



# Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall  
900 East Broad Street, Richmond, Virginia 23219  
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 823 Mosby St DATE: 02/26/16  
 OWNER'S NAME: Mohammed Sattary TEL NO.: (202) 629 6601  
 AND ADDRESS: 2200 Cedar St EMAIL: Sattary1987@gmail.com  
 CITY, STATE AND ZIPCODE: Richmond, VA 23223  
 ARCHITECT/CONTRACTOR'S NAME: Johannes Design TEL NO.: (804) 809 2815  
 AND ADDRESS: 4629 Broad St EMAIL: [unclear]  
 CITY, STATE AND ZIPCODE: Manassas VA 23117

Would you like to receive your staff report via email? Yes  No


### REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

**DETAILED DESCRIPTION OF PROPOSED WORK (Required):**  
**STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK PROPOSED.** (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Signature of Owner or Authorized Agent: **X**   
 Name of Owner or Authorized Agent (please print legibly): Mohammed Sattary

(Space below for staff use only)

Received by Commission Secretary \_\_\_\_\_ APPLICATION NO. \_\_\_\_\_  
 DATE \_\_\_\_\_ SCHEDULED FOR \_\_\_\_\_

Note: CAR reviews all applications on a case-by-case basis.

## Summary of Proposed Restoration Work 823 Mosby St Phase "2"

### Phase "2" Restoration of original storefront design.

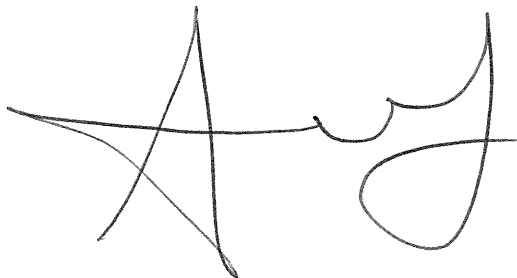
823 Mosby St. site plan located on the corner of O St. and Mosby St. this proposal will deal with phase two of the project which we will call "Storefront Restoration". There will be three main supporting documents A1, Drawing 0216 Sheet 1 and document 304. A1 will consist of notes; floor plans and a site plan (note that 1<sup>st</sup> floor plan (A1) farthest left of document shows wall to house proposed restoration of storefront. Drawing 0216 will have plan details, material details as well as framing, and showcase existing and proposed building plans. Finally, document 304 is a survey of the property showing boundaries and existing elevations, along with the parameters of the existing structure of the building.

The proposed storefront restoration is the next essential step in our project due to the fact that this is the form that will give function to the (Coffee Shop/ Bistro) we hope to see homed in this building in the near future after project completion .The construction material will be the existing bricked off storefront framing, openings and window material that we will re- open and restore.

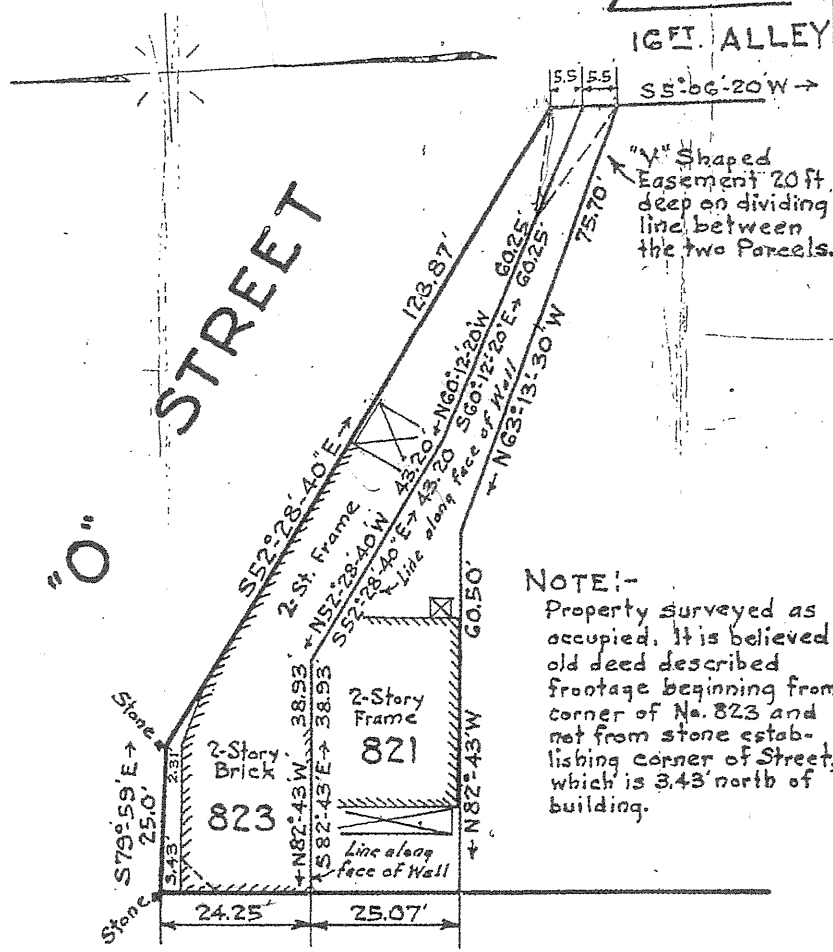
Apart from the three main supporting documents we will also include on site pictures showing the storefront that exists behind the bricked off section visible from the street view (Mosby Street).

As always we hope that these plans will meet the standards of C.A.R. and hope to work within the guidelines of the Committee to move forward and complete our restoration project at 823 Mosby St.

Thank You,

A handwritten signature in black ink, appearing to read 'Mohammad Sultany', written in a cursive style.

Mohammad Sultany



# MOSBY STREET

Map showing two parcels of land with improvements thereon, Nos. 821 and 823, situated at the southeast corner of Mosby and 'O' Streets in the City of Richmond, Va.

Scale:  $1" = 20'$

Aug. 30, 1948

WILLIAM M. LEWIS  
CERTIFIED SURVEYOR  
RICHMOND, VA.

CPB  
1762

N. B.: 42, p. 6.

City of Richmond—to-wit:

In the Office of the Court of Chancery for said City,

the 8th day of October, 1948

This deed was presented, and, with the Certificate + Plat annexed, admitted

to record at 4 o'clock P. M.

Fee # 50

Teste:

*[Signature]*  
Clerk.

VERIFIED WHEN SPREAD

DOOR SCHEDULE

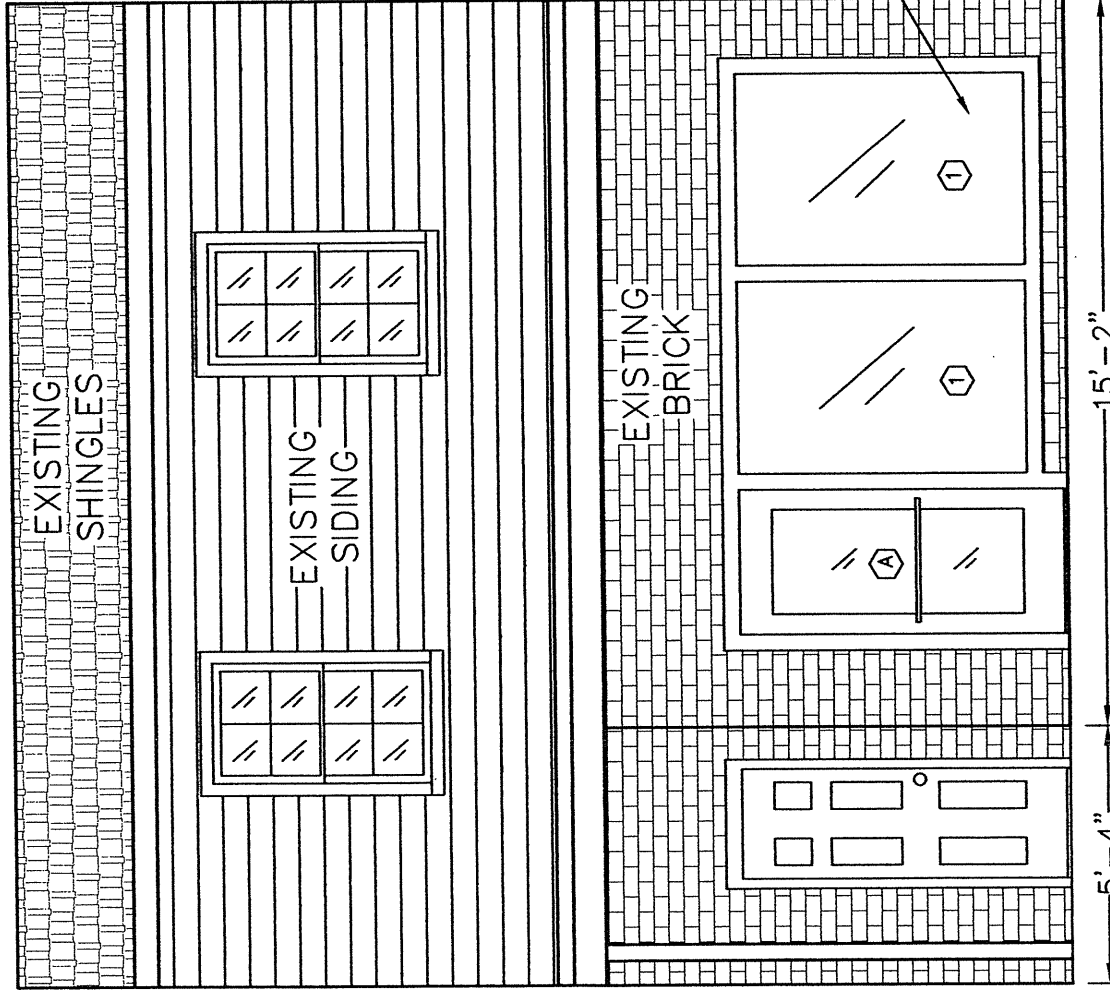
PER OWNER

MARK	DESCRIPTION	QUAN
(A)	3'0" x 6'8" HM EXTERIOR DOOR	1

WINDOW SCHEDULE

PER OWNER

MARK	DESCRIPTION	QUAN
(1)	4'0" x 6'8" HM EXTERIOR DOOR	2



THE PURPOSE OF THIS PROJECT CONSISTS OF RE-ESTABLISHING AN EXISTING BUILDING TO ITS ORIGINAL STORE FRONT LOOK ALONG WITH ENCLOSING THE REAR OF THE EXISTING BUILDING TO MAKE THE BUILDING MORE APPEALING TO THE PUBLIC AND MORE UNIFORM.

PROPOSED DOOR AND WINDOWS

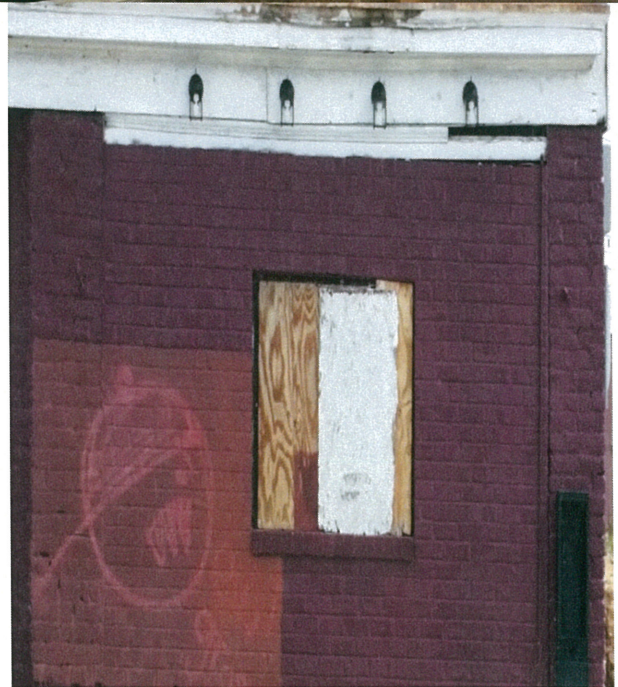
PROJECT TITLE	STORE FRONT ELEVATION
PROJECT NO.	0216
SCALE	AS SHOWN
DATE	2/25/16
DRAWN BY	BTB
CHECKED BY	
DATE	
PROJECT NO.	0216
OF	4 SHEETS

MOHAMMAD SULTANY  
823 MOSBY STREET  
RICHMOND, VA 23223

BRIAN FOX  
4639 BROAD STREET ROAD  
MINERAL, VA 23117  
(804) 869-2815

STORE FRONT ELEVATION  
1/4" = 1'-0"

Phase "2" Restoration of Original Storefront Design Supporting Onsite Photos



## Summary of Proposed Restoration Work 823 Mosby St Phase “3”

### Phase “3” “Brick Off Overhang”.

823 Mosby St. site plan located on the corner of O St. and Mosby St. this proposal will deal with phase three of the project which we will call “Brick off Overhang”. There will be five main supporting documents A1, Drawing 0216 Sheet 2, 3, and 4, document 304; as well as photographs of actual areas being discussed. A1 will consist of notes; floor plans and a site plan (note that 1<sup>st</sup> floor plan (A1) first dotted rectangular shape image is the total area of the proposed overhang that we hope to brick off.(Note also that (A1) 2<sup>nd</sup> Fl. Plan shows the area from the second floor as being connected to the rear deck which is the line that the proposed Brick Off would end at. Drawing 0216 will have plan details, material details as well as front, rear, and side elevations. Drawing 0216 Sheets 2-4 will also showcase existing and proposed building plans. Finally, document 304 is a survey of the property showing boundaries and existing elevations, along with the parameters of the existing structure of the building.

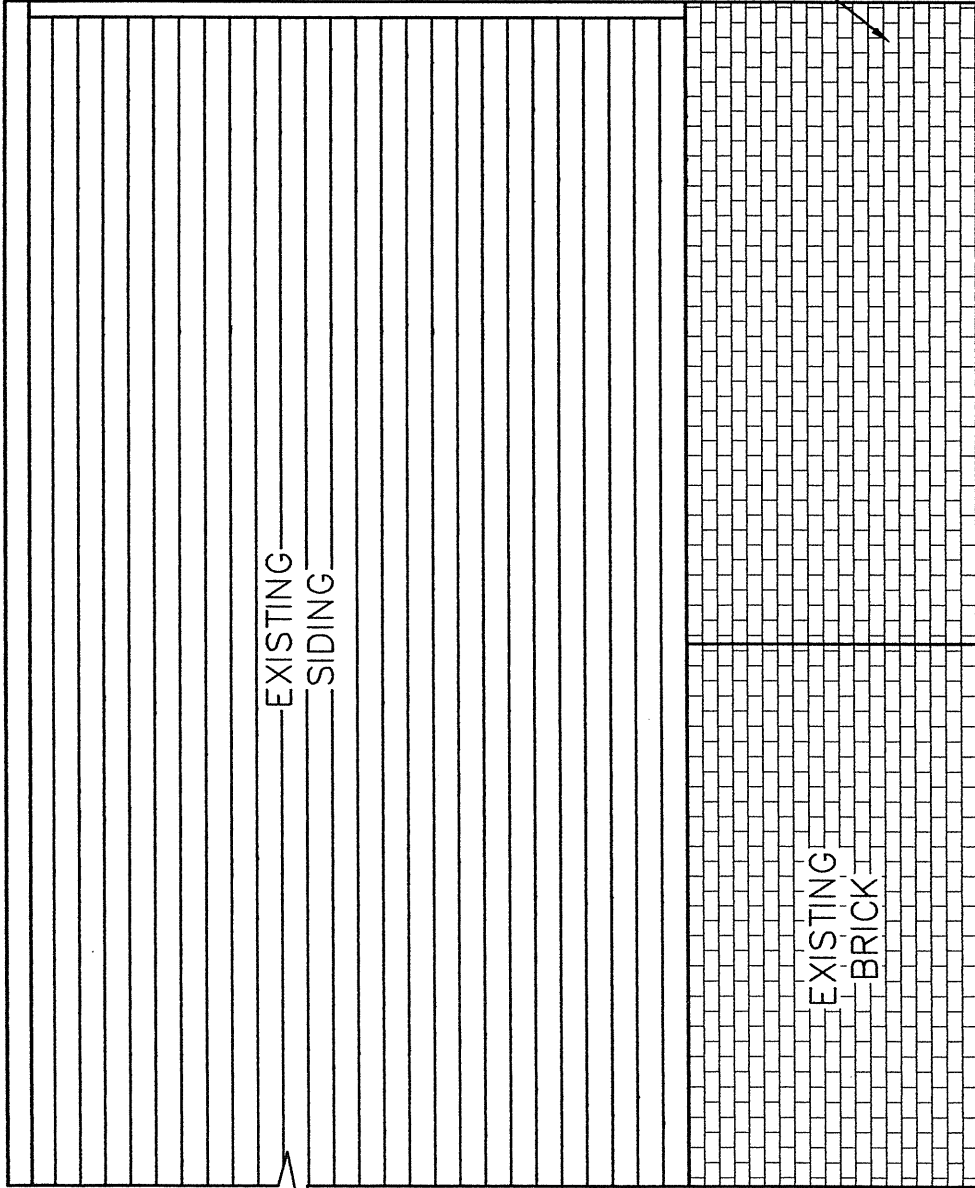
The proposed “Brick Off of Overhang” is essential in our project because it will help aesthetically with the overall Building 823 Mosby St. At the moment the overhang appears rickety and appears as an eye sore as we hope to bring back the community within Union Hill. The exposed overhang also creates drafting issues for the unit above as well as a potential dump site for trash and refuse within the community. We currently clean the area twice a week and still have issues with trying to maintain a debris, trash, and refuse free property. The construction material will be masonry installed per manufacturer’s specifications; also see Construction Notes (A1). Apart from the five main supporting documents we will also include on site photos as discussed above as a separate handout material, showing the area of the proposed “Brick off Overhang Area”.

As always we hope that these plans will meet the standards of C.A.R. and hope to work within the guidelines of the Committee to move forward and complete our restoration project at 823 Mosby St.

Thank You,

Mohammad Sultany

A handwritten signature in black ink, appearing to read 'M. Sultany', with a large, stylized initial 'M' and a long horizontal stroke extending to the left.



REAR ELEVATION  
 $\frac{1}{4}'' = 1'-0''$

PROJECT FILE	REAR ELEVATION	PROJECT FILE
DATE AS SHOWN	MOHAMMAD SULTANY	DATE AS SHOWN
SCALE	823 MOSBY STREET	SCALE
	RICHMOND, VA 23223	
DESIGNED BY	BRIAN FOX	DESIGNED BY
DRAWN BY	4639 BROAD STREET ROAD	DRAWN BY
CHECKED BY	MINERAL, VA 23117	CHECKED BY
	(804) 869-2815	
	0216	
	3 OF 4 SHTS	

EXISTING  
SHINGLES

EXISTING  
SIDING

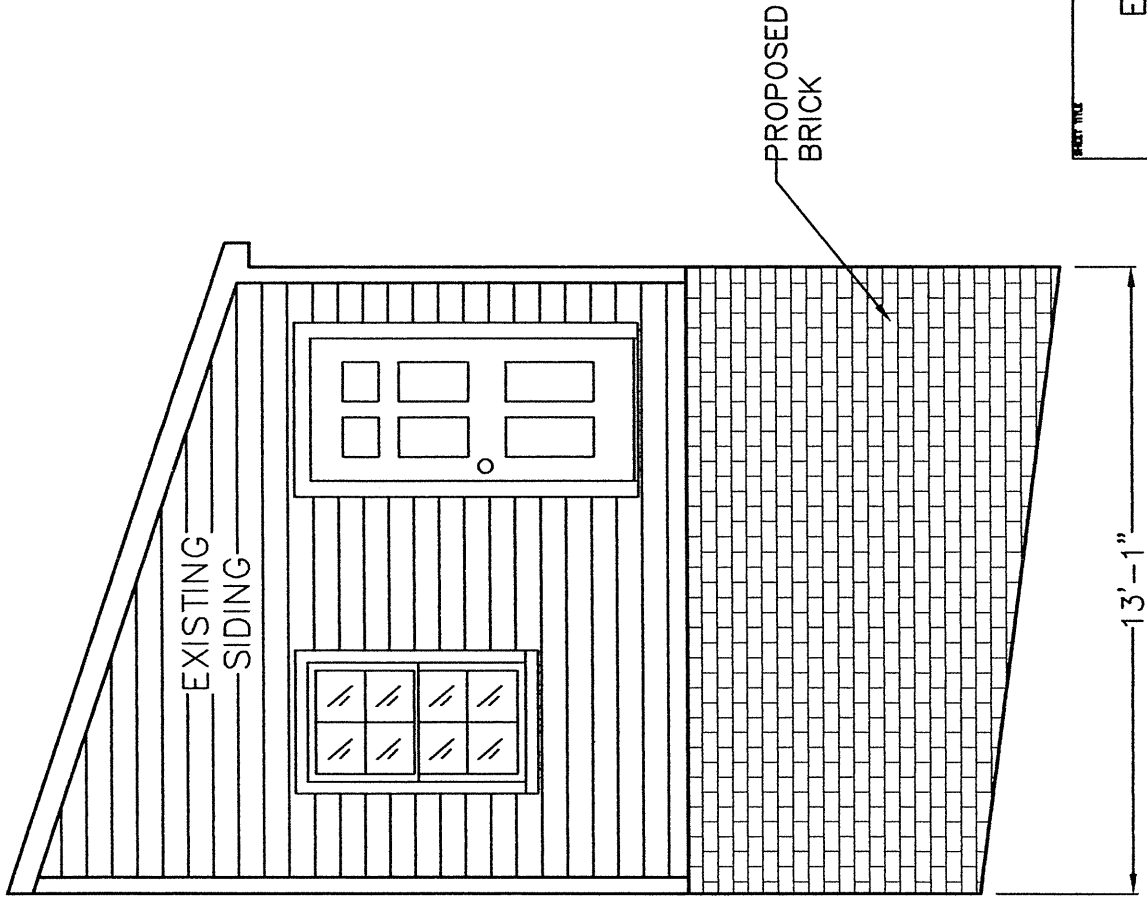
EXISTING  
BRICK

PROPOSED  
BRICK

17'-10"

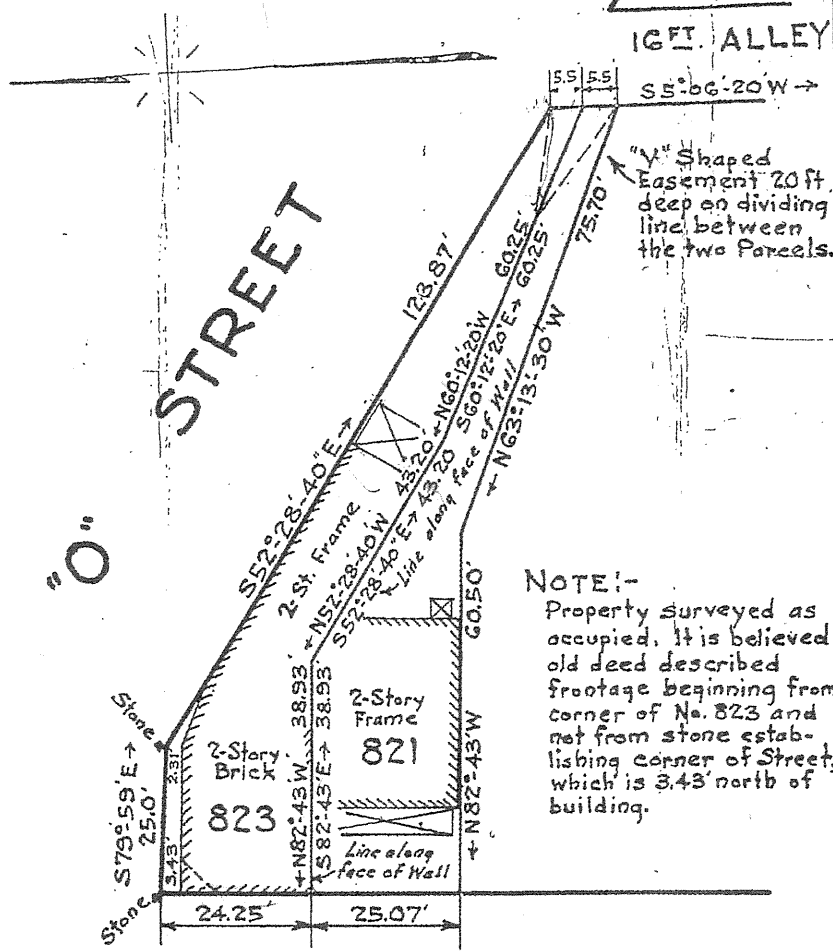
FRONT ELEVATION  
1/4" = 1'-0"

PROJECT NO.	FRONT ELEVATION "O" STREET ELEVATION
SCALE AS SHOWN	
DATE	
DESIGNED BY BIF	PROJECT NO.
DRAWN BY	0216
CHECKED BY	2 OF 4 SHEETS
DATE	
PROJECT	MOHAMMAD SULTANY 823 MOSBY STREET RICHMOND, VA 23223
OWNER	BRIAN FOX 4639 BROAD STREET ROAD MINERAL, VA 23117 (804) 869-2815



SIDE ELEVATION  
 $\frac{1}{4}'' = 1'-0''$

PROJECT TITLE	SIDE ELEVATION
PROJECT NO.	0216
DATE AS SHOWN	4 OF 4 SHEETS
DESIGNED BY	MOHAMMAD SULTANY
DRAWN BY	823 MOSBY STREET RICHMOND, VA 23223
CHECKED BY	BRIAN FOX
DATE	4639 BROAD STREET ROAD MINERAL, VA 23117
SCALE	(804) 869-2815



**NOTE:-**  
 Property surveyed as occupied. It is believed old deed described frontage beginning from corner of No. 823 and not from stone establishing corner of Street, which is 3.43' north of building.

# MOSBY STREET

Map showing two parcels of land with improvements thereon, Nos. 821 and 823, situated at the southeast corner of Mosby and 'O' Streets in the City of Richmond, Va.

Scale: - 1" = 20' Aug. 30, 1948

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for # 50

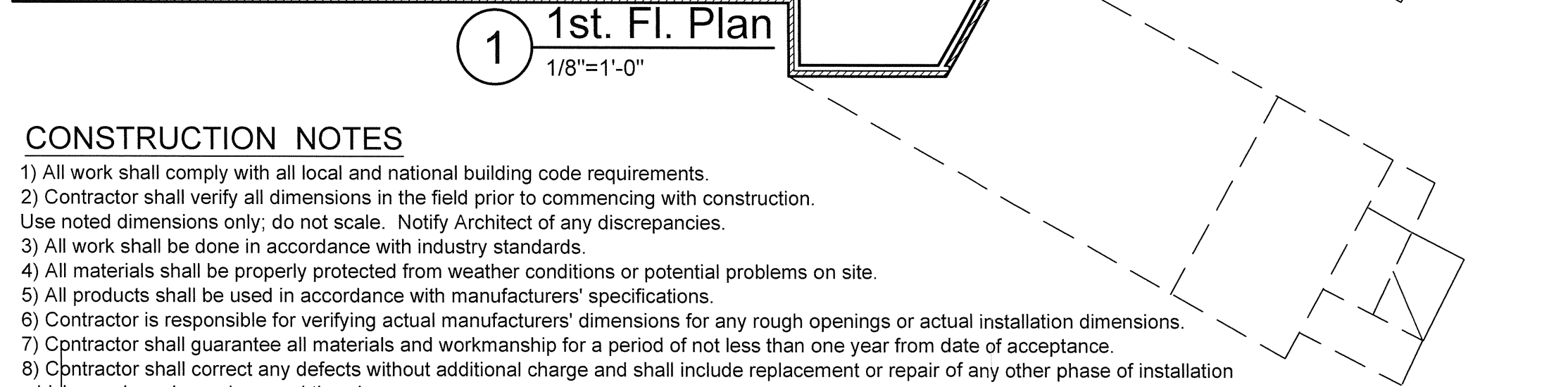
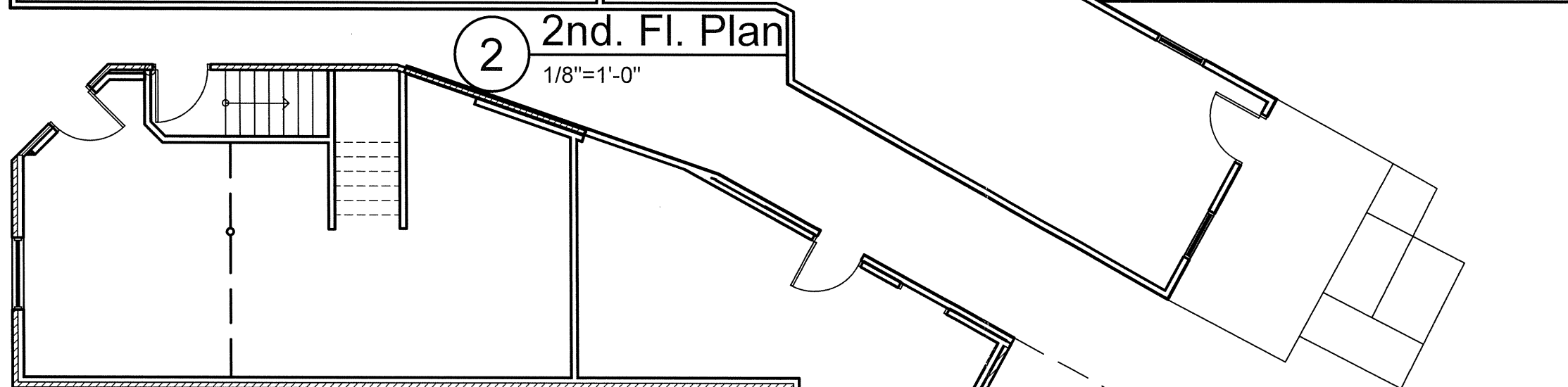
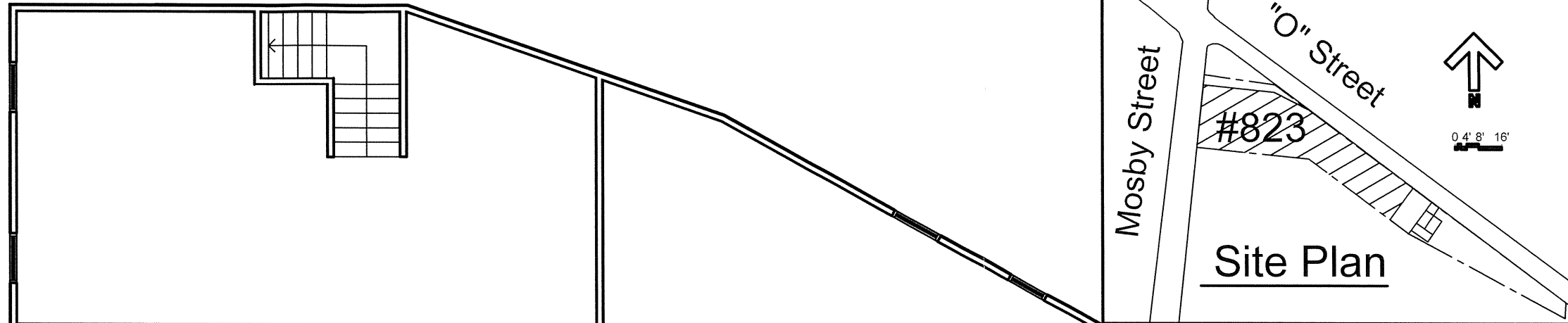
to record at 4 o'clock P. M.

Teste: [Signature] Clerk.

VERIFIED WHEN SPREAD

Phase "3" "Brick Off Overhang" supporting site pictures. 823 Mosby St.





**CONSTRUCTION NOTES**

- 1) All work shall comply with all local and national building code requirements.
- 2) Contractor shall verify all dimensions in the field prior to commencing with construction. Use noted dimensions only; do not scale. Notify Architect of any discrepancies.
- 3) All work shall be done in accordance with industry standards.
- 4) All materials shall be properly protected from weather conditions or potential problems on site.
- 5) All products shall be used in accordance with manufacturers' specifications.
- 6) Contractor is responsible for verifying actual manufacturers' dimensions for any rough openings or actual installation dimensions.
- 7) Contractor shall guarantee all materials and workmanship for a period of not less than one year from date of acceptance.
- 8) Contractor shall correct any defects without additional charge and shall include replacement or repair of any other phase of installation which may have been damaged thereby.
- 9) Contractor shall be responsible for coordinating grade dimensions with proposed foundations, entrance levels, and footing elevations.
- 10) Contractor shall provide Owner with all manuals, guides, warranties, etc. for all equipment.
- 11) Contractor and Owner shall assume the position of prime consultant and coordinate all trades; substitutions/alternates can be used with Owner approval.
- 12) Contractor shall coordinate all work, including site storage of materials.
- 13) All shop drawings shall be submitted to the Owner and Architect for approval.
- 14) Masonry shall be installed per manufacturer's specifications.

**CONTENTS**

- A1 Notes, floor plans, site plan
- A2 Plan detail, framing plan, framing/footing details

**SCOPE OF WORK**

Install a new, free-standing second-story deck and stair for access to a single residential unit at an existing mixed use building.

**ZONING**

R-63 Residential (Multi-family Urban)  
 Setbacks required: Front/side/rear yard: 0'/5'/15'  
 Lot coverage: 65% max. of not less than 4000sf lot; 2510.5sf existing lot: +/-1245sf 2nd fl. + 108sf deck + 71sf stair = 1422sf proposed ∴ ok @56%

P 804.358.4993 F 804.358.8211  
 1901 WEST CARY STREET RICHMOND, VA 23220  
**JOHANNAS DESIGN GROUP**

REVISIONS
<p>823 Mosby Street, Richmond, Virginia</p>
SHEET TITLE
notes, plans
DATE
8.18.15
PROJECT NO
1532
SHEET NO
A1