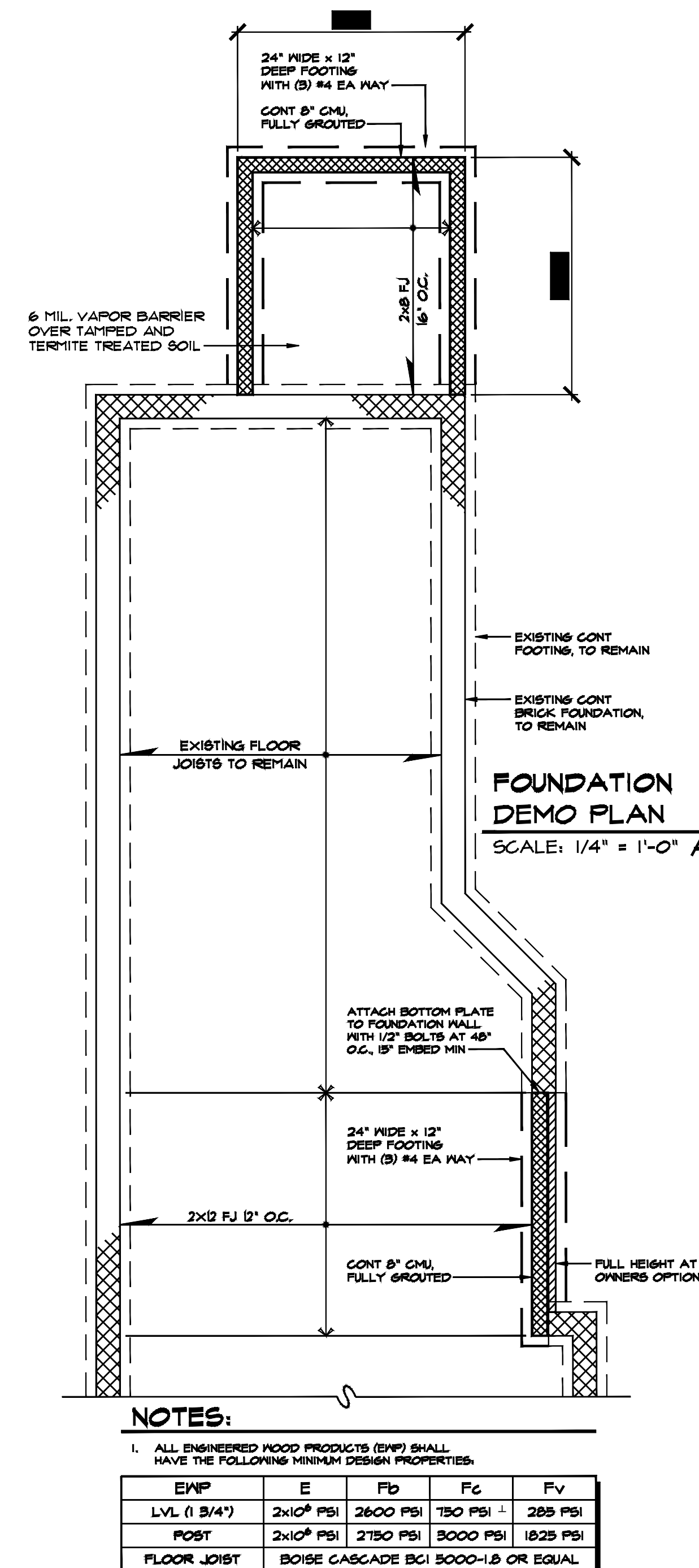
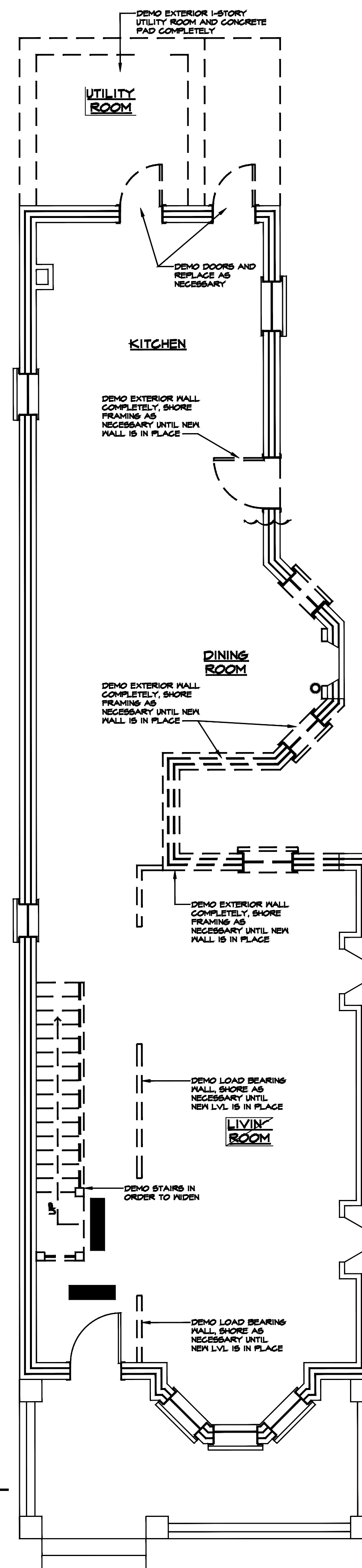
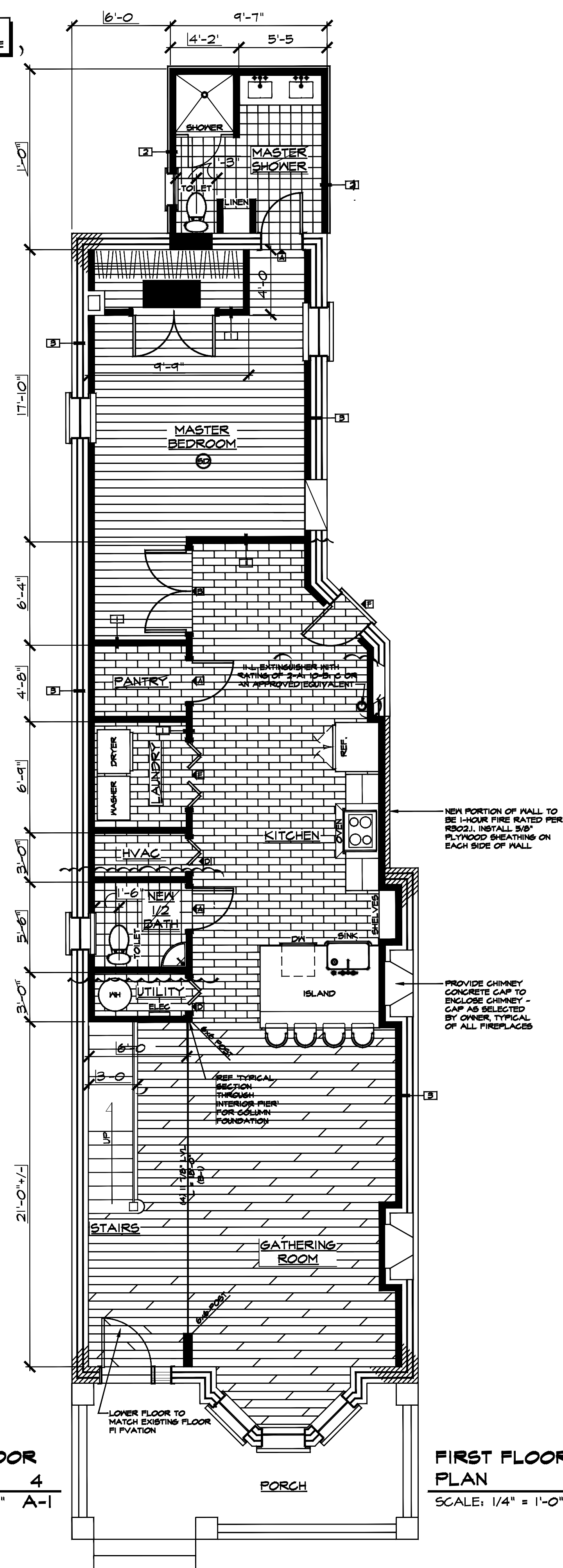
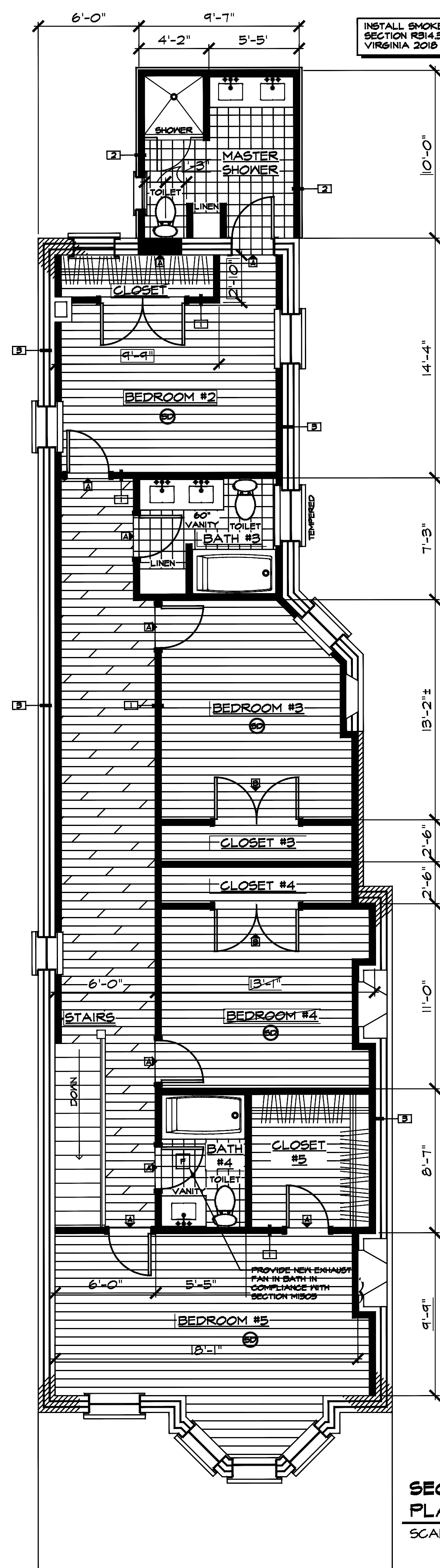
PREPARED FOR:
ATALLAH
MAHAES

EXTERIOR RESTORATION
DOCUMENTS
3104 E. BROAD ST
RICHMOND, VA
23223

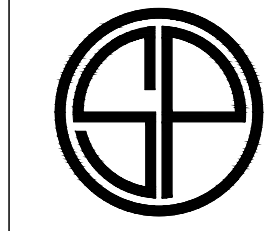
PLAN REVISIONS DATES

COVER
SHEET

SHEET
C-1
SCALE: AS NOTED



EMP	E	Fb	Fc	Fv
LVL (1 3/4")	2x10 ⁶ PSI	2600 PSI	750 PSI ±	225 PSI
POST	2x10 ⁶ PSI	2750 PSI	3000 PSI	1825 PSI
FLOOR JOIST	BOISE CASCADE BC1 5000-1.8 OR EQUAL			



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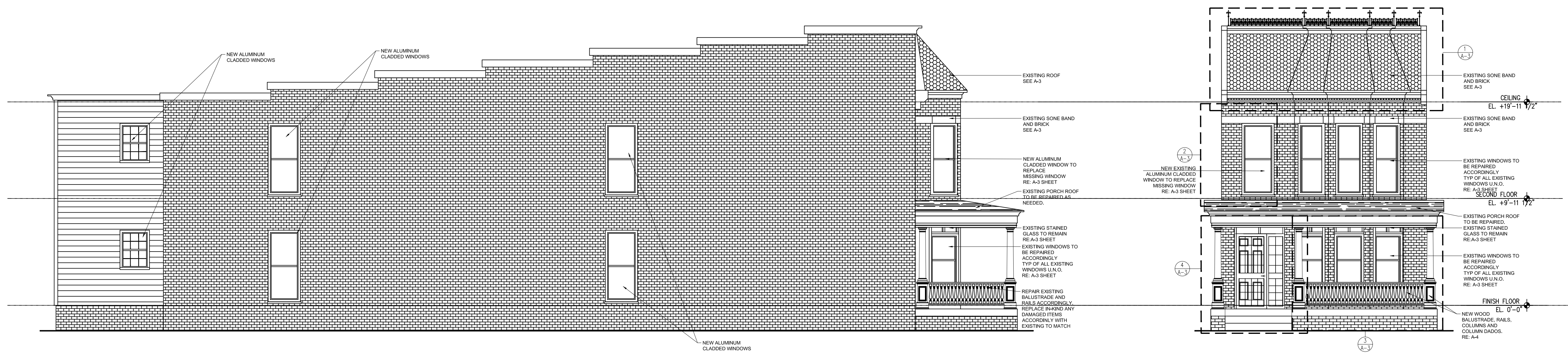
PREPARED FOR:
ATALLAH
MAHAES

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PLAN	REVISIONS	DATE

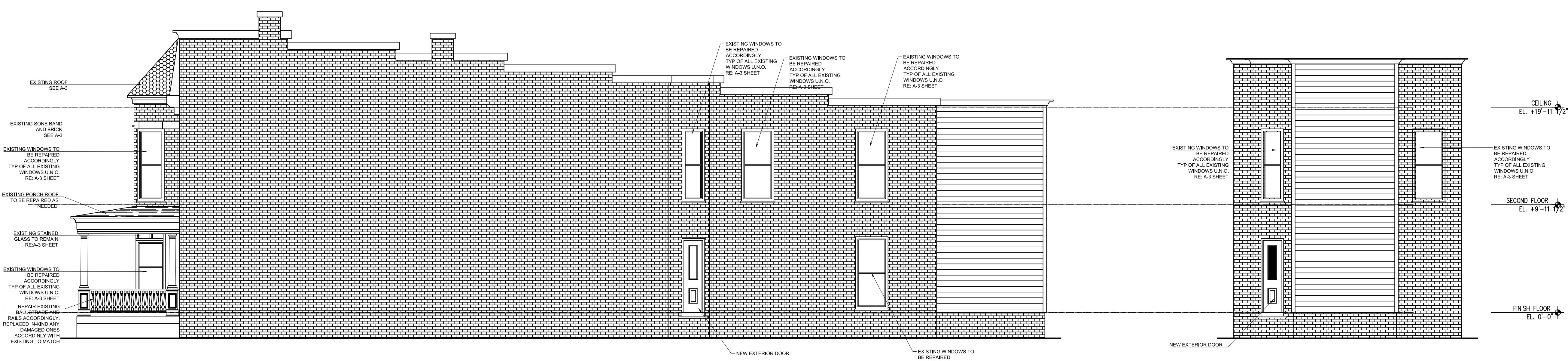
ELEVATIONS

SHEET
A-2
SCALE: AS NOTED



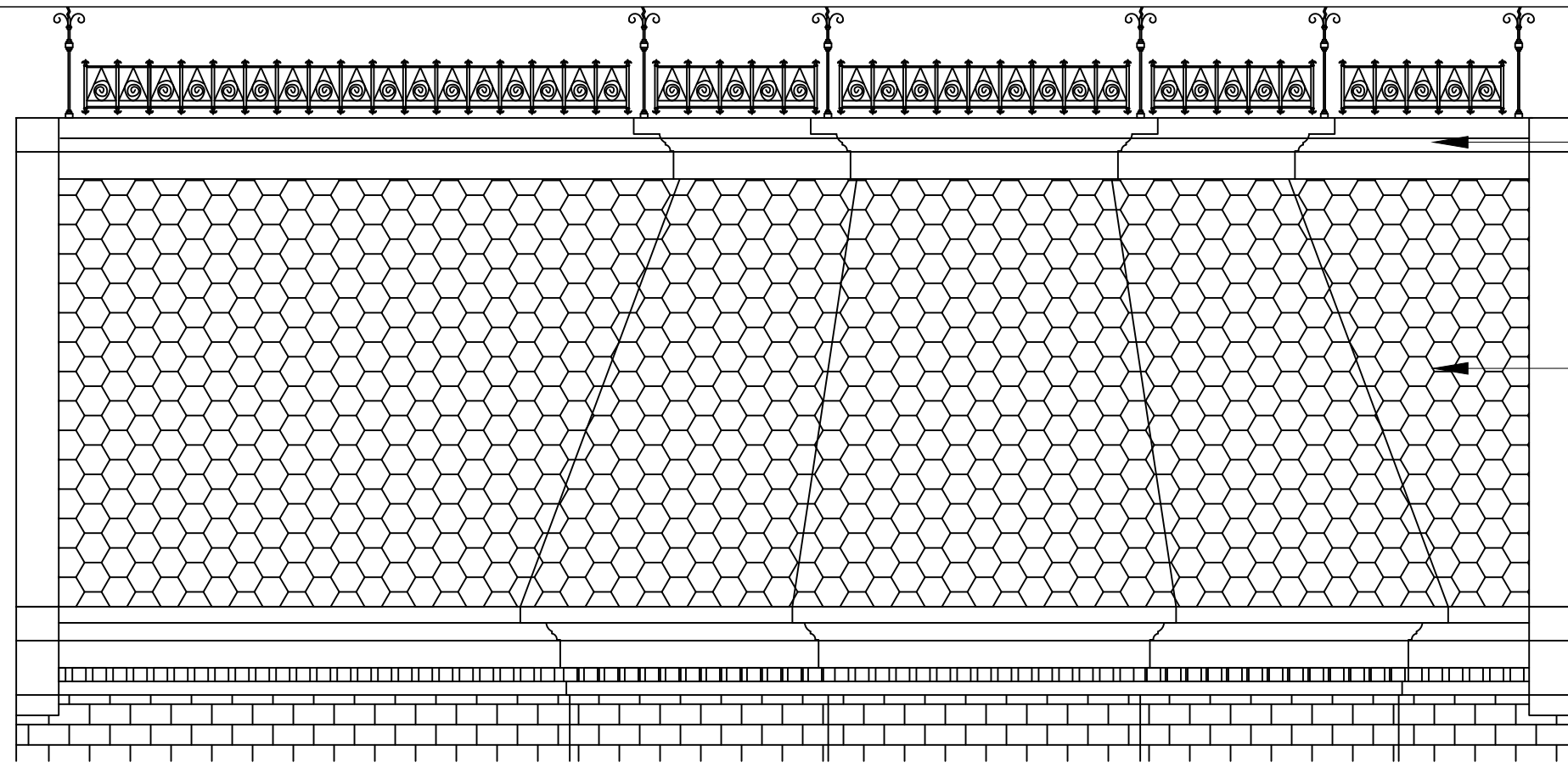
1
A-2 **RIGHT ELEVATION**
SCALE: 3/16=1'-0"

2
A-2 **FRONT ELEVATION**
SCALE: 3/16=1'-0"
SEE SHEET A-3 FOR FRONT ELEVATION
ENLARGEMENTS AND NOTES



3
A-2 **LEFT ELEVATION**
SCALE: 3/16=1'-0"

2
A-2 **REAR ELEVATION**
SCALE: 3/16=1'-0"



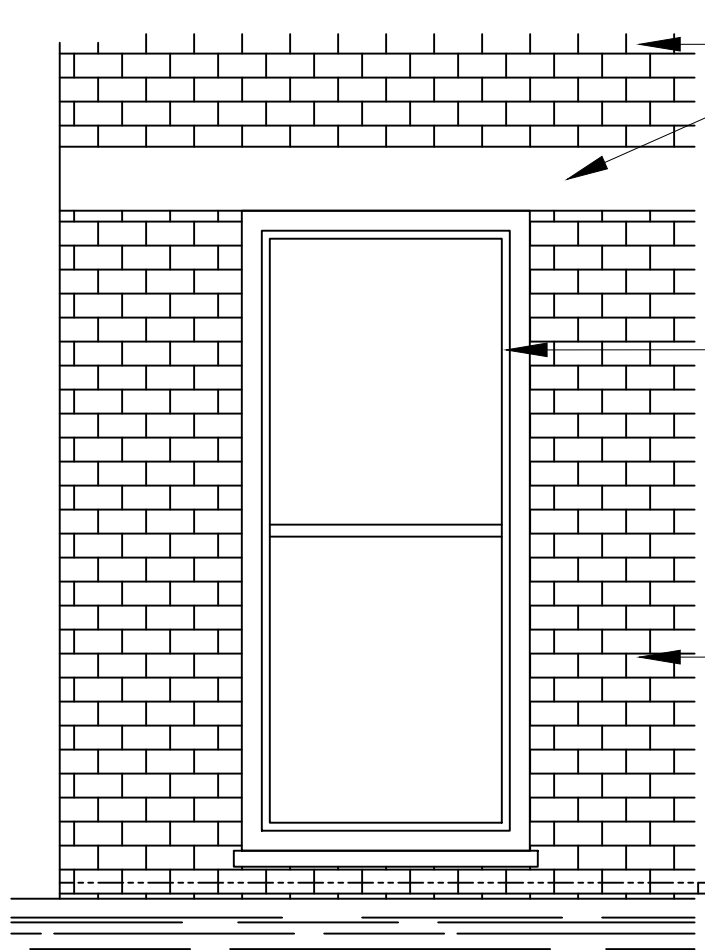
REPAINT EXISTING
CORNICES

EXISTING SLATE ROOF. REPAIR AND
REPLACE TILES AS NEEDED. INSPECT
SUPPORTING STRUCTURAL MEMBERS
TO ENSURE STRUCTURAL INTEGRITY.
SEE RECOMMENDED ROOF REPAIR
NOTES ON THIS SHEET AND SHEET A-6

1
A-3

THE BELOW RECOMMENDATIONS NOTES ARE BASED ON THE "OLD AND
HISTORIC DISTRICTS OF RICHMOND" GUIDELINES AND THE
SECRETARY OF THE INTERIOR'S "STANDARDS FOR RESTORATION
AND GUIDELINES FOR HISTORIC BUILDINGS". PLEASE REFER TO
THESE DOCUMENTS FOR MORE IN-DEPTH INFORMATION

ROOF REPAIRS RECOMMENDATION NOTES:
REPAIR EXISTING ROOFS WITH LIMITED REPLACEMENT IN-KIND
WITH EQUAL OR COMPATIBLE MATERIAL OF THOSE EXTENSIVELY
DETERIORATED OR MISSING SHINGLES.



EXISTING STONE BAND AND BRICK MASONRY
TO BE CLEANED AND REPAIRED. SEE
RECOMMENDATIONS TO WASHING/CLEANING
AND RESTORING MASONRY NOTES ON SHEET A-5

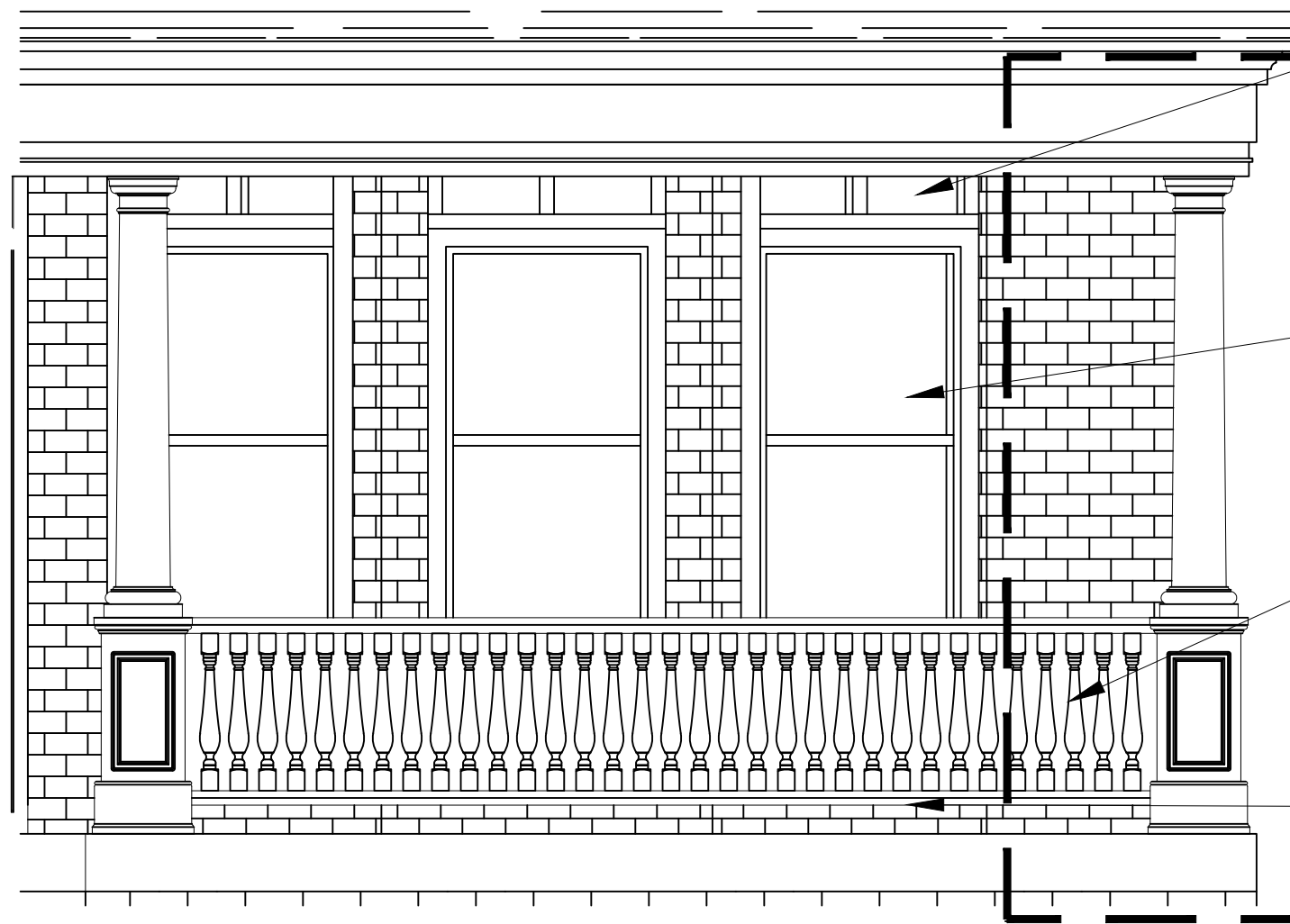
NEW ALUMINUM CLADDED DOUBLE
HUNG REPLACEMENT WINDOW
SEE NEW WINDOW NOTES ON THIS
SHEET.

EXISTING STONE BAND AND BRICK MASONRY
MORTAR RE-POINTED (IF NEEDED)
AND REPAIRED AND NEEDED.
SEE RECOMMENDATIONS TO MORTAR AND REPOINTING
MASONRY NOTES ON THIS SHEET AND SHEET A-5

2
A-3

BRICK AND STONE WASHING RECOMMENDATIONS NOTES:
CLEANING OF MASONRY SHOULD BE CARRIED OUT BY
A KNOWLEDGEABLE CONTRACTOR WHO SPECIALIZES IN
NON-INVASIVE CLEANING TECHNIQUES. THE GENTLEST
MEANS POSSIBLE INVOLVING LOW PRESSURE WATER
WITH A MILD DETERGENT IS BEST.

MORTAR RE-POINTING RECOMMENDATION NOTES:
REPLACEMENT MORTAR SHOULD DUPLICATE ORIGINAL IN STRENGTH,
COMPOSITION, COLOR TEXTURE AND PROFILE . THE RE-POINTING
SHOULD BE CARRIED OUT BY A KNOWLEDGEABLE CONTRACTOR IN HISTORIC
PRESERVATION REMOVE MORTAR BY HAND-RAKING THE JOINTS ONLY. NEVER
USE ELECTRICAL SAWS OR HAMMERS.



EXISTING GLASS STAINED GLASS TRANSOMS TO
BE CLEANED AND REPAIRED ACCORDINGLY. SEE
GLASS RECOMMENDATIONS ON THIS SHEET AND
SHEET A-6

NEW ALUMINUM CLADDED DOUBLE
HUNG REPLACEMENT WINDOWS,
PAINTED.

NEW PORCH FRONT WOOD BALUSTRADES PAINTED
WHITE TO MATCH EXISTING IN HEIGHT AND APPEARANCE.
SEE SHEET A-4 FOR MORE DETAILS.

NEW PORCH TONGUE AND GROVE PRESSURE TREATED
DECKING. SEE SHEET A-4 FOR NEW DETAILS

3
A-3

EXISTING WINDOW RECOMMENDATION NOTES:
REPAIR EXISTING WOOD FRAMES AND USE IN KIND-REPLACEMENT IF PARTS ARE
MISSING. TREATMENTS INCLUDE SURFACE CLEANING, RE-PAINTING, RE-COATING
IF NECESSARY AND APPLYING APPROPRIATE SEALANTS FOR AIR TIGHTNESS.
ORIGINAL WINDOWS SHOULD BE REPAIRED BY PATCHING, SPLICING, CONSOLIDATING
OR OTHERWISE REINFORCING THEM.
WINDOWS SHOULD BE WEATHER STRIPPED TO ENSURE ALL JOINTS ARE TIGHT AND
SEALED TO PREVENT AIR AND WATER INFILTRATION.

NEW WINDOWS RECOMMENDATION NOTES
THE ARCHITECTURAL APPEARANCE OF WINDOWS SHOULD BE USED AS
MODEL FOR NEWWINDOWS. THEY PARTICULARLY SHOULD MATCH IN HEIGHT,
TYPE, SASHES, AND MUNTINS.



EXISTING PORCH WOOD ENTABLATURE TO BE
REPAIRED. SEE WOOD RECOMMENDATIONS ON
WOOD REPAIR OR REPLACEMENT ON THIS SHEET AND
SHEET A-6

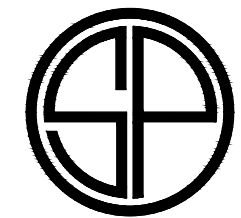
NEW WOOD DOOR WITH SIDELIGHT AND TRANSOM ABOVE.

EXISTING WOOD COLUMNS TO BE REPAIRED AS NEEDED.
SEE RECOMMENDATIONS FOR WOOD REPAIR ON THIS
SHEET AND SHEET A-6

EXISTING WOOD COLUMNS DADOS TO BE REPAIRED AS
NEEDED.SEE RECOMMENDATIONS FOR WOOD REPAIR ON ON
THIS SHEET AND SHEET A-6

4
A-3

WOOD RECOMMENDATION NOTES:
REPAIR WOOD MEMBERS BY PATCHING, PIERCING-IN CONSOLIDATING
AND USING IN-KIND REPLACEMENT OF DAMAGE PIECES AS NEEDED.



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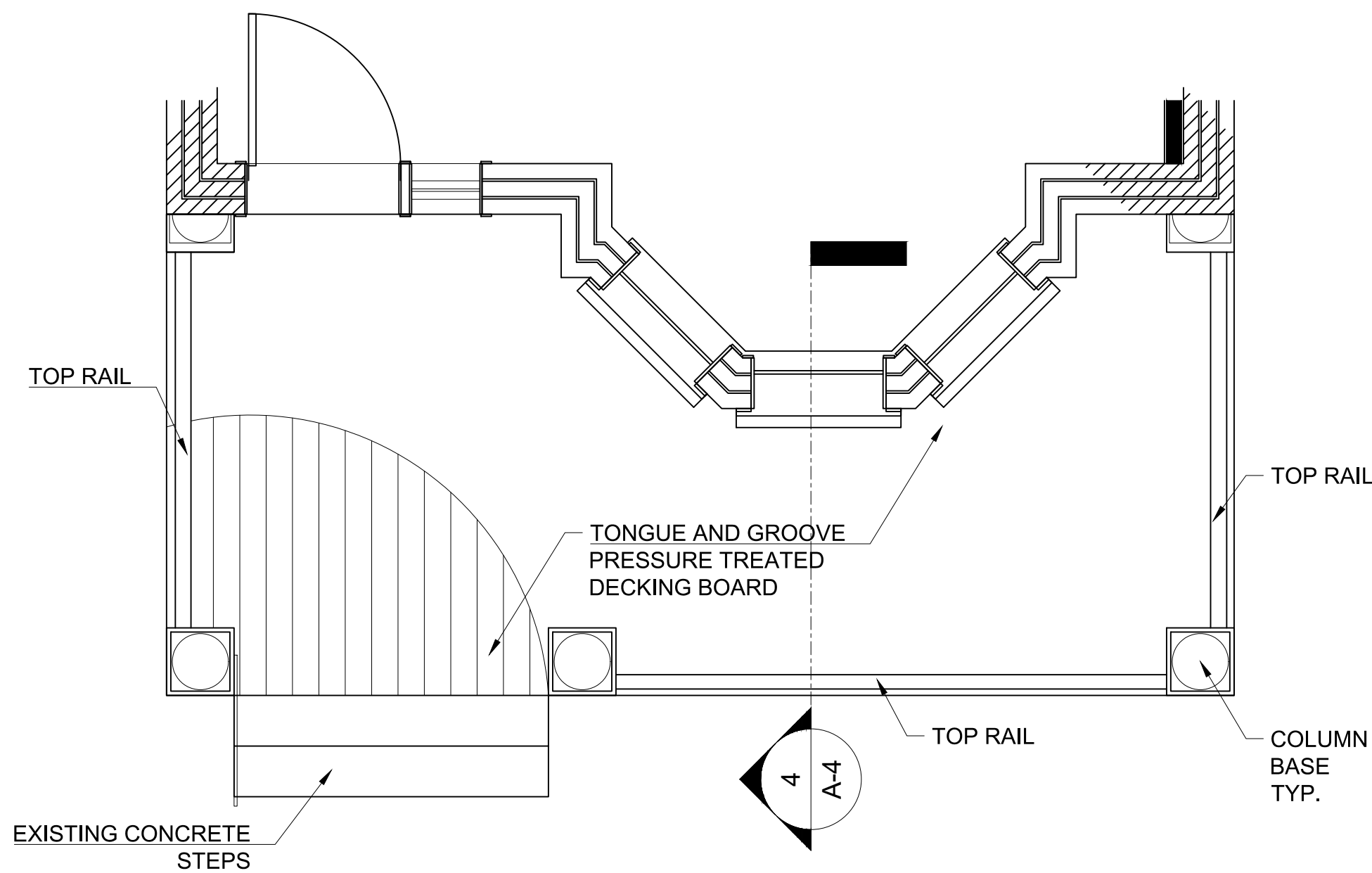
PREPARED FOR:
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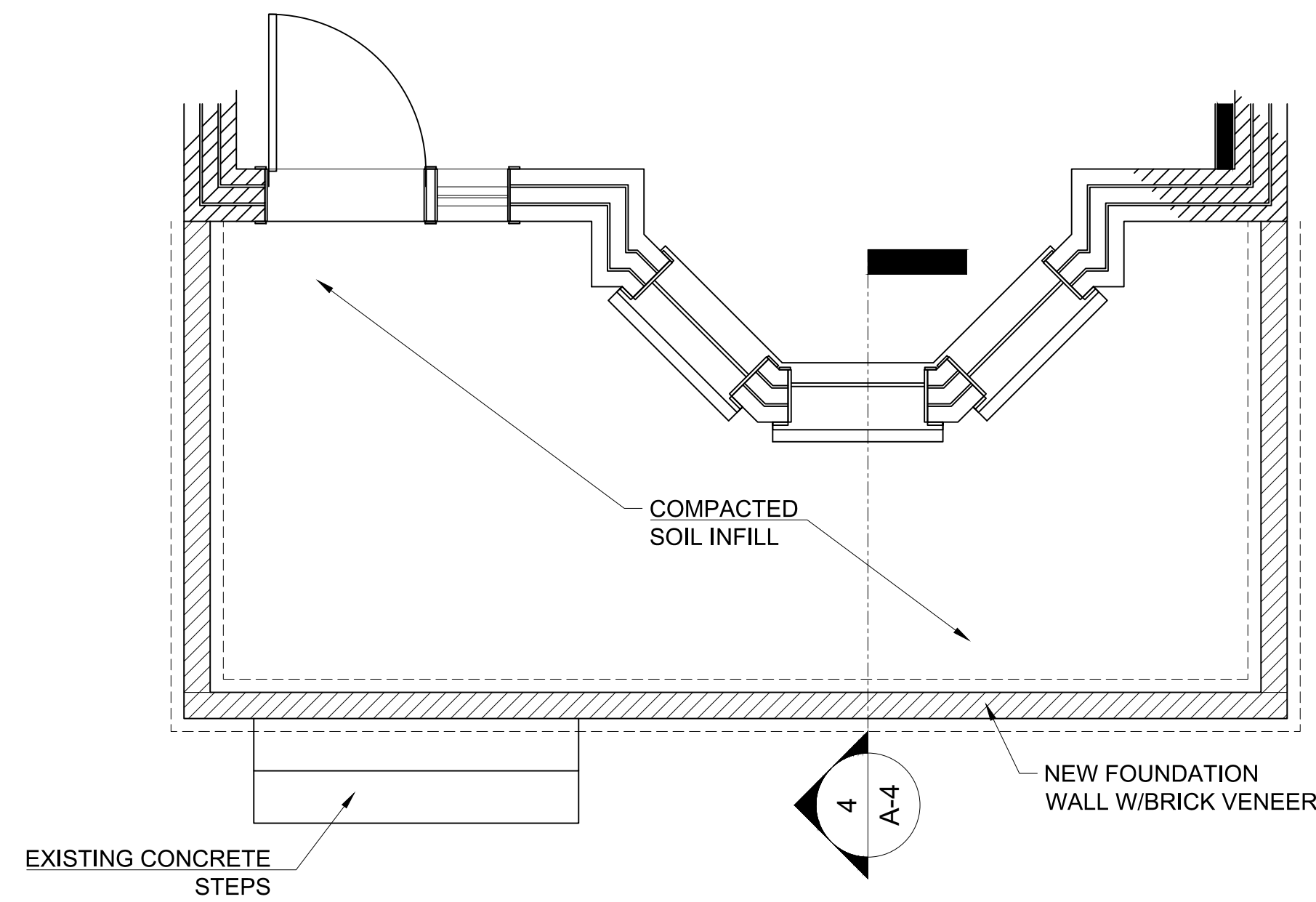
PLAN REVISIONS DATES

ELEVATIONS
ENLARGEMENTS
AND NOTES

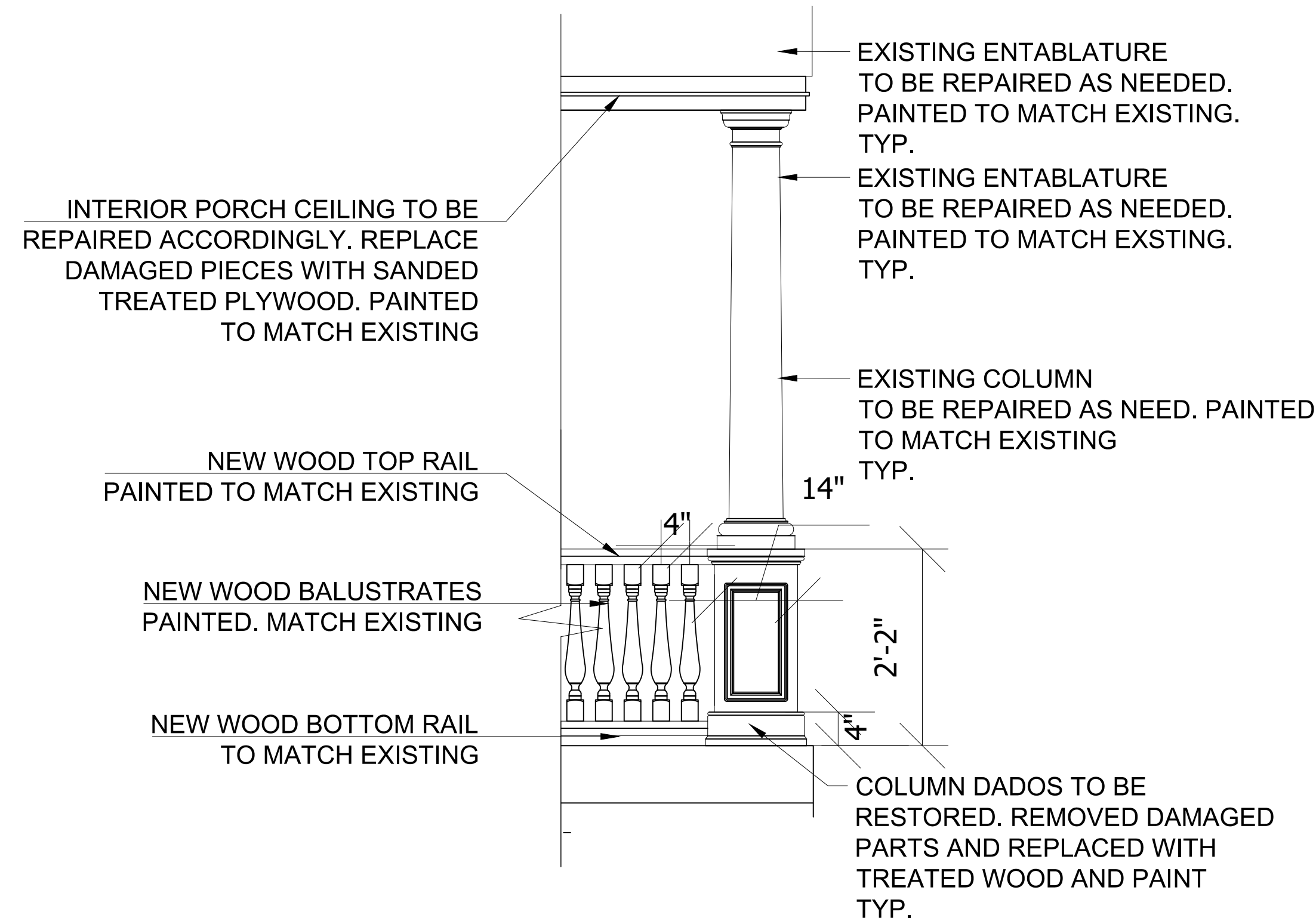
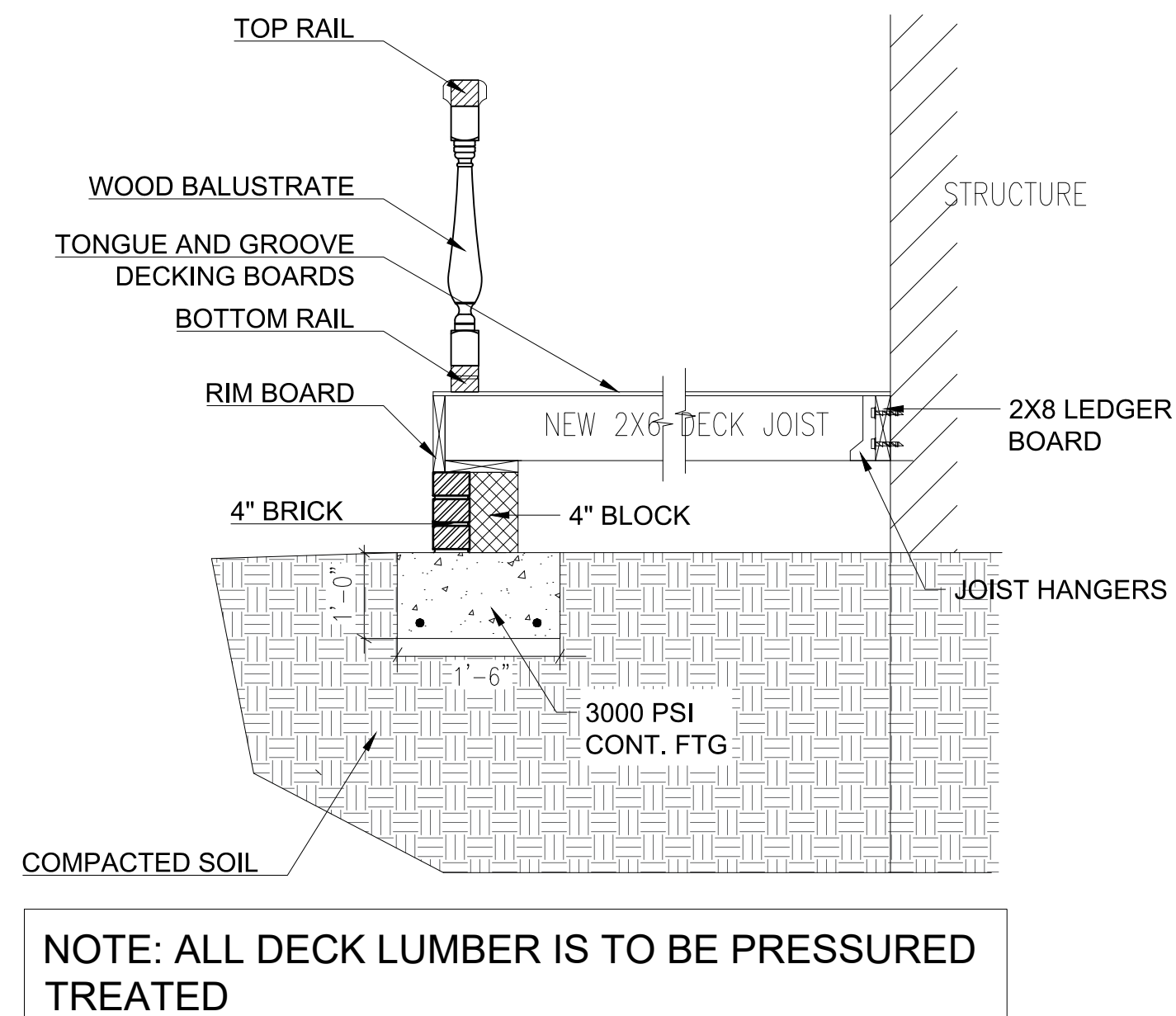
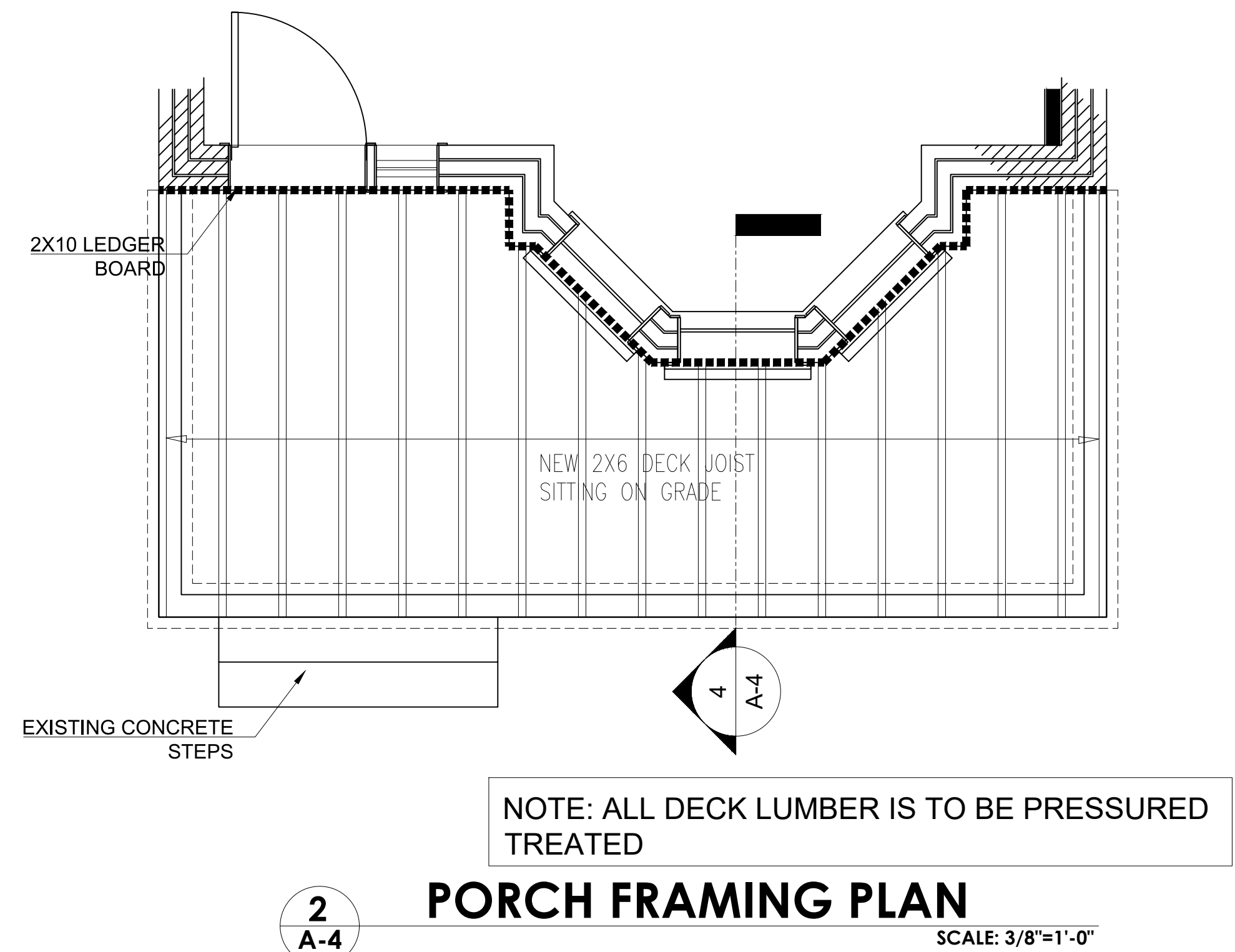
SHEET
A-3
SCALE: 1/4"=1'-0"



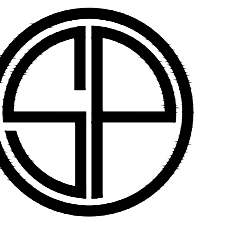
1 PORCH SURFACE PLAN
SCALE: 3/8"=1'-0"



2 PORCH FOUNDATION PLAN
SCALE: 3/8"=1'-0"



5 FRONT FACING PORCH BALUSTRATES AND COLUMN DETAILS
SCALE: 3/8"=1'-0"



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ATALLAH
MAHAES

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DOCUMENTS
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23223

PLAN REVISIONS DATES

PLANS AND
DETAILS

SHEET
A-4
SCALE: AS NOTED

MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR

RECOMMENDED	NOT RECOMMENDED
Identifying, retaining and preserving masonry features from the restoration period (such as walls, brackets, railings, cornices, window and door surrounds, steps, and columns) and decorative ornament and other details, such as tooling and bonding patterns, coatings, and color.	Altering masonry features from the restoration period. Failing to document masonry features from the restoration period, which may result in their loss. Applying paint or other coatings (such as stucco) to restoration-period masonry features, or removing them, if such treatments cannot be documented to the restoration period. Changing the type of paint or coating or the color of restoration-period masonry features, unless the work can be substantiated by historical documentation.
Protecting and maintaining masonry features from the restoration period by ensuring that historic drainage features and systems that divert rainwater from masonry surfaces (such as roof overhangs, gutters, and downspouts) are intact and functioning properly.	Failing to identify and treat the causes of masonry deterioration, such as leaking roofs and gutters or rising damp.



[1] (a) When it was acquired by the National Trust for Historic Preservation in the 1980s, Montpelier in Montpelier Station, VA, the home of James and Dolley Madison, had been much altered and enlarged since it was first constructed. Based on historical documentation and research, Montpelier was accurately restored to its 1820s appearance when the president and his wife lived there (b). Photos: Courtesy of The Montpelier Foundation.



MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR

RECOMMENDED	NOT RECOMMENDED
Cleaning masonry only when necessary to halt deterioration or remove heavy soiling.	Cleaning masonry surfaces from the restoration period when they are not heavily soiled to create a “like-new” appearance, thereby needlessly introducing chemicals or moisture into historic materials.
Carrying out masonry cleaning tests when it has been determined that cleaning is appropriate. Test areas should be examined to ensure that no damage has resulted and, ideally, monitored over a sufficient period of time to allow long-range effects to be predicted.	Cleaning masonry surfaces without testing or without sufficient time for the testing results to be evaluated.
Cleaning soiled restoration-period masonry surfaces with the gentlest method possible, such as using low-pressure water and detergent and natural bristle or other soft-bristle brushes.	Cleaning or removing paint from masonry surfaces from the restoration period using most abrasive methods (including sandblasting, other media blasting, or high-pressure water) which can damage the surface of the masonry and mortar joints. Using a cleaning or paint-removal method that involves water or liquid chemical solutions when there is any possibility of freezing temperatures. Cleaning with chemical products that will damage some types of masonry (such as using acid on limestone or marble), or failing to neutralize or rinse off chemical cleaners from masonry surfaces.
Using biodegradable or environmentally-safe cleaning or paint-removal products.	
Using paint-removal methods that employ a poultice to which paint adheres, when possible, to neatly and safely remove old lead paint.	
Using coatings that encapsulate lead paint, when possible, where paint is not required to be removed to meet environmental regulations.	
Allowing only trained conservators to use abrasive or laser cleaning methods, when necessary, to clean hard-to-reach, highly-carved, or detailed decorative stone features.	

MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR

RECOMMENDED	NOT RECOMMENDED
Removing damaged or deteriorated paint only to the next sound layer using the gentlest method possible (e.g., hand scraping) prior to repainting.	Removing paint that is firmly adhered to masonry surfaces.
Applying compatible paint coating systems to historically-painted, restoration-period masonry following proper surface preparation.	Failing to follow manufacturers’ product and application instructions when repainting masonry features.
Repainting historically-painted masonry features with colors that are documented to the restoration period of the building (i.e., verifying through paint analysis).	Using paint colors on historically-painted masonry features that are not documented to the restoration period.
Protecting adjacent restoration-period materials when cleaning or removing paint from masonry features from the restoration period.	Failing to protect adjacent restoration-period materials when cleaning or removing paint from masonry features from the restoration period.
Evaluating the overall condition of masonry from the restoration period to determine whether more than protection and maintenance, such as repairs to masonry features will be necessary.	Failing to undertake adequate measures to ensure the protection of masonry features from the restoration period.
Repairing masonry features from the restoration period by patching, splicing, consolidating, or otherwise reinforcing the masonry using recognized preservation methods. Repair may include the limited replacement in kind or with a compatible substitute material of those extensively deteriorated or missing components of masonry features from the restoration period when there are surviving prototypes (such as terra-cotta brackets or stone balusters) or when the replacement can be based on physical or historic documentation. The new work should match the old in material, design, scale, color, and finish.	Removing masonry from the restoration period that could be stabilized, repaired, and conserved, or using untested consolidants and unskilled personnel, potentially causing further damage to materials.

MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR

RECOMMENDED	NOT RECOMMENDED
Repairing masonry walls and other masonry features from the restoration period by repointing the mortar joints where there is evidence of deterioration, such as disintegrating mortar, cracks in mortar joints, loose bricks, or damaged plaster.	Removing restoration-period mortar that is not deteriorated from sound joints.
Removing deteriorated lime mortar from the restoration period carefully by hand raking the joints to avoid damaging the masonry.	



[2] (a) Decatur House in Washington, DC, was designed by William Henry Latrobe and constructed in 1816. (b) In the late-19th century, the façade was “modernized” by removing the limestone inlets on the first floor and replacing them with decorative sandstone inlets in the style of the period. (c) In the mid-20th century, the house was brought back to its original appearance based on historic documentation. Photos: The White House Historical Association and Decatur House, a National Trust Site.

MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR

RECOMMENDED	NOT RECOMMENDED
Using power tools only on horizontal joints on restoration-period brick masonry in conjunction with hand chiseling to remove hard mortar that is deteriorated or that is a non-historic material which is causing damage to the masonry units. Mechanical tools should be used only by skilled masons in limited circumstances and generally not on short, vertical joints in brick masonry.	Allowing unskilled workers to use masonry saws or mechanical tools to remove deteriorated mortar from joints prior to repointing.
Duplicating historic mortar joints in strength, composition, color, and texture when repointing is necessary. In some cases, a lime-based mortar may also be considered when repointing Portland cement mortar joints because it is more flexible.	Repointing masonry units with mortar of high Portland cement content (unless it is the content of the mortar from the restoration period).
Duplicating restoration-period mortar joints in width and joint profile when repointing is necessary.	Using “surface grouting” or a “scrub” coating technique, such as a “sack rub” or “mortar washing,” to repoint exterior masonry units from the restoration period instead of traditional repointing methods. Changing the width or joint profile when repointing masonry from the restoration period.



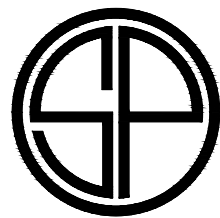
[3] Not Recommended: Although the Dutchman stone repair has been well executed, the replacement stone is not a good color match.

MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR

RECOMMENDED	NOT RECOMMENDED
Applying non-historic surface treatments, such as water-repellent coatings, to masonry from the restoration period only after repointing and only if masonry repairs have failed to arrest water penetration problems.	Applying waterproof, water-repellent, or other coatings that are not from the restoration period (such as stucco) to masonry as a substitute for repointing and masonry repairs.
Applying permeable, anti-graffiti coatings to masonry from the restoration period when appropriate.	Applying water-repellent or anti-graffiti coatings that change the historic appearance of the masonry from the restoration period or that may trap moisture if the coating is not sufficiently permeable.
Replacing in kind an entire masonry feature from the restoration period that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature. Examples can include a large section of a wall, a cornice, balustrade, pier, or parapet. If using the same kind of material is not feasible, then a compatible substitute material may be considered. The new work may be unobtrusively dated to guide future research and treatment.	Removing a masonry feature from the restoration period that is unreparable and not replacing it, or replacing it with a new feature that does not match. Using a substitute material for the replacement that does not convey the same appearance of the surviving components of the masonry.
<i>The following Restoration work is highlighted to indicate that it involves the removal or alteration of existing historic masonry features that would be retained in Preservation and Rehabilitation treatments; and the replacement of missing masonry features from the restoration period using all new materials.</i>	
Removing Existing Features from Other Historic Periods	
Removing masonry features from other historic periods, such as a door surround, porch, or steps.	Failing to remove a masonry feature from another period, thereby confusing the depiction of the building’s appearance from the restoration period.
Documenting masonry features dating from other periods prior to their alteration or removal. If possible, selected examples of these features or materials should be stored for future research.	Failing to document masonry features from other historic periods that are removed from the building so that a valuable portion of the historic record is lost.
Recreating Missing Features from the Restoration Period	
Recreating a missing masonry feature that existed during the restoration period based on documentary and physical evidence; for example, duplicating a terra-cotta bracket or stone balustrade. The new work may be unobtrusively dated to guide future research and treatment.	Constructing a masonry feature that was part of the original design for the building but was never actually built, or a feature which was thought to have existed during the restoration period but which cannot be documented.

MASONRY: STONE, BRICK, TERRA COTTA, CONCRETE, ADOBE, STUCCO, AND MORTAR

RECOMMENDED	NOT RECOMMENDED
Repairing stucco from the restoration period by removing the damaged material and patching with new material that duplicates the historic stucco in strength, composition, color, and texture.	Removing sound stucco from the restoration period or repairing with new stucco that is different in composition from the historic stucco. Patching stucco or concrete from the restoration period without removing the source of deterioration. Replacing deteriorated stucco from the restoration period with synthetic stucco, an exterior finish and insulation system (EFIS), or other non-traditional materials.
Using mud plaster or a compatible lime-plaster adobe render, when appropriate, to repair adobe from the restoration period.	Applying cement stucco, unless it already exists, to adobe from the restoration period.
Sealing joints in concrete from the restoration period with appropriate flexible sealants and backer rods, when necessary.	Repointing masonry units from the restoration period (other than concrete) with a synthetic caulking compound instead of mortar.
Cutting damaged concrete from the restoration period back to remove the source of deterioration, such as corrosion on metal reinforcement bars. The new patch must be applied carefully so that it will bond satisfactorily with and match the historic concrete.	Patching concrete from the restoration period without removing the source of deterioration.
Using a non-corrosive, stainless-steel anchoring system when replacing damaged stone, concrete, or terra-cotta units from the restoration period that have failed.	
Repairing masonry features from the restoration period by patching, splicing, consolidating, or otherwise reinforcing the masonry using recognized preservation methods. Repair may include the limited replacement in kind or with a compatible substitute material of those extensively deteriorated or missing components of masonry features from the restoration period when there are surviving prototypes (such as terra-cotta brackets or stone balusters) or when the replacement can be based on physical or historic documentation. The new work should match the old in material, design, scale, color, and finish.	Removing masonry from the restoration period that could be stabilized, repaired, and conserved, or using untested consolidants, improper repair techniques, or unskilled personnel, potentially causing further damage to materials. Replacing an entire masonry feature from the restoration period, such as a cornice or balustrade, when repair of the masonry and limited replacement of deteriorated or missing components are appropriate.



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PLAN REVISIONS DATES

RESTORATION
STANDARDS
GUIDELINES

SHEET
A-5

SCALE: AS NOTED

RESTORATION

ROOFS

RECOMMENDED	NOT RECOMMENDED
Repairing a roof from the restoration period by reinforcing the materials that comprise the roof using recognized preservation methods. Repair may include the limited replacement in kind or with a compatible substitute material of those extensively deteriorated or missing components of features when there are surviving prototypes (such as cupola louvers, cresting, dormer roofing, roof monitors, or slate or tile on a main roof) or when replacement can be based on physical or historic documentation. The new work should match the old in materials, design, scale, color, and finish.	Replacing an entire roof feature from the restoration period, such as a dormer, when repair of the roofing materials and limited replacement of deteriorated or missing components are feasible.
Replacing in kind an entire roof covering or feature from the restoration period that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. Examples of such a feature could include a large section of roofing, a dormer, or a chimney. If using the same kind of material is not feasible, then a compatible substitute material may be appropriate.	Failing to reuse intact slate or tile from the restoration period when only the roofing substrate or fasteners need replacement.
The following Restoration work is highlighted to indicate that it involves the removal or alteration of existing historic masonry features that would be retained in Preservation and Rehabilitation treatments; and the replacement of missing roof features from the restoration period using all new materials.	
Removing Existing Features from Other Historic Periods	
Removing roofs or roof features from other historic periods, such as a dormer or asphalt roofing.	Failing to remove a roof feature from another period, thereby confusing the depiction of the building's appearance from the restoration period.
Documenting roof features dating from other periods prior to their alteration or removal. If possible, selected examples of these features or materials should be stored for future research.	Failing to document roofing materials and roof features from other historic periods that are removed from the building so that a valuable portion of the historic record is lost.
Recreating Missing Features from the Restoration Period	
Recreating a missing roofing material or roof feature that existed during the restoration period based on documentary and physical evidence; for example, duplicating a former dormer or cupola.	Constructing a roof feature that was part of the original design for the building but was never actually built, or a feature which was thought to have existed during the restoration period but cannot be documented.

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RESTORATION

WOOD: CLAPBOARD, WEATHERBOARD, SHINGLES, AND OTHER FUNCTIONAL AND DECORATIVE ELEMENTS

RECOMMENDED	NOT RECOMMENDED
Identifying, retaining, and preserving wood features from the restoration period (such as siding, cornices, brackets, window and door surrounds, and steps) and their paints, finishes, and colors.	Altering wood features from the restoration period.
	Failing to document wood features from the restoration period, which may result in their loss.
	Applying paint or other coatings to restoration-period wood features, or removing them, if such treatments cannot be documented to the restoration period.
	Changing the type of paint or coating or the color of restoration-period wood features, unless the work can be substantiated by historical documentation.
Protecting and maintaining wood features from the restoration period by ensuring that historic drainage features that divert rain-water from wood surfaces (such as roof overhangs, gutters, and downspouts) are intact and functioning properly.	Failing to identify and treat the causes of wood deterioration, such as faulty flashing, leaking gutters, cracks and holes in siding, deteriorated caulking in joints and seams, plant material growing too close to wood surfaces, or insect or fungal infestation.
Applying chemical preservatives or paint to wood features from the restoration period that are subject to weathering, such as exposed beam ends, outriggers, or rafter tails.	Using chemical preservatives that can change the appearance of wood features from the restoration period.
Implementing an integrated pest management plan to identify appropriate preventive measures to guard against insect damage, such as installing termite guards, fumigating, and treating with chemicals.	
Retaining coatings from the restoration period (such as paint) that protect the wood from moisture and ultraviolet light. Paint removal should be considered only when there is paint surface deterioration and as part of an overall maintenance program which involves repainting or applying other appropriate coatings.	Stripping restoration-period paint or other coatings from wood features without recoating them.
Using biodegradable or environmentally-safe cleaning or paint-removal products.	

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RESTORATION

WOOD: CLAPBOARD, WEATHERBOARD, SHINGLES, AND OTHER FUNCTIONAL AND DECORATIVE ELEMENTS

RECOMMENDED	NOT RECOMMENDED
The following Restoration work is highlighted to indicate that it involves the removal or alteration of existing historic masonry features that would be retained in Preservation and Rehabilitation treatments; and the replacement of missing wood features from the restoration period using all new materials.	
Removing Existing Features from Other Historic Periods	
Removing wood features from other historic periods, such as a door surround, porch, or steps.	Failing to remove a wood feature from another period, thereby confusing the depiction of the building's appearance from the restoration period.
Documenting wood features dating from other periods prior to their alteration or removal. If possible, selected examples of these features or materials should be stored for future research.	Failing to document wood features from other historic periods that are removed from the building so that a valuable portion of the historic record is lost.
Recreating Missing Features from the Restoration Period	
Recreating a missing wood feature that existed during the restoration period based on documentary and physical evidence; for example, duplicating a wood dormer or porch	Constructing a wood feature that was part of the original design for the building but was never actually built, or a feature which was thought to have existed during the restoration period but cannot be documented.

(5) New wood trim pieces were milled to match the few remaining historic features to replace those that were missing.

RESTORATION

WOOD

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RESTORATION

WINDOWS

RECOMMENDED	NOT RECOMMENDED
Using thermal devices (such as infrared heaters) carefully to remove paint, when it is so deteriorated that total removal is necessary prior to repainting.	Using a thermal device to remove paint from wood features without first checking for and removing any flammable debris behind them.
	Using thermal devices without limiting the amount of time the wood is exposed to heat.
Using paint-removal methods that employ a poultice to which paint adheres, when possible, to neatly and safely remove old lead paint.	
Using coatings that encapsulate lead paint, when possible, where the paint is not required to be removed to meet environmental regulations.	
Using chemical strippers primarily to supplement other methods such as hand scraping, hand sanding, and thermal devices.	Failing to neutralize the wood thoroughly after using chemical paint removers so that new paint may not adhere.
	Removing paint from detachable, restoration-period wood features by soaking them in a caustic solution which can roughen the surface, split the wood, or result in staining from residual acid leaching out through the wood.
Removing damaged or deteriorated paint to the next sound layer using the gentlest method possible (e.g., hand scraping and hand sanding) prior to repainting.	Using potentially-damaging paint-removal methods on restoration-period wood surfaces, such as open-flame torches, orbital sanders, abrasive methods (including sandblasting, other media blasting, or high-pressure water), or caustic paint-removers.
	Removing paint that is firmly adhered to wood surfaces.
Applying compatible paint coating systems to historically-painted wood following proper surface preparation.	Failing to follow manufacturers' product and application instructions when repainting wood features from the restoration period.
Repainting historically-painted wood features with colors that are documented to the restoration period of the building (i.e., verifying through paint analysis).	Using paint colors on historically-painted wood features that are not documented to the restoration period.

(9) Historic window and shutter hardware such as that shown here should be retained and repaired in a restoration project.

RESTORATION

WOOD

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RESTORATION

WINDOWS

RECOMMENDED	NOT RECOMMENDED
Identifying, retaining, and preserving windows from the restoration period and their functional and decorative features. The window material and how the window operates (e.g., double hung, casement, awning, or hopper) are significant, as are its components (including sash, muntins, ogee lugs, glazing, pane configuration, sills, mullions, hardware, casings or brick molds) and related features, such as shutters.	Altering windows or window features from the restoration period.
	Failing to document window features from the restoration period, which may result in their loss.
	Applying paint or other coatings to restoration-period window features, or removing them, if such treatments cannot be documented to the restoration period.
	Changing the type of paint or coating or the color of restoration-period windows, unless the work can be substantiated by historical documentation.
	Stripping windows of sound historic material (such as wood or metal) from the restoration period.
Conducting an in-depth survey of the condition of existing windows from the restoration period early in the planning process so that repair, upgrading, and, if necessary, possible replacement options can be fully explored.	Replacing windows from the restoration period solely because of peeling paint, broken glass, stuck sash, or high air infiltration. These conditions, in themselves, do not indicate that windows are beyond repair.
Protecting and maintaining the restoration-period wood or metal which comprises the window jamb, sash, and trim through appropriate surface treatments such as cleaning, paint removal, and reapplication of the same protective coatings.	Failing to protect and maintain window materials from the restoration period on a cyclical basis so that deterioration of the window results.
Protecting windows from the restoration period against vandalism before work begins by covering them and by installing alarm systems that are keyed into local protection agencies.	Leaving windows unprotected before work begins, thereby also allowing the interior to be damaged if it can be accessed through unprotected windows.
Installing impact-resistant glazing, when necessary for security, so that it is compatible with the historic windows from the restoration period and does not damage them or negatively impact their character.	Installing impact-resistant glazing, when necessary, for security that is not compatible with the historic windows from the restoration period and damages them or negatively impacts their character.

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RESTORATION

WOOD: CLAPBOARD, WEATHERBOARD, SHINGLES, AND OTHER FUNCTIONAL AND DECORATIVE ELEMENTS

RECOMMENDED	NOT RECOMMENDED
Protecting restoration-period windows when working on other features of the building.	Failing to protect restoration-period windows when working on other features of the building.
Protecting and retaining historic glass from the restoration period when replacing putty or repairing other components of the window.	Failing to protect historic glass from the restoration period when making repairs.
Sustaining the historic operability of windows from the restoration period by lubricating friction points and replacing broken components of the operating system (such as hinges, latches, sash chains or cords) and replacing deteriorated gaskets or insulating units.	Failing to maintain windows and window components from the restoration period so that windows are inoperable, or sealing operable sash permanently.
	Failing to repair and reuse window hardware from the restoration period, such as sash lifts, latches, and locks.
Evaluating the overall condition of windows from the restoration period to determine whether more than protection and maintenance, such as repairs to windows and window features, will be necessary.	Failing to undertake adequate measures to ensure the protection of window features from the restoration period.
Repairing window frames and sash from the restoration period by patching, splicing, consolidating, or otherwise reinforcing them using recognized preservation methods. Repair may include the limited replacement in kind or with a compatible substitute material of those extensively deteriorated, broken, or missing components of windows when there are surviving prototypes (such as sash, sills, hardware, or shutters) or when the replacement can be based on physical or historic documentation. The new work should match the old in material, design, scale, color, and finish.	Replacing an entire window from the restoration period when repair of materials and limited replacement in kind are appropriate.
	Removing a window from the restoration period that is unrepairable and not replacing it, or replacing it with a new window that does not match.

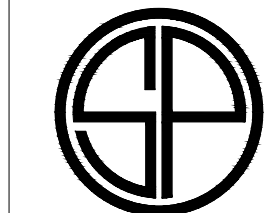
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RESTORATION

WINDOWS

RECOMMENDED	NOT RECOMMENDED
Replacing in kind an entire window from the restoration period that is too deteriorated to repair (if the overall form and detailing are still evident) using the physical evidence as a model to reproduce the feature or when the replacement can be based on historic documentation. If using the same kind of material is not feasible, then a compatible substitute material may be considered. The new work may be unobtrusively dated to guide future research and treatment.	Removing a window from the restoration period that is unrepairable and not replacing it, or replacing it with a new window that does not match.
	Using substitute material for the replacement that does not convey the same appearance of the surviving components of the window from the restoration period or that is physically incompatible.
The following Restoration work is highlighted to indicate that it involves the removal or alteration of existing historic masonry features that would be retained in Preservation and Rehabilitation treatments; and the replacement of missing window features from the restoration period using all new materials.	
Removing Existing Features from Other Historic Periods	
Removing windows or window features from other historic period, such as the glazing pattern or inappropriate shutters.	Failing to remove a window or window feature from another period, thereby confusing the depiction of the building's appearance from the restoration period.
Documenting window features dating from other periods prior to their alteration or removal. If possible, selected examples of these features or materials should be stored for future research.	Failing to document window features from other historic periods that are removed from the building so that a valuable portion of the historic record is lost.
Recreating Missing Features from the Restoration Period	
Recreating a missing window or window feature that existed during the restoration period based on documentary and physical evidence; for example, duplicating a hoodmold or shutter.	Constructing a window feature that was part of the original design for the building but was never actually built, or constructing a feature which was thought to have existed during the restoration period but cannot be documented.

18788 WINDOWS



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SHEET
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SCALE: AS NOTED