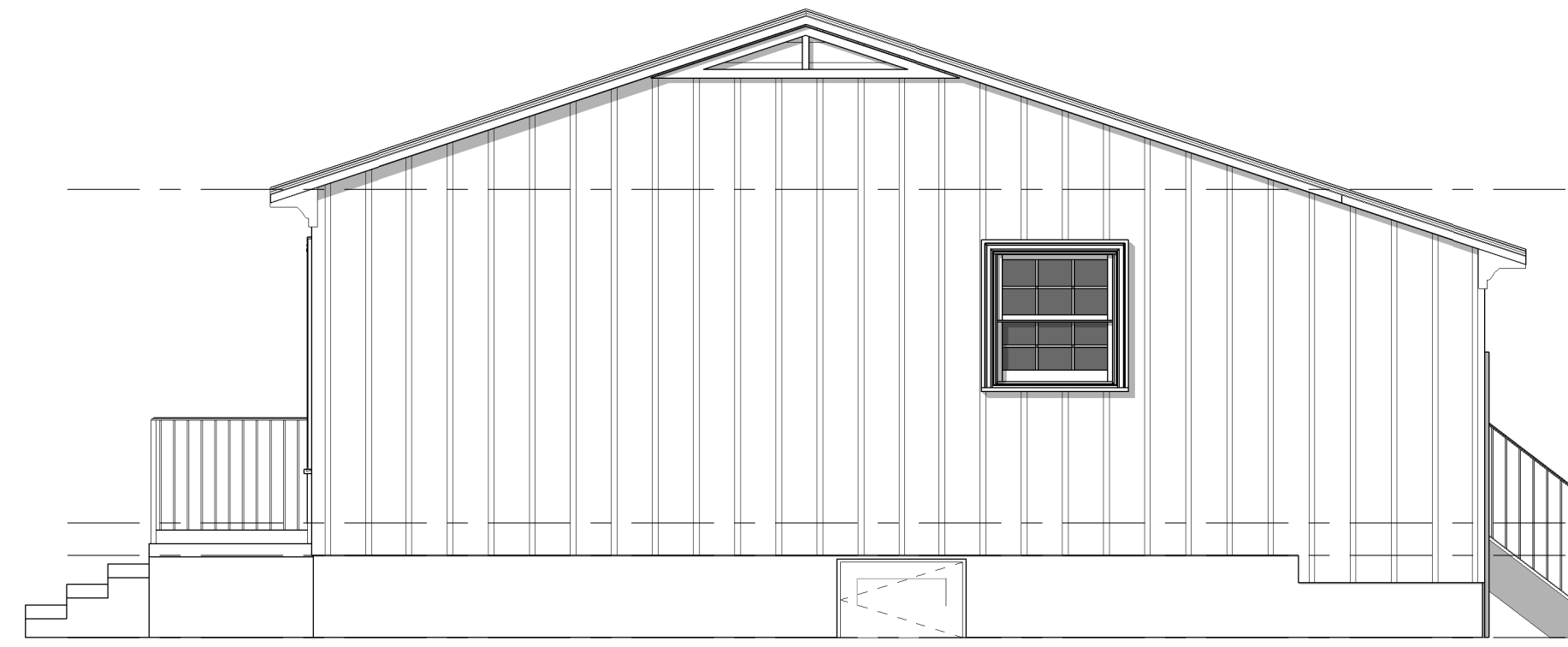


**GENERAL NOTES**

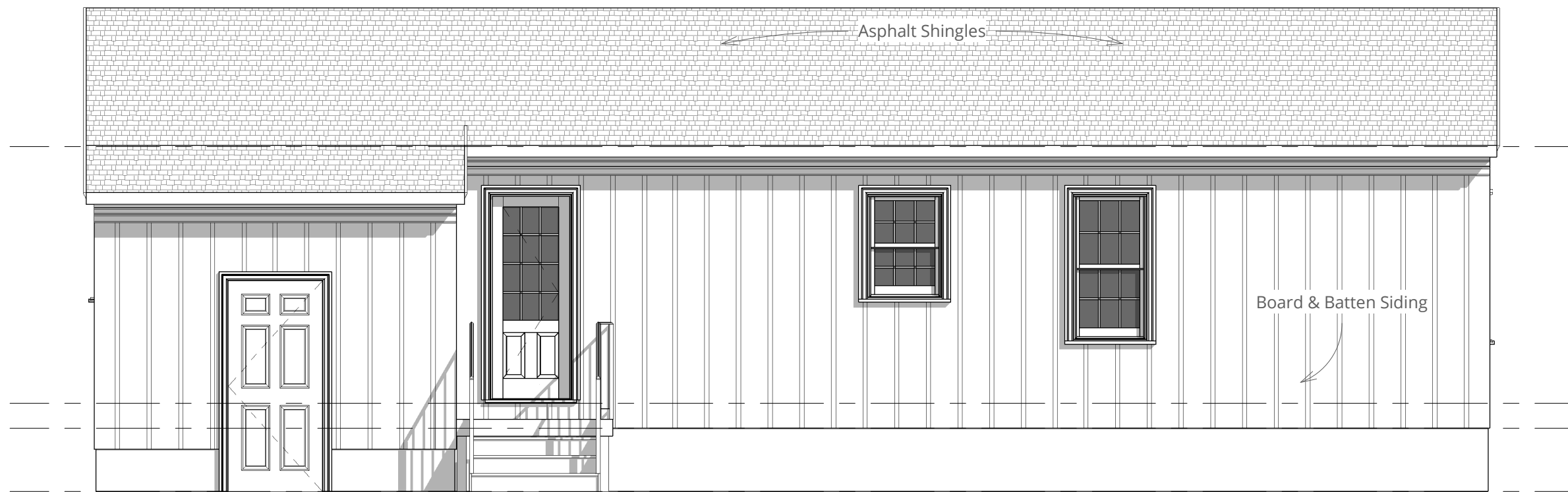
- All work for this project shall conform with all governing laws, codes, & ordinances including, but not limited to, the 2012 International Residential Code and the 2012 Virginia Residential Code.
- The builder/contractor shall be solely responsible for all means and methods of construction. This shall specifically include on-site procedures as they relate to the safety of the construction crew and the general public.
- The builder/contractor shall take special care to protect any existing structures to avoid any damage relating to work during this project.
- The builder/contractor shall provide clean-up of debris and trash at regular intervals in order to keep the site and work areas reasonably clean of unsafe and unsightly accumulation.
- The builder/contractor shall also provide a professional cleaning at project completion.
- Actual finish floor area will vary. Actual finish dimensions are not shown and will vary.
- All rights in and to these drawings are owned by CarriageStone Cottage & Home Design, LLC, a Virginia LLC. They shall not be reproduced, modified, or revised in any way without the written consent from, and proper compensation to, CarriageStone Cottage & Home Design, LLC. Any use of these drawings is strictly prohibited unless pursuant to an authorized and paid for CarriageStone Cottage & Home Design, LLC LICENSE AGREEMENT. The use hereof is subject to agreement to the terms, qualifications, and conditions thereon. CarriageStone Cottage & Home Design, LLC shall protect this right and be reimbursed for all legal and court costs, etc., for any necessary protection of the drawings.
- Parties utilizing any aspect of these drawings are responsible for consulting with qualified builders/contractors, engineers, and other professionals regarding the feasibility, legality, and safety of using these drawings. The use of these drawings are at one's own risk and their user waives any claims thereon.
- Submission of these drawings to any public body for any use does not release in any way the copyright and ownership of drawings provisions listed herein.



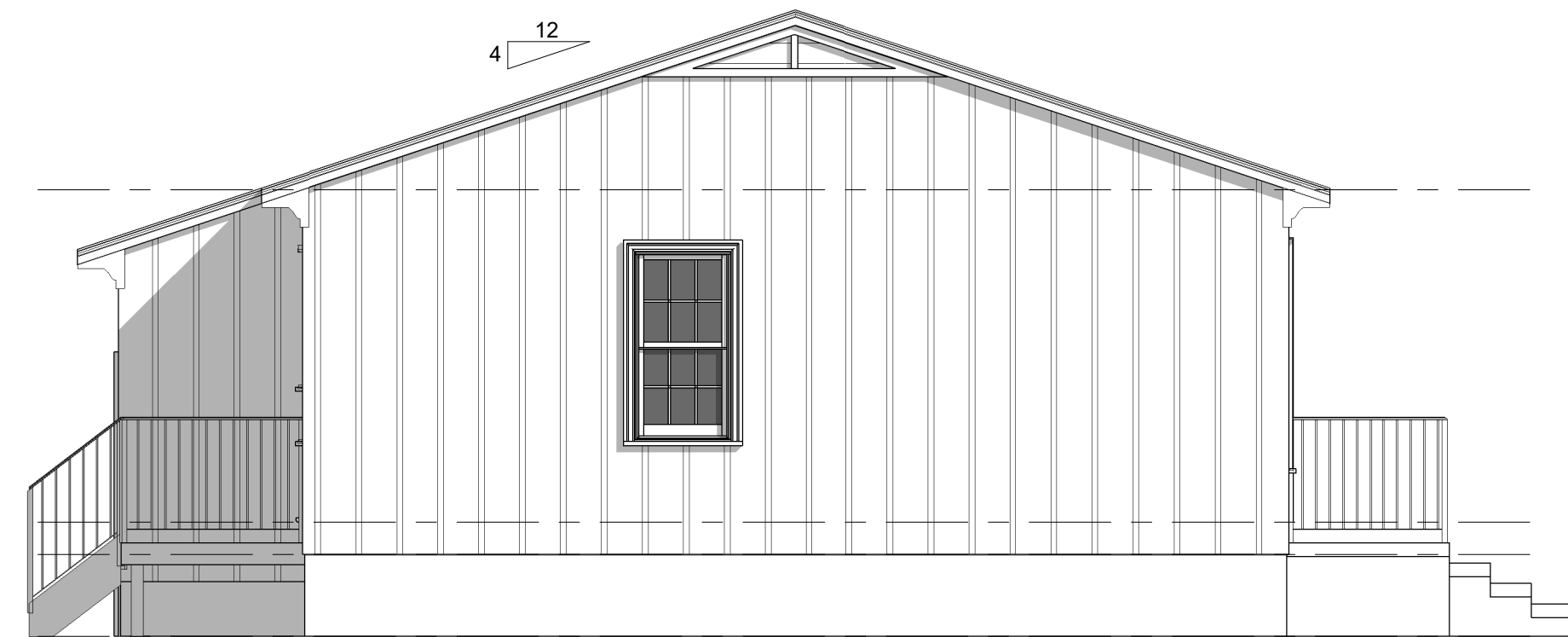
**RIGHT ELEVATION**  
1/4" = 1'-0"



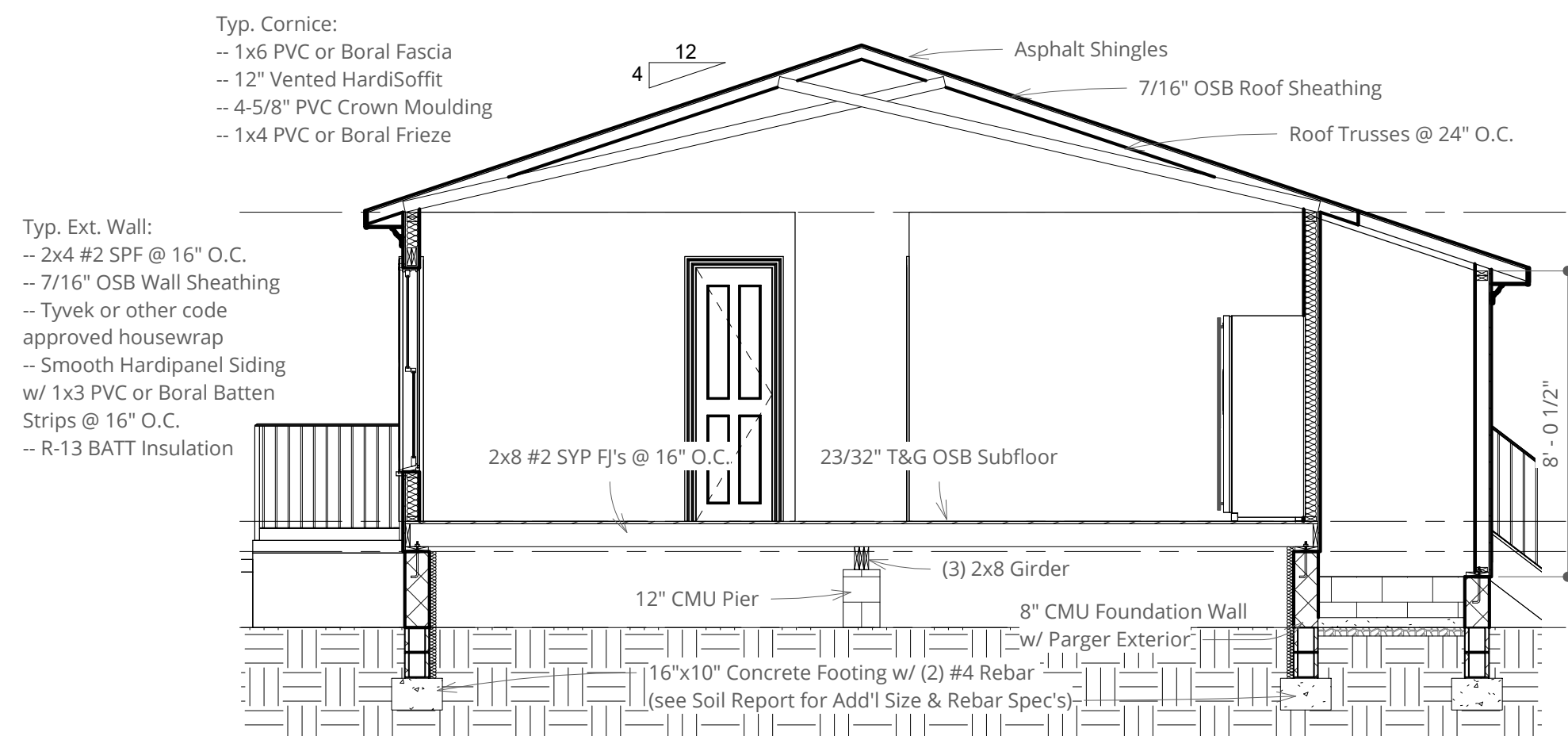
**FRONT ELEVATION**  
1/4" = 1'-0"



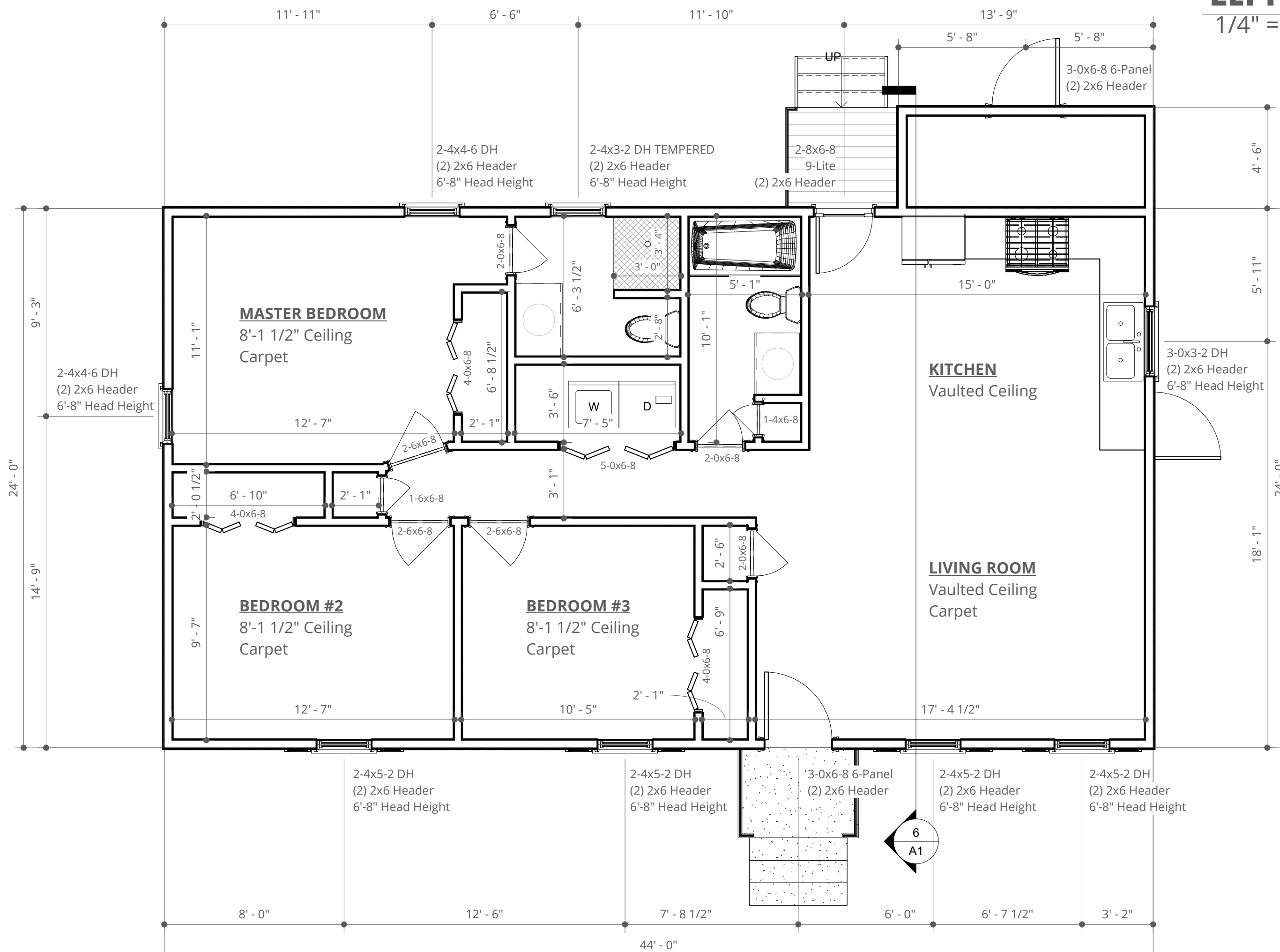
**REAR ELEVATION**  
1/4" = 1'-0"



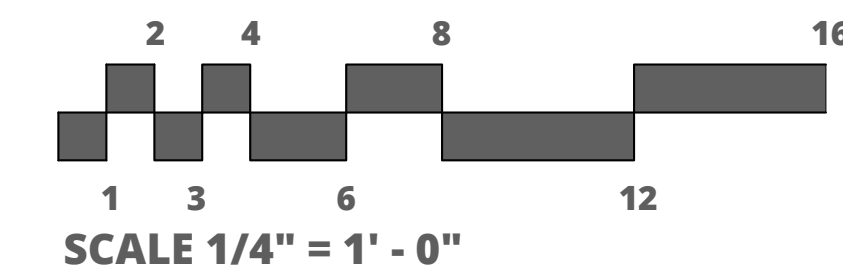
**LEFT ELEVATION**  
1/4" = 1'-0"



**SECTION THROUGH LR & KITCHEN**  
1/4" = 1'-0"



**FIRST FLOOR**  
1/4" = 1'-0"



**CarriageStone**  
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www.CarriageStone.com

Issue Date: 2-13-19  
Rev. Date:

Drawn by: Donald L. Files, Jr.

**1206 Jahnke Road**  
Gardner Construction  
1206 Jahnke Road  
Richmond, VA

Elevations

**A1**

Project Number 2019.618  
Scale 1/4" = 1'-0"

### INSULATION NOTES

#### Requirements for Climate Zone 4

Fenestration U-Factor	.35
Skylight U-Factor	.55
Ceiling R-Value	38

- Exceptions:
- N1102.2.1 Ceilings with attic spaces.**  
When Section N1102.1.1 would require R-38 in the ceiling, installing R-30 over 100 percent of the ceiling area shall be deemed to satisfy the requirement for R-38 wherever the full height of uncompressed R-30 insulation extends over the wall top plate at the eaves. Similarly, when Section N1102.1.1 would require R-49 in the ceiling, installing R-38 over 100 percent of the ceiling area shall be deemed to satisfy the requirement for R-49 wherever the full height of uncompressed R-38 insulation extends over the wall top plate at the eaves. This reduction shall not apply to the U-factor alternative approach in Section N1102.1.3 and the total UA alternative in Section N1102.1.4.
- N1102.2.2 Ceilings without attic spaces.**  
Where Section N1102.1.1 would require insulation levels above R-30 and the design of the roof/ceiling assembly does not allow sufficient space for the required insulation, the minimum required insulation for such roof/ceiling assemblies shall be R-30. This reduction of insulation from the requirements of Section N1102.1.1 shall be limited to 500 square feet (46 m<sup>2</sup>) or 20 percent of the total insulated ceiling area, whichever is less. This reduction shall not apply to the U-factor alternative approach in Section N1102.1.3 and the total UA alternative in Section N1102.1.4.

Wood Frame Wall R-Value	13
Mass Wall R-Value	8
Floor R-Value	19
Basement Wall R-Value	10/13 (The first R-Value applies to continuous insulation, the second to framing cavity insulation; either insulation meets the requirement.)
Slab R-Value and Depth	10, 2 ft.
Crawl Space Wall R-Value	10/13 (The first R-Value applies to continuous insulation, the second to framing cavity insulation; either insulation meets the requirement.)

### FRAMING NOTES

- Exterior dimensions are to face of masonry or wall sheathing.
- Interior dimensions are to face of studs.
- On an Addition or Renovation project, shaded walls indicate existing walls that shall remain.
- Solid bearing within walls indicated by shaded marks.
- Sleeping Room spans are based on 30# per square foot Live Load and 10# per square foot Dead Load. All Other Room spans are based on 40# per square foot Live Load and 10# per square foot Dead Load. Roof rafters are based on 20# per square foot Live Load and 10# per square foot Dead Load.
- Unless otherwise noted, #2SYP is assumed for all framing lumber when calculating maximum spans.
- Unless otherwise noted, all stud framing is assumed to be #2 SPF.
- Provide pressure treated sill plates, anchored to the foundation with anchor bolts spaced at maximum of 6 feet on center. There shall be a minimum of two bolts per plate section with one bolt located no more than 12 inches, or less than seven bolt diameters, from each end of the plate section. A nut and washer shall be tightened on each bolt of the plate.
- Provide pressure treated lumber for all beams and members within 12" of finished grade.
- Provide pressure treated band board and sill wherever any decks meets the house.
- All metal fasteners and connectors into pressure treated lumber must be listed "ACQ Approved" Hot Dipped Galvanized or Stainless Steel.
- Double joists under all parallel partitions or cabinetry.
- Unless otherwise noted, all sawn lumber headers/beams to receive (2) jack studs and (1) king stud @ each end.
- Unless otherwise noted, all LVL's to be minimum 1.9E.
- Unless otherwise noted, all double LVL's get (3) jacks each end and all triples get (4) jacks each end.
- Unless otherwise noted, all door & window headers to be (2) 2x10's.
- All wall sheathing to be 1/2" CDX Plywood or 7/16" OSB with Tyvek Housewrap or 15" Felt.
- All sub flooring to be glued and nailed.
- All roof sheathing to be 1/2" CDX Plywood or 7/16" OSB.

### CONCRETE SLAB NOTES

- Concrete slabs on ground floors, including basement slabs and garage slabs, shall be a minimum of 3-1/2 inches thick.
- Minimum compressive strength for basement slabs and interior floor slabs on grade shall be 2,500 psi.
- Minimum compressive strength for garage slabs shall be 3,000 psi.
- All slabs for porches, carports, garages, and steps exposed to weather shall have a minimum compressive strength of 3,500 psi.
- The area within the foundation walls shall have all vegetation, top soil, and foreign material removed.
- Fill material shall be free of organic material as well as other foreign debris.
- Install a minimum of 4 inches of clean #57 stone as a base course.
- Concrete shall be reinforced by one of two methods:
  - 6" Wire mesh supported in the center to upper third of the slab.
  - Adding fiberglass reinforcing fibers to the concrete prior to pouring and finishing.
- For basement slabs, install a vapor retarder of minimum 6 mil polyethylene with joints lapped not less than 6 inches between the base course and the concrete slab.
- All basement and garage slabs shall be insulated with a minimum of R-10 foam insulation projecting a minimum of 24 inches by a combination of vertical insulation and insulation extending under the slab.
- The top edge of the insulation, installed between the exterior wall and the edge of the interior slab, shall be cut at a 45 degree angle away from the exterior wall.
- All basement and garage slabs shall be troweled to a smooth finish.
- Garage slabs shall be sloped toward the garage doors at a minimum rate of 1/8" per foot.
- All sub-slabs for brick or stone porch paving shall be finished level.
- Porch slabs greater than 18 inches above grade shall be supported by galvanized steel composite decking and beams/pipes sized as necessary. Porch slabs less than 18 inches above grade shall be supported by #57 clean stone.
- Clean all foundation areas of loose debris, trash, and organic material prior to installation of composite decking.

### NON-VENTED CRAWLSPACE NOTES

- Permanently install insulation to crawlspace walls from top of foundation downward to finished grade level and then vertically and/or horizontally for at least an additional 24 inches.
- All insulation material to be noncombustible or at a minimum have a noncombustible facing material.
- Install continuous vapor retarder where earth is exposed in the crawlspace. Overlap joints by minimum of 6 inches with edges sealed or taped. Extend the vapor retarder minimum of 6 inches up the stem wall and attach and seal to wall.
- Make sure crawlspace is clean and clear of all trash and debris, including all loose wood and organic material, prior to installing vapor barrier.
- Provide conditioned air supply sufficient to deliver at a rate of 1 cfm for each 50 square feet of crawlspace area. Install a return air pathway to the finished space above via a duct or transfer grille.

### FOOTING & MASONRY NOTES

- Soil conditions are assumed to be 2,000psf.
- Exterior dimensions are to face of masonry or wall sheathing.
- Continuous concrete footings shall be constructed of minimum 2,500psi concrete. See plan details for width and thickness.
- Provide minimum 2-courses x 24" wide grouted solid under all steel beams or concentrated loading conditions. Consult Soil Report for additional size and rebar specifications.
- Exterior steps are shown for location only. Contractor shall determine and verify all grade elevations and number of steps required.
- Anchor bolts shall be placed at a maximum of 6 feet on center. There shall be a minimum of two bolts per plate section with one bolt located no more than 12 inches, or less than seven bolt diameters, from each end of the plate section. Bolts shall be a minimum 1/2" in diameter and shall extend a minimum of 7 inches into masonry or concrete.
 

Exceptions:

  - Walls 24 inches total length or shorter connecting offset braced wall panels shall be lapped not less than 6 inches between the base course and the concrete slab.
  - Walls 12 inches total length or shorter connecting offset braced wall panels shall be permitted to be connected to the foundation without anchor bolts.
- Brick veneer walls to have non-corrosive metal ties @ 16" O.C. vertically and horizontally and weep holes at 24" O.C. at base flashing.
- Provide minimum 4" bearing at each end of lintels for brick veneer walls

### BRACED WALL REQUIREMENT NOTES

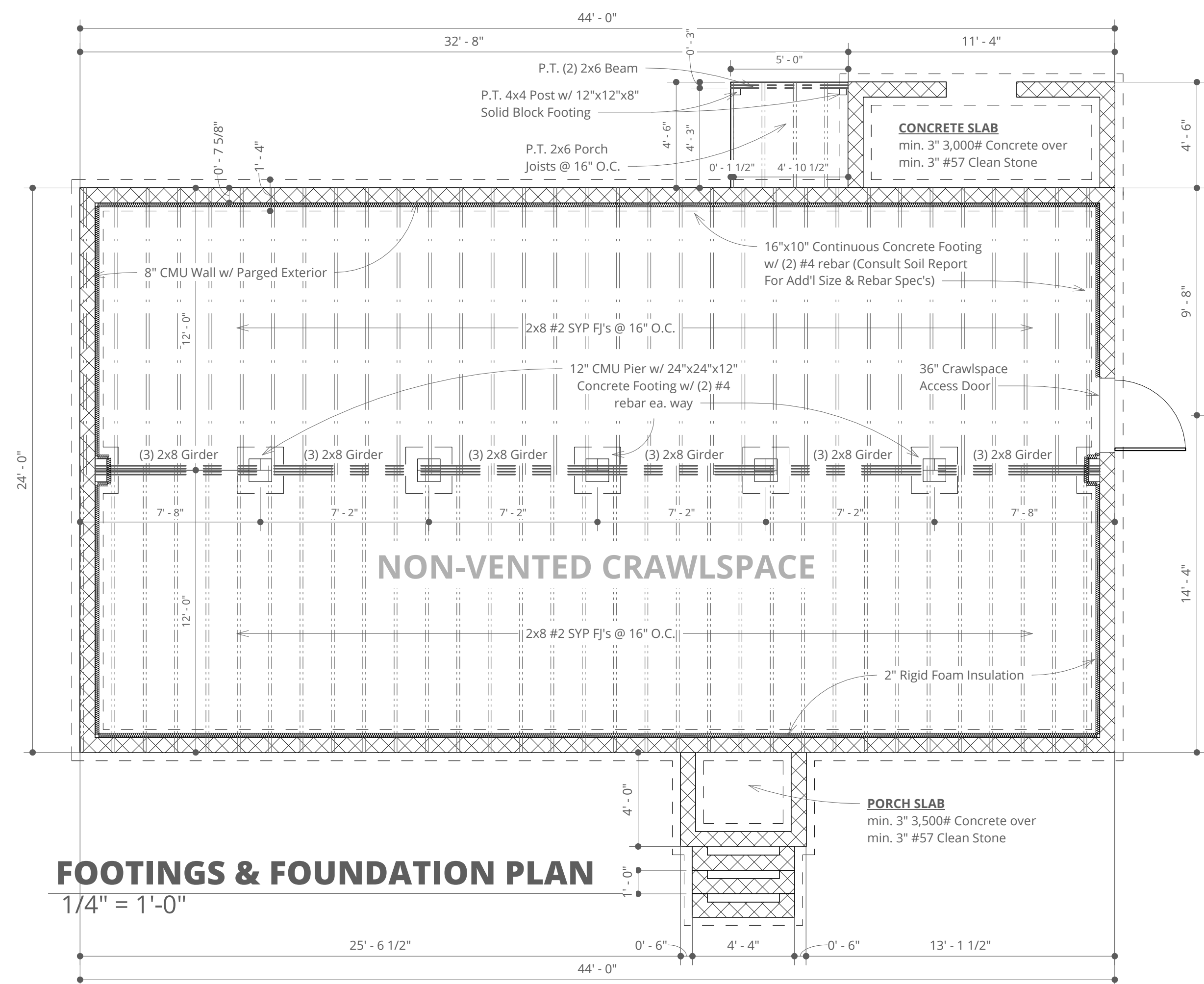
- BRACED WALL REQUIREMENTS: Lateral stability for this structure is provided by continuous wood panel sheathing per IRC-2009 code R602.10.3 (Continuous Sheathing Methods).
- Connection criteria for continuous wood panel sheathing shall be 6d common nails at 6" spacing at panel edges and 12" spacing at intermediate supports (studs). 16 gauge x 1-3/4" staples may also be used at 3" spacing at panel edges and 6" spacing at intermediate supports (studs).
- All wall sheathing to be 1/2" CDX Plywood or 7/16" OSB with Tyvek Housewrap or 15" Felt.

"CLASSIC" WALL BRACING WORKSHEET PER THE 2012 VIRGINIA RESIDENTIAL CODE

WIND SPEED (MPH)		90			
BWL DESIGNATION		A	B	C	D
NUMBER OF FLOORS ABOVE BWL		0	0	0	0
BWP METHOD		CS-WSP	CS-WSP	CS-WSP	CS-WSP
AVERAGE BWL SPACING (ft)		26.25	44	26.25	44
TABULAR REQUIREMENT (ft)		4.44	6.60	4.44	6.60
EXPOSURE		B	1.00	B	1.00
LEAVE-TO-RIDGE HT (ft)		4.00	0.70	4.00	0.70
MAXIMUM WALL HEIGHT (ft)		8.00	0.90	8.00	0.90
NUMBER OF BWLS		2	1.00	2	1.00
OMIT INTERIOR FINISH		No	1.00	No	1.00
ADD PAIR ROD# HOLD DOWNS		No	1.00	No	1.00
HORIZONTAL JOINTS BLOCKED		No	2.00	No	2.00
REDUCED FASTENER SPACING		No	1.00	No	1.00
REQUIRED BWP LENGTH (ft)		2.80	4.16	2.80	4.16
ACTUAL BWP	CONTRIBUTING LENGTH (feet)	BWP METHOD	LENGTH	METHOD	LENGTH
	1	CS-WSP	4.00	CS-WSP	13.50
	2	CS-WSP	3.00	CS-WSP	8.00
	3	CS-WSP	5.00	CS-WSP	9.25
	4	CS-WSP	10.00	CS-WSP	4.00
	5	CS-WSP	8.00	CS-WSP	4.00
	6				
7					
ACTUAL BWP LENGTH (ft)		30.00	21.50	31.75	24.00
ACTUAL ≥ REQUIRED?		PASS	PASS	PASS	PASS
BWPs ≤ 20' APART?		Yes	Yes	Yes	Yes
≥ 2 PANELS IN BWL?		Yes	Yes	Yes	Yes
BWP BEGINS ≤ 10' FROM ENDS?		Yes	Yes	Yes	Yes
CONTINUOUS SHEATHING END CONDITIONS		END 1	END 2	END 1	END 2
BWL COMPLIANCE		PASS	PASS	PASS	PASS

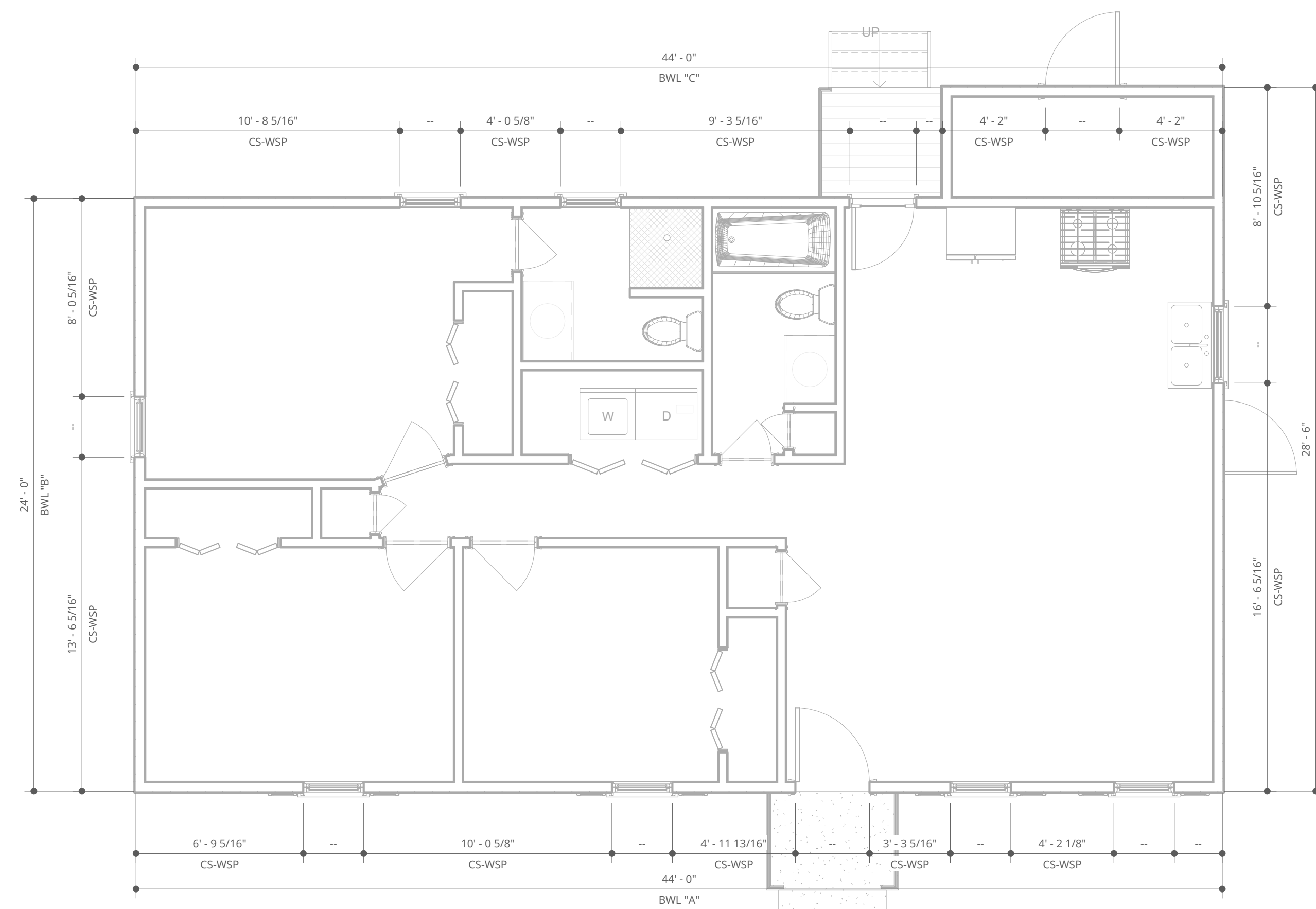
created by Chuck Bajnai, telephone (804) 717-6428 and Brian Foley, telephone (703) 324-1842

Version 5/14/2015



### FOOTINGS & FOUNDATION PLAN

1/4" = 1'-0"



### BRACED WALL PLAN -- FIRST FLOOR

1/4" = 1'-0"

**CarriageStone**  
COTTAGE & HOME DESIGN, LLC

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Issue Date: 2-13-19  
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1206 Jahnke Road

Gardner Construction  
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Richmond, VA

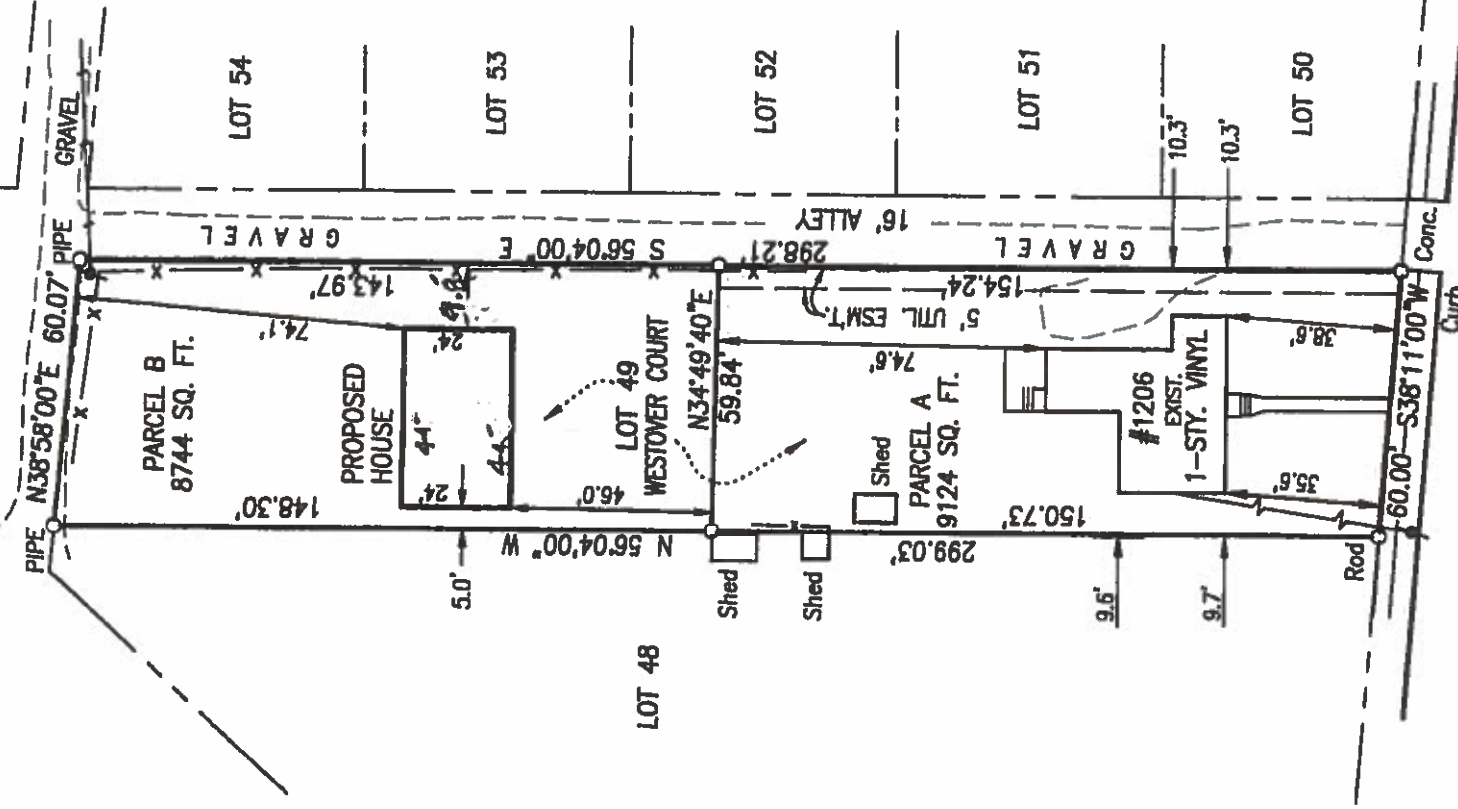
Footings & Foundation Plan

S1

Project Number 2019.618  
Scale 1/4" = 1'-0"

2/14/2019 3:40:27 PM





JAHNKE ROAD

TAX MAP #S-6-288/049

LOCATION OF U/G UTILITIES SHOWN ON THIS MAP IS BASED ON FIELD OBSERVATION AND RECORD INFORMATION. ADDITIONAL U/G UTILITIES MAY EXIST OTHER THAN THOSE SHOWN.  
 WETLANDS (IF ANY) AND RESOURCE PROTECTION AREA LIMITS ARE NOT SHOWN ON THIS SURVEY.  
 BUILDING SETBACKS OR OTHER ZONING CONDITIONS NOT DETERMINED FOR THIS MAP. COMPLIANCE WITH APPLICABLE ZONING ORDINANCES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.

This plat was prepared without the benefit of a title report and may not, therefore, indicate all easements or conditions affecting subject property.



This is to certify that on 11/29/18 I made an accurate field survey of the premises shown hereon, that all improvements and easements known or visible are shown hereon, that there are no encroachments by improvements either from adjoining premises or from subject premises upon adjoining premises other than as shown hereon.

**SURVEY SHOWING PROPOSED DIVISION  
 OF PROPERTY LOCATED AT 1206 JAHNKE ROAD  
 LOT 49, WESTOVER COURT  
 CITY OF RICHMOND, VIRGINIA**