



Property (location of work)
Property Address: 2904 E Franklin Current Zoning: R-6
Historic District: St. John's Church

Application is submitted for: (check one)
 Alteration
 Demolition
 New Construction

Project Description (attach additional sheets if needed):
 Owner intends to build an 8x8 shed in the backyard of 2904 E franklin. The shed will be built by a professional shed building company. The structure will comply with all setback and other rules and regulations. See attached drawings.

Applicant/Contact Person: Emery Dunn
 Company: N/A
 Mailing Address: 2904 E Franklin Street
 City: Richmond State: VA Zip Code: 23223
 Telephone: (931) 241-7895
 Email: emery.lee.dunn@gmail.com
 Billing Contact? Yes Applicant Type (owner, architect, etc.): Owner

Property Owner: Emery Dunn
 If Business Entity, name and title of authorized signee: _____
 Mailing Address: 2904 E Franklin St
 City: Richmond State: VA Zip Code: 23223
 Telephone: (931) 241-7895
 Email: emery.lee.dunn@gmail.com
 Billing Contact? Yes

****Owner must sign at the bottom of this page****

Acknowledgement of Responsibility

Compliance: If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

Requirements: A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

Property Owner Signature: Date: 9/27/24

Certificate of Appropriateness Application Instructions

Staff Contact: (804)-646-6569 | alex.dandridge@rva.gov

Before You Submit

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: www.rva.gov/planning-development-review/commission-architectural-review.

Application deadlines are firm. All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.

Submission Requirements

Please submit applications to staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner signature required.
- Supporting documentation, as indicated on the [checklist](#), which can be found under the 'Application Information' tab on the website.
- Payment of application fee, if required. Payment of the fee must be received before the application will be scheduled. An invoice will be sent via the City's Online Permit Portal. Please see [fee schedule](#) available on the CAR website for additional information.

A complete application includes a signed application form, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in the City Code of Ordinances Sec. 30-930.6(b). The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

Meeting Information and Application Due Dates

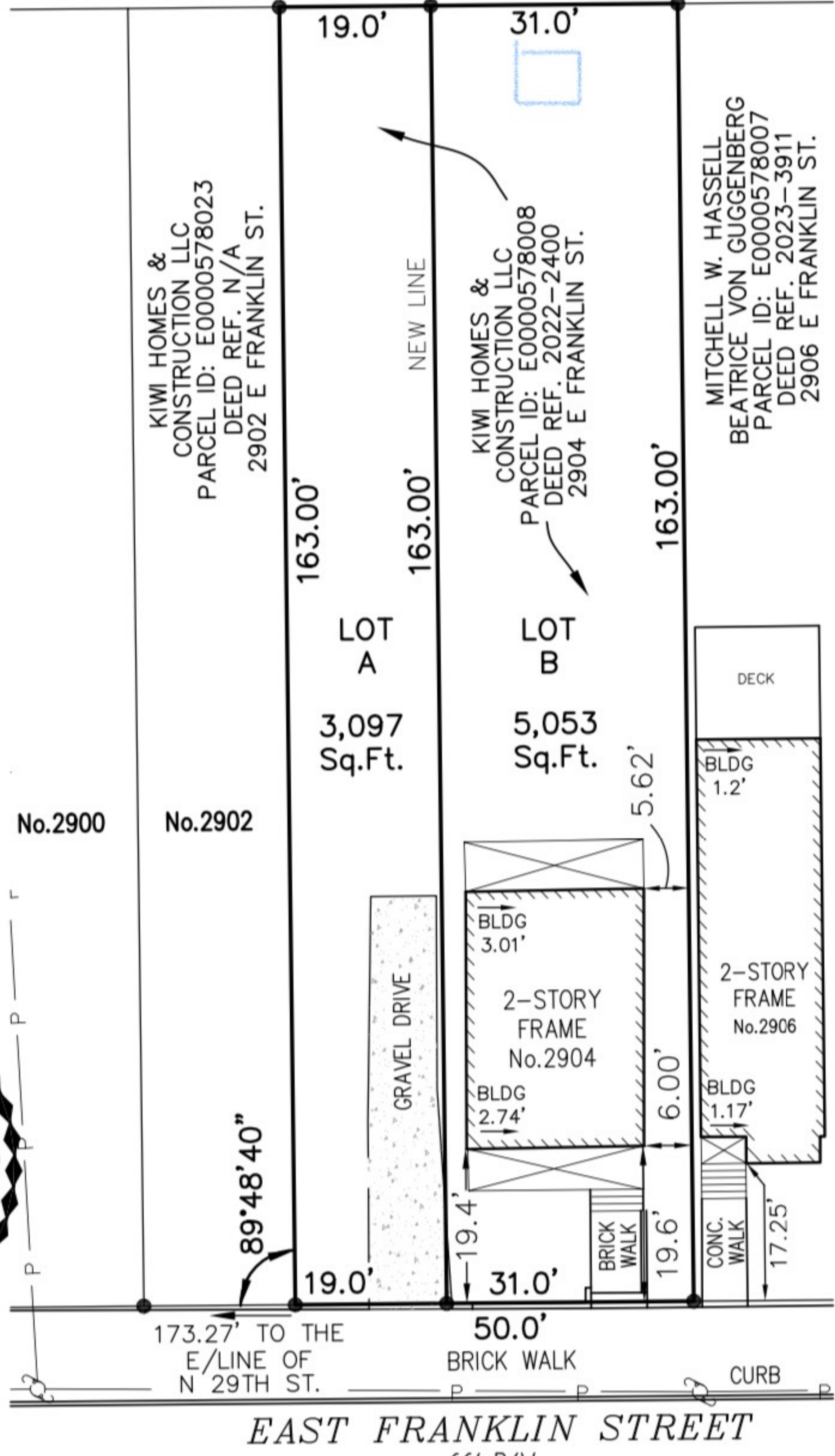
- The Commission meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- Application hearings start at 4:00pm. Meetings are held in person at City Hall in the 5th floor conference room. Participation via Microsoft Teams is available. It is strongly recommended that at least one person, either the owner or applicant, attend the meeting in person.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit www.rva.gov/planning-development-review/commission-architectural-review or contact staff.
- Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.
- New construction will be required to go through a conceptual review. The conceptual review is non-binding.
- Applicants are encouraged to reach out to any relevant civic associations and immediate neighbors for new construction or large-scale projects prior to submitting to the Commission of Architectural Review.



Under, that on 3-31-2023 I made an Accurate survey of the premises shown hereon and that there are no easements or encroachments visible on the ground other than those shown hereon. This survey has been made without the benefit of a title search and is subject to any uses recorded and unrecorded and other pertinent facts in which a title search may disclose. Copies of this plat without the certifying surveyor's seal with an original signature are INVALID.

ERIC W. ANDERSON
 BARBARA C. ANDERSON
 PARCEL ID: E0000578005
 DEED REF. 09602-00768
 50.0' 112 N 30th St.

UNSCALED
 BY BASELINE

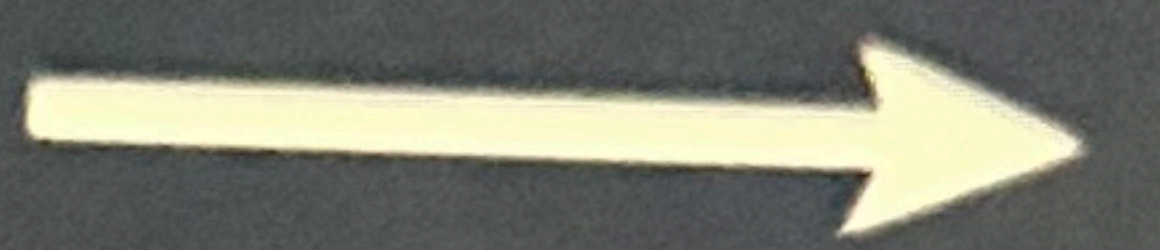


Virginia Surveys
 P.O. BOX 118
 CHESTERFIELD, VA 23832
 (804) 748-9481
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MAP SHOWING THE DIVISION OF
 No. 2904 E. FRANKLIN STREET
 OF RICHMOND, VA.

DATE: 3-31-2023
 CERTIFIED BY JEFFREY K. FLOYD
 VIRGINIA CERTIFICATE NO. 001905
 SCALE: 1"=25'
 JOB NO. 211114639

Standard Building Style then choose an Add-On Package to the right



Utility Sheds

The gable style roof of the Utility Shed provides the option for increased wall height, making it feel more spacious on the inside and leaving room on the walls for taller storage shelves, long garden tools, or ladders.



10' x 12' Utility Shed. Rosemary Green paint with Barn White trim paint on LP Smart Panel Siding.



10' x 16' Side Utility Shed. Treated T1-11 Siding. Shown with options: three 2' x 3' windows & 8' tall walls.

- 5/12 Pitch gable-style roof (7/12 roof pitch upgrade available)
- 6'3" standard inside wall height for treated buildings
- 6'4.5" standard inside wall height for painted buildings
- 7' (81" inside) or 8' (92" inside) wall heights available
- 8' wide buildings come with a single barn door
- 10' and wider buildings come with double barn doors (excluding packages)
- Loft can be added for additional cost
- See Price List for available sizes in your area

1 in. = 15 ft.

