



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

Ordinance 2025 – 023

3310 Q Street Special Use Permit



David Watson– Planner

February 18th, 2025

PURPOSE & SUMMARY:

To authorize the special use of the property known as 3310 Q Street for the purpose of up to two two-family detached dwellings with two accessory dwelling units, upon certain terms and conditions.

A Special Use Permit is therefore requested.

SITE MAP

The subject property is located on Q Street midblock between 33rd and 34th Streets



ZONING: R-6 Single-Family Attached Residential

The proposal calls for a pair of two-family attached dwellings

Each property will have an accessory dwelling unit in the rear.

Six dwelling units in total.

RICHMOND 300 MASTER PLAN DESIGNATION: Neighborhood Mixed Uses

The Richmond 300 Master Plan designates the subject property for Neighborhood Mixed Uses.

Primary Uses: Duplexes and small multi-family dwellings

Secondary Uses: Large multi-family buildings

SURROUNDING AREA & NEIGHBORHOOD PARTICIPATION

Surrounding Area

R-6 Single-Family Attached Residential District.

Neighborhood Participation

Staff notified the Church Hill Central Civic Association, area residents and property owners.

One email asking for continuance was received this morning.

STAFF RECOMMENDATION: APPROVAL

Consistent with recommendations of the Richmond 300 master plan recommendation

Two-family residential uses are located throughout the neighborhood.

Therefore, staff recommends approval of the Special Use Permit request.

ORDINANCE CONDITIONS:

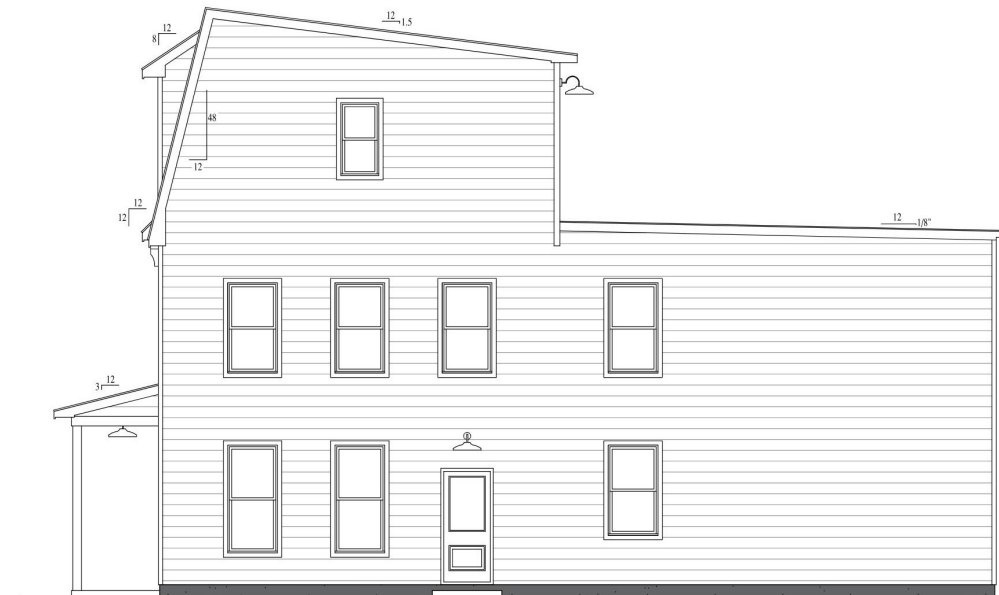
- 1) The Special Use of the Property shall be as up to two two-family detached dwellings with two accessory dwelling units, substantially as shown on the Plans.
- 2) The height of the Special Use shall not exceed three stories, substantially as shown on the Plans.
- 3) All building materials, elevations, and site improvements, including landscaping, shall be substantially as shown on the Plans.
- 4) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.
- 5) Prior to the issuance of a building permit for the Special Use, the establishment of up to two residential lots, substantially as shown on the Plans, shall be accomplished by obtaining the necessary approvals from the City and recording the appropriate plats and deeds among the land records of the Clerk of the Circuit Court of the City of Richmond.

Questions

Principal Dwelling



FRONT ELEVATION



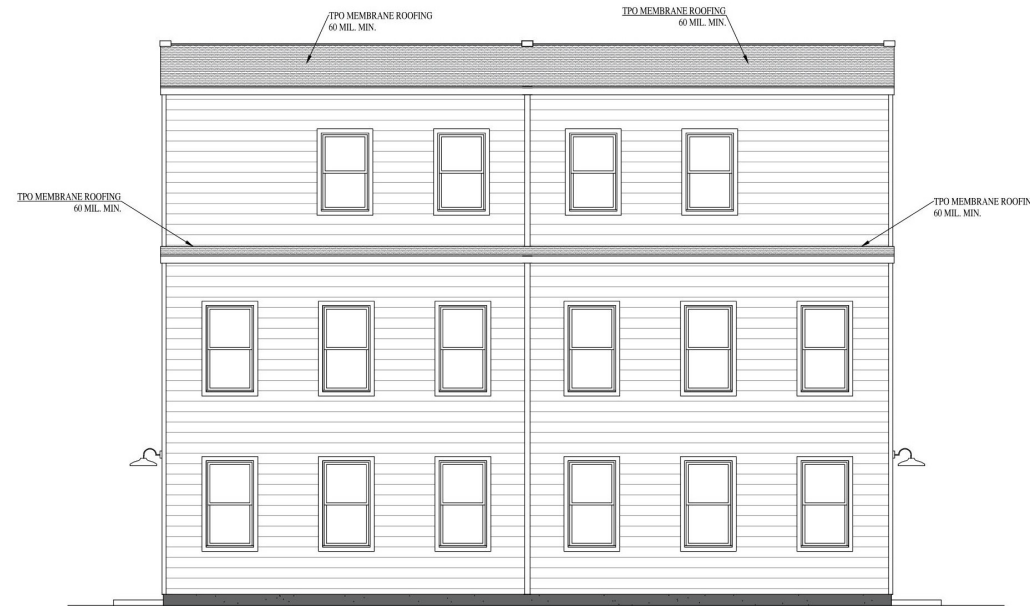
RIGHT ELEVATION



Principal Dwelling



LEFT ELEVATION



REAR ELEVATION

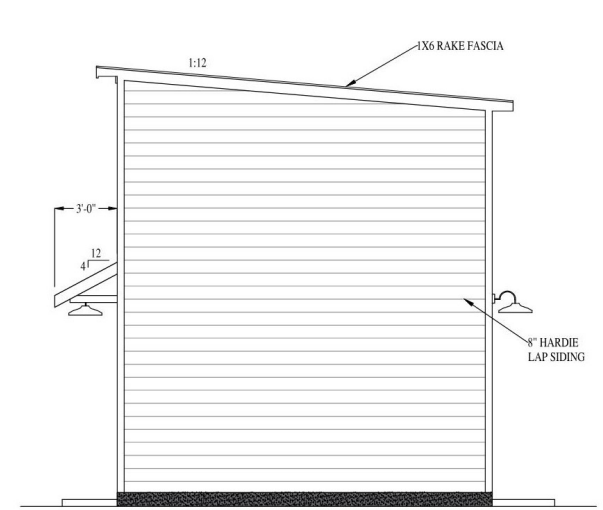


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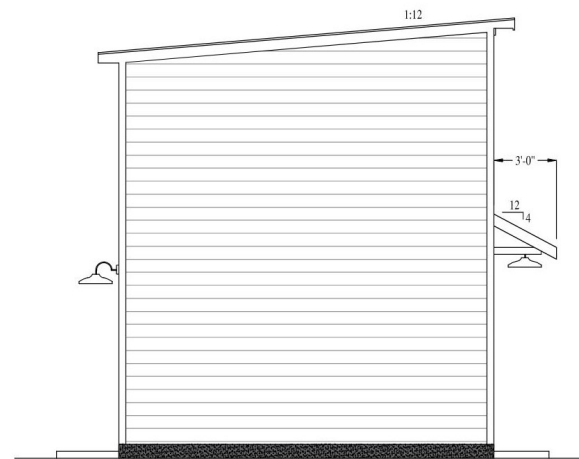


FRONT ELEVATION

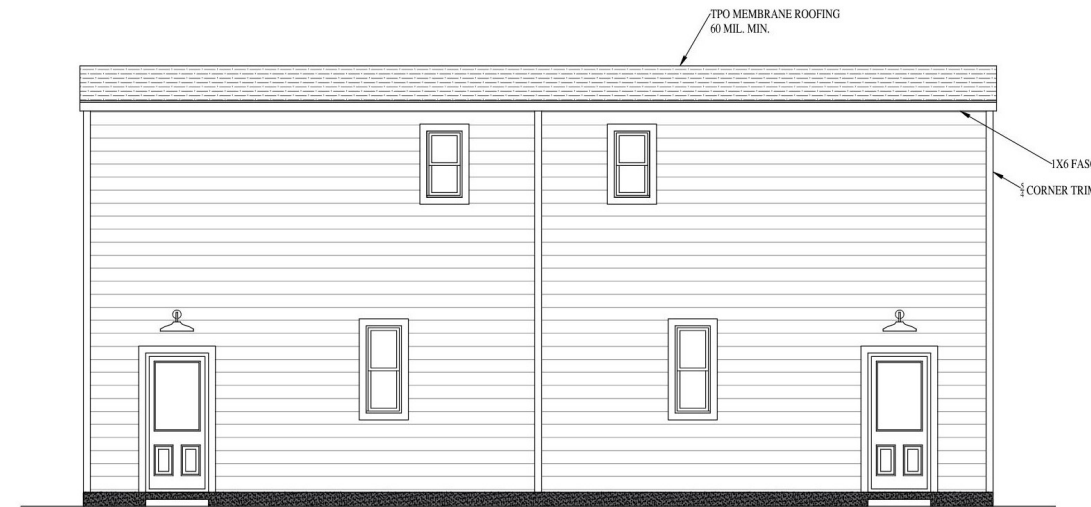
HARDIE BOARD & BATTEN SIDING, SMOOTH 16" O.C. SPLICED CONT.
PARGED CMU EXTERIOR



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION

Site Plan

