



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION / CERTIFICATE OF APPROPRIATENESS

PROPERTY (Location of Work)

Address 320 N. 32nd St.

Historic District St. John's Church

PROPOSED ACTION

- Alteration (including paint colors)
 Rehabilitation
 Demolition
 Addition
 New Construction (Conceptual Review required)
 Conceptual Review
 Final Review

OWNER

Name PROGRESS REALTY GROUP LLC

Company _____

Mailing Address 409 E. Main St, Suite 100
Richmond, VA 23219

Phone (804) 938-9001

Email C.POLLOCK@URBANCOREVA.COM

Signature *C. Pollock*

Date 7/24/17

APPLICANT (if other than owner)

Name _____

Company _____

Mailing Address _____

Phone _____

Email _____

Signature _____

Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

(Space below for staff use only) _____

Application received:

Date/Time _____

Complete Yes No

By _____

320 N 32nd St.: Fiber Cement Siding

A large investment was made to build a mixed use building on a formerly vacant lot on the corner of 32nd & Marshall as well as completely replace the brick city sidewalk. In error, the fiber cement siding was installed with the wood grain showing. In an attempt to make this right we have replaced the most prominent location, and are hoping the commission can understand our error and allow the rest to remain.

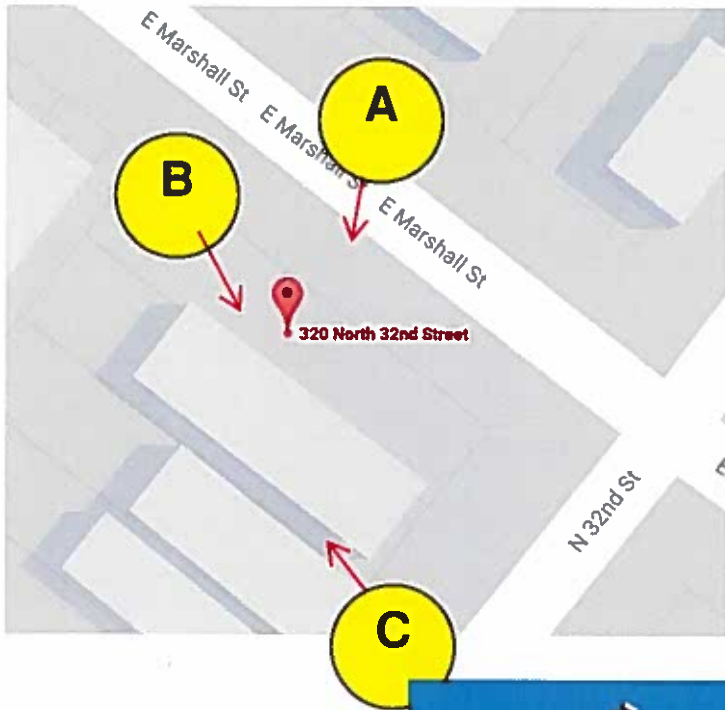


Photo A Shows Marshall St. Elevation, fiber cement siding was replaced to be smooth since this is the prominent and most visible elevation on the building where there is siding.



B

Photo B Shows the largest elevation, up against the property line of 318 N 32nd St. This wood grain remains, it was painted a darker approved color in order to attempt to reduce visibility of wood grain. Space between buildings has no public access use, and is 5' at it's widest.

C

Photo C shows the same elevation, from 32nd St. There is a small 4' section of elevation that faces 32nd St. as well.

