



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 411 Chimborazo Blvd.

Historic district Yes

Date/time rec'd: 4:26 3:20  
Rec'd by: KC  
Application #: COA-034556-2018  
Hearing date: 5/22/2018

### APPLICANT INFORMATION

Name Robert Wise

Phone 615-414-8814

Company N/A

Email Rwise144@gmail.com

Mailing Address 411 Chimborazo Blvd.  
Richmond, VA 23223

Applicant Type:  Owner  Agent  
 Lessee  Architect  Contractor  
Other (please specify): \_\_\_\_\_

### OWNER INFORMATION (if different from above)

Name \_\_\_\_\_

Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone \_\_\_\_\_

Email \_\_\_\_\_

### PROJECT INFORMATION

Review Type:  Conceptual Review  Final Review

Project Type:  Alteration  Demolition  New Construction  
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

~~Windows~~ Windows will be aluminum/wood. Hardiplank smooth/unbeaded siding will be used primarily as a workspace.

Plan to use same historic colors which are on the house

### ACKNOWLEDGEMENT OF RESPONSIBILITY

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner [Signature]

Date 4/26/18

ECE VED

MAY 31 2018

# Proposal for Two-Story Outbuilding in Historic District

Robert Wise  
411 Chimborazo Blvd.  
5/26/18

Chimborazo Historic District has a few two-story outbuildings within a one-block radius.



3508 E Broad Street: Two-story carriage house, comparable dimensions to proposal



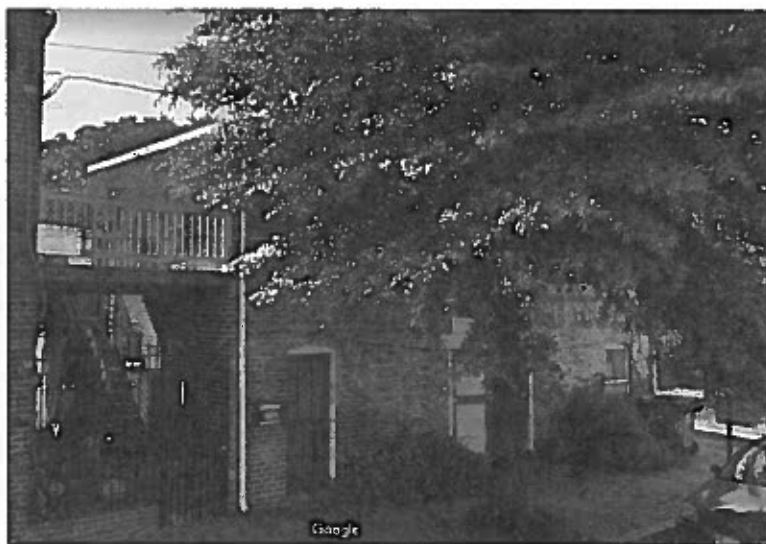
3508 E Broad Street: Two-story carriage house, comparable dimensions to proposal



3301 E Marshall Street: Two-story carriage house



3301 E Marshall Street: Two-story carriage house



3310 E Broad Street: Two-story carriage house

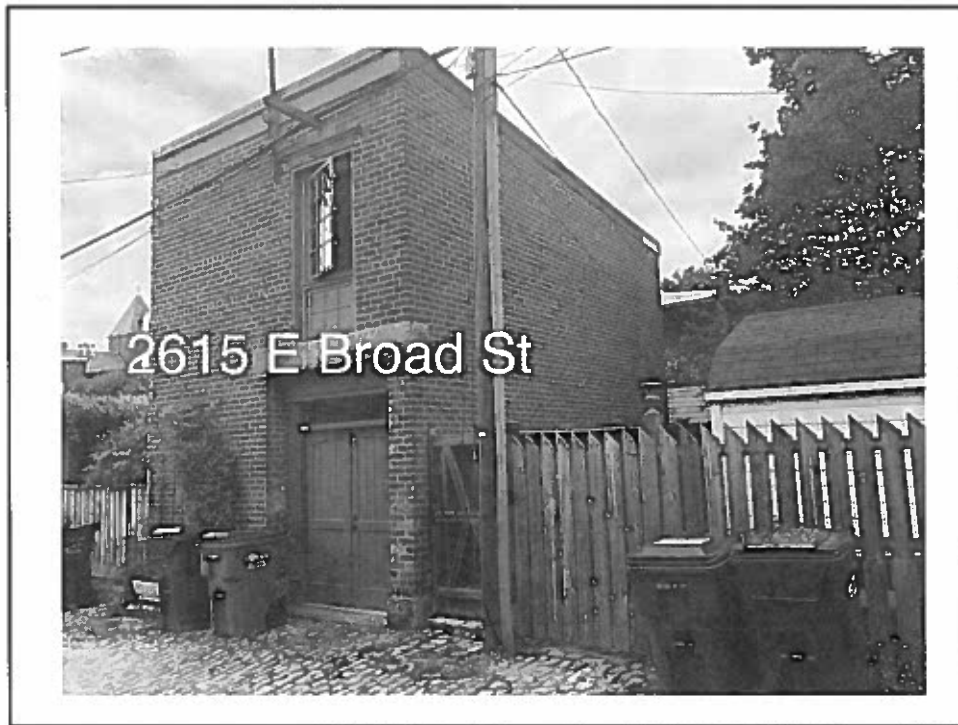
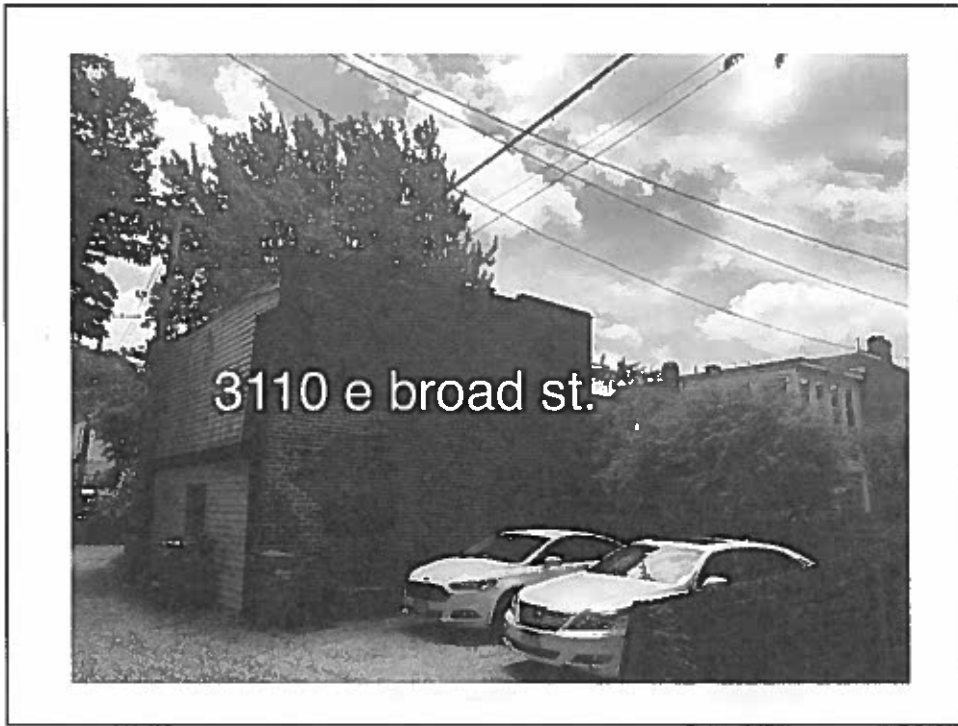


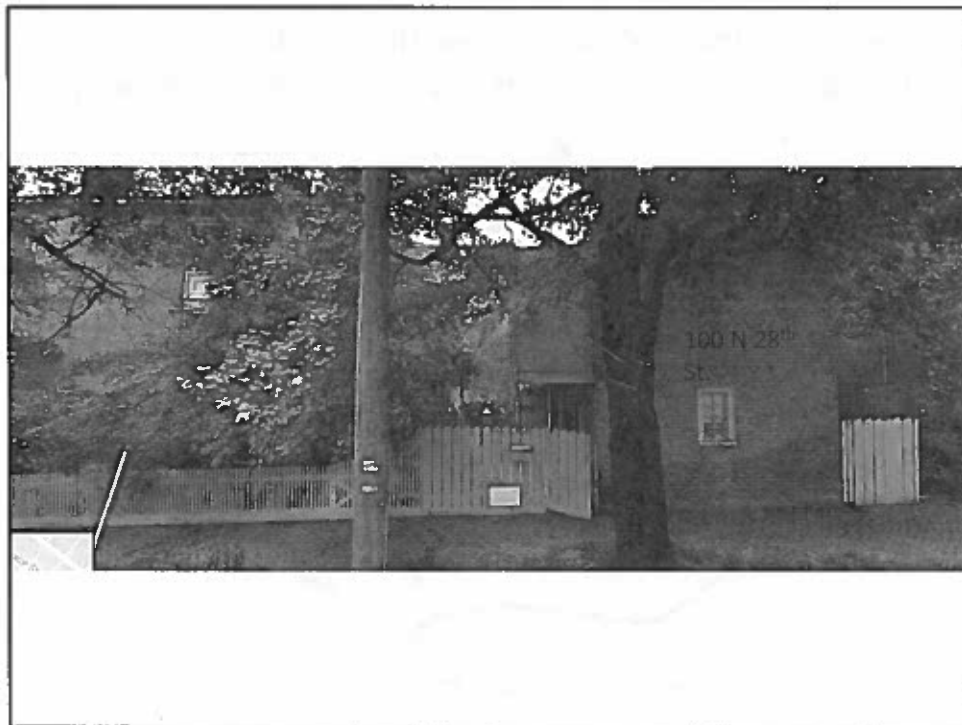
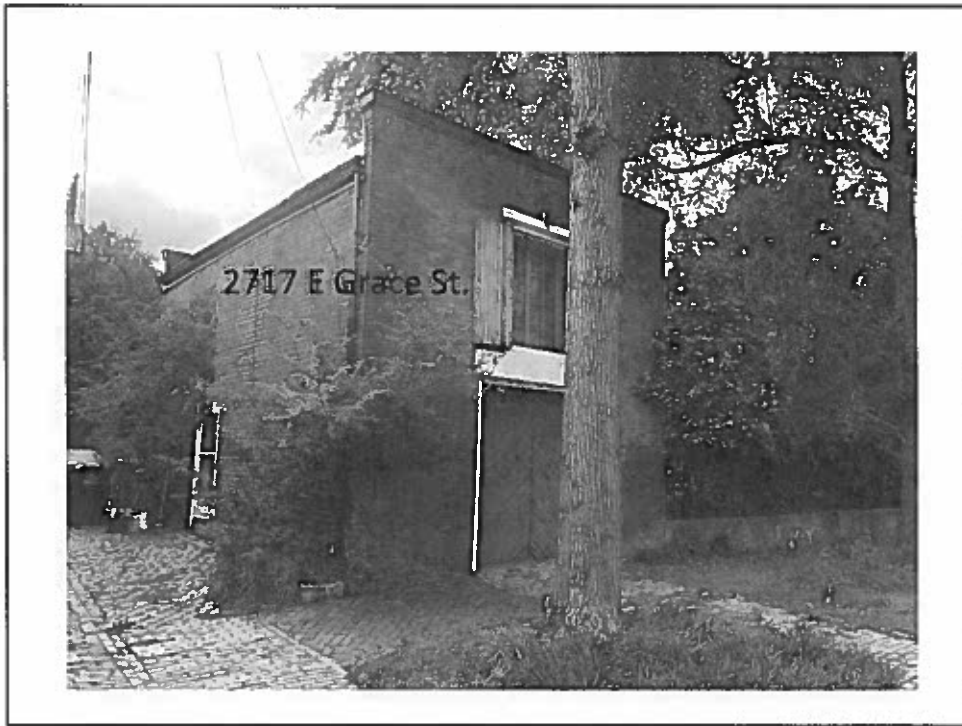
3400 E Broad Street: Two-story guest house



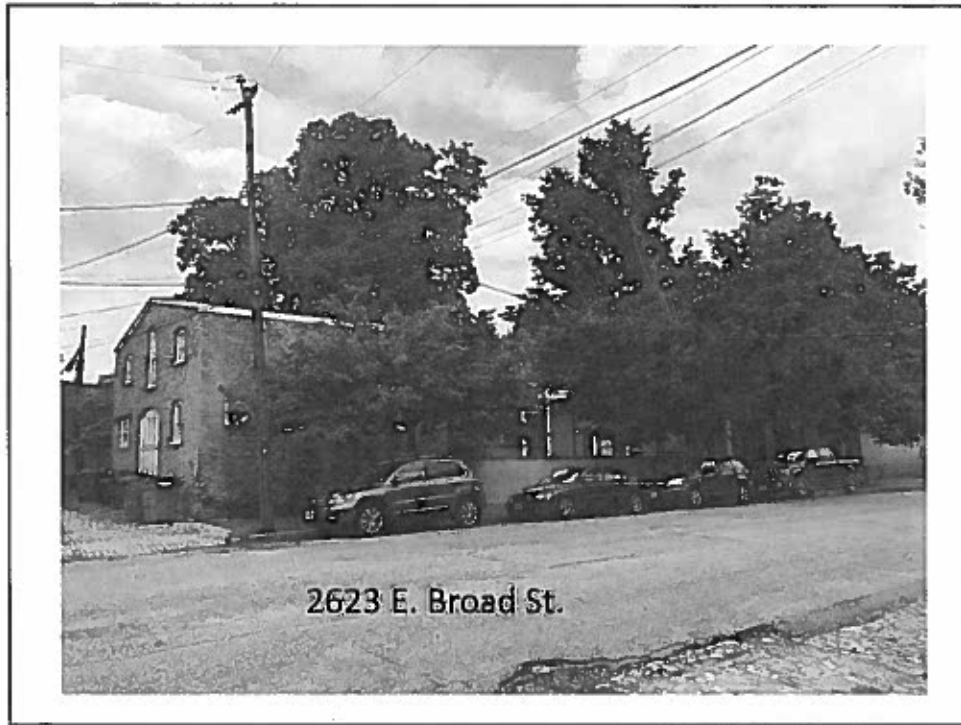
In addition, there are several more two-story outbuildings throughout historic St. John's Church.





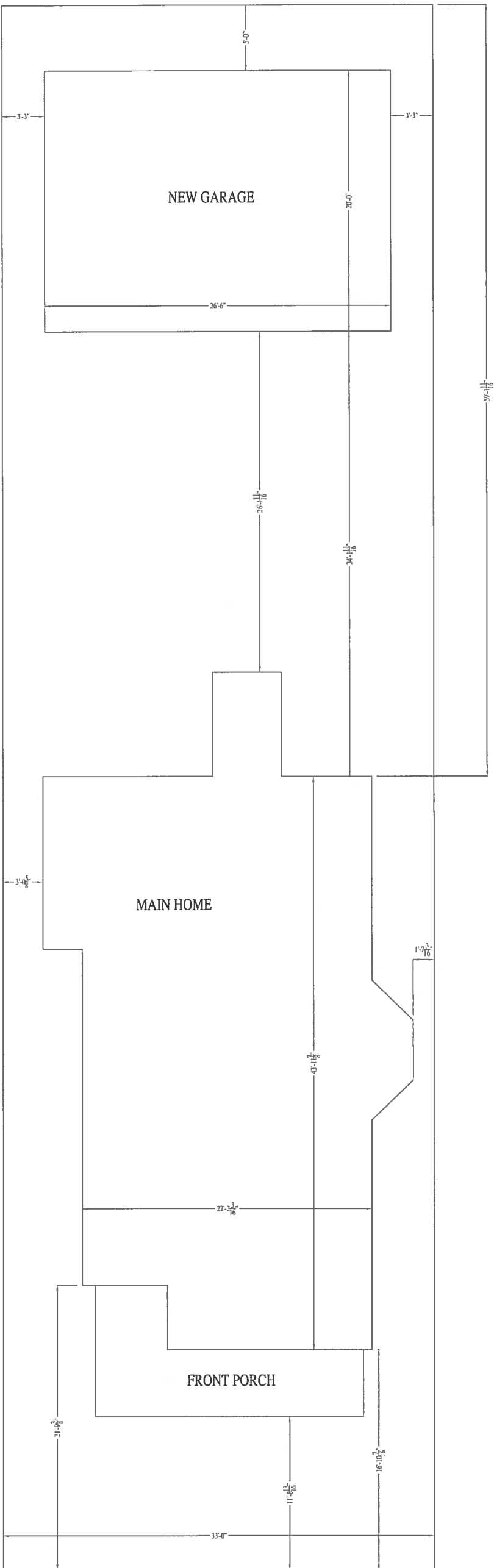






The new home at 413 will make the carriage house virtually invisible to those not walking through the alley.





SHEET:  
SITE

DATE:  
3-05-18

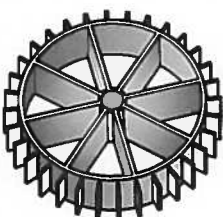
SCALE:  
1/4" = 1'-0"

NO.	DATE	REVISION
1		START

413 CHIMBORAZO BLVD.

**RIVER MILL DEVELOPMENT**

RIVERMILLDEVELOPMENT@GMAIL.COM

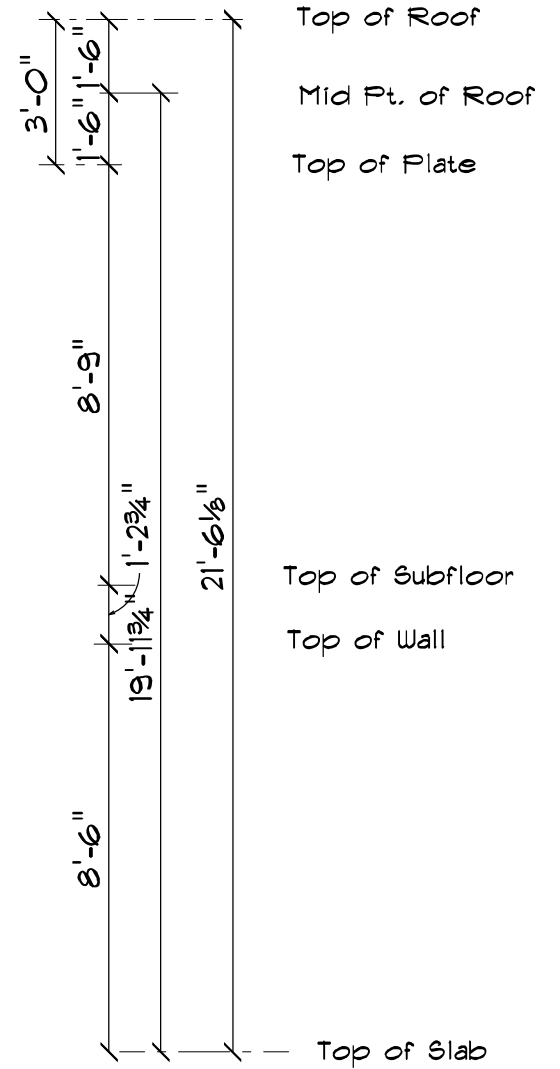
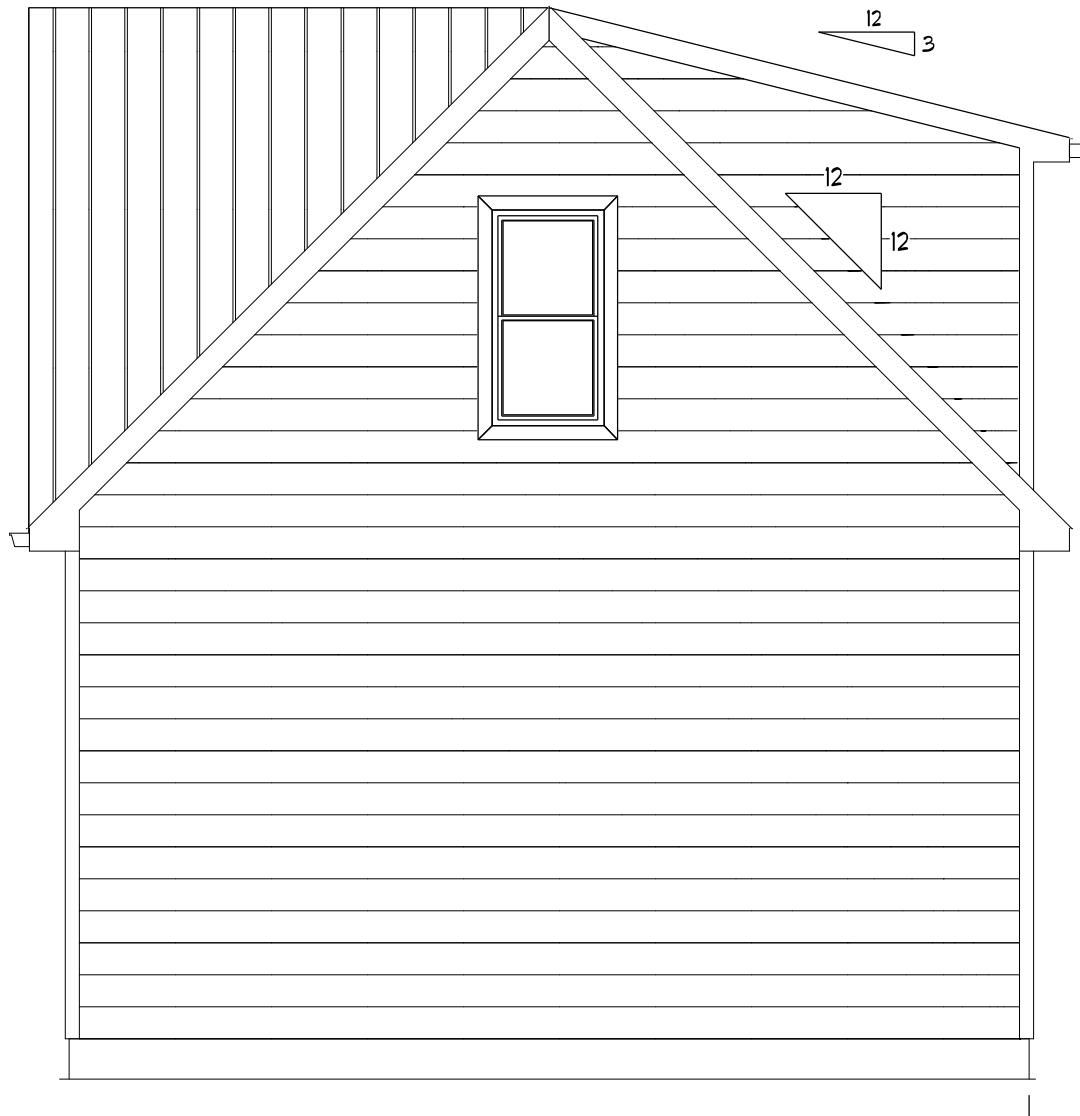


**R**IVER MILL  
DEVELOPMENT





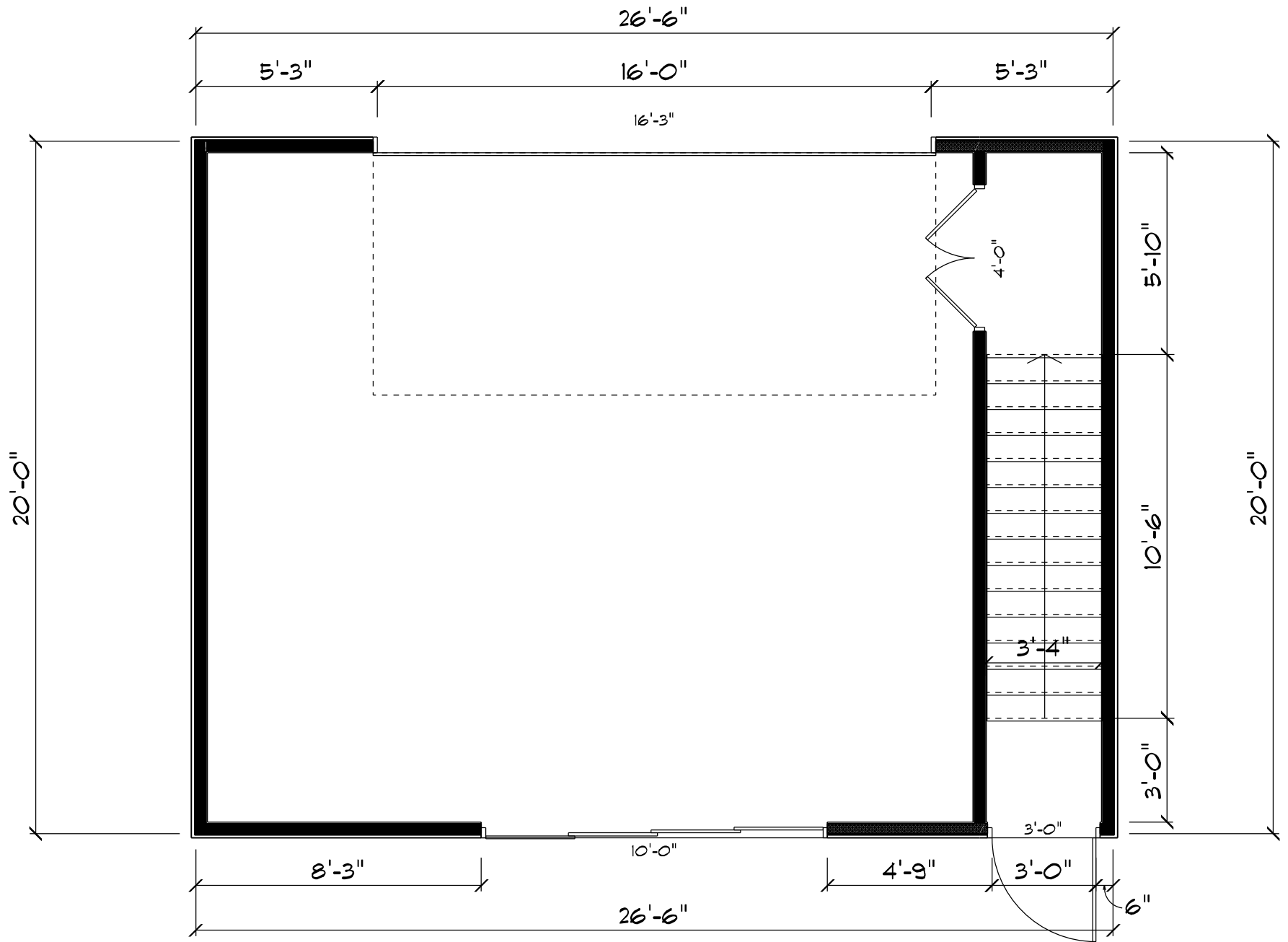
ALLEY ELEVATION



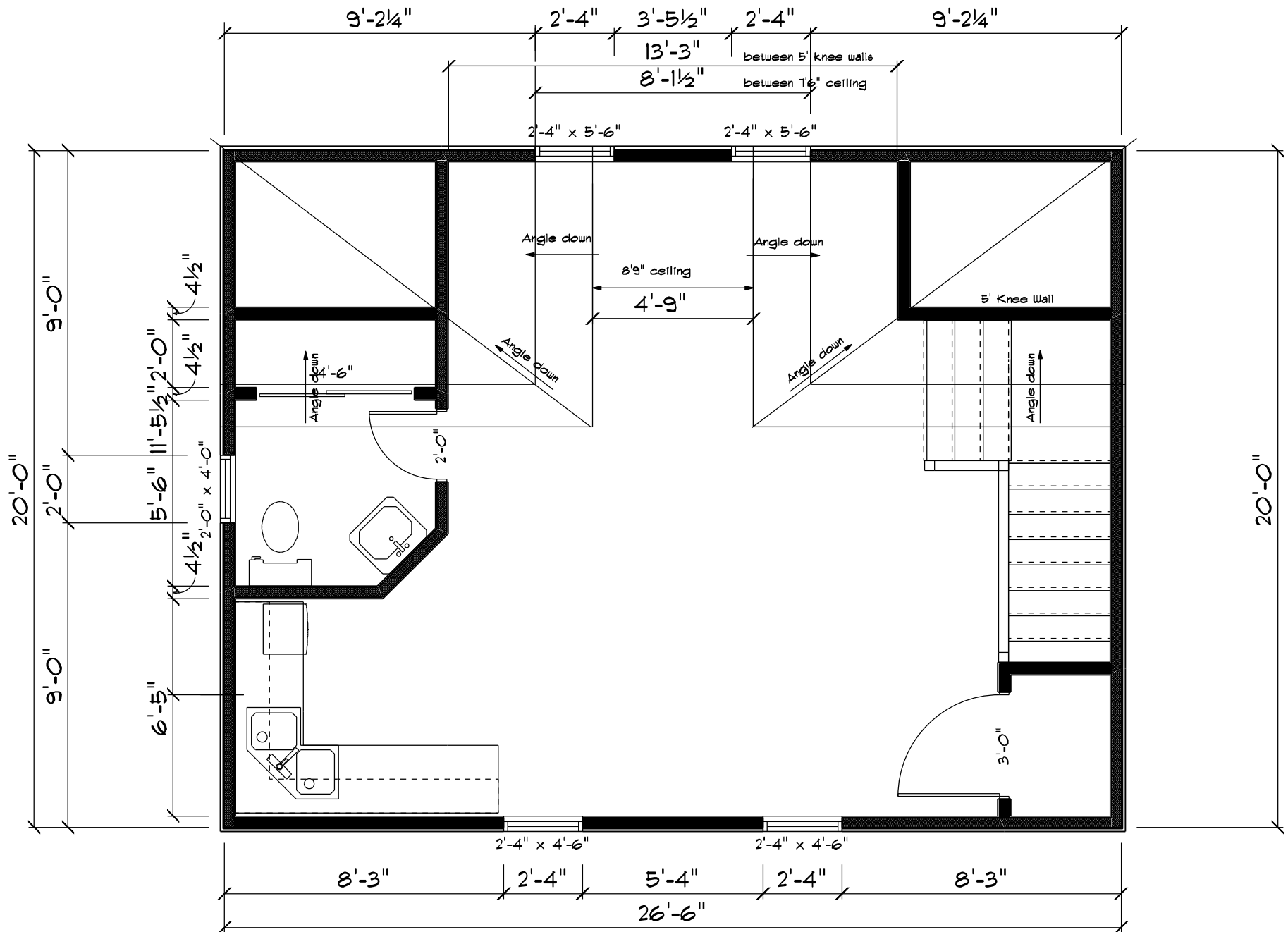
**SIDE ELEVATIONS**



HOUSE FACING SIDE



FIRST FLOOR



**SECOND FLOOR**