



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 524-526 N. 1st Street
Historic district Jackson Ward

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name Kathleen Morgan
Company Sadler+Whithead Architects
Mailing Address 726 W-33rd St.

Phone 804-231-5299
Email kathleen@sadlerandwhithead.com
Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): consultant

OWNER INFORMATION (if different from above)

Name Steven T. Alexander
Mailing Address 9211 Quioccasin Road
Henrico VA 23229

Company ALX 1st Street Townhomes
Phone 804-740-4700
Email salexander@colonyapartments.com

PROJECT INFORMATION

Review Type: Conceptual Review Final Review
Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

• Tax credit rehab of double house
• Front porch design is a compatible approach. There was no historic material or ghosting remaining in order to accurately produce the historic porch. DHR/NPS have approved this approach.
• The Part 2 letter and updated plans are included, as well as the

ACKNOWLEDGEMENT OF RESPONSIBILITY Part 2 text.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner [Handwritten Signature]

Date 10/31/19

Architecture
Historic Preservation
Furniture Design
Watercolors

Sadler & Whitehead
ARCHITECTS PLC

responding

7 September 2018

reexamining

refining

reinventing

TRANSMITTAL

restarting

TO: Christopher V. Novelli, Tax Credit Specialist
Virginia Department of Historic Resources
2801 Kensington Avenue
Richmond, VA 23221-2470

reclaiming

recalling

remembering

FR: Kathleen Morgan, Project Manager *KM*

respecting

recycling

RE: 524-526 N. 1st Street, NPS# 37914, DHR# 2017-252
524-526 N. 1st Street, Richmond, VA 23219-1302
Part 2 State and Federal tax credit applications

restructuring

restoring

renovating

TRANSMITTING:

reviving

2 copies each:

retracing

redeeming

- Check, copy of check, billing statement
- Part 2 State and Federal Tax Credit Applications
- Part 2 photograph #23
- Project drawings, Walter Parks Architects, 6 sheets
- 1905 Sanborn Map

reconfiguring

resolving

revisiting

reducing

resurrecting

NOTE:

reusing

Enclosed is the State and Federal Part 2 tax credit application for 524-526 N. 1st Street, located in the Jackson Ward Historic District in Richmond, Virginia. Please contact us if you have any questions or requests for additional information.

recalling

regenerating

revising

rewarding

researching

COPIES: National Park Service
Steven T. Alexander, ALX 1st Street Townhomes, LLC
Walter Parks, Walter Parks Architects (by email)

revealing

726 West 33rd Street

Richmond, Virginia

23225-3533

P 804.231.5299

F 804.231.5298

sadler@sadlerandwhitehead.com



UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

OMB Approved
No. 1024-0009
Form 10-168
Rev. 2014

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION

NPS Project Number
37914, DHR #2017-252

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. Property Name 524-526 N. 1st Street
 Street 524-526 N. 1st Street
 City Richmond County _____ State VA Zip 23219-1302
 Name of Historic District Jackson Ward Historic District
 Listed individually in the National Register of Historic Places; date of listing _____
 Located in a Registered Historic District; name of district Jackson Ward Historic District
 Part 1 – Evaluation of Significance submitted? Date submitted 12/15/2017 Date of certification 12/28/2017

2. Project Data
 Date of building ca. 1880 Estimated rehabilitation costs (QRE) \$600,000
 Number of buildings in project 1 Floor area before / after rehabilitation 5,336 / 5,336 sq ft
 Start date (estimated) 5/1/18 Use(s) before / after rehabilitation res / res
 Completion date (estimated) 5/1/19 Number of housing units before / after rehabilitation 4 / 4
 Number of phases in project 1 Number of low-moderate income housing units before / after rehabilitation 0 / 0

3. Project Contact (if different from applicant)
 Name Mary Harding Sadler or Kathleen Morgan Company Sadler & Whitehead Architects, PLC
 Street 726 W. 33rd Street City Richmond State VA
 Zip 23225-3531 Telephone (804) 231-5299 Email Address sadler@ or kathleen@sadlerandwhitehead.com

4. Applicant
 I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1007, which, under certain circumstances, provides for imprisonment of up to 8 years.
 Name Steven T. Alexander Signature [Signature] Date 3/1/18
 Applicant Entity ALX 1st Street Townhomes, LLC SSN _____ or TIN 47-2217899
 Street c/o Colony Apt Homes, 9211 Quioccasin Rd City Henrico State VA
 Zip 23229-5425 Telephone (804) 740-4700 Email Address salexander@colonyapartmenthomes.com
 Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:

- the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
- the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
- the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

Date _____ National Park Service Authorized Signature _____

NPS conditions or comments attached

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Property name 524-526 N. 1st Street NPS Project Number 37914, DHR #2017-
Property address 524-526 N. 1st Street Richmond VA 23219-1302

5. Detailed description of rehabilitation work Use this page to describe all work or create a comparable format with this information.
Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

Number 1	Feature 524-526 N. 1st Street Overall	Date of Feature ca. 1880, ca. 1980
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Describe existing feature and its condition

524-526 N. 1st Street is a two-story, Italianate, double house located in the Jackson Ward Historic District. The building is 6 bays wide with main entrances on either end of the front elevation. The bracketed cornice with dentils is still intact, though a historic front porch was removed by a previous owner. The building has been painted white. There are two non-historic concrete block additions at the rear in very poor condition.

Each half of the double house has a side hall plan with two central interior chimneys. The plaster and trim have been removed, but the framing is intact, revealing the historic floor plan. The building has wood floors throughout.

The property includes a small grass front yard. Paved parking fills the backyard, which extends to an alley.

There are no outbuildings associated with this property.

Photo numbers All Drawing numbers All

Describe work and impact on feature

The building's historic features and finishes will be preserved, with limited in-kind replacement where deterioration is severe. A new front porch will be added. The exterior will be repainted, and new openings will be installed on the sides and rear of the building. A porch will be installed at the second story of the rear elevation.

The interior plan of the original house will be preserved with changes concentrated in the non-historic CMU additions.

A new, shared, four car garage will be built at the rear of the property.

The work will be completed in one phase.

The rehabilitation of 524-526 N. 1st Street will result in its stabilization and long-term preservation as it is restored to residential use.

Number 2	Feature Site	Date of Feature ca. 1880, ca. 1980
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Describe existing feature and its condition

- The building is sited on a typical urban lot with a small grass front yard (see photos 1-3).
- A curved concrete sidewalk leads up to the front steps, which are also concrete.
- There is a small paved sidewalk tight to the building to the south and a small grass side yard to the north (see photos 4, 7).
- A large concrete pad fills the backyard, which extends to an alley (see photo 6).

Photo numbers see above Drawing numbers A.201

Describe work and impact on feature

- The small front grass yard will be preserved.
- A new concrete sidewalk will be installed and new wood steps will be built (see Number 3).
- The side yards on both sides will remain.
- The concrete pad in the rear yard will be removed.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

- The proposed rear yard includes a small grass yard with a concrete walkway to the shared garage that extends to the alley (see Number 13).
- Brick pavers will be installed in the rear yard.
- A new painted or solid stained wood privacy fence will be installed around the rear yard. Wood fencing will divide the rear yard into two yards.

The impact will be the rehabilitation of the historic site.

Number 3	Feature Front (East) Elevation	Date of Feature ca. 1880, ca. 1980
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Describe existing feature and its condition

- The front (east) elevation is mostly intact, though a previous owner made some alterations (see photos 1-3).
- The brick is laid in stretcher bond and is painted.
- There is a bracketed wood cornice with wood dentils (see photos 1-2).
- The steps have been replaced with concrete steps that are settling in some areas.
- The two front doors have been replaced (see photos 1, 8).
- The front porch that spanned the entire front elevation was removed by a previous owner.
- The first floor window openings have been shortened and no longer have their original sills and headers (see photo 1, 11).
- The second floor windows are covered with plywood.
- The shutters that cover the windows are not original.

Photo numbers see above Drawing numbers A.301

Describe work and impact on feature

- The historic features and materials of the front elevation will be retained and restored.
- The brick will be repaired where necessary and repainted, in accordance with Preservation Brief #2.
- The bracketed wood cornice will be retained and repaired.
- New wood steps will be installed with a painted aluminum hand rail on the outside edge of the stair. The handrail will be compatible and contemporary.
- The non-historic front doors and side lites will be removed and the front entries will be restored with an arched transom and paired paneled wood doors.
- A front porch with a hipped metal standing seam roof and simple, box columns will span the front elevation. The porch will sit on short brick piers and have wood flooring. There will be no pickets or handrails associated with the porch.
- The non-historic shutters and plywood covering the window openings will be removed.
- The first floor window openings will be restored to their original size and new wood, double-hung 2/4 windows will be installed.
- The second floor windows will be retained and repaired (see Number 8).

The impact will be the preservation and restoration of historic features on the front elevation.

Number 4	Feature Side (North and South) Elevations	Date of Feature ca. 1880, ca. 1980
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Describe existing feature and its condition

NORTH AND SOUTH

- The north and south elevations are identical.
- The north and south elevations of the original building are painted brick with a stepped parapet.
- There are two separate painted CMU additions built flush to the plane of the sides of the building. Both CMU portions have no character-defining features and are non-historic.
- The first CMU addition has a small window opening on the second floor of each side and a door opening on the first floor of each side. All openings are covered with plywood (see photo 4, 7-8).
- The second CMU addition has a few rows of brick at the very top. There are no openings.

Photo numbers see above Drawing numbers A.302

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Describe work and impact on feature

NORTH AND SOUTH

- The historic features and materials of the north and south elevations will be retained and repaired.
- The original building will be repainted and repaired where necessary in accordance with Preservation Brief #2.
- Two new windows will be installed towards the ends of the original building, set significantly back from the facade. The windows will be aluminum, double-hung 1/1 windows to differentiate them from existing historic windows.
- The CMU additions will be retained and repainted.
- The small, non-historic window openings of the first CMU addition will be enlarged and receive an aluminum, double-hung 1/1 window. The non-historic door openings on the first floor will be infilled with CMU and a new aluminum, double-hung, 1/1 window will be installed to align with the enlarged window on the second floor.
- The second CMU addition will be repainted; no new openings will be installed on the north and south sides.

The impact will be the preservation of historic features on the side elevations.

Number 5	Feature Rear (West) Elevation	Date of Feature ca. 1980
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Describe existing feature and its condition

- The rear (west) elevation is a non-historic CMU addition (the second CMU addition). The addition spans the entire width of the historic double-house (see photos 5-6).
- The CMU is painted.
- The CMU block party wall is visible from the rear (see photo 6).
- There is an aluminum gutter with downspouts at either end.
- Four small non-historic window openings on the second floor align with four non-historic window openings on the first floor. The windows are covered with plywood.
- There are no character-defining or historic features on the rear.

Photo numbers see above

Drawing numbers A.301

Describe work and impact on feature

- The non-historic rear (west) elevation will be modified in a compatible-and-contemporary way.
- The CMU will be repainted.
- A new gutter with downspouts will be installed.
- The non-historic window openings will be modified to allow for aluminum, double-hung, 1/1 windows.
- A new, small, wood deck will be installed on the first floor at the middle of the rear elevation. It will have simple woodposts and wood rails and pickets.
- Two full-light fiberglass doors will lead out to the first floor deck.
- A second story, wood porch with a hipped metal roof will be installed along the rear where full-light fiberglass doors will lead onto the porch. The new porch will span the rear elevation.
- All wood features will be painted or stained a solid stain.

The impact will be the rehabilitation of the non-historic addition into a more compatible-and-contemporary addition.

Number 6	Feature Roof	Date of Feature not known
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Describe existing feature and its condition

- The main roof is a shed roof that is not visible from public view.
- A small parapet runs along the north and south sides.
- The main roof is metal and in poor condition.
- The addition roof is membrane and also in poor condition.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Photo numbers n/a

Drawing numbers n/a

Describe work and impact on feature

- The roof will maintain the shed form, which is not visible from the public view.
- The parapets will be repainted and sealed.
- The main roof will be replaced with TPO.
- The roof of the additions will also be replaced with TPO.
- The new front and rear porches will have metal, standing seam roofs.

The impact will be the installation of a secure roofing system that preserves the historic features and form while providing a water-tight building envelope.

Number 7	Feature Masonry	Date of Feature ca. 1880, ca. 1980
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Describe existing feature and its condition

- All exterior masonry (brick and CMU) is painted (see photos 1-8).
- The front elevation brick is laid in stretcher bond.
- The side elevation brick is laid in common bond.
- Repointing has taken place at the first floor windows where the openings were modified.
- A repair to the second CMU addition used brick at the top parapet on the north side.

Photo numbers see above

Drawing numbers n/a

Describe work and impact on feature

- All masonry (brick and CMU) will be repainted.
- Repairs to brick and CMU will be made where necessary in accordance with Preservation Brief #2. Any new brick and/or CMU will match the existing, and any new mortar will match the existing.
- Brick and CMU will be toothed in at new and modified openings.

The impact will be the preservation of the character defining brickwork.

Number 8	Feature Windows & Doors	Date of Feature ca. 1880, ca. 1980
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Describe existing feature and its condition

EXTERIOR

- Historic openings are located on the front elevation, though the first floor window openings have been modified (see photo 1).
- Arched brick headers exist on the second floor windows.
- The second floor windows are wood, double-hung 2/2 with arched top sashes. The first floor windows are non-historic wood, double-hung 6/6.
- Non-historic window openings on the sides and rear are associated with the non-historic, non-contributing CMU additions, and the window sashes are missing.
- The front entries maintain their original openings, but have been infilled with non-historic doors and sidelights (see photos 1, 8).
- There are two door openings on the north and south elevations that are associated with the first non-historic CMU addition. The openings are covered with plywood.

INTERIOR

- Some of the original rear window openings of the main building exist within the building envelope, though they are in very poor condition. Most of the openings have been modified or have collapsed. A few 4-lite sashes exist, though they are in poor condition (see photo 12).
- The building does not have any remaining interior doors, except for pocket doors located on the first floor of 524 (see photo 23).

Photo numbers see above

Drawing numbers All

Describe work and impact on feature

EXTERIOR

- Historic door and window openings will be preserved.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

- Arched brick headers will be preserved on the second floor and over the front entries.
- The second floor windows will be retained and repaired.
- The first floor window openings will be lengthened to accommodate wood, double-hung 2/4 windows.
- New windows at the side and rear will be aluminum, double-hung 1/1 windows. Existing windows at the sides and rear will be enlarged. New windows on the side elevation of the main house will be set back roughly 25 feet from the front elevation.
- The front entries will maintain their original openings. The infill will be removed, transom restored, and new paired, paneled wood doors will be installed.
- The two non-historic door openings on the first floor of the first CMU addition will be removed and infilled with CMU. New 1/1 windows will be installed.
- New full-lite doors will be added at the rear on the first and second floor of the rear elevation.

INTERIOR

- The historic sashes at the rear of the original building will be retained and repaired where possible. On the first floor, the existing interior windows will be encapsulated with drywall on the kitchen side. Where sashes do not exist and the openings are modified and in poor condition, the openings will either be infilled, encapsulated with drywall on both sides, or modified for door openings.
- The existing door openings will remain except the existing opening for the new master baths on the first floor; these openings will be infilled.
- New doors in new openings will be flush panel wood doors.
- New doors in historic openings will be four-paneled wood doors.

The impact will be the preservation and rehabilitation of window and door openings.

Number 9	Feature Floor Plan	Date of Feature ca. 1880, ca. 1980
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Describe existing feature and its condition

- The interiors of 524 and 526 N. 1st Street are mirror images of each other.
- Both have a side hall, double pile plan (see photos 9, 15) and two central interior chimneys (see photos 10, 16-17).
- The first two-story, CMU addition is an open north-south corridor (see photos 12-13) that leads into the second, two-story CMU addition where there are two side-by-side rooms in ruinous condition.
- The first and second floor plans are the same, though poor building conditions have caused modifications to some of the plan. Fire or partial collapse has destroyed some of the historic partitions.

Photo numbers see above

Drawing numbers A.001-002, A.201-202

Describe work and impact on feature

- The historic plan of 524-526 N. 1st Street will be preserved.
- The building will have 4 apartments - one on the first floor and one on the second floor of each half of the building.
- All existing historic walls will remain. New partitions are mostly located in the non-historic CMU additions. Non-historic walls within the CMU additions will be removed.
- Partitions for mechanical closets, closets, laundry, and bathrooms will be added in the historic section of the building.
- New partitions in the CMU additions will accommodate bedrooms, closets, and bathrooms.
- The front, historic portion will become the kitchen and living areas, while the CMU additions will accommodate bedrooms.

The impact will be the preservation and rehabilitation of the historic plan.

Number 10	Feature Interior Stairs	Date of Feature ca. 1880
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Describe existing feature and its condition

- Each half of the building has one historic stair in poor condition (see photos 9, 15).

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

- The historic stairs are wood with beadboard paneling.
- The balustrades are missing except at the second floor of 526, which has straight pickets with a curved wood baluster (see photo 21).

Photo numbers see above Drawing numbers A.001-002, A.201-202

Describe work and impact on feature

- Both historic stairs will be retained and repaired.
- The historic materials will be retained and repaired.
- Wood pickets and turned balustrades will be installed where missing. These features will match the existing features present on the second floor.
- No new interior stairs are proposed.

The impact will be the preservation and rehabilitation of the historic stairs.

Number 11	Feature Interior Finishes	Date of Feature ca. 1880, later dates
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Describe existing feature and its condition

- The poor condition of both interiors has resulted in few intact historic finishes (see photos 9-22).
- Plaster and trim have been removed throughout, but historic framing is intact.
- Some trim remains around several of the door openings and the main entries, as well as the rear window openings of the original building (see photo 12).
- Wood floors are present throughout the historic portion of the building. Large areas of wood flooring are severely deteriorated.
- The first floor of the CMU addition has a concrete slab. The upper floor of the addition is unfinished plywood.
- The CMU walls are painted and/or plastered (see photos 12 and 22).
- The original brick walls have lost most of their plaster (see photos 9-20).
- The historic ceilings have been removed, though were tight to the joists as evidenced by plaster markings (see photo 17).

Photo numbers see above Drawing numbers A.001-002, A.201-202

Describe work and impact on feature

- The remaining historic finishes will be retained and repaired in kind.
- Historic window trim and door trim will be retained and repaired. Historic trim matching existing window and door trim will be restored where missing.
- Where plaster has been removed, gypsum board drywall will be installed tight to the framing.
- The original brick walls will receive gypsum board drywall, as they were historically finished.
- The CMU walls will be finished with drywall.
- Wood floors will be retained and repaired where possible. New wood flooring will match the existing.
- Gypsum board ceilings will be installed tight to the ceiling joists. Dropped ceilings will occur in bathrooms and closets.
- New partitions and new openings will have simple, differentiated trim.

The impact will be the preservation and rehabilitation of historic finishes.

Number 12	Feature Building Systems	Date of Feature n/a
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Describe existing feature and its condition

- Existing plumbing, electrical, and HVAC systems are obsolete and in need of replacement.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Photo numbers n/a

Drawing numbers n/a

Describe work and impact on feature

- New plumbing, electrical, and HVAC systems will be installed throughout.
- Systems will be concealed. Dropped ceilings in closets and bathrooms will hide necessary systems.
- HVAC units will be installed in the rear yard, not visible from the street.

The impact will be the introduction of modern systems with minimal impact on the historic features of the building.

Number 13	Feature Garage (New Construction)	Date of Feature n/a
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Describe existing feature and its condition

- The rear yard is covered with a concrete slab (see photo 6).
- Sanborn maps show that secondary resources/accessory structures once occupied the rear of the property.

Photo numbers see above

Drawing numbers A.201-202, A.302

Describe work and impact on feature

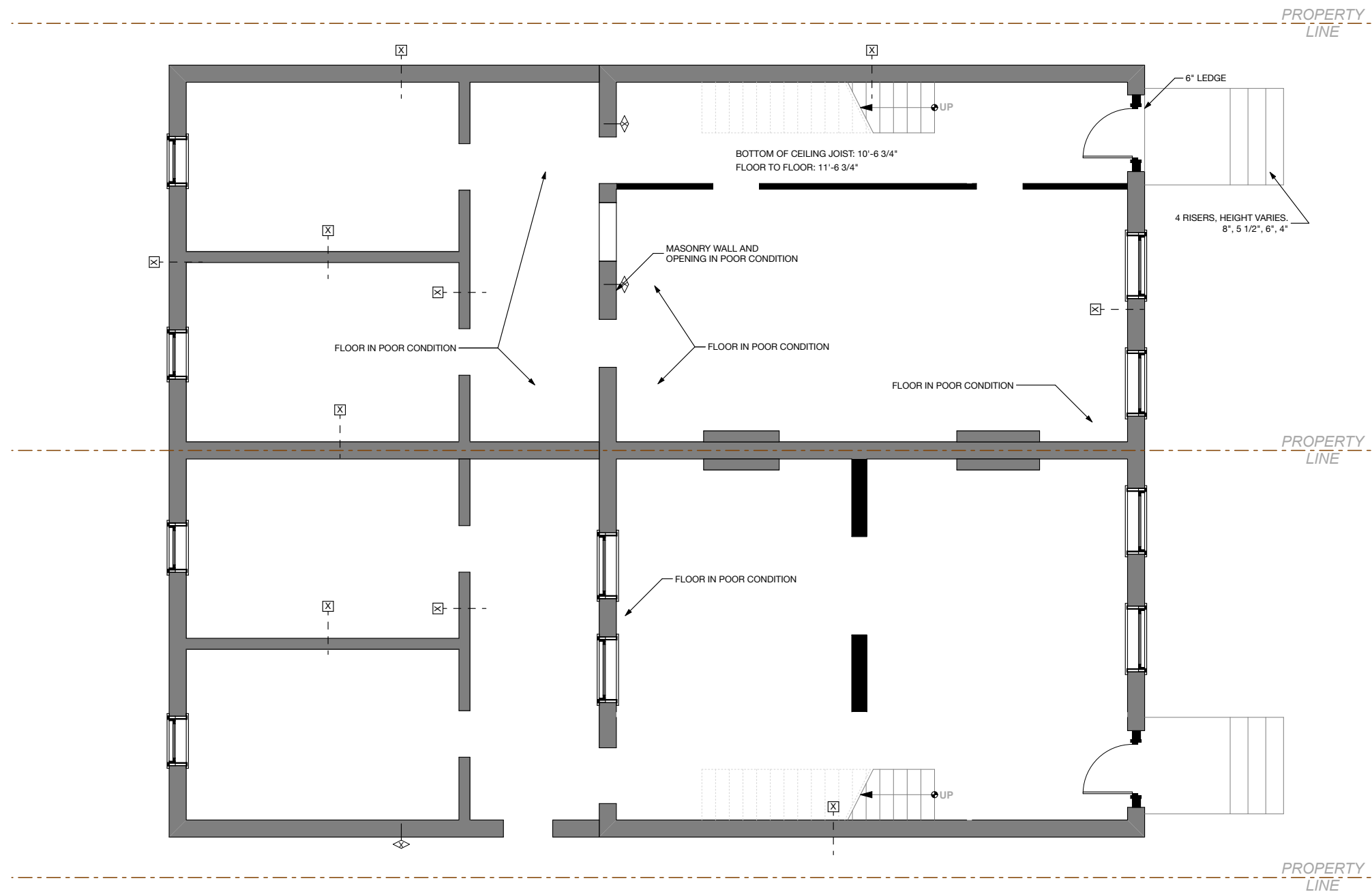
- A subordinate, shared, four-car garage will be constructed at the rear of the property.
- The garage will have a flat, membrane roof.
- The garage will be clad in Hardiplank siding and have paneled metal roll up doors on the alley elevation.
- Half-lite, paneled doors will be installed on the north, south, and east elevations.
- There will be two 1/1 aluminum windows on the east elevation.
- The interior will be drywall with concrete floors.

The impact will be the addition of a compatible-and-contemporary outbuilding.

Add Item



1st Street Apartments
 526-528 N. 1st Street
 Richmond, Virginia 23220



1/4" = 1'-0"

SECOND FLOOR

Interior walls and openings are approximate based on stud wall locations. Property is in extremely deteriorated condition and not very accessible.

REVISIONS	
TAG	DATE

walter PARKS
 ARCHITECT

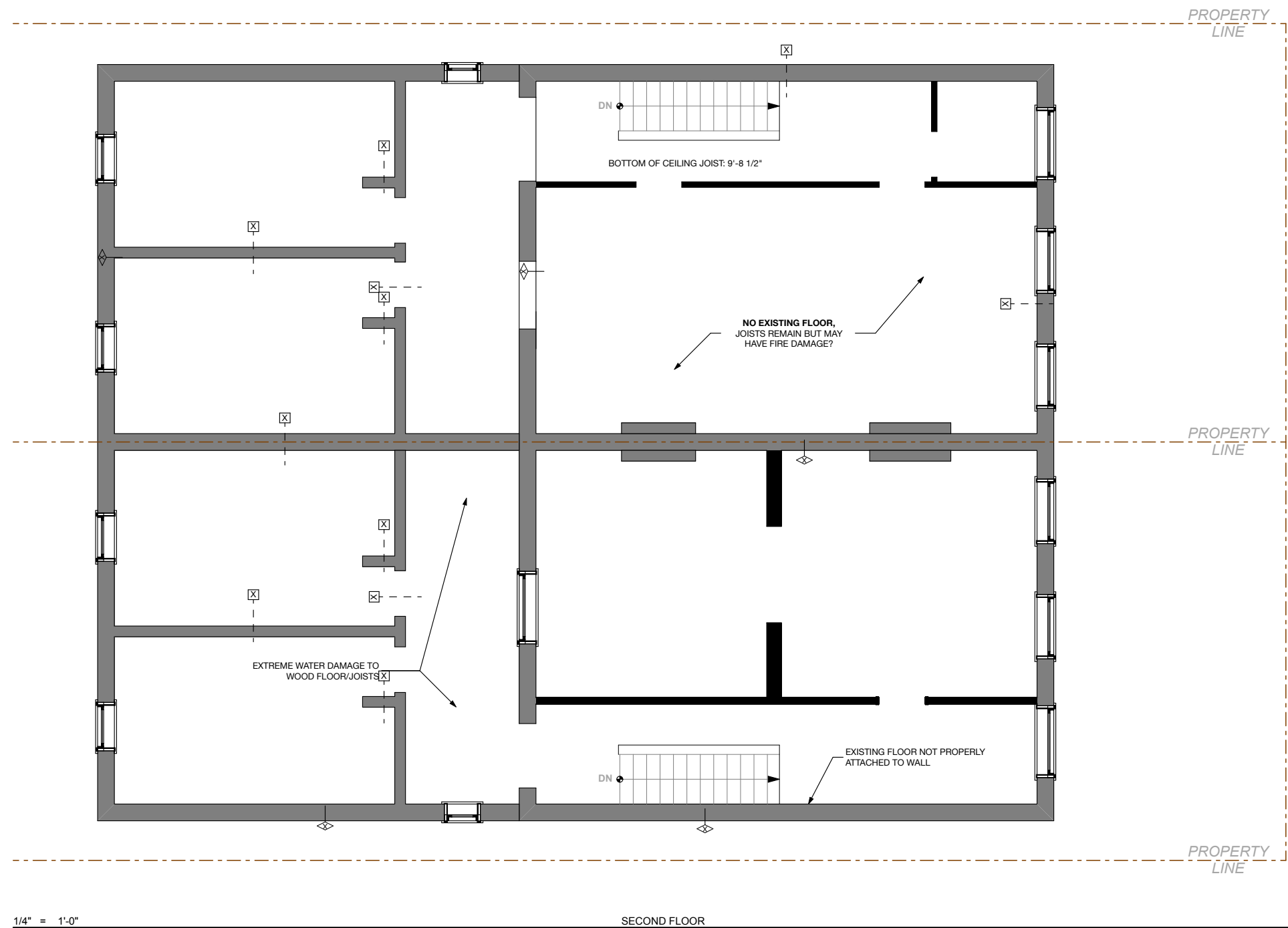
313 N. ADAMS STREET
 RICHMOND, VIRGINIA 23220
 t: 644-4761 / f: 644-4763

PROJECT #: 13.41
 DATE: 2/25/18

FIRST FLOOR- AS
 BUILT
A.001



1st Street Apartments
 526-528 N. 1st Street
 Richmond, Virginia 23220



Interior walls and openings are approximate based on stud wall locations. Property is in extremely deteriorated condition and not very accessible.

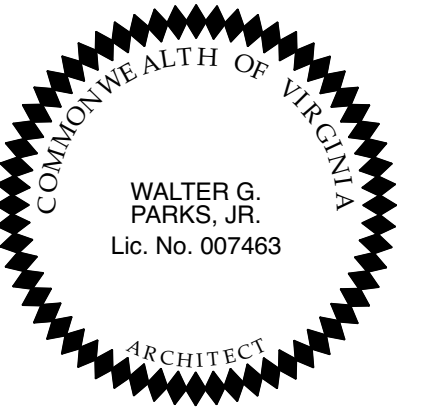
REVISIONS	
TAG	DATE

walter PARKS
 ARCHITECT

313 N. ADAMS STREET
 RICHMOND, VIRGINIA 23220
 t: 644-4761 / f: 644-4763

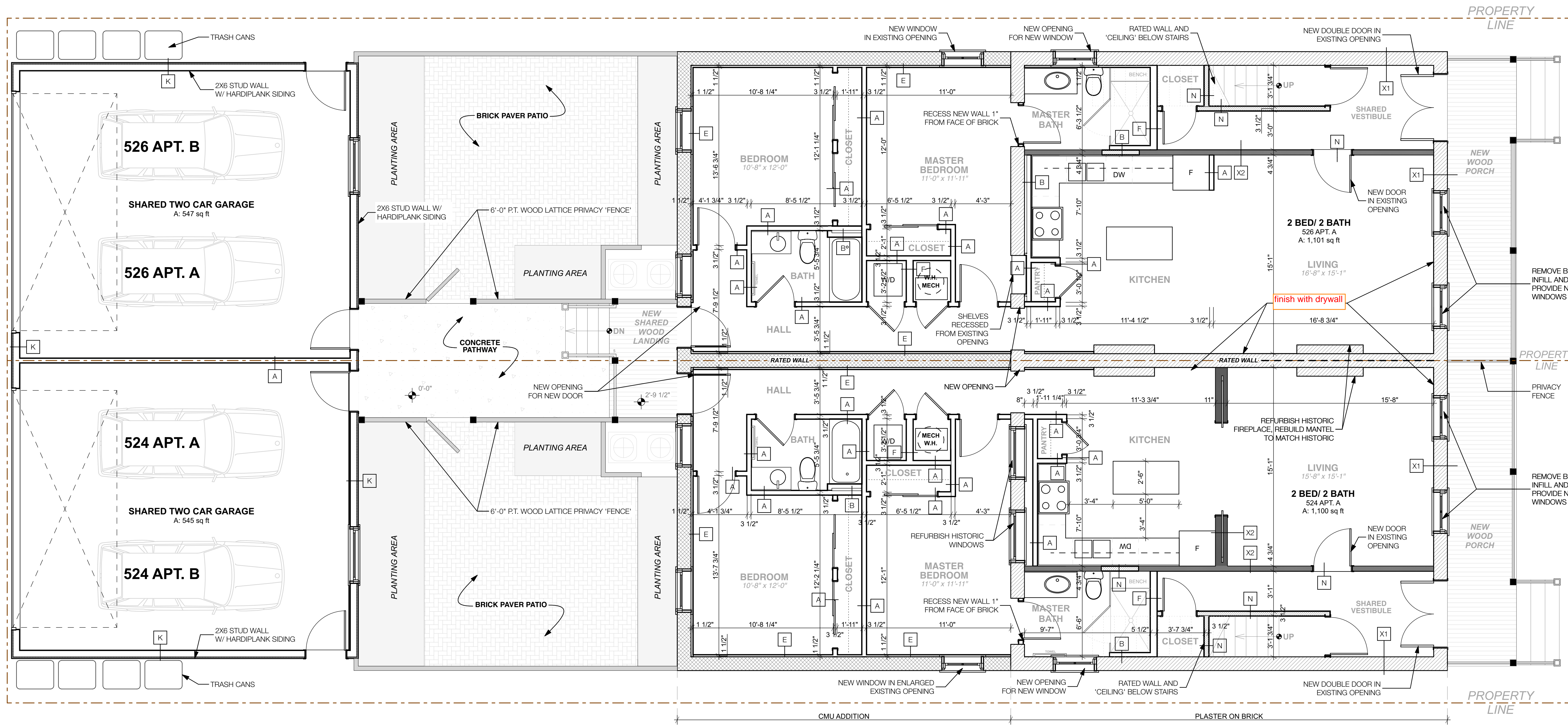
PROJECT #: 13.41
 DATE: 2/25/18

SECOND FLOOR -AS-BUILT
A.002



1st Street Apartments

524 - 526 N. 1st Street
Richmond, Virginia 23220



REVISIONS	
TAG	DATE

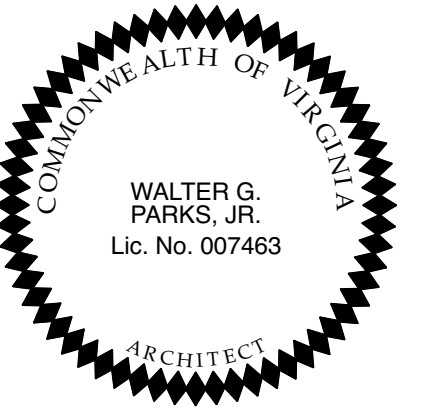
walter PARKS
ARCHITECT

313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

PROJECT #: 13.41
DATE: 8/9/18

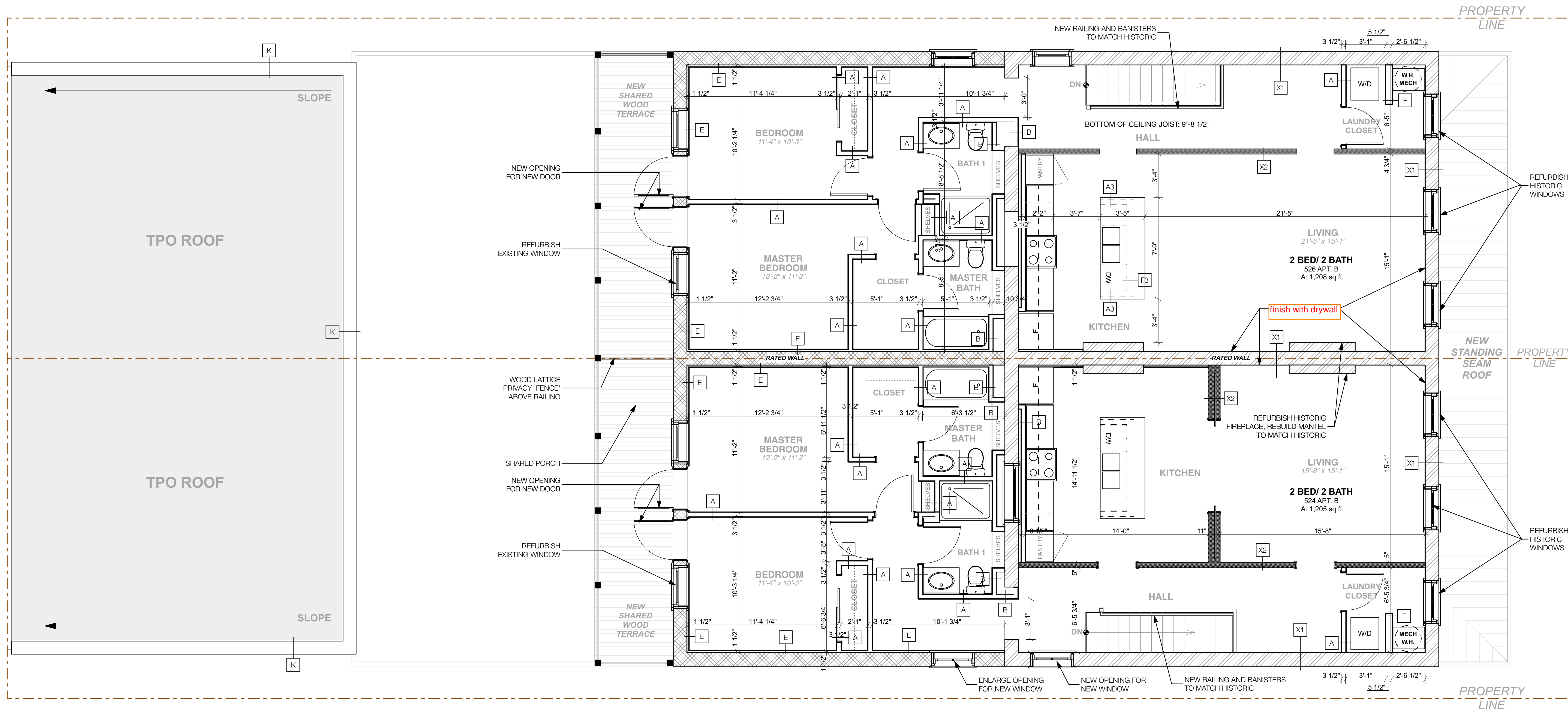
FIRST FLOOR PLAN
A.201

FIRST FLOOR
SCALE: 1/4" = 1'-0" 1



1st Street Apartments

524 - 526 N. 1st Street
Richmond, Virginia 23220



REVISIONS	
TAG	DATE

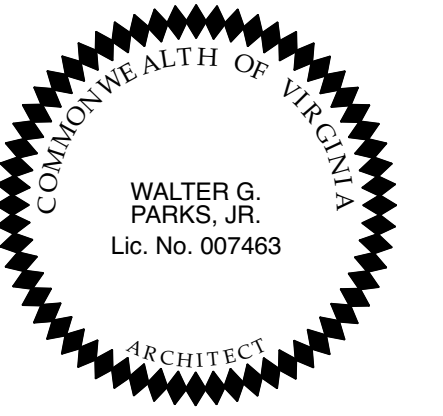
walter PARKS
ARCHITECT

313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

PROJECT #: 13.41
DATE: 8/9/18

SECOND FLOOR
SCALE: 1/4" = 1'-0" 1

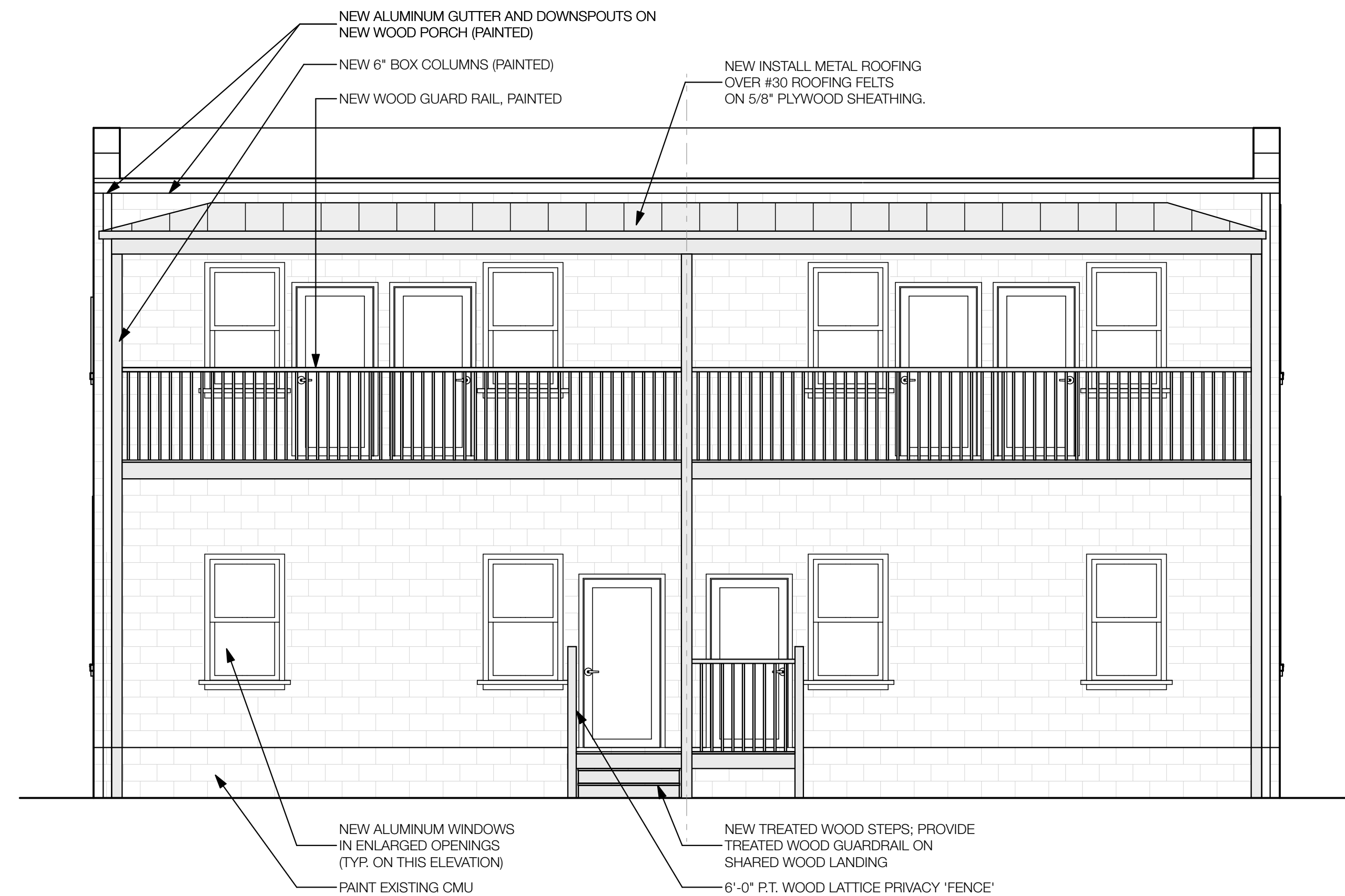
SECOND FLOOR PLAN
A.202



1st Street Apartments
 524 - 526 N. 1st Street
 Richmond, Virginia 23220



FRONT ELEVATION - EAST
 SCALE: 1/4" = 1'-0" 1



REAR ELEVATION - WEST
 SCALE: 1/4" = 1'-0" 2

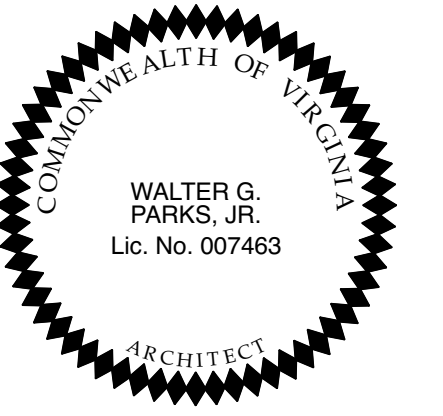
REVISIONS	
TAG	DATE

walter PARKS
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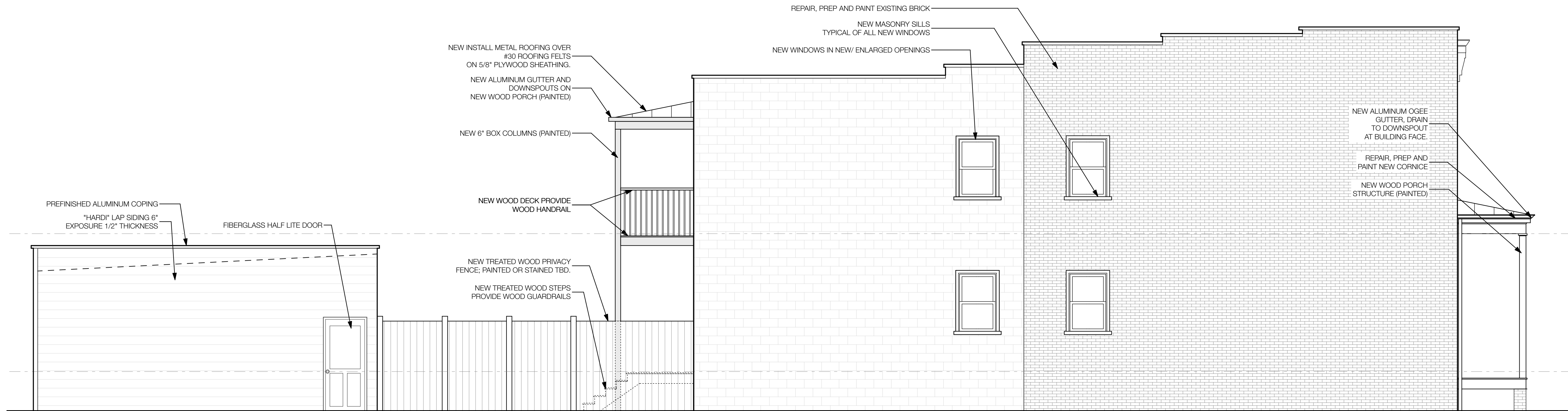
313 N. ADAMS STREET
 RICHMOND, VIRGINIA 23220
 t: 644-4761 / f: 644-4763

PROJECT #: 13.41
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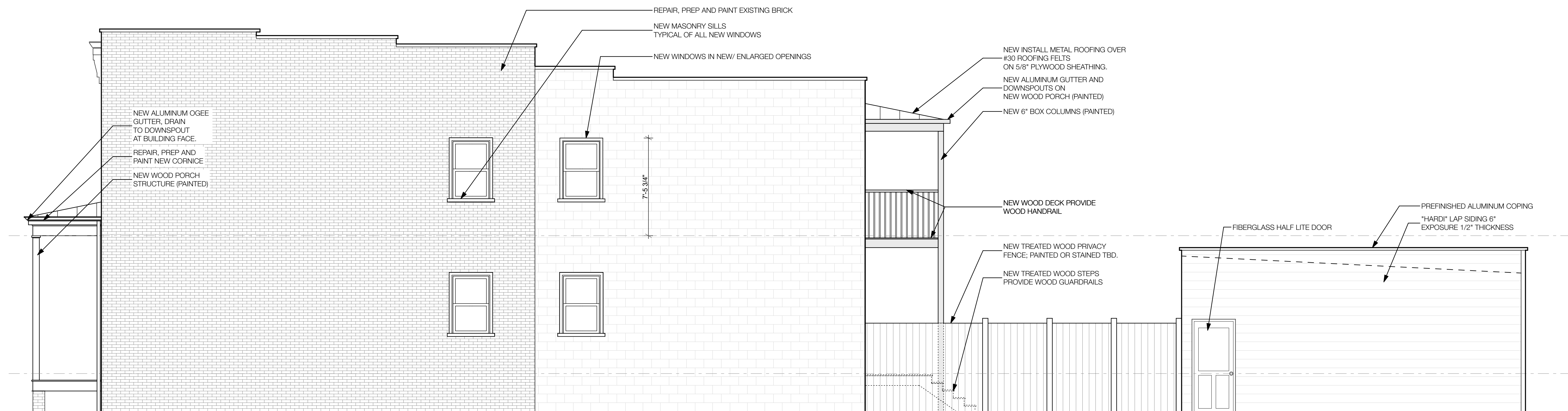
ELEVATIONS
A.301



1st Street Apartments
 524 - 526 N. 1st Street
 Richmond, Virginia 23220



SIDE ELEVATION - SOUTH
 SCALE: 1/4" = 1'-0" 1



SIDE ELEVATION - NORTH
 SCALE: 1/4" = 1'-0" 2

REVISIONS	
TAG	DATE

walter PARKS
 ARCHITECT

313 N. ADAMS STREET
 RICHMOND, VIRGINIA 23220
 t: 644-4761 / f: 644-4763

PROJECT #: 13.41
 DATE: 8/9/18

ELEVATIONS
A.302

524-526 N. 1st Street, Richmond VA
NPS# 37914, DHR# 2017-252
Part 2 Photo



23. Pocket doors

67

64

ST. PETER

PRENTIS

W. CLAY

N. ADAMS

W. LEIGH

68

CLARK ST.

E. CLAY

ST. JAMES

E. LEIGH

E. JACKSON

2

6

N. 1ST 71

ST.

1

PULLIAM

PRICE

4

St. Mark's Church

Clay St. M.E. Church

St. Paul's Church

St. Phillips Church

Leigh St. M.E. Church

Leigh St. School

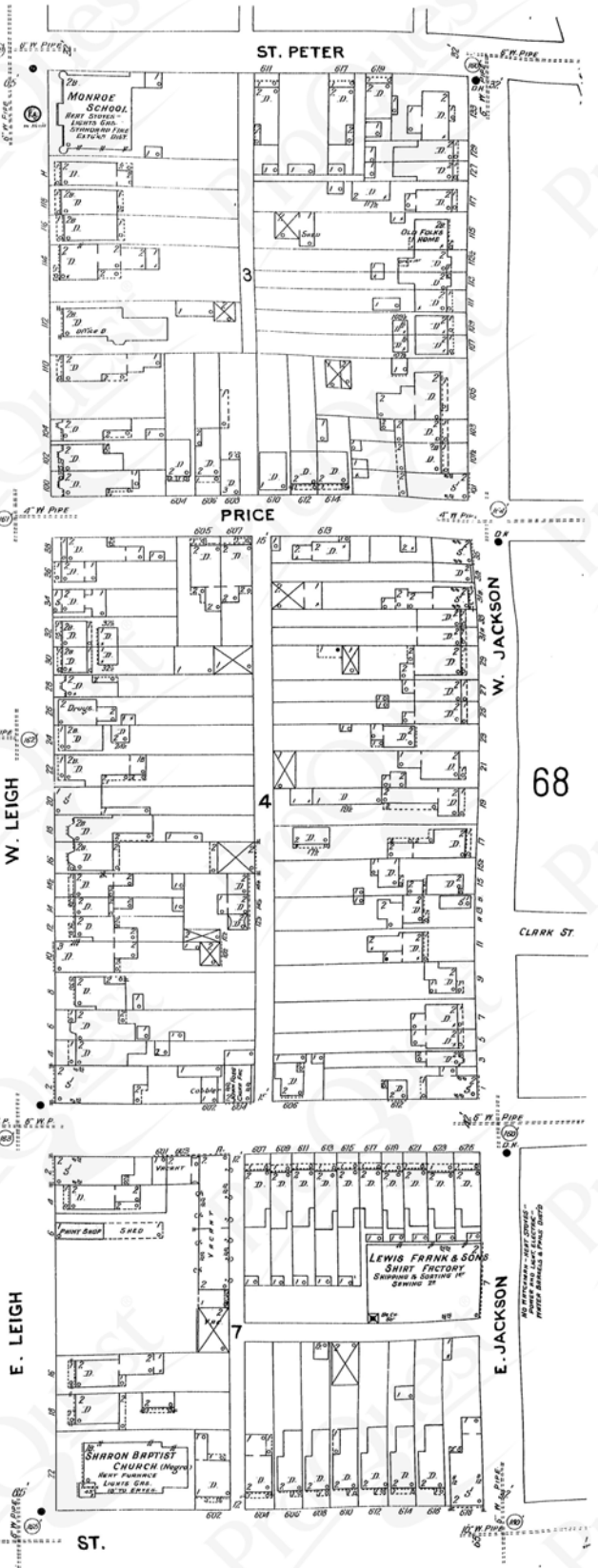
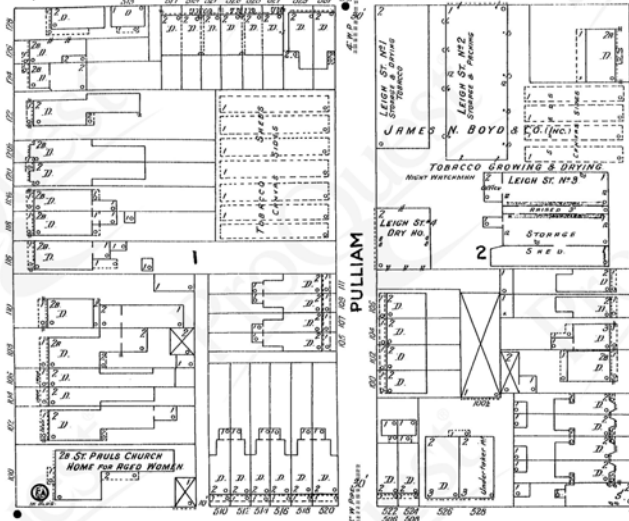
Sharon Baptist Church

Lewis Frank & Sons

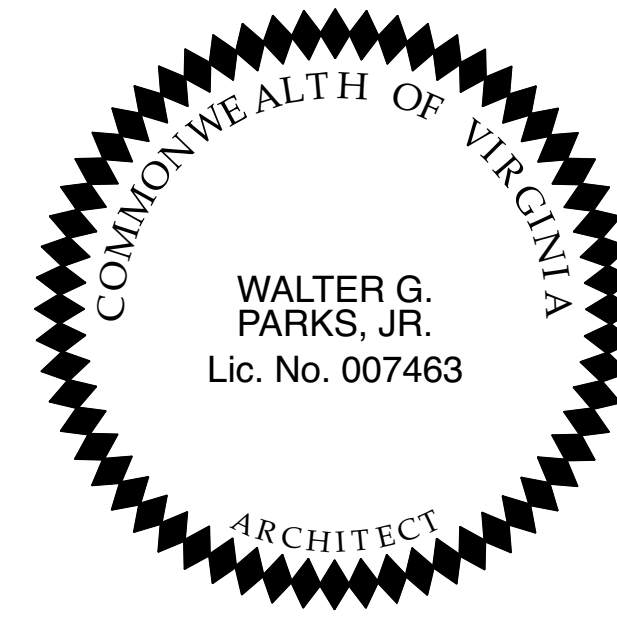
James H. Boyd

Tobacco Growing & Dring

Monroe School



Scale of Feet.



Apartments

526-528 N. 1st Street
Richmond, Virginia 23220

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313 N. ADAMS STREET
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PROJECT #: #PIn
DATE: 10/18/19



Apartments
526-528 N. 1st Street
Richmond, Virginia 23220

REVISIONS	
TAG	DATE

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313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
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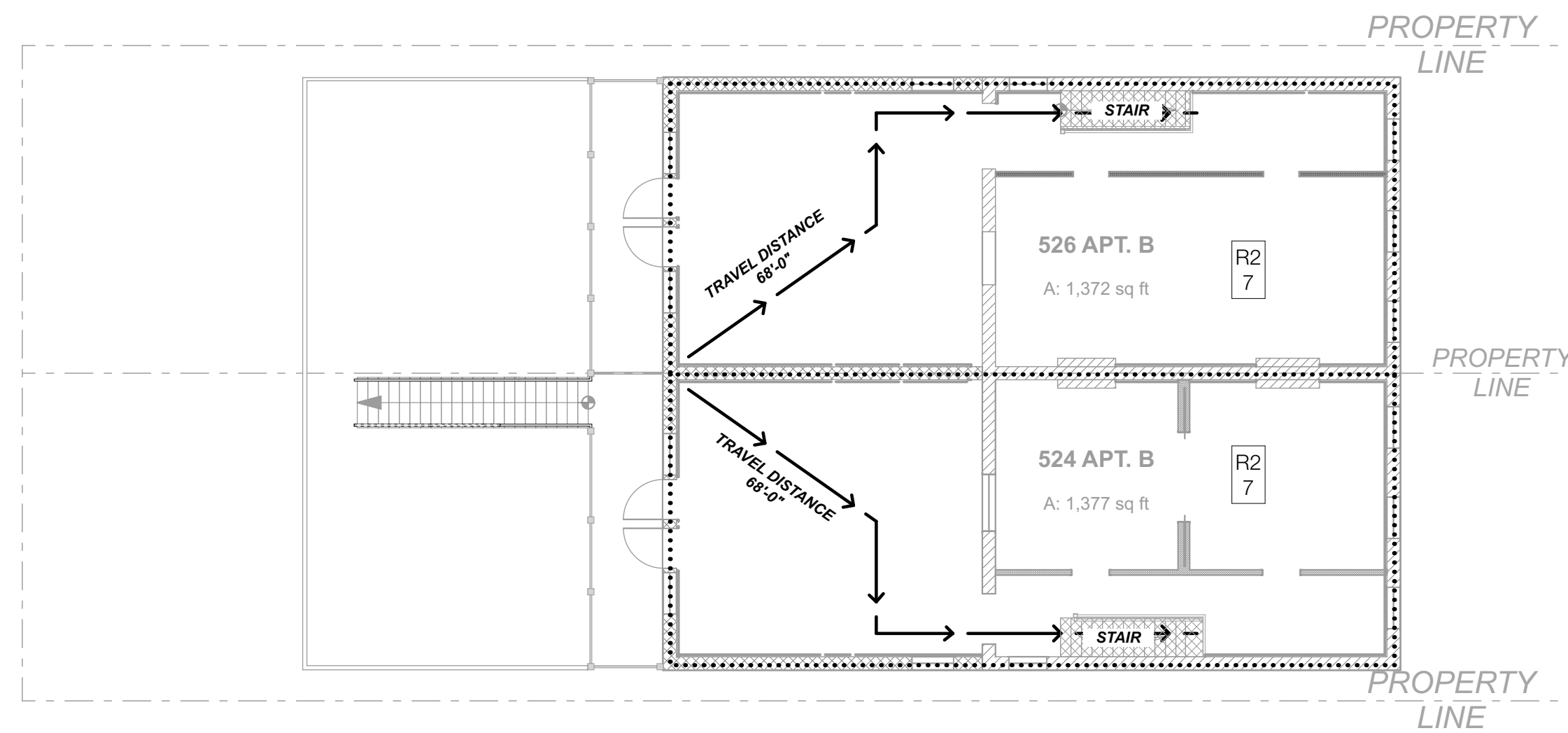
COVER
A.0

LIFE SAFETY PLAN LEGEND	
USE GROUP	R-2 132 (PER 2012 IBC TABLE 1004.1.1)
OCCUPANCY	
1/2 -HOUR FIRE-RESISTANCE RATED WALL	---
1-HOUR FIRE-RESISTANCE RATED WALL
2-HOUR FIRE-RESISTANCE RATED WALL	----
EGRESS CAPACITY (PER 2012 IBC SECTION 1005.1 & TABLE 3412.6.11(1))	180
TRAVEL DISTANCE	ID: 'X'-X'
PATH OF EGRESS	▬
1 HOUR FLOOR ASSEMBLY	▨
EGRESS STAIR	▩

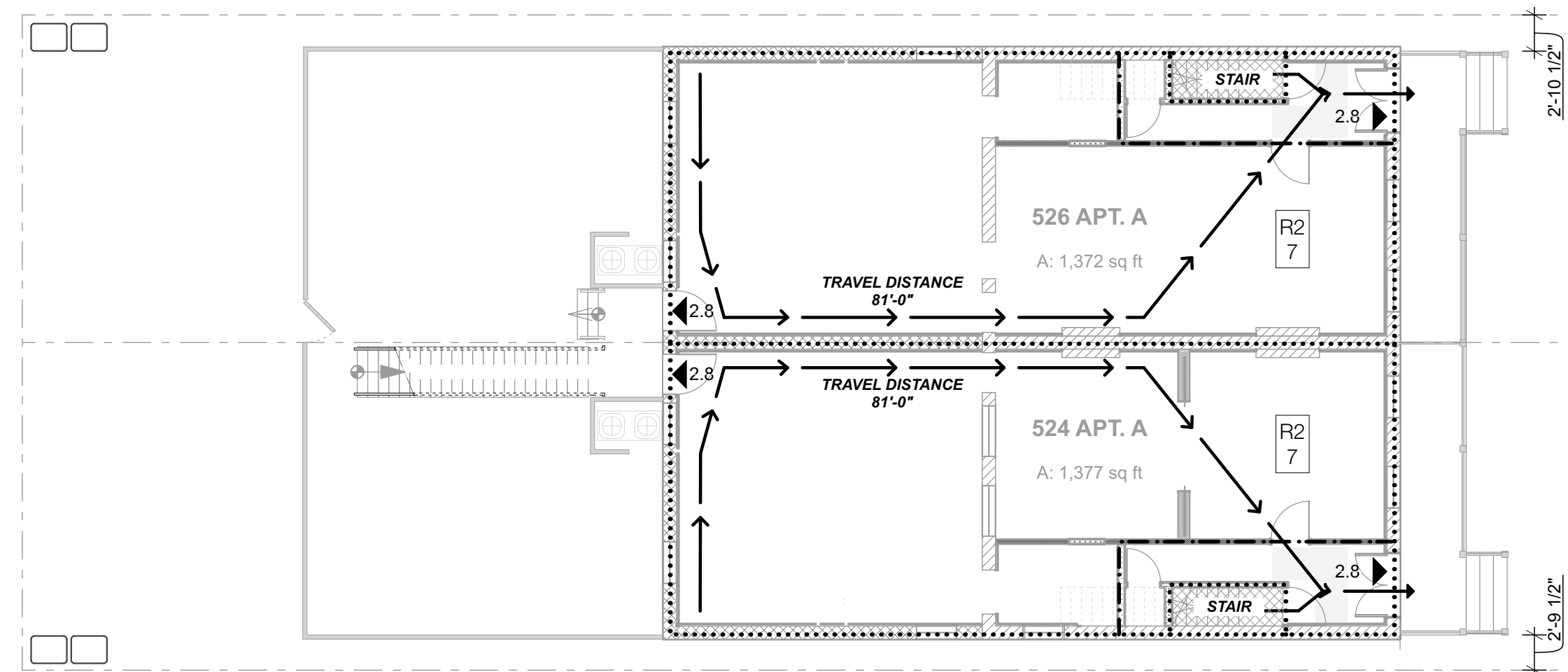
LIFE SAFETY PLAN NOTES	
1.	THE PROJECT IS DESIGNED IN ACCORDANCE WITH 2012 IBC WITH VIRGINIA AMENDMENTS.
2.	ALL STRUCTURAL ELEMENTS ARE TO BE RATED IN ACCORDANCE WITH THE CONSTRUCTION TYPE REQUIREMENTS.
3.	EGRESS/EMERGENCY LIGHTING TO BE INTEGRAL BATTERY BACKUP.
4.	PROVIDE TACTILE SIGN STATING "EXIT" ADJACENT TO DOOR AT EACH EXIT STAIRWAY, EXIT DOOR AND PASSAGEWAY. EACH SIGN SHALL BE MOUNTED ON THE LATCH SIDE AT 54 INCHES ABOVE FLOOR.

WPA GBA SUMMARY	
Zone Name	Area
524 APT. A	1,377.34
524 APT. B	1,377.34
526 APT. A	1,372.47
526 APT. B	1,372.47
	5,499.62 sq ft

APARTMENT SUMMARY		
UNIT #	APARTMENT TYPE	AREA (sq ft)
524 APT. A	2 BED/ 2 BATH	1,101.66
524 APT. B	2 BED/ 2 BATH	1,205.37
526 APT. A	2 BED/ 2 BATH	1,100.61
526 APT. B	2 BED/ 2 BATH	1,203.69
		4,611.33 sq ft

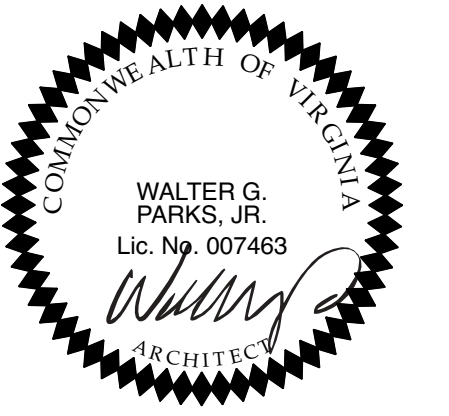


SECOND FLOOR LIFE SAFETY PLAN
SCALE: 3/32" = 1'-0" 2



FIRST FLOOR LIFE SAFETY PLAN
SCALE: 3/32" = 1'-0" 1

CODE INFORMATION	
APPLICABLE CODES	2015 VIRGINIA REHABILITATION CODE - WORK AREA COMPLIANCE METHOD 2015 VIRGINIA EXISTING BUILDING CODE 2015 INTERNATIONAL BUILDING CODE WITH VIRGINIA AMENDMENTS 2015 INTERNATIONAL MECHANICAL CODE (IMC) 2015 NATIONAL ELECTRIC CODE (NFPA-70) 2015 INTERNATIONAL PLUMBING CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015 INTERNATIONAL CODE COUNCIL (ICC-ANSI A117.1) 2015 INTERNATIONAL FIRE CODE (IFC) NATIONAL FIRE ALARM CODE (NFPA-72) LIFE SAFETY CODE (NFPA-101) STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (NFPA-13)
NARRATIVE:	BUILDING IS HISTORIC AND WILL BE MAINTAINING EXISTING ZONING.
USE	RESIDENTIAL
CONSTRUCTION TYPE	II-B (3-B)
USE GROUP	R-2 S2 RESIDENTIAL / GARAGE
ZONING	R-6
AUTOMATIC SPRINKLER SYSTEM (IBC 2012 903.3.1.2)	NFPA 13
ALLOWABLE AREA (IBC 2012 TABLE 603)	16,000
INCREASE FOR HISTORIC BUILDING (VFC1205.2) (+20%)	N/A
INCREASE FOR AUTOMATIC SPRINKLER SYSTEM (IBC 2012 506.3) (+20%)	N/A
TOTAL ALLOWABLE AREA PER FLOOR	16,000
OCCUPANCY SEPARATION NOT REQUIRED (VFC 1205.4)	
FIRST FLOOR ACTUAL AREA	2,749 1,192
SECOND FLOOR ACTUAL AREA	2,749 -
ACTUAL TOTAL FLOOR GROSS AREA	5,498 1,192
MAX. FLOOR AREA PER OCCUPANT (IBC 2012 TABLE 1004.1.1)	200 GROSS 200 GROSS
TOTAL BUILDING AREA	6,690
TOTAL OCCUPANT LOAD	27 6
DWELLING UNITS	4 4
ACCESSIBLE DWELLING UNITS REQ'D. (IBC 2012 1107.6.2.1.1- TYPE A)	0 N/A
ALLOWABLE BUILDING HEIGHT (WITH ALLOWED INCREASE 504.2)	45'-0" (55'-0") 4 STY
ACTUAL BUILDING HEIGHT	28' 2 STY (2)
REQUIRED FIRE RATINGS (IBC 2012 TABLE 601)	
EXTERIOR BEARING WALLS	2
INTERIOR BEARING WALLS	0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0
SHAFTS (IBC 2012 713.4)	1
REQUIRED OCCUPANCY SEPARATIONS (IBC 2012 506.4, 709.3, 1018.1)	
BETWEEN R-2 TENANTS (708.3)	1
BETWEEN R-2 TENANTS AND CORRIDORS	0.5
BETWEEN R-2 & B USE GROUPS (NOT REQUIRED PER VFC 1205.4)	0
REQUIRED EXITS PER BUILDING (IBC 2012 TABLE 1021.1 & 1015.2.1)	2
TRAVEL DISTANCE REQUIRED (IBC 2012 TABLE 1016.1)	125'
DEAD END CORRIDOR (VFC 806.3)	70' MAX
PLUMBING FIXTURE CALCULATIONS	CALCULATED PER (IBC 2012 TABLE)
OCCUPANCY	R-2 S2
OCCUPANTS PER AREA	27 6
WATER CLOSETS (REQUIRED)	1 PER DWELLING UNIT N/A
WATER CLOSETS (PROVIDED)	MINIMUM 1 PER DWELLING UNIT -
URINALS (PROVIDED)	N/A -
LAVATORIES (REQUIRED)	1 PER DWELLING UNIT N/A
LAVATORIES (PROVIDED)	MINIMUM 1 PER DWELLING UNIT -
DRINKING FOUNTAIN (REQUIRED)	N/A N/A
DRINKING FOUNTAIN (PROVIDED)	- -
SERVICE KITCHEN SINK (REQUIRED)	N/A N/A
SERVICE KITCHEN SINK (PROVIDED)	- -



1st Street Apartments

524 - 526 N. 1st Street
Richmond, Virginia 23220

REVISIONS	
TAG	DATE

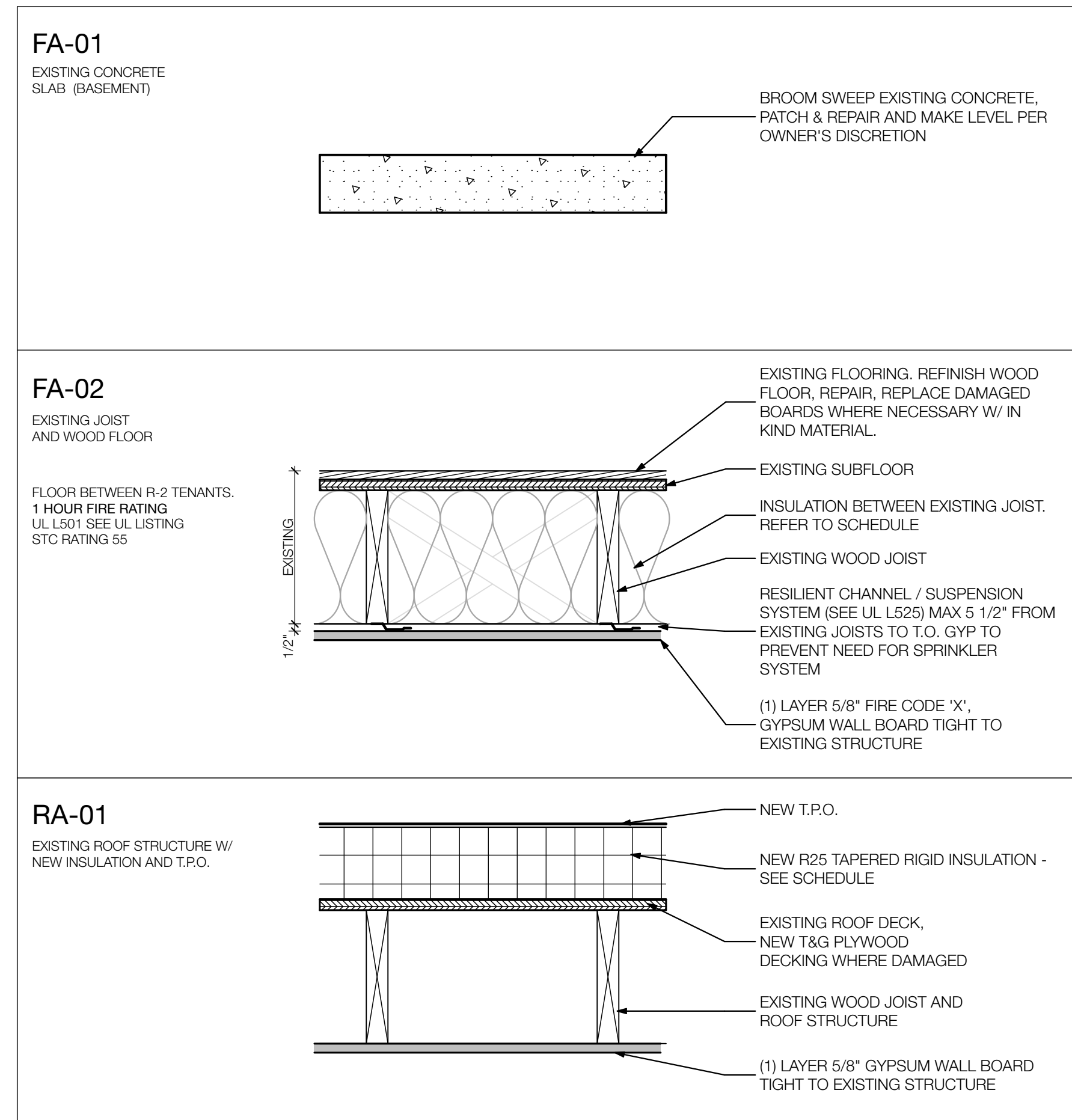
walter PARKS ARCHITECT

313 N. ADAMS STREET
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t: 644-4761 / f: 644-4763

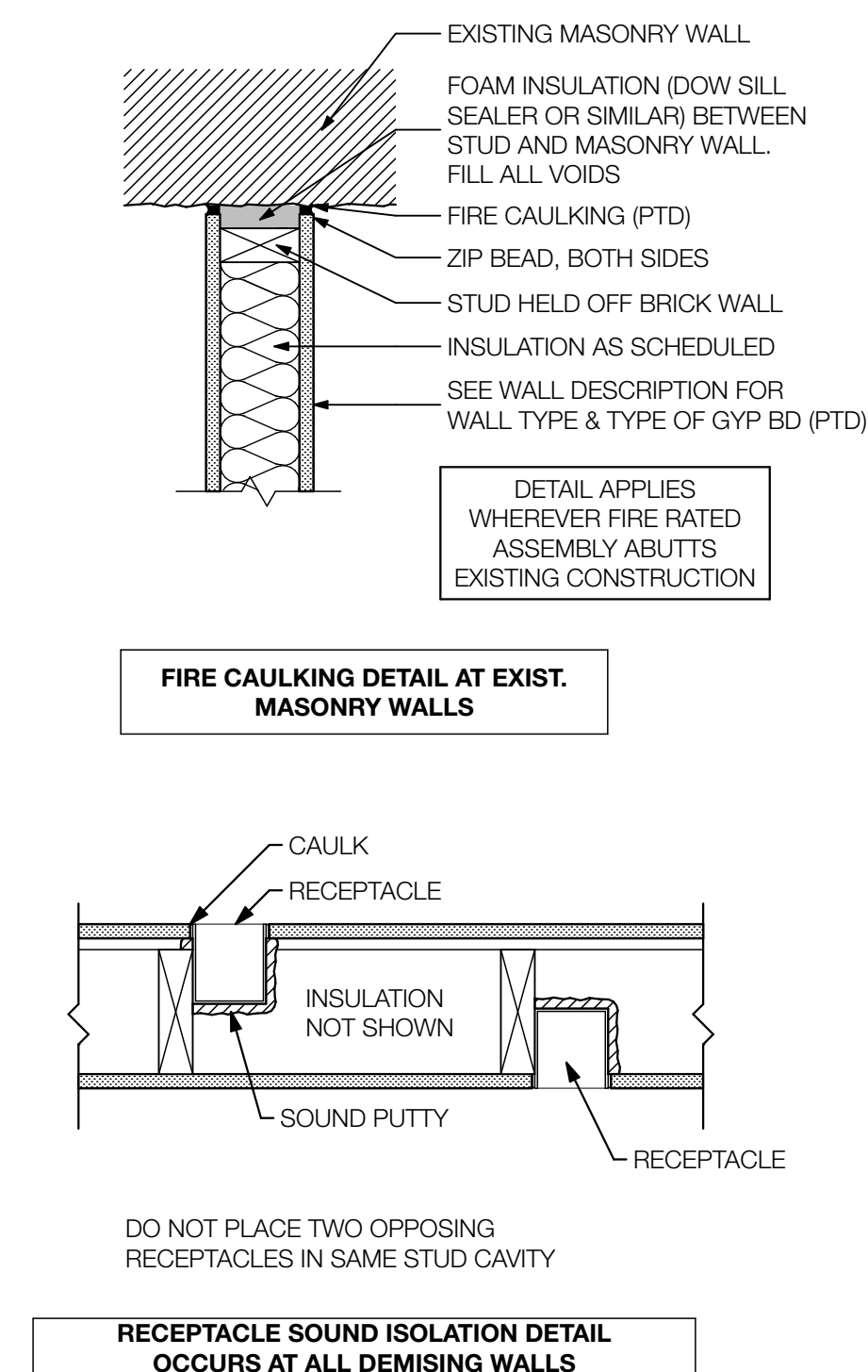
PROJECT #: 13.41
DATE: 10/18/19

LIFE SAFETY PLANS
LS.101

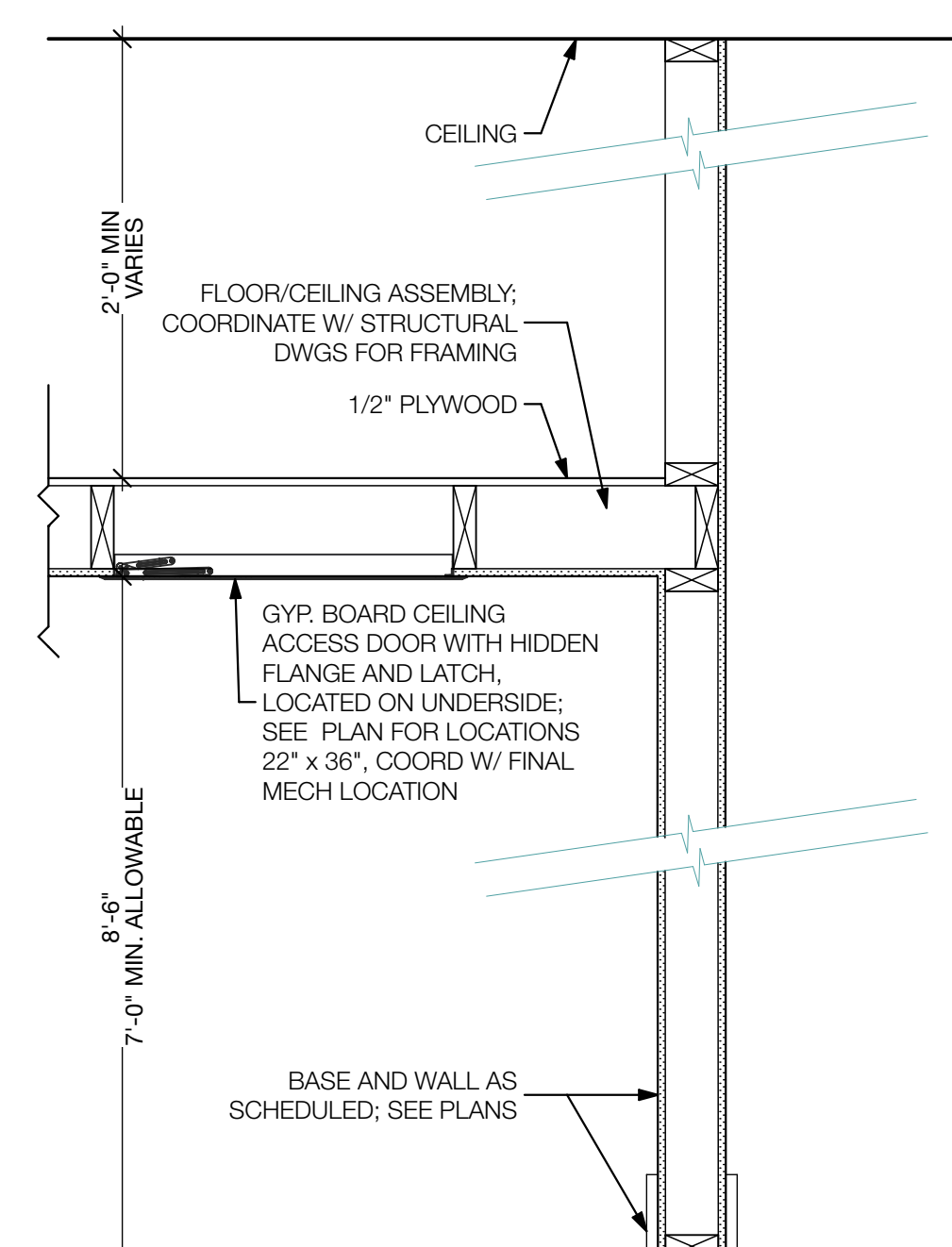
FLOOR / ROOF ASSEMBLIES



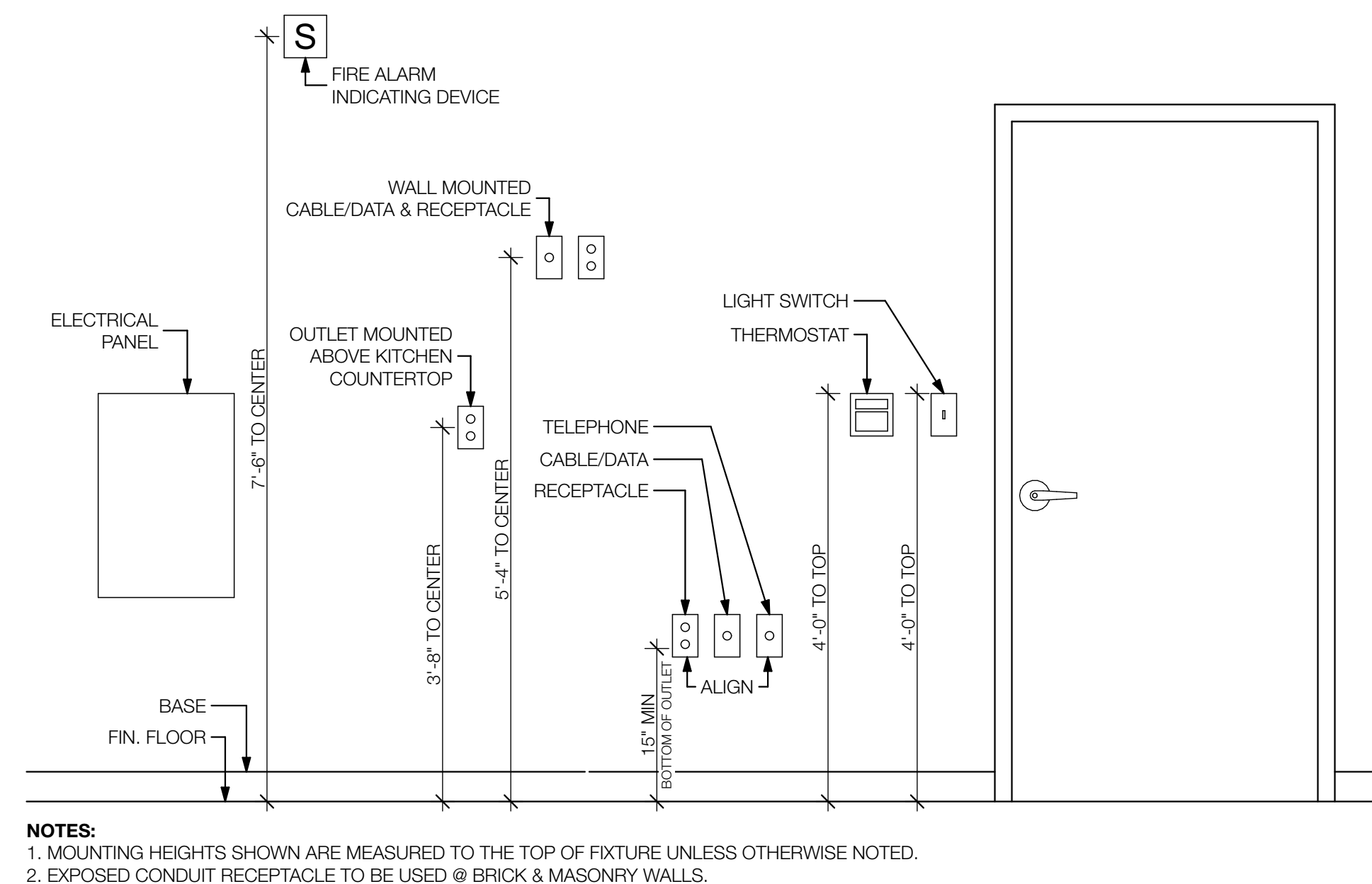
PARTITION DETAILS



MECH CLOSET



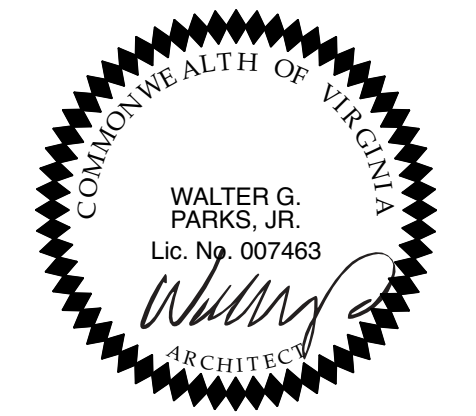
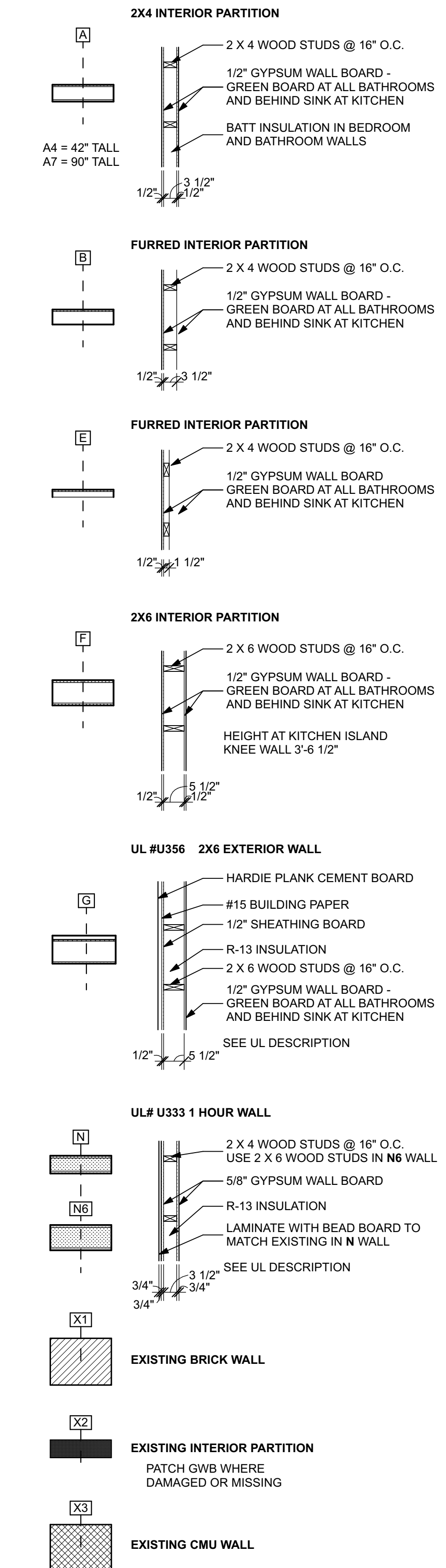
ELECTRICAL LOCATIONS



WALL NOTES

- CONSTRUCTION OF FIRE RATED ASSEMBLIES SHALL BE IN ACCORDANCE WITH THE TESTING DESIGN DESIGNATED. ARCHITECTURAL DETAILS MAY NOT INDICATE EVERY REQUIRED COMPONENT OF TESTED ASSEMBLY.
- PROVIDE CONTROL JOINTS IN ALL GYPSUM WALLBOARD PARTITIONS AT 30'-0" OC MAXIMUM OR AS INDICATED ON FLOOR PLANS.
- ALL STUD/ SPACING SHALL BE 16" OC UNLESS OTHERWISE NOTED.
- WALL TAGS ON FLOOR PLANS DESIGNATE THE ENTIRE LENGTH OF WALL INDICATED UNLESS INTERRUPTED BY ANOTHER TAG.
- PROVIDE FIRE BLOCKING FOR ALL WALLS/ PARTITIONS OPEN TO CEILING CAVITY.
- ALL GYPSUM BOARDS SHALL BE HELD UP 1/4" TO 3/8" FROM TOP OF FLOOR SLAB.
- PROVIDE CONTINUOUS SEALANT UNDER WOOD PLATES AND AT PERIMETER OF GYPSUM BOARD PANELS AT SMOKE RATED, STC RATED OR FIRE RATED ASSEMBLIES.
- PROVIDE WOOD FOR ALL WALL MOUNTED EQUIPMENT, INCLUDING CASEWORK, GRAB BARS, SHELVING, HANDRAILS, TOILET PARTITIONS, ETC.
- ALL UNIT INTERIOR PARTITION NOT TAGGED OR OTHERWISE DESIGNATED ARE TO BE TYPE A ASSEMBLIES.

WALL TYPES



1st Street Apartments
524 - 526 N. 1st Street
Richmond, Virginia 23220

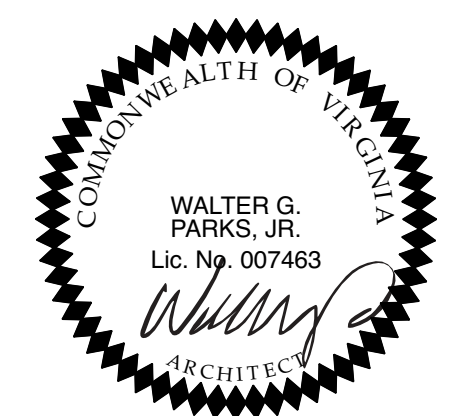
REVISIONS	
TAG	DATE

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313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

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PARTITION TYPES &
DETAILS
A.102



1st Street Apartments
 524 - 526 N. 1st Street
 Richmond, Virginia 23220

REVISIONS	TAG	DATE

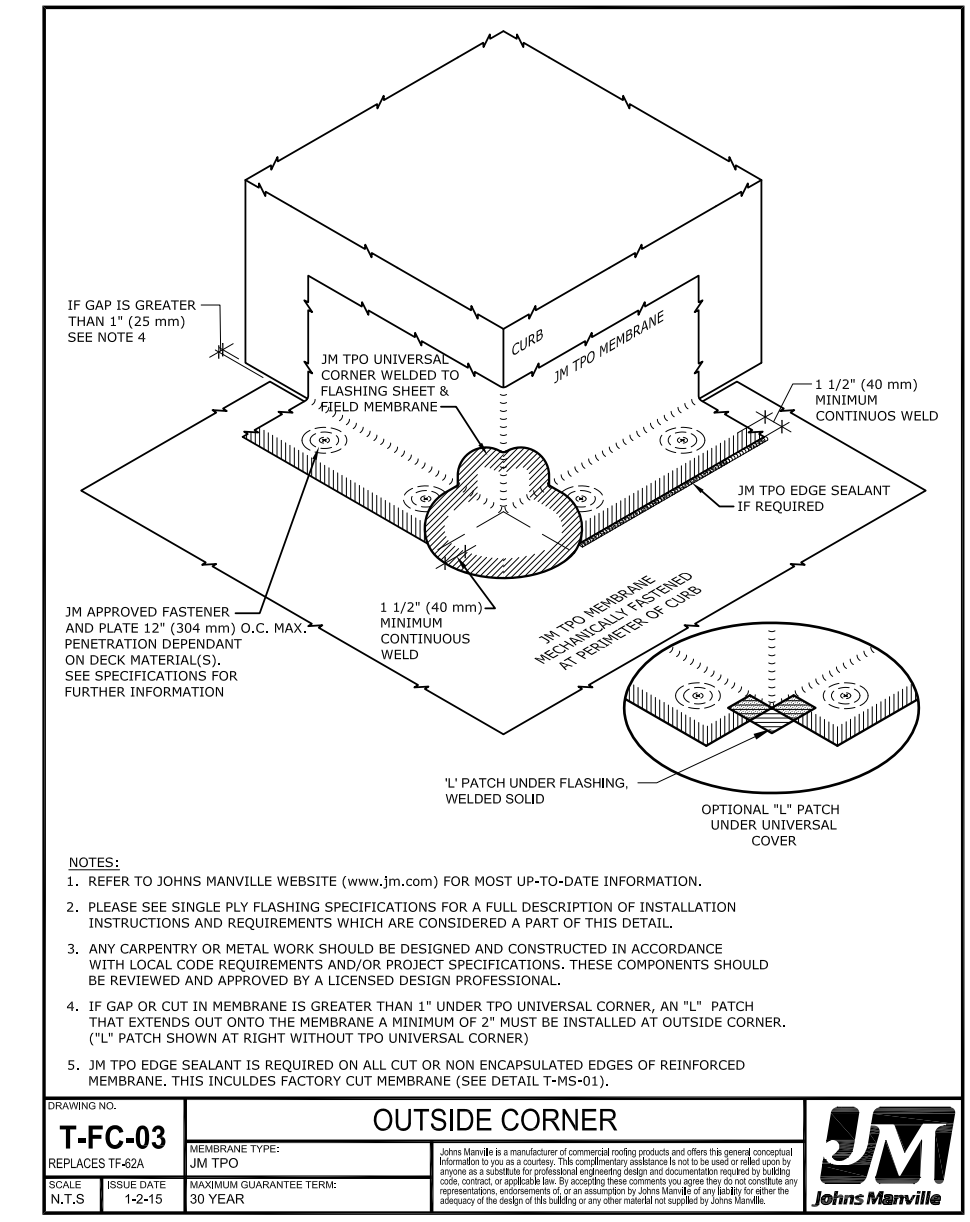
walter PARKS
ARCHITECT

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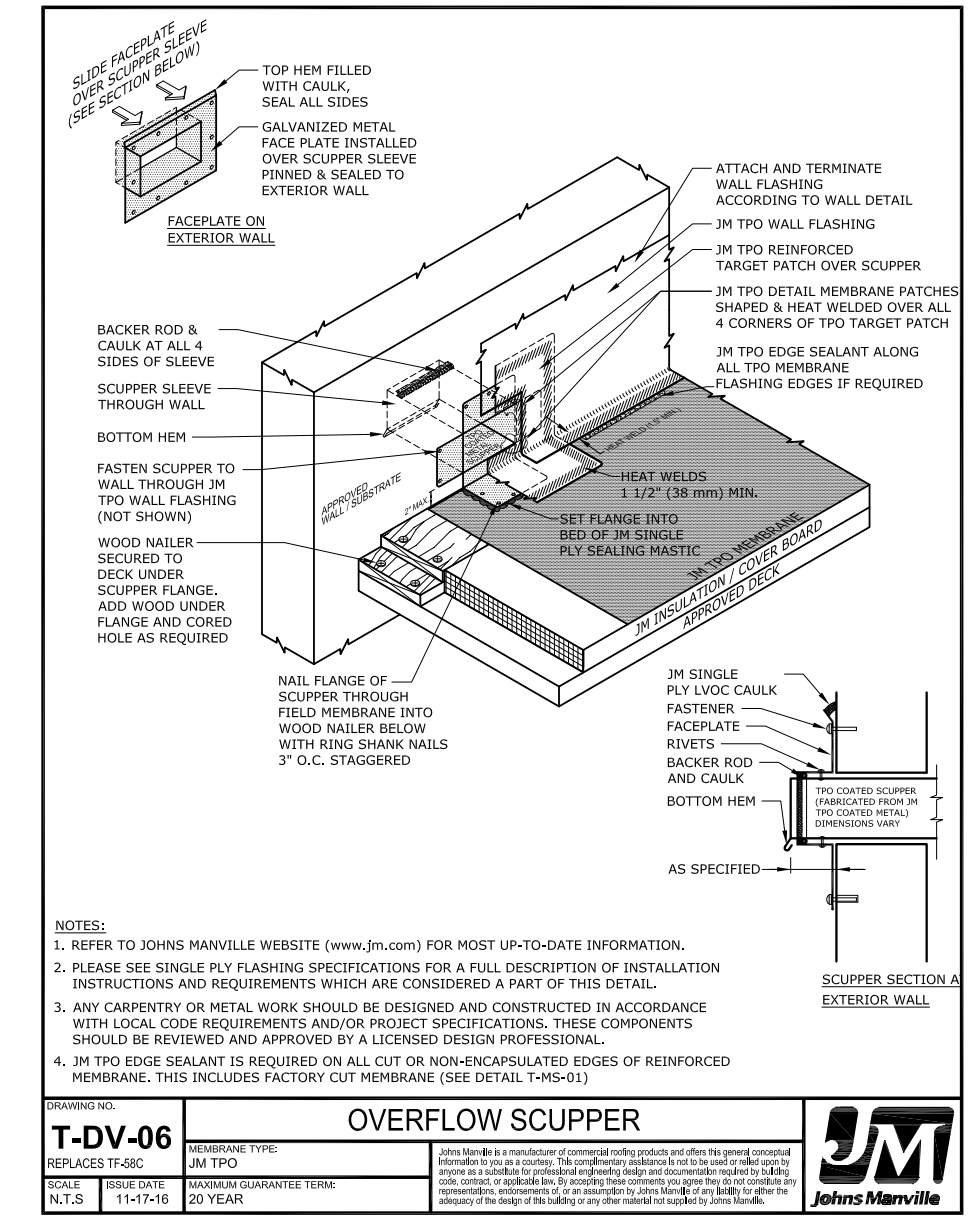
ROOF DETAILS
A.103

OUTSIDE CORNER DETAIL



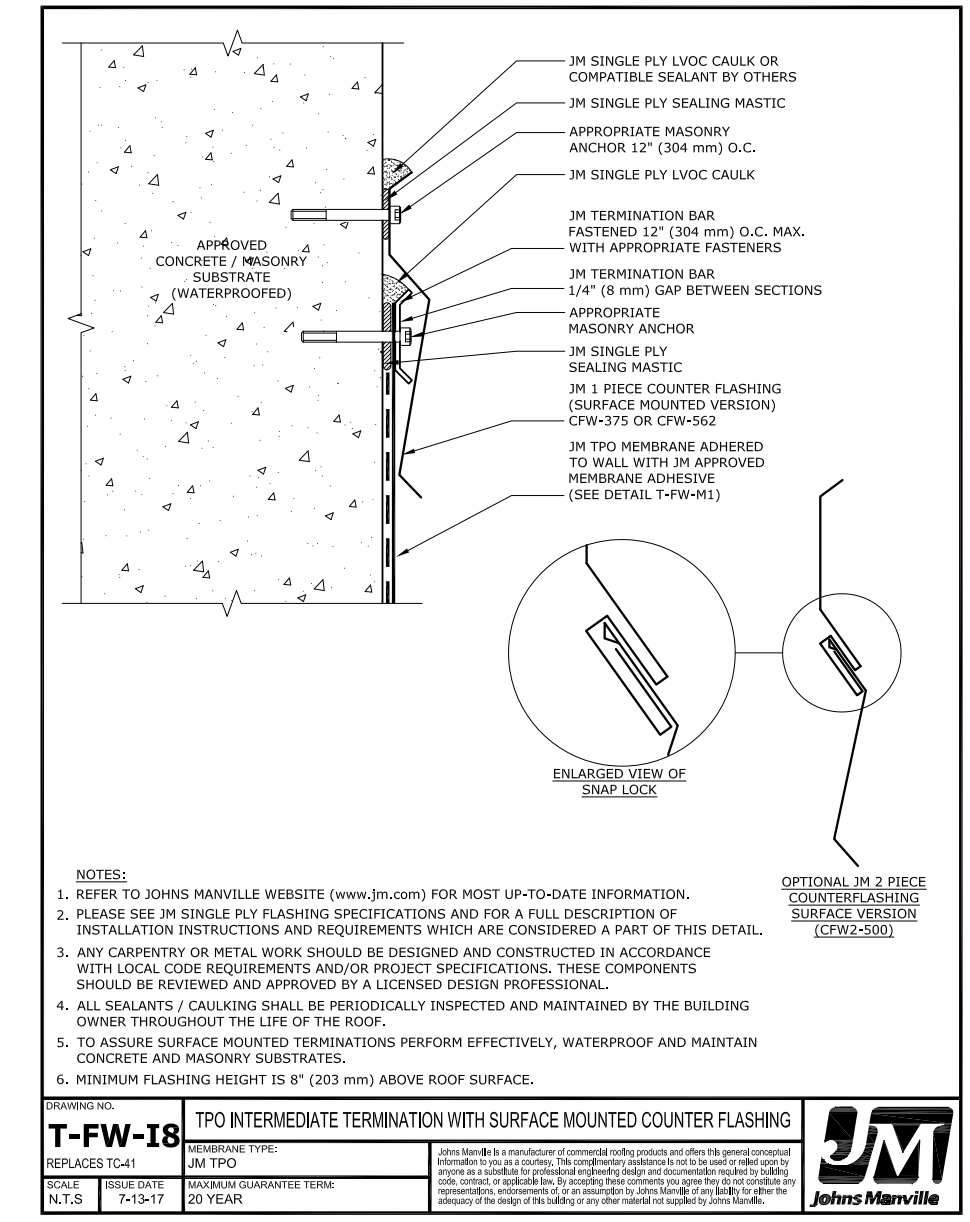
T-FC-03
 OUTSIDE CORNER
 DRAWING NO. T-FC-03
 MEMBRANE TYPE JM TPO
 NEW DETAIL
 SCALE N.T.S.
 DATE 10-18-19
 30 YEAR

OVERFLOW SCUPPER DETAIL



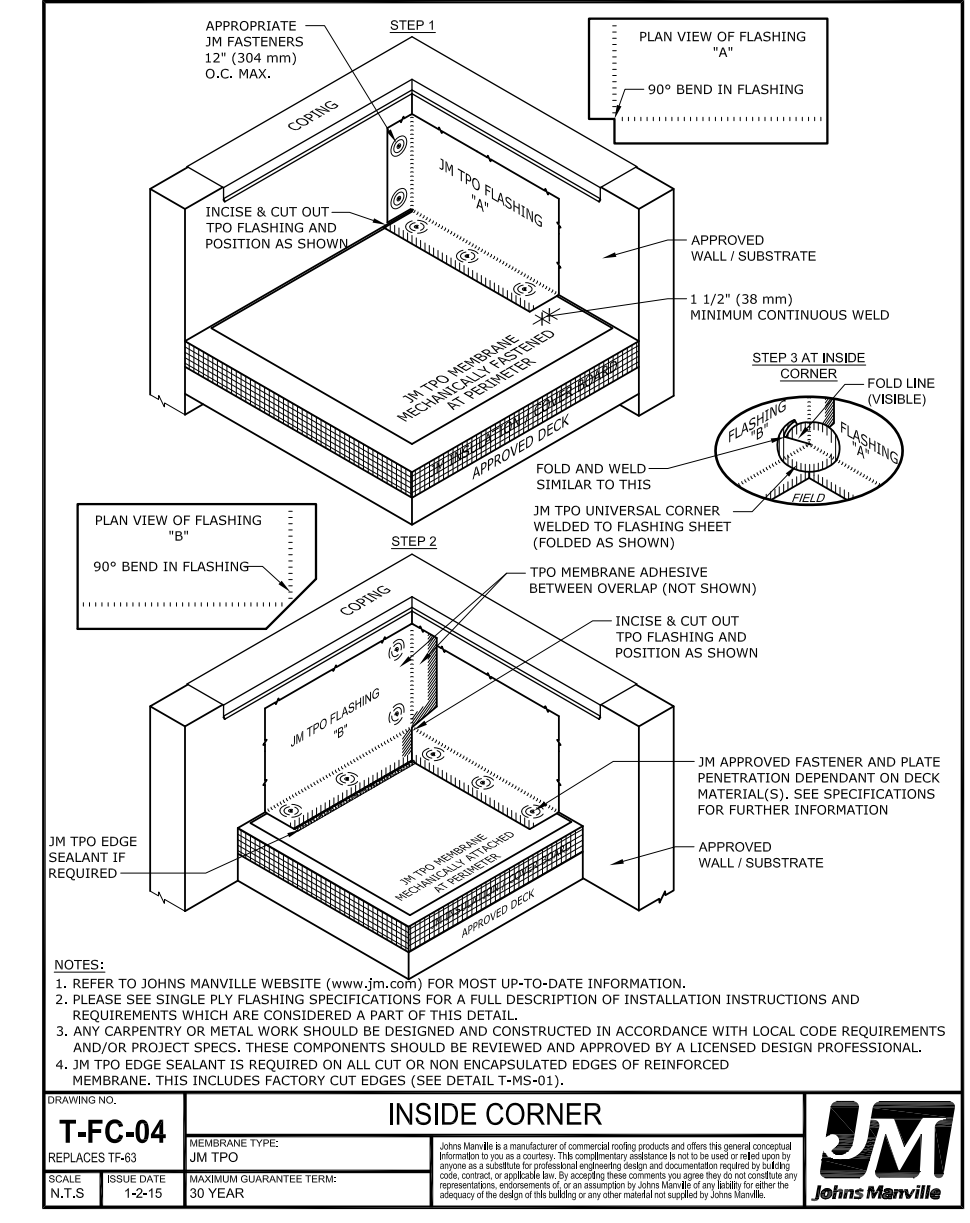
T-DV-06
 OVERFLOW SCUPPER
 DRAWING NO. T-DV-06
 MEMBRANE TYPE JM TPO
 NEW DETAIL
 SCALE N.T.S.
 DATE 10-18-19
 30 YEAR

COUNTER FLASHING DETAIL



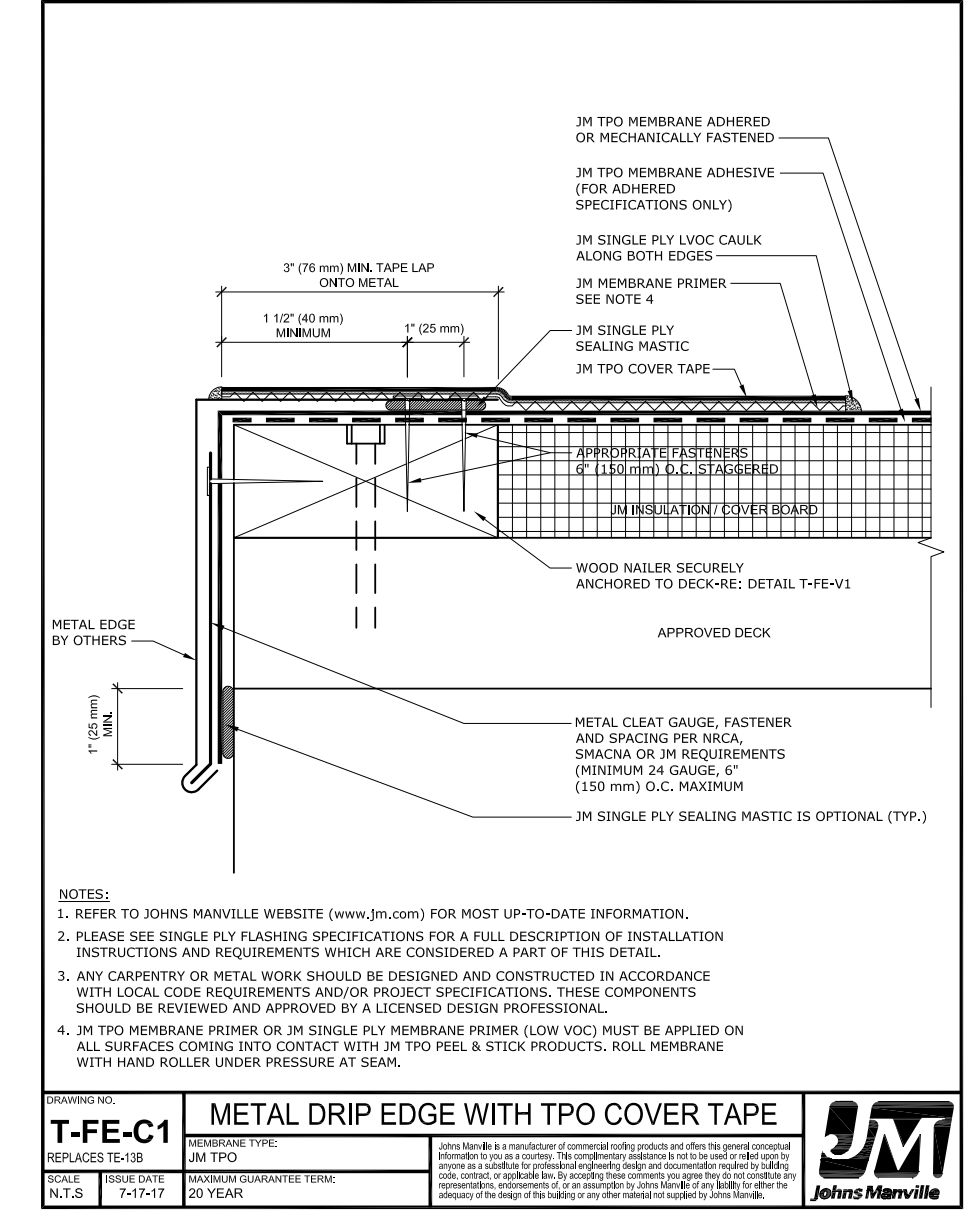
T-FW-18
 TPO INTERMEDIATE TERMINATION WITH SURFACE MOUNTED COUNTER FLASHING
 DRAWING NO. T-FW-18
 MEMBRANE TYPE JM TPO
 NEW DETAIL
 SCALE N.T.S.
 DATE 10-18-19
 30 YEAR

INSIDE CORNER DETAIL



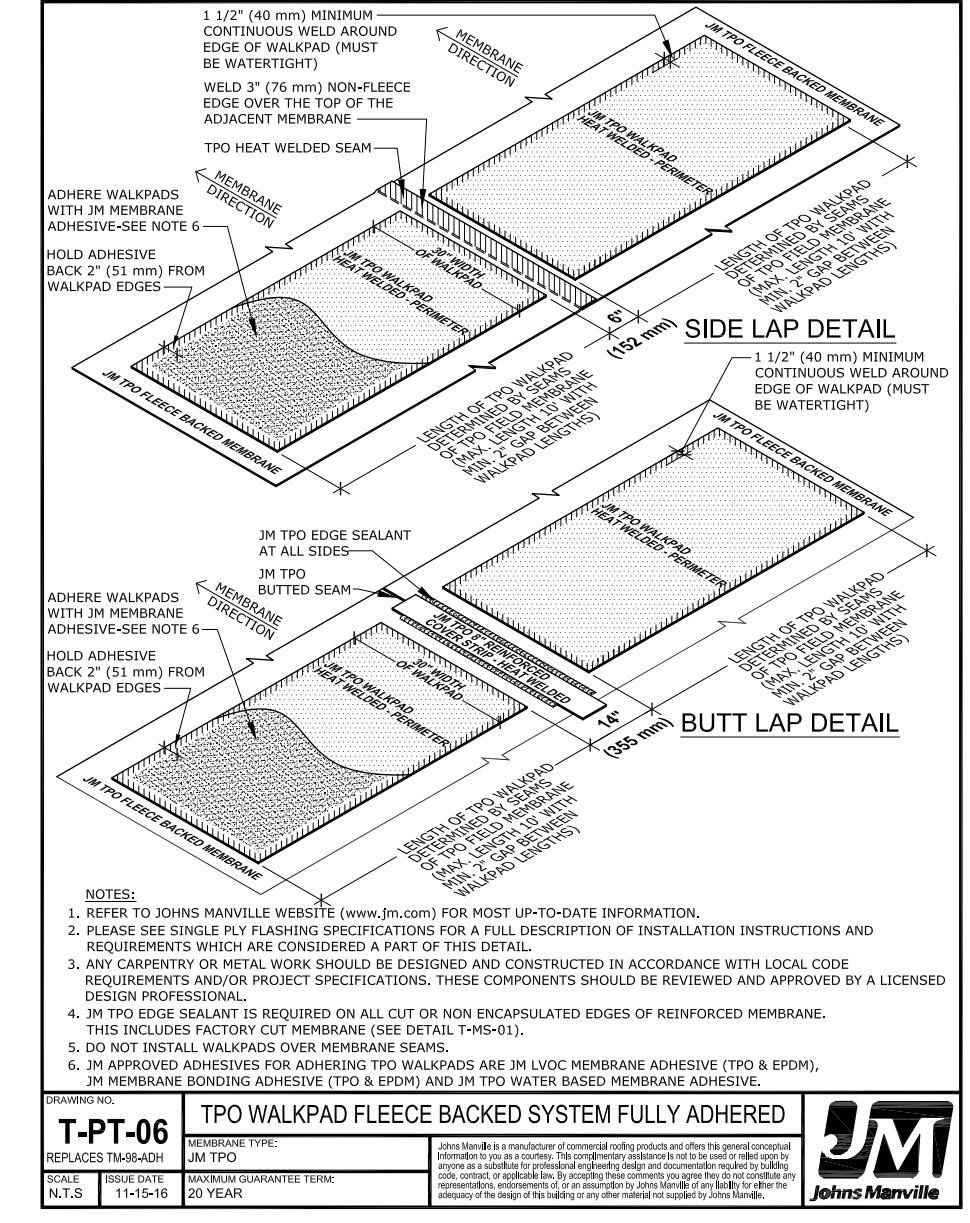
T-FC-04
 INSIDE CORNER
 DRAWING NO. T-FC-04
 MEMBRANE TYPE JM TPO
 NEW DETAIL
 SCALE N.T.S.
 DATE 10-18-19
 30 YEAR

DRIP EDGE DETAIL



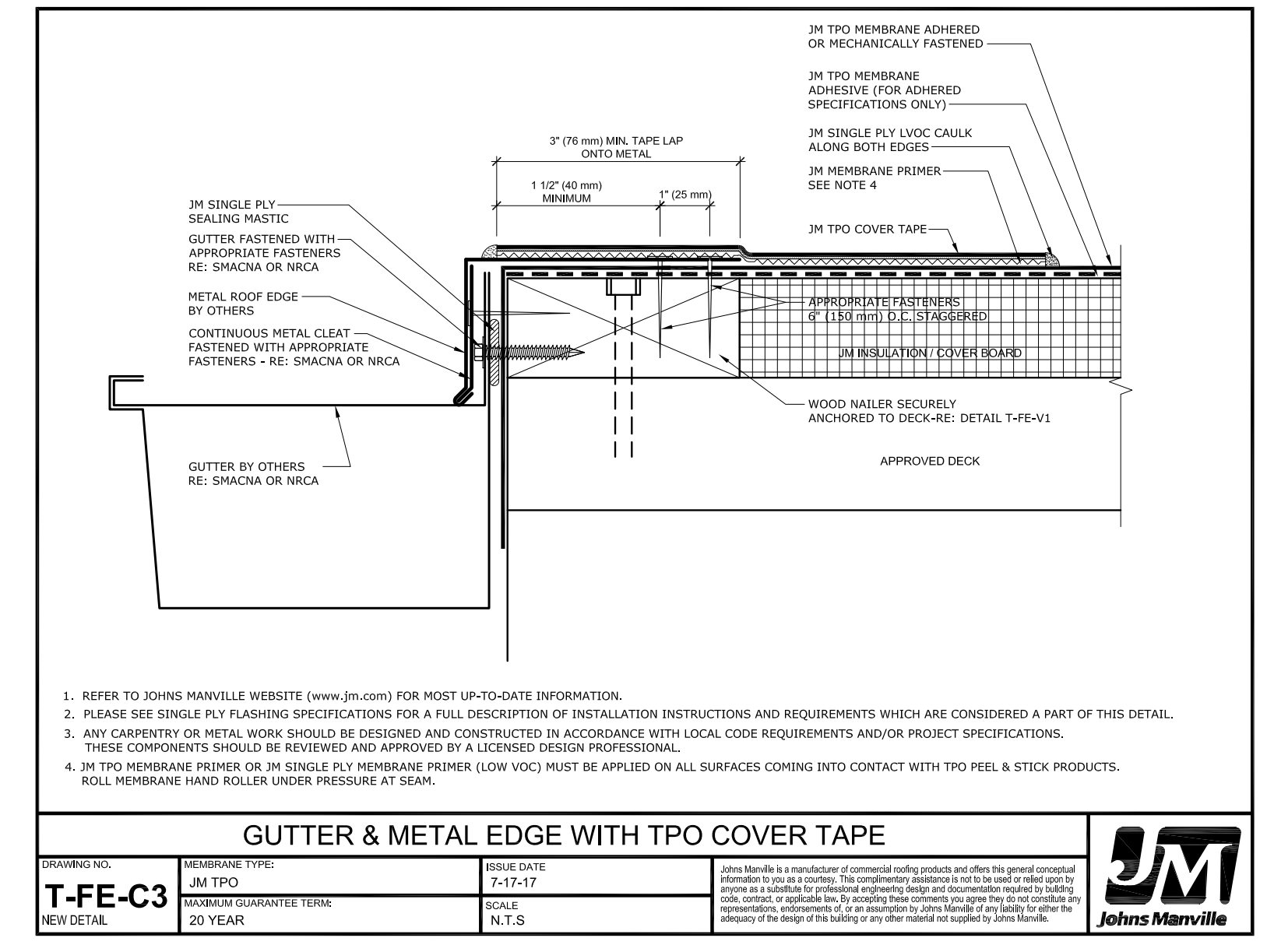
T-FE-C1
 METAL DRIP EDGE WITH TPO COVER TAPE
 DRAWING NO. T-FE-C1
 MEMBRANE TYPE JM TPO
 NEW DETAIL
 SCALE N.T.S.
 DATE 10-18-19
 30 YEAR

WALKPAD DETAIL



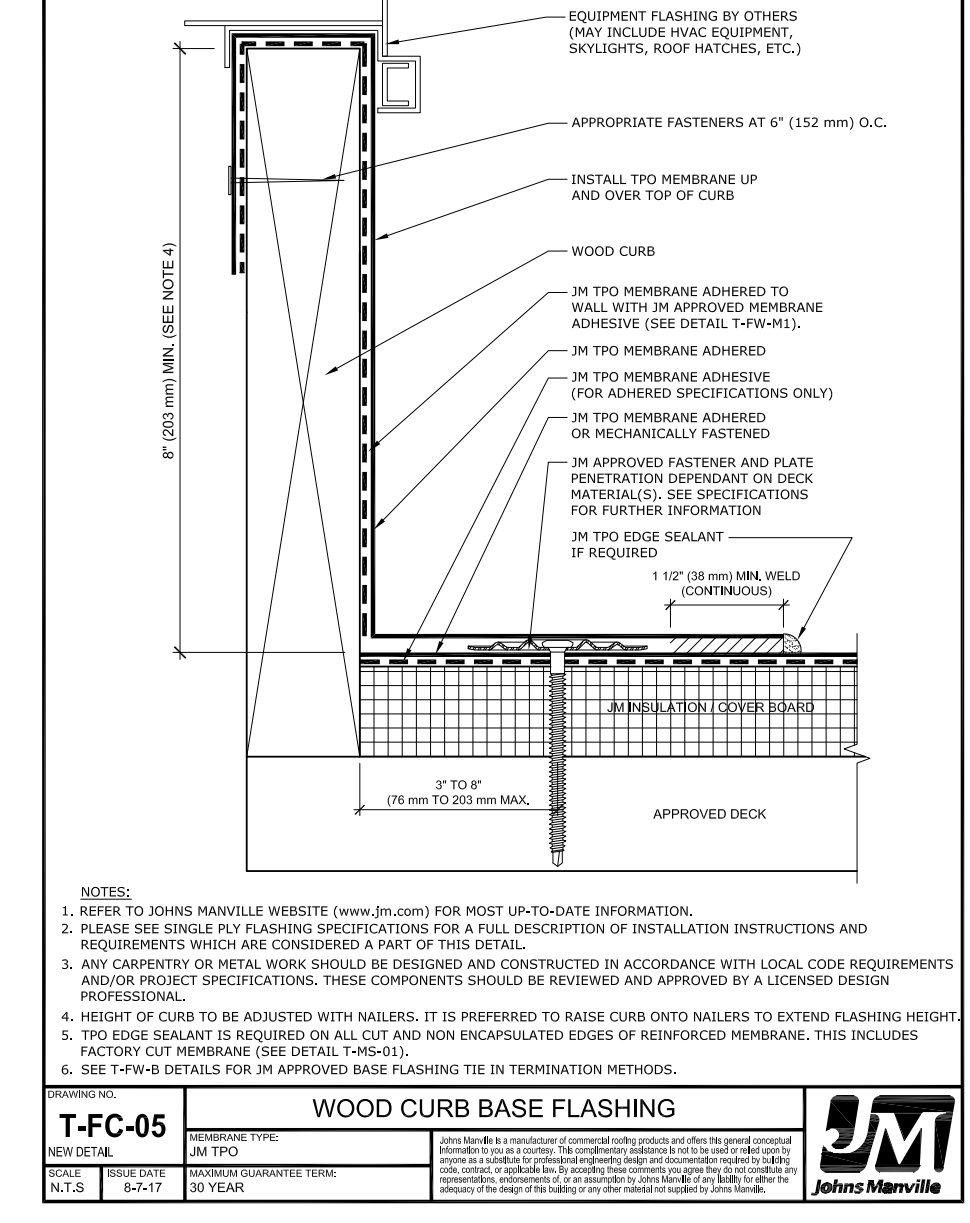
T-PT-06
 TPO WALKPAD FLEECE BACKED SYSTEM FULLY ADHERED
 DRAWING NO. T-PT-06
 MEMBRANE TYPE JM TPO
 NEW DETAIL
 SCALE N.T.S.
 DATE 10-18-19
 30 YEAR

GUTTER & METAL EDGE DETAIL



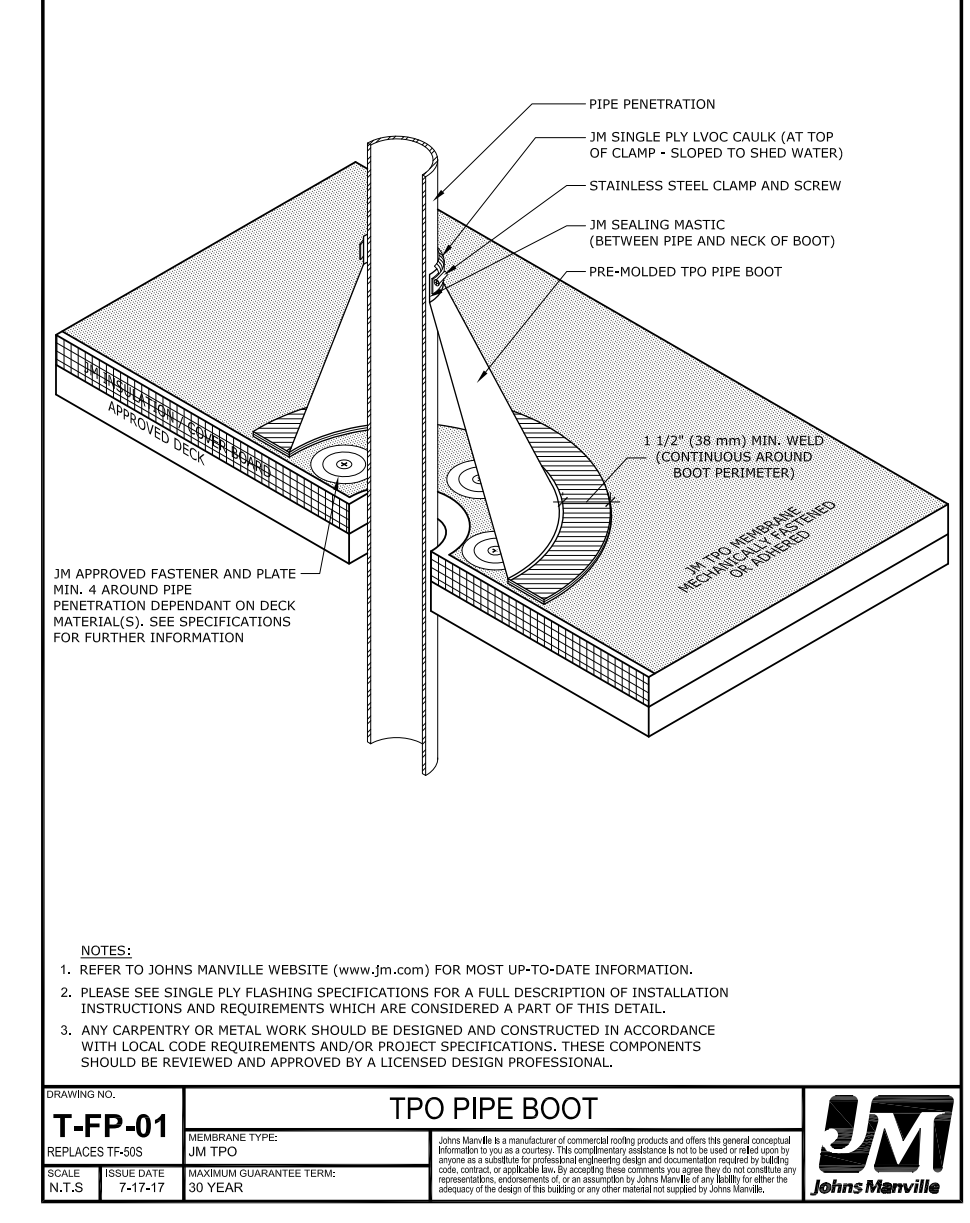
T-FE-C3
 GUTTER & METAL EDGE WITH TPO COVER TAPE
 DRAWING NO. T-FE-C3
 MEMBRANE TYPE JM TPO
 NEW DETAIL
 SCALE N.T.S.
 DATE 10-18-19
 30 YEAR

WOOD CURB BASE FLASHING



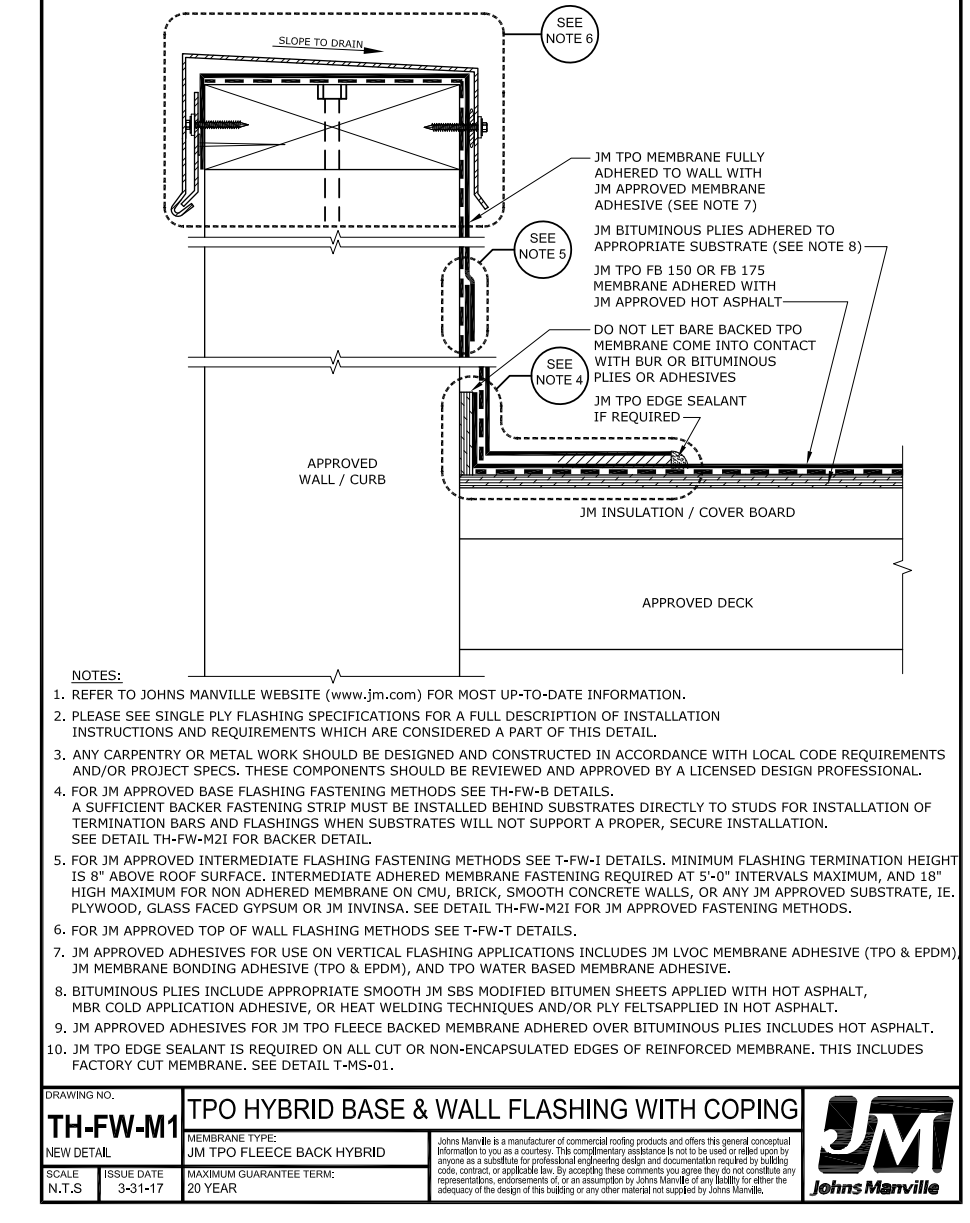
T-FC-05
 WOOD CURB BASE FLASHING
 DRAWING NO. T-FC-05
 MEMBRANE TYPE JM TPO
 NEW DETAIL
 SCALE N.T.S.
 DATE 10-18-19
 30 YEAR

PIPE BOOT DETAIL



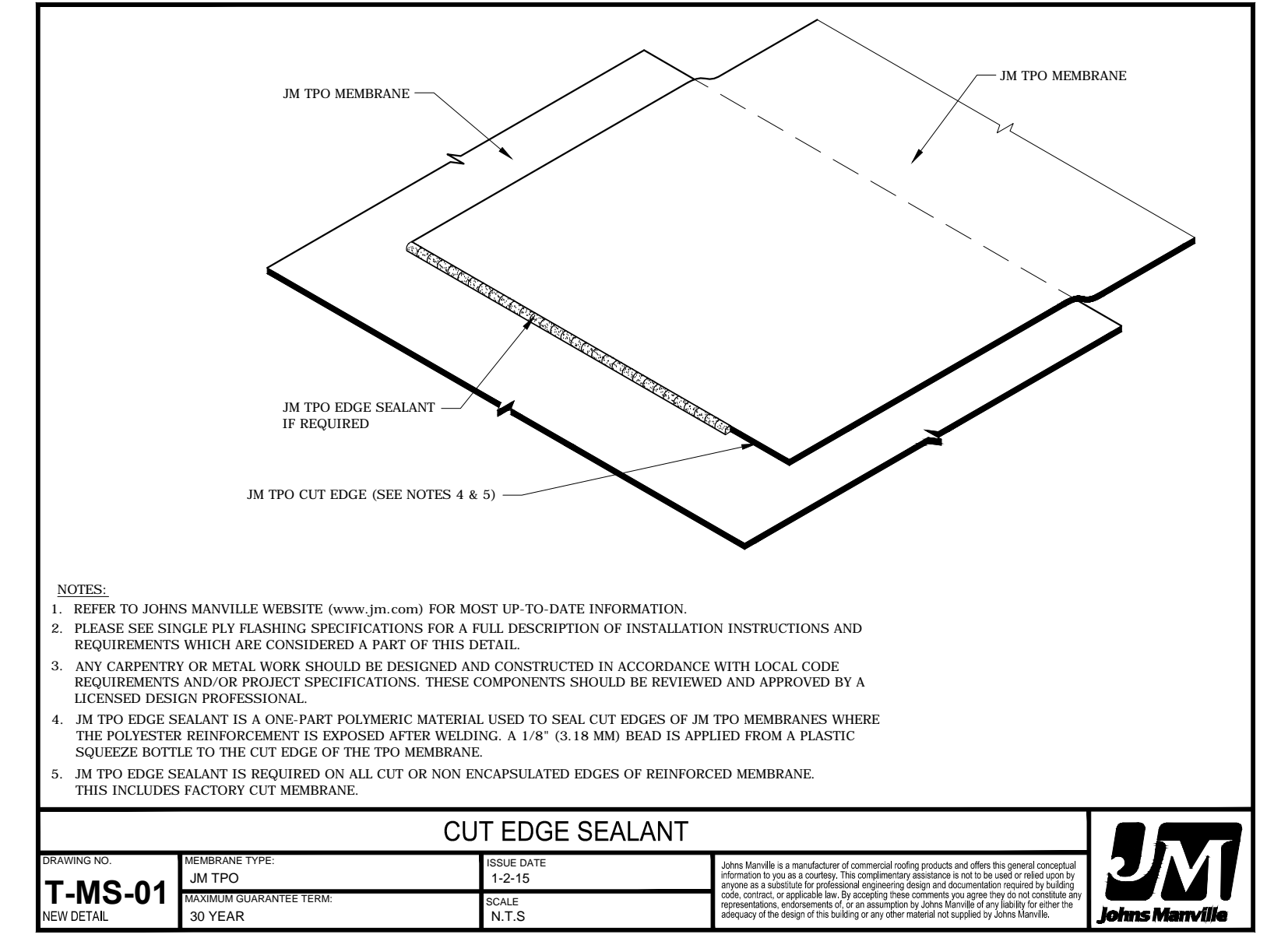
T-FP-01
 TPO PIPE BOOT
 DRAWING NO. T-FP-01
 MEMBRANE TYPE JM TPO
 NEW DETAIL
 SCALE N.T.S.
 DATE 10-18-19
 30 YEAR

BASE & WALL FLASHING DETAIL



TH-FW-M1
 TPO HYBRID BASE & WALL FLASHING WITH COPING
 DRAWING NO. TH-FW-M1
 MEMBRANE TYPE JM TPO FLEECE BACK HYBRID
 NEW DETAIL
 SCALE N.T.S.
 DATE 10-18-19
 30 YEAR

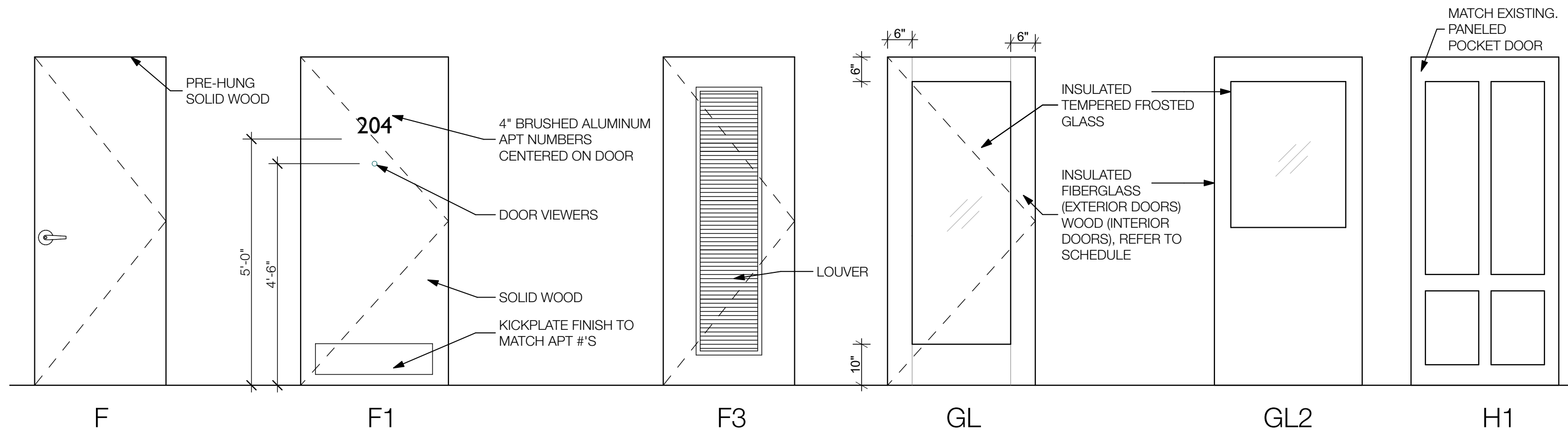
EDGE SEALANT DETAIL



T-MS-01
 CUT EDGE SEALANT
 DRAWING NO. T-MS-01
 MEMBRANE TYPE JM TPO
 NEW DETAIL
 SCALE N.T.S.
 DATE 10-18-19
 30 YEAR

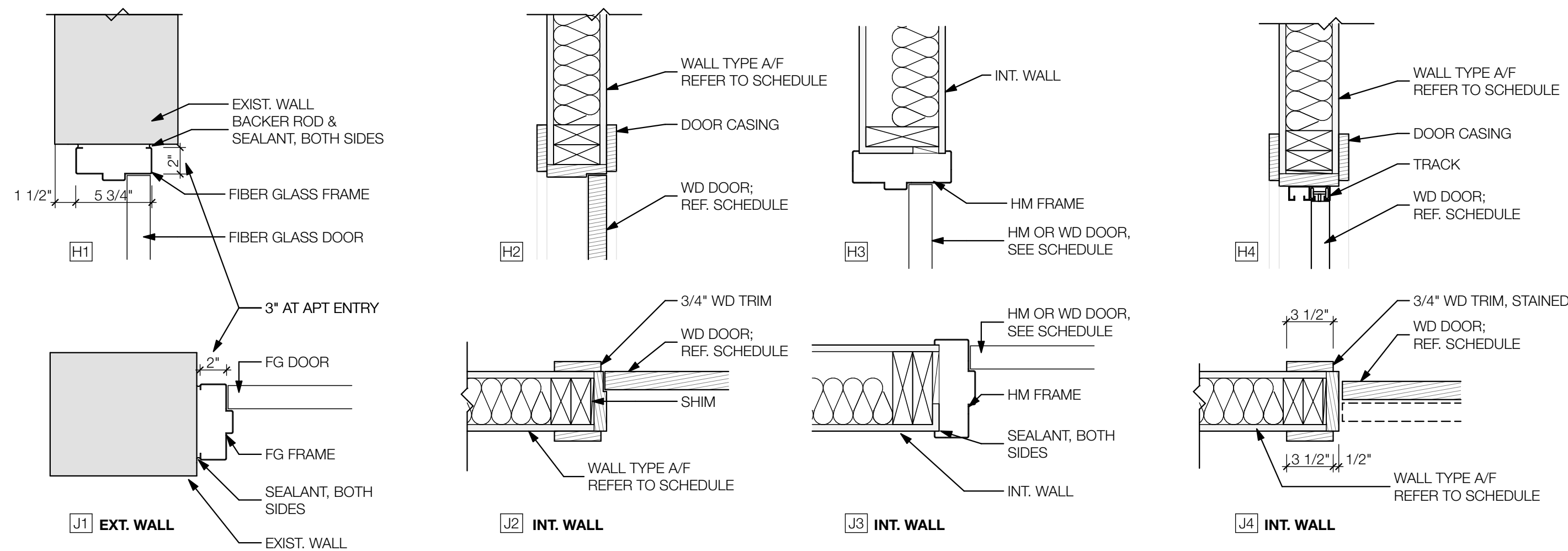
DOOR TYPES

GENERAL NOTES:
 1. SEE DOOR SCHEDULE FOR ALL OPENING SIZES AND HARDWARE
 2. ALL APARTMENT ENTRY DOORS TO HAVE UNIT NUMBERS AND DOOR VIEWER W/ 180 DEGREE FIELD OF VISION AND LEVER HANDSETS. VIEWERS AT 54" AFF.
 3. DOOR HANDLES, PULLS, LATCHES AND OTHER OPERATING DEVICES TO BE INSTALLED 34" MIN TO 48" MAX A.F.F., PER IBC SECTION 1008.1.9.2
 4. REFER TO SCHEDULE OF WIDTH AND HEIGHT OF DOORS
 5. ALL PRIVACY LOCKS MUST BE PUSH BUTTON STYLE
 6. ALL DOORS MUST BE SOLID CORE.



DOOR SCHEDULE												
DOOR NO	DOOR					FRAME		HARDWARE SET #	FIRE RATING	TRIM TYPE	LOCATION	NOTES
	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	MATERIAL	HEAD/JAMB					
11	3'-0"	6'-8"	1 3/4"	WD	H	HM	J3/H3	1	20 MIN	B	APARTMENT ENTRY	
12	2'-10"	6'-8"	1 3/8"	WD	F	WD	J2/H2	3	-	A	BEDROOM/ BATHROOM	
13	2'-10"	6'-8"	1 3/8"	WD	F	WD	J2/H2	3	-	A	BATHROOM	
14	2'-10"	6'-8"	1 3/8"	WD	F	WD	J2/H2	4	-	A	CLOSET	
15	2'-8"	6'-8"	1 3/8"	WD	F3	WD	J2/H2	4	-	A	CLOSET (W/D)	LOUVERED; UNDERCUT PER VHDA
16	2'-4"	8'-0"	1 3/8"	WD	WD	WD	WD	WD	-	A	CLOSET (MECH)	LOUVERED; UNDERCUT PER VHDA
17	2'-0"	8'-0"	1 3/8"	WD	F	WD	WD	WD	-	A	PANTRY	
20	(2) 2'-0"	6'-8"	1 3/8"	WD	F	WD	J4/H4	6	-	A	CLOSET	NOT USED
21	(2) 2'-6"	6'-8"	1 3/8"	WD	F	WD	J4/H4	6	-	A	CLOSET	SLIDING DOORS
*** ALL EXISTING OPENINGS TO BE V.I.F. BY CONTRACTOR PRIOR TO FABRICATION												
101	(2) 2'-6"	7'-0"	1 3/4"	FG	-	FG	J1/H1	2	60 MIN	B	EXISTING ENTRY	ALL EXISTING OPENINGS TO BE V.I.F. BY CONTRACTOR PRIOR TO FABRICATION. INCLUDE ARCHED TOP TRANSOM ABOVE
102	(2) 2'-6"	7'-0"	1 3/4"	FG	-	FG	J1/H1	2	60 MIN	B	EXISTING ENTRY	
103	2'-6"	6'-8"	1 3/8"	WD	H	WD	J2/H2	4		A	HALL CLOSET	
104	3'-0"	6'-8"	1 3/4"	FG	GL	FG	J1/H1	2	60 MIN	A	REAR ENTRY	
108	(2) 3'-6"	-	-	WD	H	WD	-	-	-	B	LIVING ROOM	EXISTING POCKET DOOR; REPAIR AS NEEDED
201	(2) 3'-6"	-	-	WD	H	WD	-	-	-	B	LIVING ROOM	
202	3'-0"	6'-8"	1 3/4"	FG	GL	FG	J1/H1	2		A	BALCONY DOOR	

HEAD / JAMB DETAILS

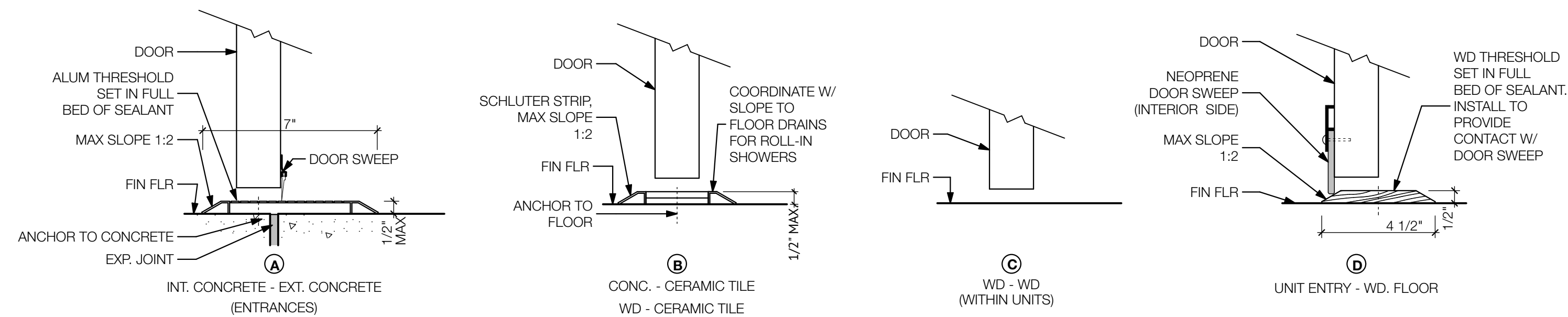


HARDWARE SETS

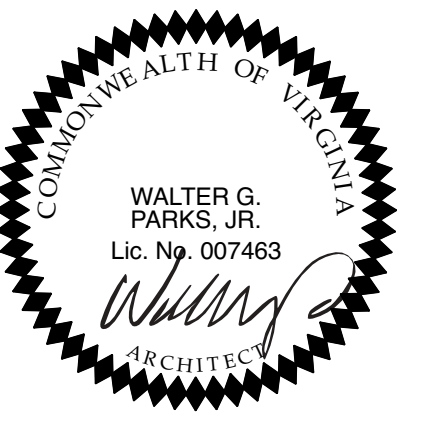
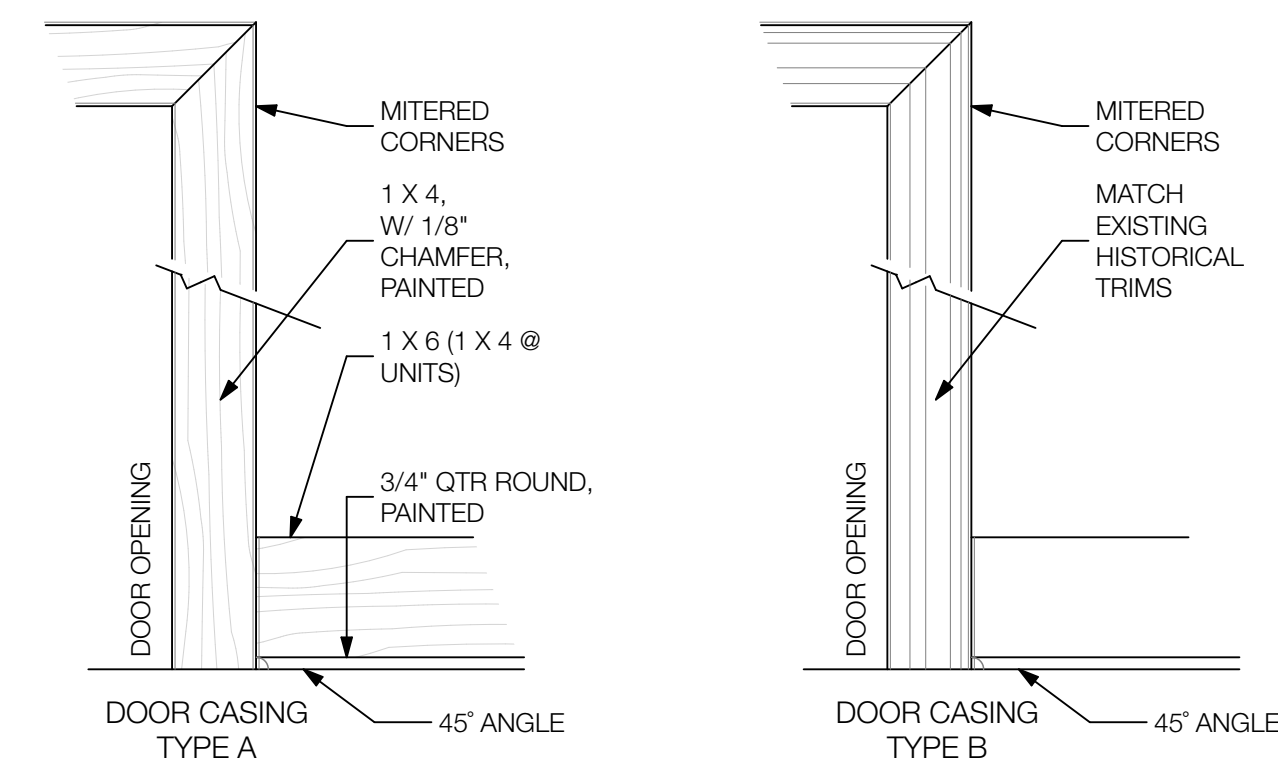
ALL LOCKSETS, LATCHSETS: SCHLAGE LEVER RESIDENTIAL (EXCEPT AS NOTED), BRUSHED STAINLESS. PROVIDE MASTER AND GRANDMASTER KEYING SYSTEM

- 1. APARTMENT ENTRY DOORS (INT): DEADLOCK W/ PASSAGE, EYE VIEWER, GASKET/ WEATHERSTRIPPING, 1 PR BB HINGES, 1 SPRING HINGE, DOOR SWEEP, DOOR STOP
- 2. APARTMENT ENTRY DOORS (EXT): ENTRY LOCKSET, WEATHERSTRIPPING, 1 PR BB HINGES, 1 SPRING HINGE, DOOR SWEEP, DOOR STOP
- 3. BEDROOM AND BATHROOM: PRIVACY LOCKSET, 1 1/2 PR HINGES, DOOR STOP
- 4. CLOSETS: LATCHSET, 1 1/2 PR HINGES, DOOR STOP
- 5. CLOSET (DOUBLE DOORS): 2 BALL CATCH (AT TOP OF DR), 3 PR HINGES, 2 DUMMY PULLS, 2 DOOR STOPS
- 6. CLOSET (SLIDERS): 1 SET SLIDING TRACK, RECESSED PULLS
- 7. UTIL: STOREROOM LOCKSET, 1 1/2 PR HINGES, DOOR STOP
- 8. UTIL: STOREROOM LOCKSET, 3 PR HINGES, FLUSH BOLTS, 2 DOOR STOPS
- 9. OFFICE: NOT USED
- 10. GENERAL CARD ACCESS: NOT USED
- 11. PASSAGE SET: 1 1/2 PR BB HINGES, CLOSER, DOOR STOP

DOOR THRESHHOLDS



DOOR & WINDOW TRIMS



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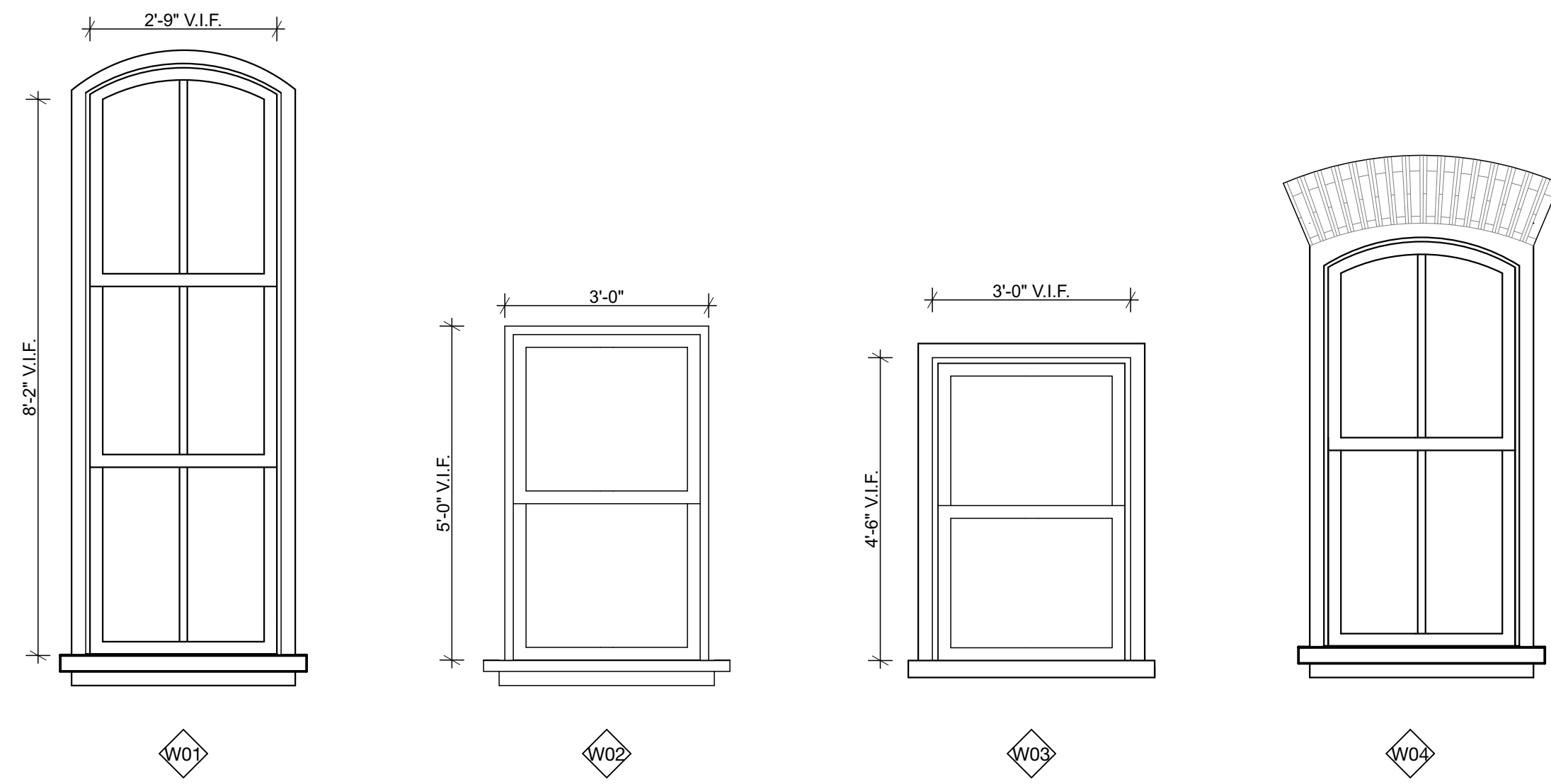
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DOOR SCHEDULE,
 TYPES & DETAILS
A.104

WINDOW TYPES

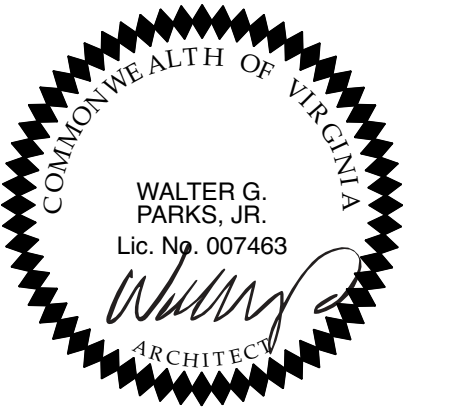


WINDOW SCHEDULE								
MARK	APPROX. SIZE		MATERIAL	EXISTING, NEW, OR MODIFIED OPENING	GLAZING	DETAILS	TRIM TYPE	NOTES/ COMMENTS
	WIDTH	HEIGHT						
W-01	2'-9"	8'-2"	WD	MODIFIED	G2	2, 5, 6	B	RESTORE TO EXISTING OPENING
W-02	3'-0"	5'-0"	AL	MODIFIED	G2	2, 5, 6	A	ENLARGE EXISTING OPENINGS
W-03	3'-0"	4'-6"	AL	NEW OR MODIFIED	G2	2, 5	A	
W-04	2'-9"	6'-0"	WD	EXISTING	G2	1, 2, 4	B	VERIFY CONDITION OF EXISTING WINDOWS

WINDOW SCHEDULE KEY	
ST	STEEL
AL	ALUMINUM
AL WD	WOOD ALUMINUM CLAD
G1	CLEAR SINGLE PANE, STORM WINDOWS REQUIRED ON ALL SINGLE PANE GLAZED WINDOWS.
G2	CLEAR LOW-E GLAZING 0.25 - 0.30 SHGC, U-VALUE 0.32 MAX

NOTES/ COMMENTS KEY	
1	REFURBISH/ REPAIR EXISTING WINDOW. REPLACE BROKEN PANES OF GLASS AND GLAZING.
2	PROVIDE 2" VINYL BLINDS ON ALL WINDOWS
3	CLEAN, SCRAPE EXISTING FRAME AND REGLAZE. REPLACE FRAME IF DAMAGED BEYOND REPAIR.
4	REFURBISH WINDOW IF FOUND BEHIND BOARDS, NEW WINDOW AS SCHEDULED IF NONE FOUND.
5	MODIFY EXISTING OPENING TO FIT SCHEDULED WINDOW
6	ALL EXISTING OPENINGS TO BE V.I.F. BY CONTRACTOR PRIOR TO WINDOW FABRICATION.

REFER TO ELEVATIONS FOR WINDOW NOTES



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WINDOW SCHEDULE,
 TYPES & DETAILS
A.105

FINISHES

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
CT1	12" X 24" PORCELAIN FLOOR TILE	AMERICAN OLEAN	THEORETICAL	TBD	BATH	STRAIGHT JOINT
CT2	4" X 12" WALL TILE	DAL TILE	ELEVARE	MATTE LUNAR EL47	BATH	HORIZONTAL SOLDIER BOND
CT3	3" X 6" BACKSPLASH TILE	AMERICAN OLEAN	BRIGHT AND MATTE GROUP 1	ICE WHITE 0025	KITCHEN	VERTICAL SOLDIER BOND
GR1	1/4" GROUT	MAPEI	SANDED	TBD	BATH	COORD. W/ CT1
GR3	1/16" GROUT	MAPEI	UNSANDED	00 WHITE	BATH, KITCHEN	COORD. W/ CT2 & CT3
GT1	3CM GRANITE	-	TBD	POLISHED	KITCHEN	EASED EDGES, POLISH ALL EXPOSED EDGES
GT1	3CM GRANITE	-	TBD	POLISHED	BATH	EASED EDGES, POLISH ALL EXPOSED EDGES
PT1	OVERALL CEILING PAINT	SHERWIN WILLIAMS	TBD	FLAT	THROUGHOUT	
PT2	OVERALL PAINT	SHERWIN WILLIAMS	TBD	FLAT	THROUGHOUT	
PT3	BATHROOM PAINT	SHERWIN WILLIAMS	TBD	SEMI-GLOSS	BATH	
PT4	TRIM PAINT	SHERWIN WILLIAMS	TBD	SEMI-GLOSS	UNIT	
PT5	UNIT ACCENT PAINT	SHERWIN WILLIAMS	TBD	FLAT	UNIT	
PT6	UNIT ACCENT PAINT	SHERWIN WILLIAMS	TBD	FLAT	UNIT	
PT7	UNIT RAILING PAINT	SHERWIN WILLIAMS	TBD	SEMI-GLOSS	UNIT	SEE STAIR DETAILS
PT8	CORRIDOR PAINT	SHERWIN WILLIAMS	TBD	FLAT	CORRIDOR	
PT9	ACCENT PAINT	SHERWIN WILLIAMS	TBD	FLAT	CORRIDOR	
PT10	ACCENT PAINT	SHERWIN WILLIAMS	TBD	FLAT	CORRIDOR	
PT11	FENCE PAINT	SHERWIN WILLIAMS	TBD	FLAT	PLANTING AREA	
PT12	GARAGE PAINT	SHERWIN WILLIAMS	TBD	FLAT	GARAGE	
WD1	WOOD CABINETRY	ADVANTA	MAPLE CALIBRA II	TBD	KITCHEN	
WD2	WOOD CABINETRY	ADVANTA	MAPLE CALIBRA II	TBD	BATH	
WD3	EXISTING WOOD FLOORING	-	-	-	-	CLEAR & REPAIR

FINISH SCHEDULE

ROOM NAME	FLOORS ¹	TRIM	DOORS	WALLS	CEILING	CASEWORK			NOTES
						CABINETS	COUNTERTOP	BACKSPLASH	
COMMON AREAS									
VESTIBULE	WD3	PT4	CLEAR COAT	PT8-PT10 ²	PT1	-	-	-	*SEE FINISH PLAN FOR LOCATION
CLOSET						-	-	-	
APARTMENTS									
BATH	CT1	PT4	CLEAR COAT	CT2, PT3	PT1	WD2	GT2	GT2	*SEE FINISH PLAN FOR LOCATION
BEDROOM	WD3			PT2, PT5, PT6 ²		-	-	-	
CLOSET						-	-	-	
KITCHEN						WD1	GT1	CT3	
LIVING ROOM						-	-	-	
MECH						-	-	-	
WD						-	-	-	

NOTES:
 1 ALL EXPOSED PIPE TO BE PAINTED THROUGHOUT BUILDING.
 2 UNPAINTED SURFACES TO REMAIN UNPAINTED, OTHERWISE PAINT PER SCHEDULE

APPLIANCES

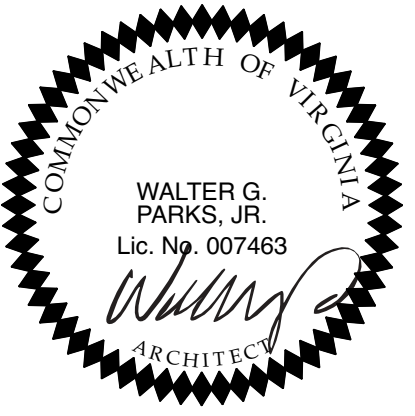
Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
E1	30" FREESTANDING RANGE	FRIGIDAIRE	FFEF30S4TS	STAINLESS	KITCHEN	
E2	24" DISHWASHER	FRIGIDAIRE	FFBD2408NS	STAINLESS	KITCHEN	ENERGY STAR
E3	30" OVER-THE-RANGE MICROWAVE	FRIGIDAIRE	FFM164S4TS	STAINLESS	KITCHEN	
E4	30" TOP REFRIGERATOR	FRIGIDAIRE	FFH183ZTS	STAINLESS	KITCHEN	ADA, ICE MAKER, ENERGY STAR
E5	LAUNDRY CENTER	FRIGIDAIRE	FLE3911OW	WHITE	UNIT	ENERGY STAR

LIGHTING SCHEDULE

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Lighting	Lumens	Mounting	Notes
UNIT FIXTURES									
F1	50" CEILING FAN W/ LIGHT	RP LIGHTING	100LED-BN-BN	BRUSHED NICKEL	BEDROOM/LIVING ROOM	(1) 17W LED	1144LM	BOTTOM OF FIXTURE @ 9'-0"	HARDWARE CEILING FAN, SEPARATE SWITCHES FOR LIGHT & FAN LIGHT TO BE DIMMABLE. FAN TO HAVE VARIABLE SPEED HANDLE SWITCH, NO REMOTE CONTROL, PROVIDE DOWN RODS TO ACHIEVE MOUNTING HEIGHT. ENERGY STAR, 3000K COLOR TEMPERATURE.
F2	7" SLIM LED	LITON	LCMPD1RW-T30	WHITE	BATH	(1) 15W LED	1500LM	FLUSH TO CEILING	DAMP LOCATION LISTED, ENERGY STAR, 3000K COLOR TEMPERATURE.
F3	25" DECORATIVE VANITY FIXTURE	NUVO LIGHTING	62-1102	POLISHED NICKEL	BATH	(1) 26W LED	2080LM	CENTER OVER VANITY	DAMP LOCATION LISTED, 3000K COLOR TEMPERATURE.
F4	12" UNDER CABINET LIGHT	RP LIGHTING	8967WW-3K	WHITE	KITCHEN	(1) 5W LED	270LM	FLUSH TO UNDERSIDE OF WALL CABINET	HARDWARE TO SWITCH, ENERGY STAR, 3000K COLOR TEMPERATURE.
F5	5" SLIM LED	LITON	LCMPD1RW-T30	WHITE	KITCHEN	(1) 12W LED	1400LM	FLUSH TO CEILING	DAMP LOCATION LISTED, ENERGY STAR, 3000K COLOR TEMPERATURE.
F6	2" LED STRIP W/ COVER	RP LIGHTING	4311WH-4K	WHITE	CLOSETS/MECH	(1) 10W LED	1000LM	W/4 MESH CLOSETS MOUNT ABOVE DOOR, WALK-IN CLOSETS CENTER ON CEILING	DAMP LOCATION LISTED, ENERGY STAR, 3000K COLOR TEMPERATURE.
F7	PENDANT	NUVO LIGHTING	62-2932	BRUSHED NICKEL	ISLAND	(1) 12W LED	1640LM	BOTTOM OF FIXTURE @ 5'-0"	3000K COLOR TEMPERATURE.
F8	7" SURFACE MOUNT	LITON	LCMPD1RW-T30	WHITE	HALLWAY	(1) 15W LED	1500LM	SURFACE MOUNT	ENERGY STAR, 3000K COLOR TEMPERATURE.
F9	12" SURFACE MOUNT	LITON	LCMPD12RS-T30	SILVER**	ENTRY	(1) 22W LED	2000LM	SURFACE MOUNT	ENERGY STAR, 3000K COLOR TEMPERATURE. *SPECIAL ORDER, EXTENDED LEAD TIME.
COMMON FIXTURES									
F20	7" SURFACE MOUNT	LITON	LCMPD1RW-T30	WHITE	HALLWAY	(1) 15W LED	1500LM	SURFACE MOUNT	3000K COLOR TEMPERATURE, ENERGY STAR, *SPECIAL ORDER, EXTENDED LEAD TIME.
F21	12" SURFACE MOUNT	LITON	LCMPD12RS-T30	SILVER**	STAIRWELLS	(1) 22W LED	2000LM	SURFACE MOUNT	ENERGY STAR, 3000K COLOR TEMPERATURE. *SPECIAL ORDER, EXTENDED LEAD TIME.
F22	2" LED STRIP W/ COVER	RP LIGHTING	4311WH-4K	WHITE	JANITORS CLOSET	(1) 10W LED	1000LM	CENTER ON CEILING	DAMP LOCATION LISTED, 4000K COLOR TEMPERATURE.
F23	4" LED STRIP W/ COVER	LITHONIA LIGHTING	95LA 3000LM MCR30 30K NODIM ZT MVOLT	WHITE	GARAGE	(1) 25.2W LED	3000LM	LITHONIA LIGHTING	DAMP LOCATION LISTED, 3000K COLOR TEMPERATURE.
EXTERIOR FIXTURES									
F40	SCONCE	TBD	TBD	TBD	EXTERIOR WALLS	TBD	TBD	TBD	WET LOCATION LISTED, 3000K COLOR TEMPERATURE.

PLUMBING SCHEDULE

Mark	Description	Manufacturer	Product Name/No.	Color/Finish	Location	Notes
A	LARGE SINGLE BOWL SINK	ELKAY	ECTRU30179R	STAINLESS STEEL	KITCHEN	UNDERMOUNT
B	KITCHEN FAUCET	DELTA	TRINSC, 9159-AR-DST	ARCTIC STAINLESS	KITCHEN	ADA COMPLIANT
C	6" CABINETRY PULLS	BERENSON	1061-4BPN-P	BRUSHED NICKEL	KITCHEN & BATH	
D	TOILET	AMERICAN STANDARD	CADETS, 2514.101.020	WHITE	BATH, COMMERCIAL BATH	EVER CLEAN SURFACE
E	BATH TUB, RIGHT HAND OUTLET	AMERICAN STANDARD	PRINCETON, 2391.202.020	WHITE	BATH	ADA COMPLIANT
F	BATH TUB, LEFT HAND OUTLET	AMERICAN STANDARD	PRINCETON, 2390.202.020	WHITE	BATH	ADA COMPLIANT
G	48" X 48" SHOWER BASE	STERLING	723211000	WHITE	BATH	
H	UNDER MOUNT SINK	AMERICAN STANDARD	CRIBT, 0650.000.020	WHITE	BATH	ADA COMPLIANT
I	TUB/SHOWER FAUCET TRIM KIT	DELTA	TRINSC, T14459-SS	BRUSHED NICKEL	BATH	ADA COMPLIANT, WATER SENSE
J	SHOWER FAUCET TRIM KIT	DELTA	TRINSC, T14259-SS	BRUSHED NICKEL	BATH	ADA COMPLIANT, WATER SENSE
K	SINK FAUCET	DELTA	MODERN, 559LF-SSPP	STAINLESS STEEL	BATH	ADA COMPLIANT, WATER SENSE
L	24" TOWEL BAR	MOEN	YB0424BN	BRUSHED NICKEL	BATH	
M	TOILET PAPER HOLDER	MOEN	YB0408BN	BRUSHED NICKEL	BATH	
N	ROBE HOOK	MOEN	YB0402BN	BRUSHED NICKEL	BATH	
P	48" SHOWER CURTAIN ROD	CREATIVE SPECIALTIES, MOEN	TR1001BN	BRUSHED NICKEL	BATH	
Q	5" CURVED SHOWER ROD	CREATIVE SPECIALTIES, MOEN	DN2145BN	BRUSHED NICKEL	BATH	
R	SHELF SUPPORT BRACKET	MOCKETT	SH48B-17S	SATIN NICKEL	BATH	
S	8" VANITY LEGS	RICHELIEU	6421200170	STAINLESS STEEL	BATH	



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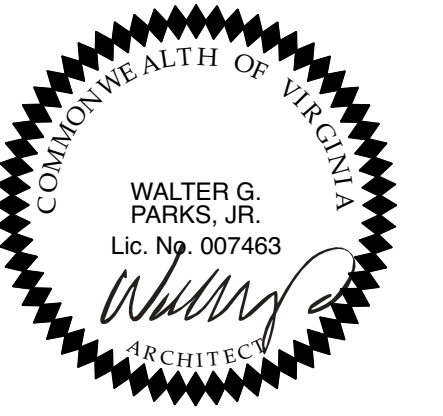
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SCHEDULES
A.106



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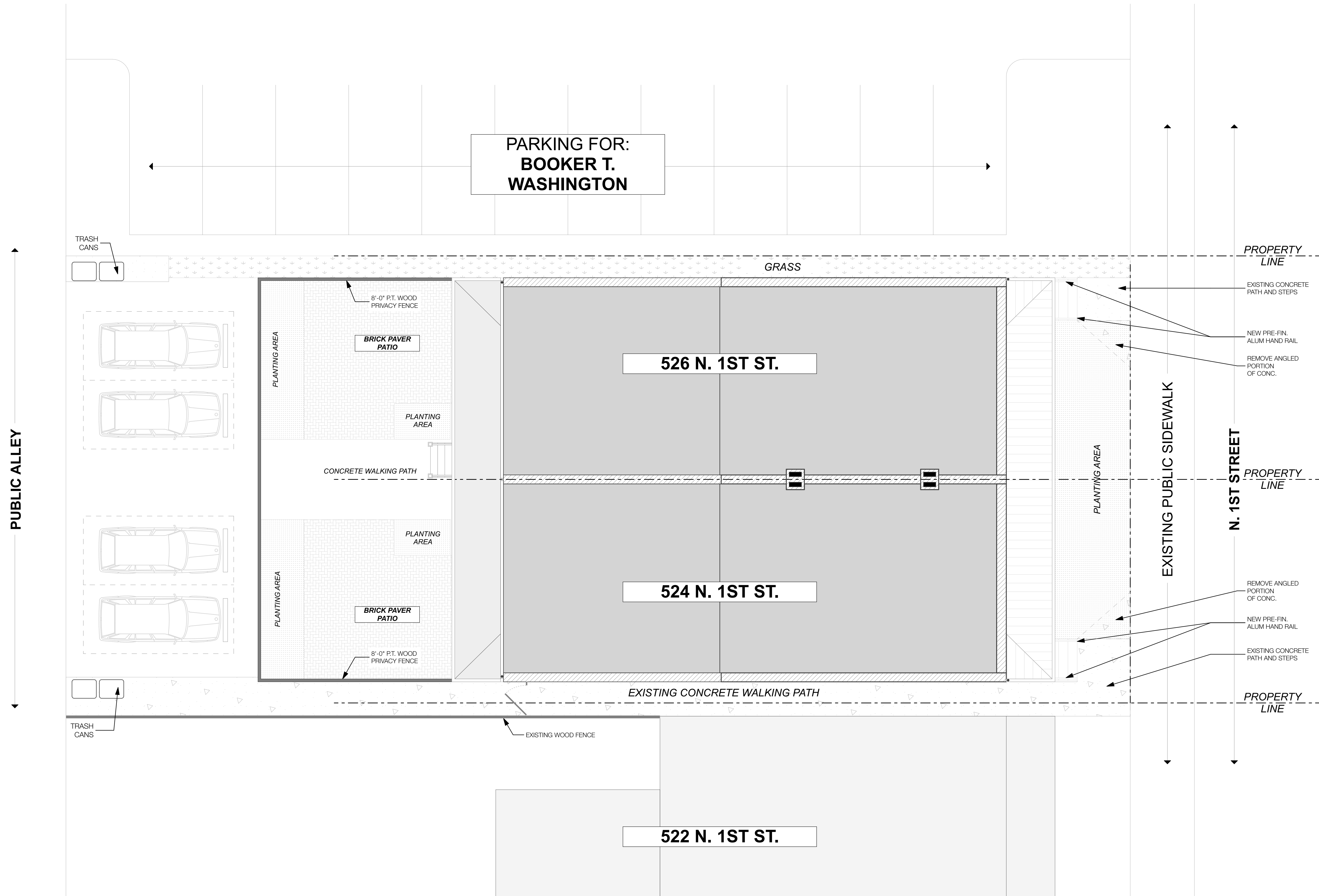
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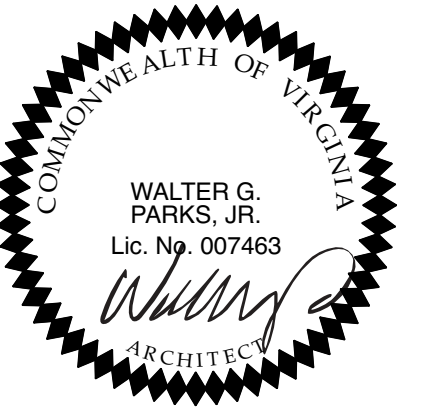
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SITE PLAN
A.107

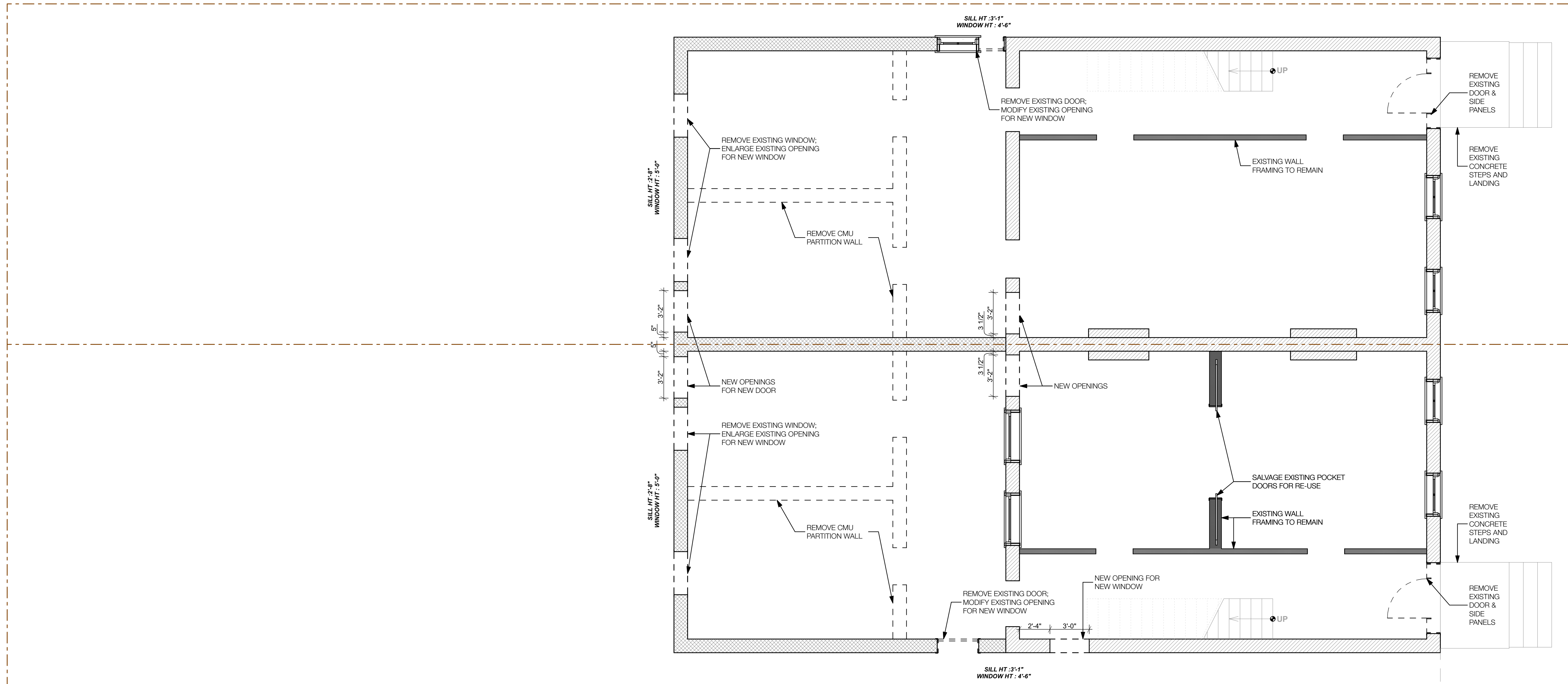


SITE PLAN
 SCALE: 3/16" = 1'-0" 1



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FIRST FLOOR DEMO
SCALE: 1/4" = 1'-0" 1

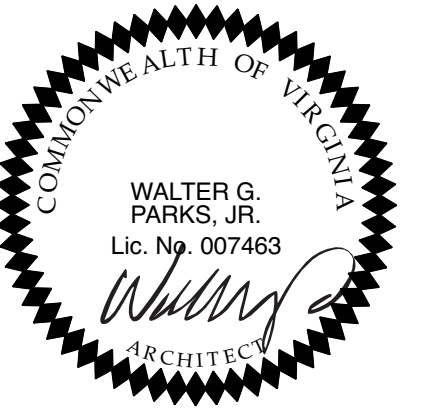
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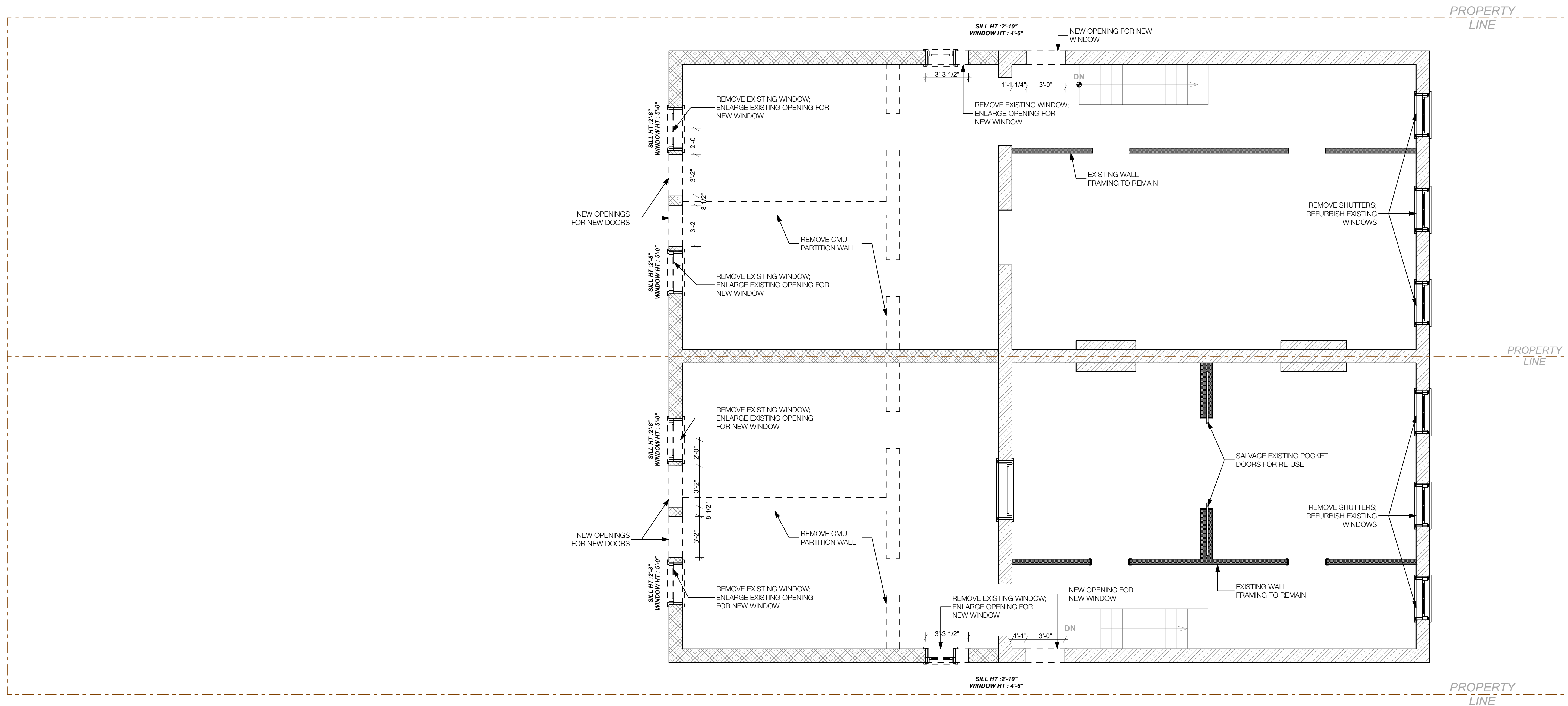
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FIRST FLOOR DEMO
D.201



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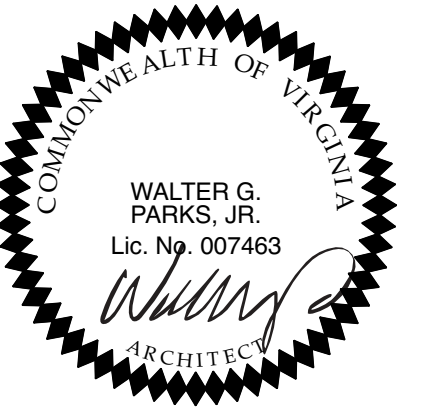
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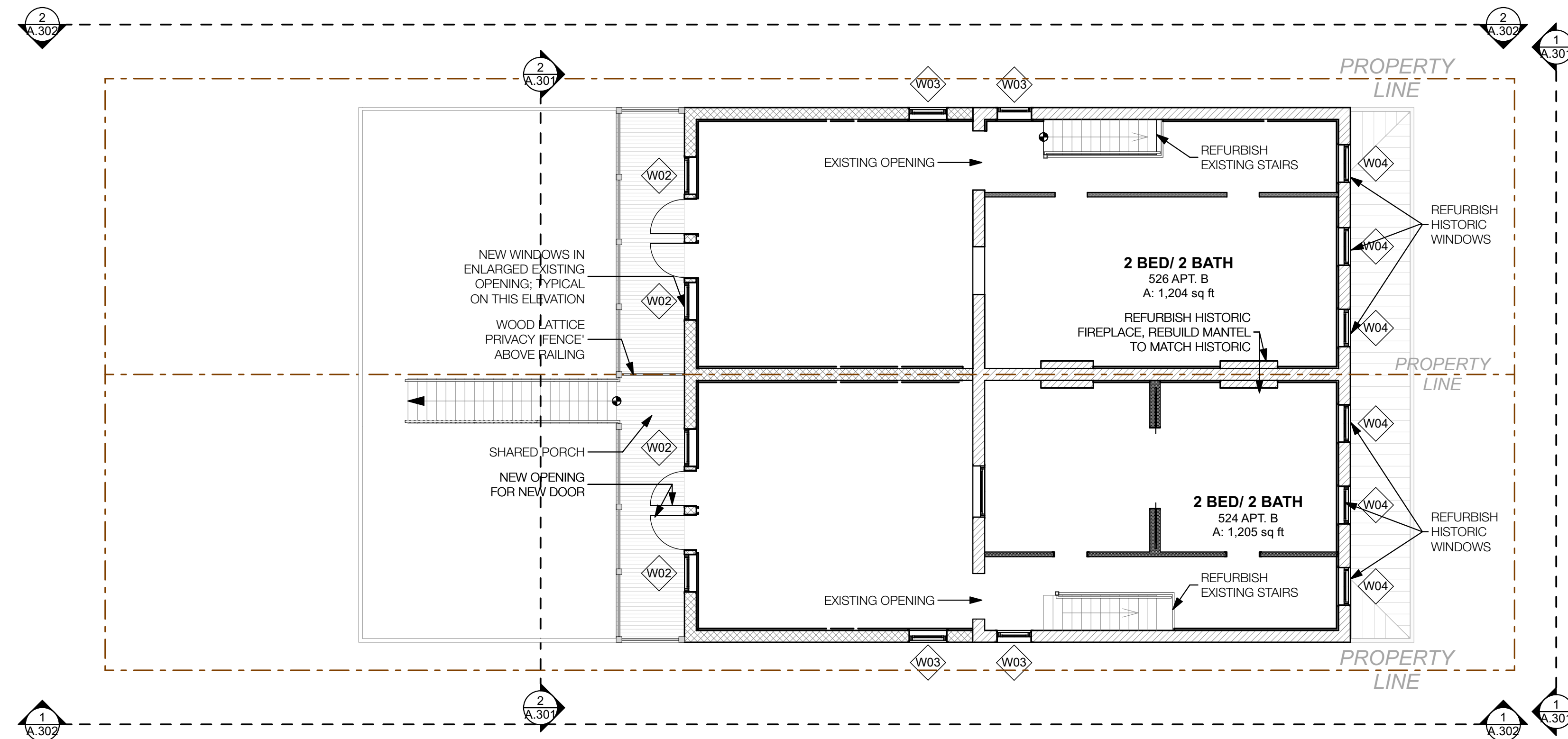
SECOND FLOOR DEMO
SCALE: 1/4" = 1'-0" 1

SECOND FLOOR DEMO
D.202

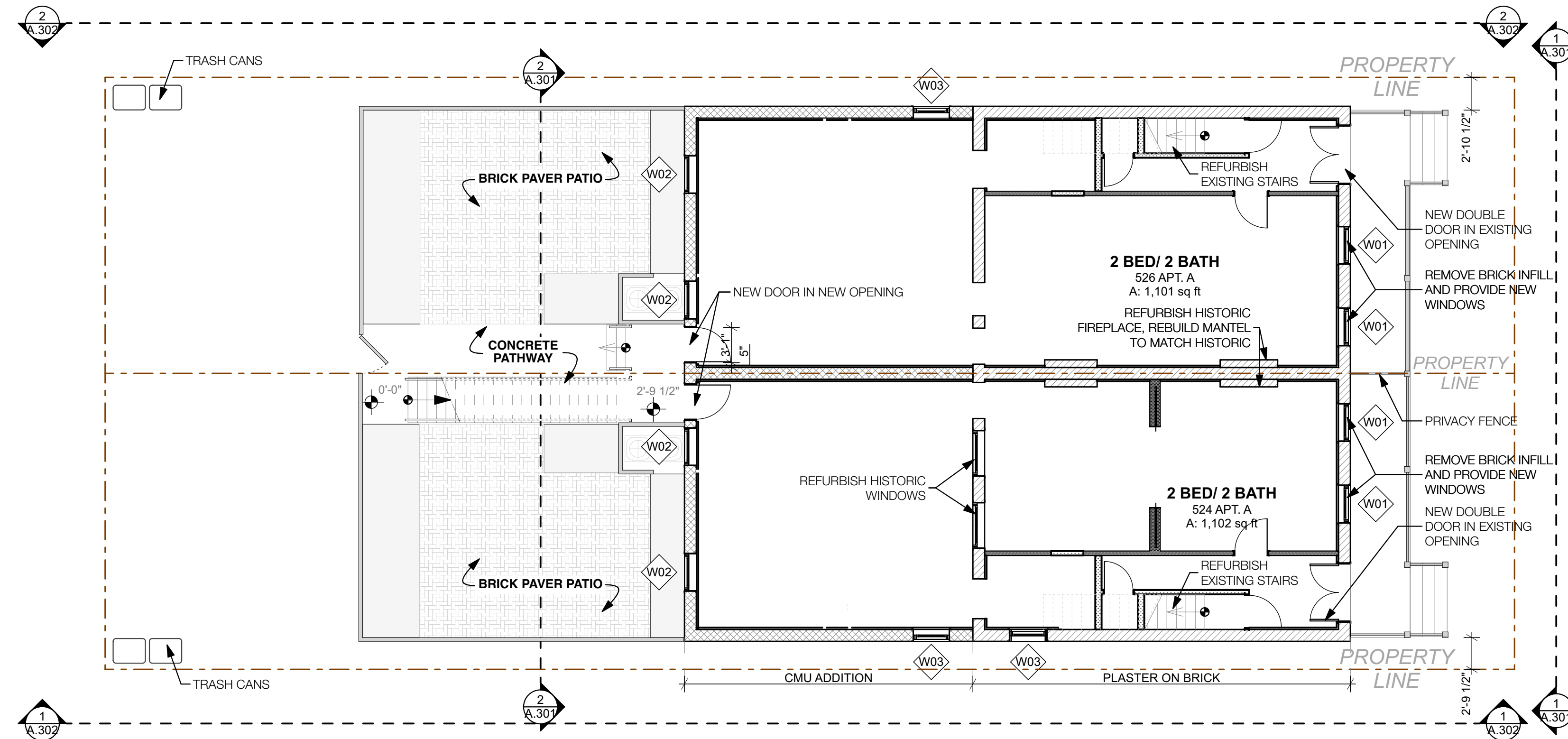


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SECOND FLOOR LAYOUT PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR LAYOUT PLAN
SCALE: 1/8" = 1'-0"

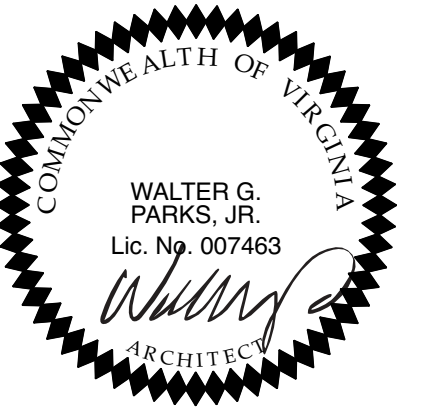
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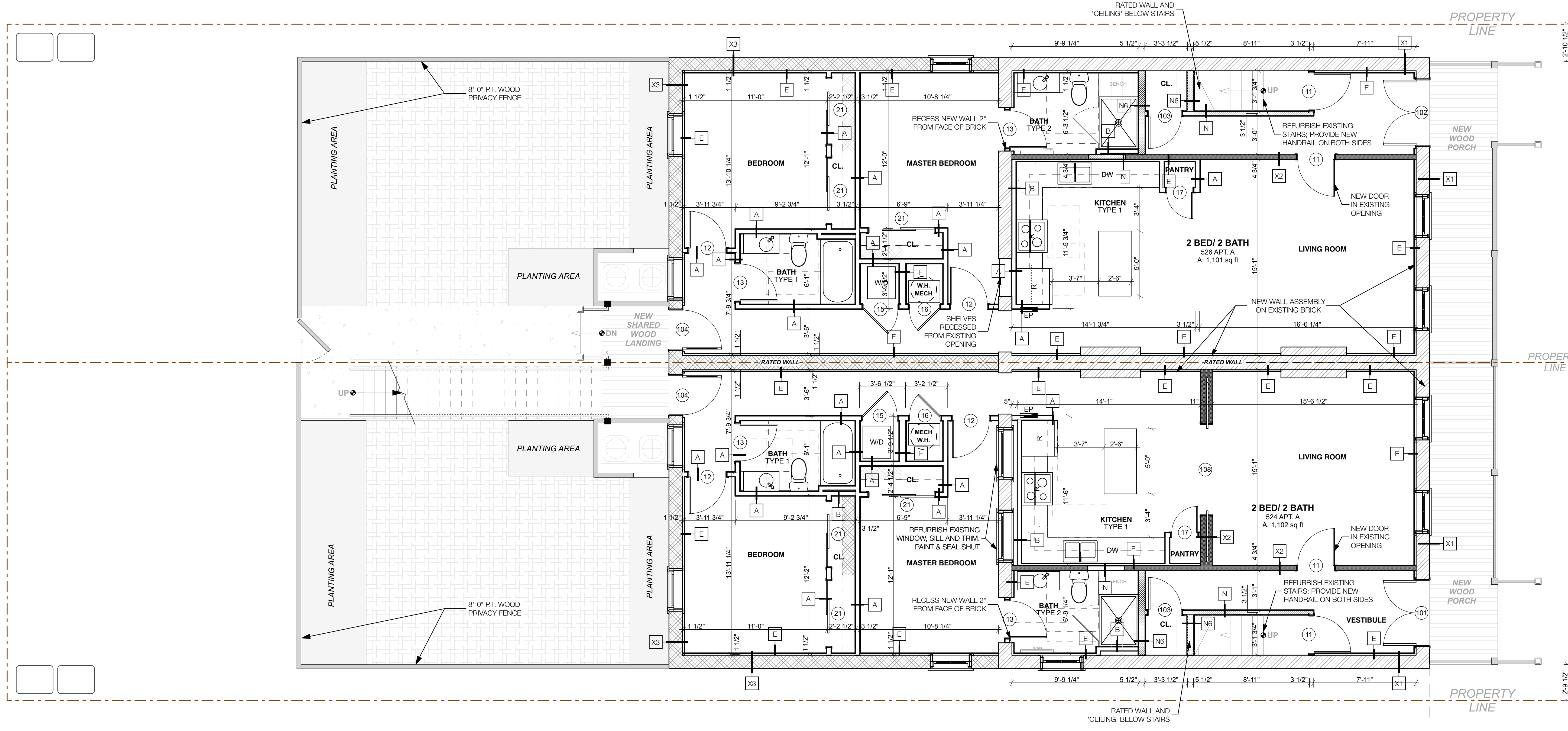
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LAYOUT PLANS
A.200



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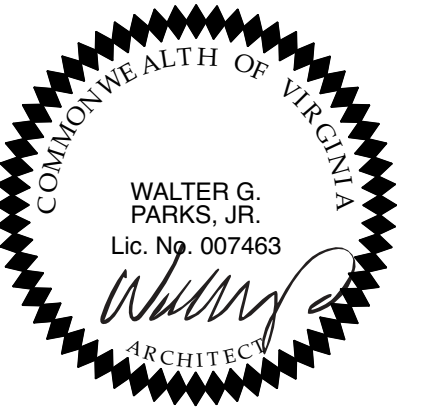
FIRST FLOOR
SCALE: 1/4" = 1'-0" 1

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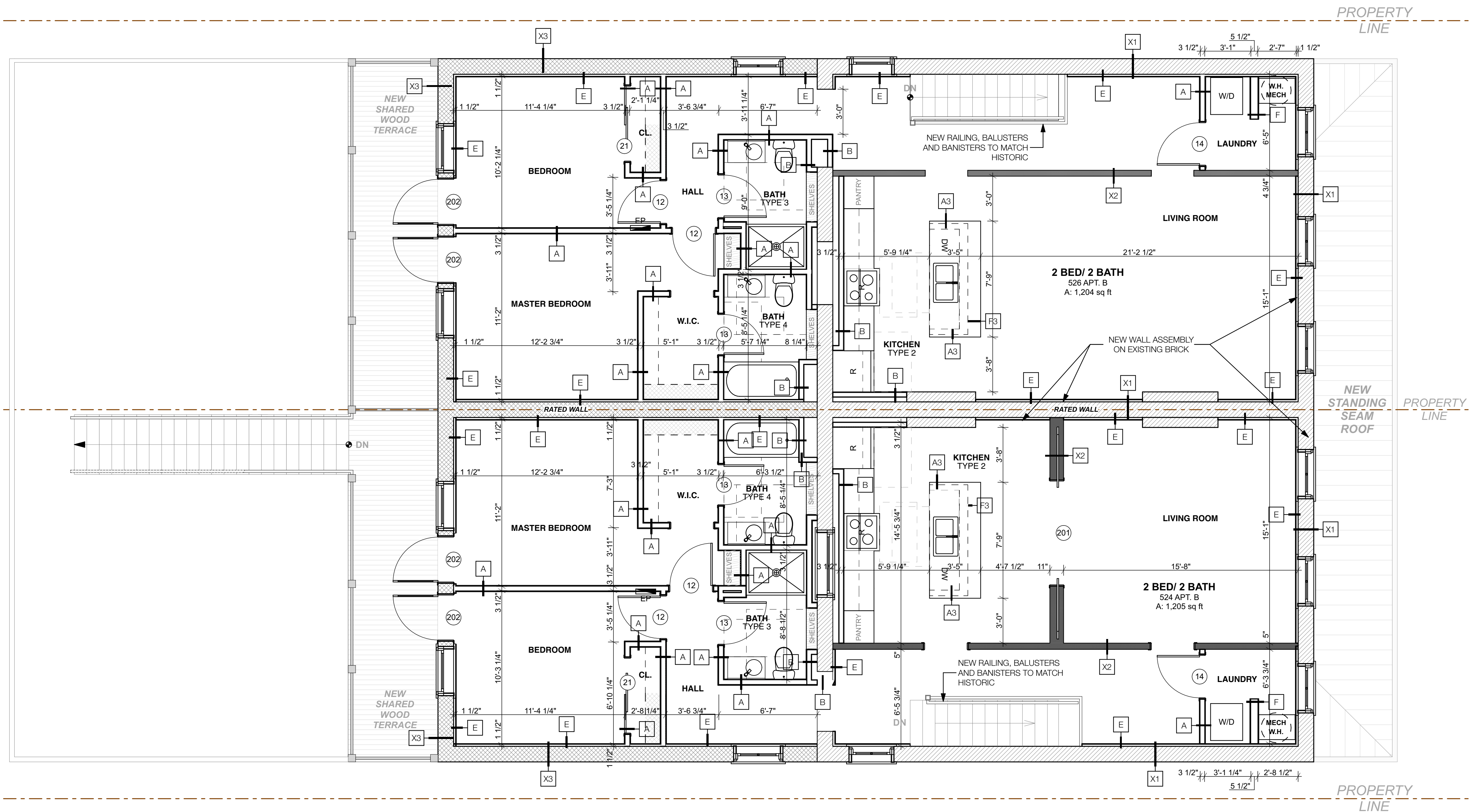
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FIRST FLOOR PLAN
A.201



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SECOND FLOOR
SCALE: 1/4" = 1'-0" 1

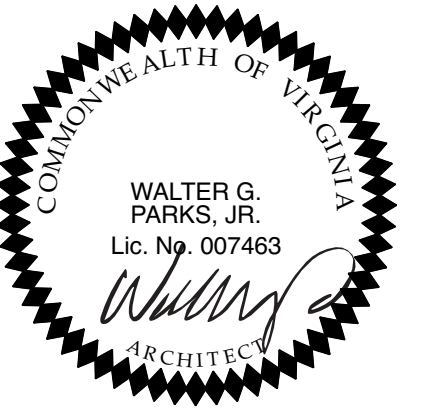
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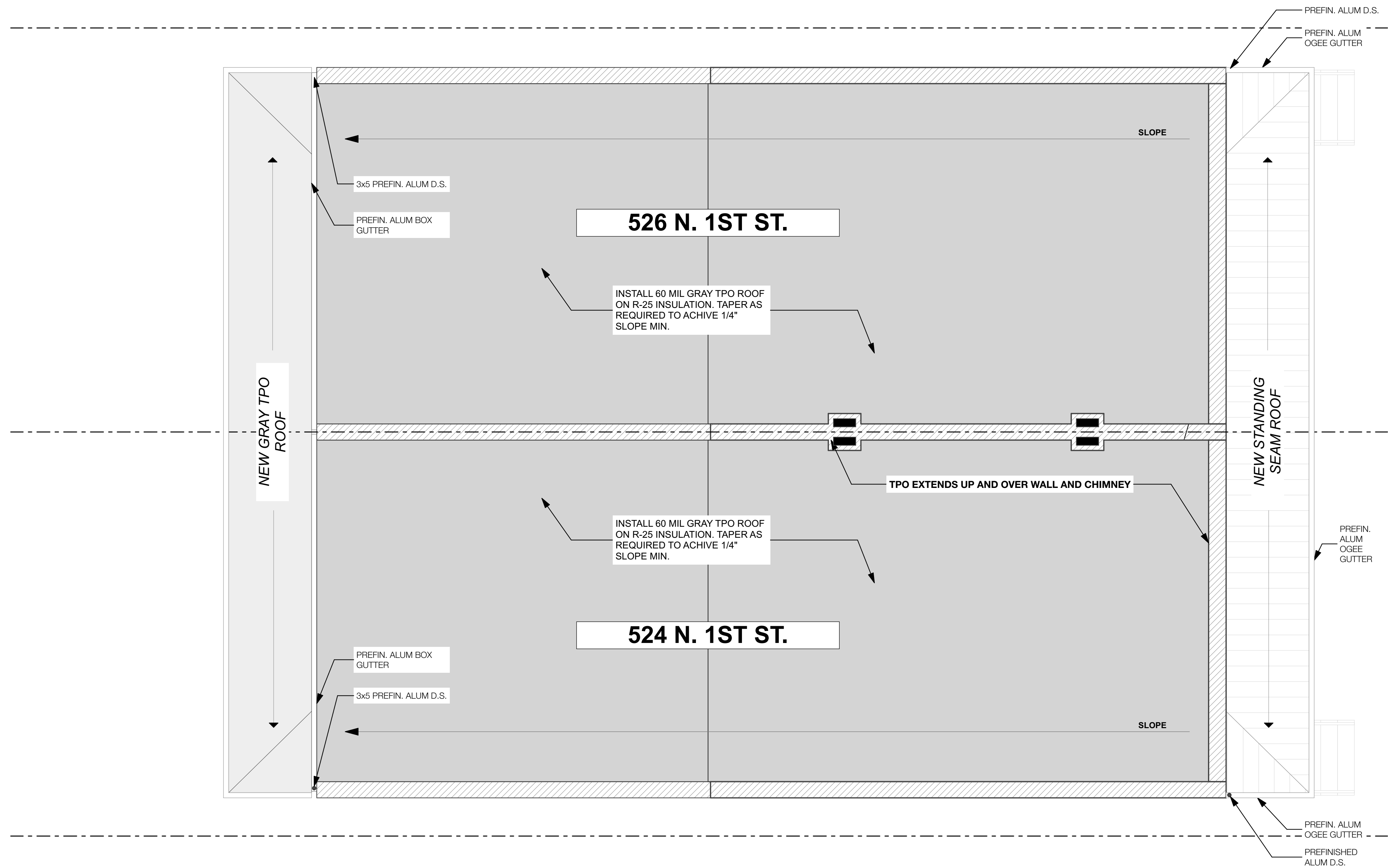
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SECOND FLOOR PLAN
A.202



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ROOF PLAN
 SCALE: 1/4" = 1'-0" 1

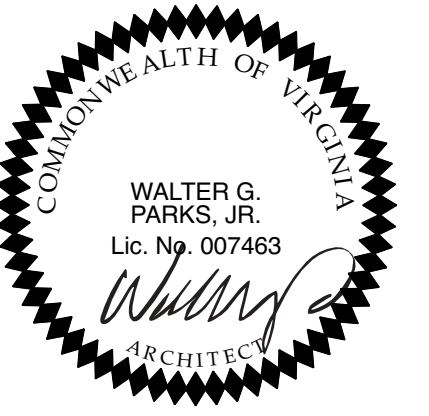
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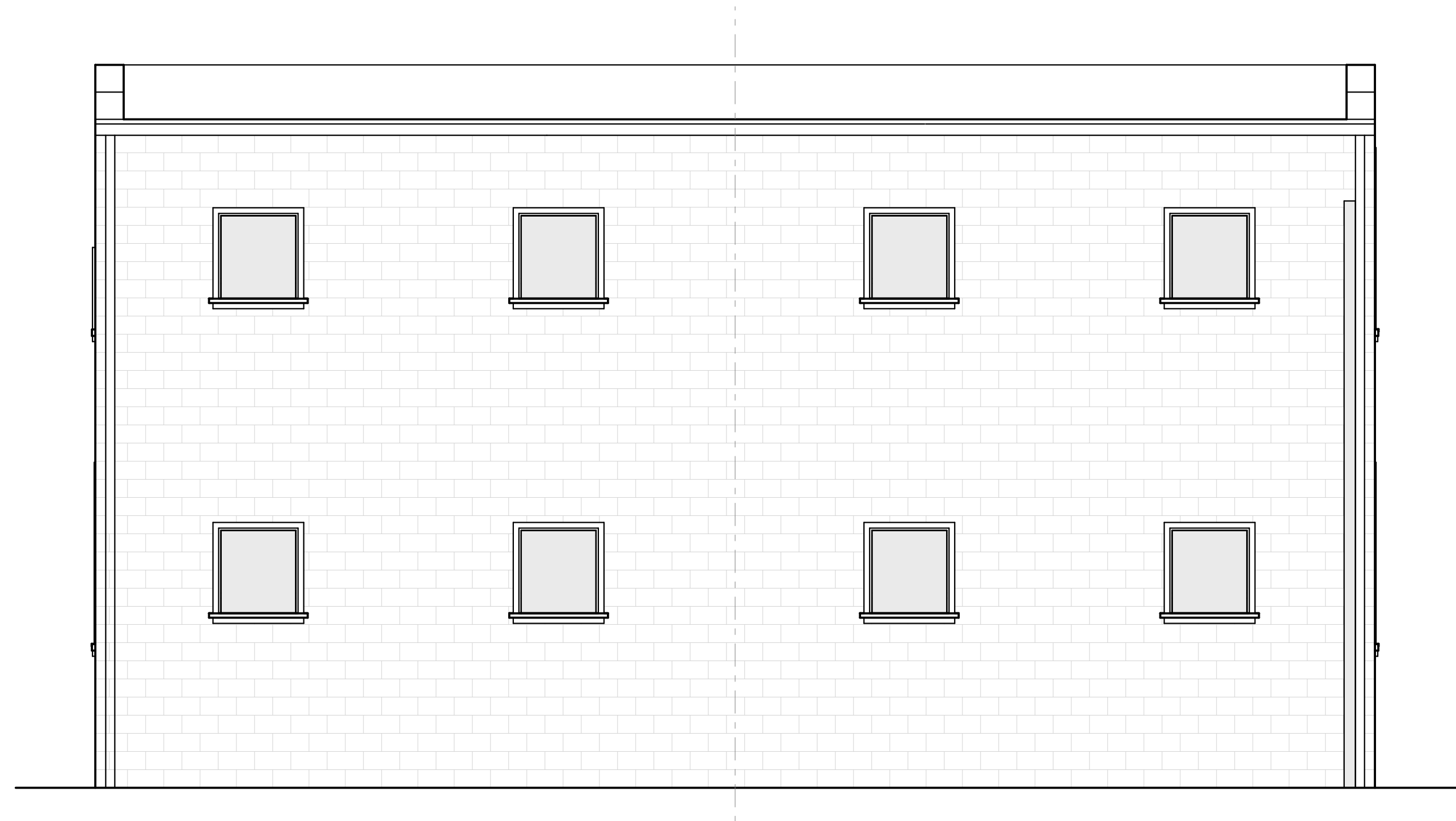
ROOF PLAN
A.203



1st Street Apartments
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FRONT ELEVATION - EAST
 SCALE: 1/4" = 1'-0" 1



REAR ELEVATION - WEST
 SCALE: 1/4" = 1'-0" 2

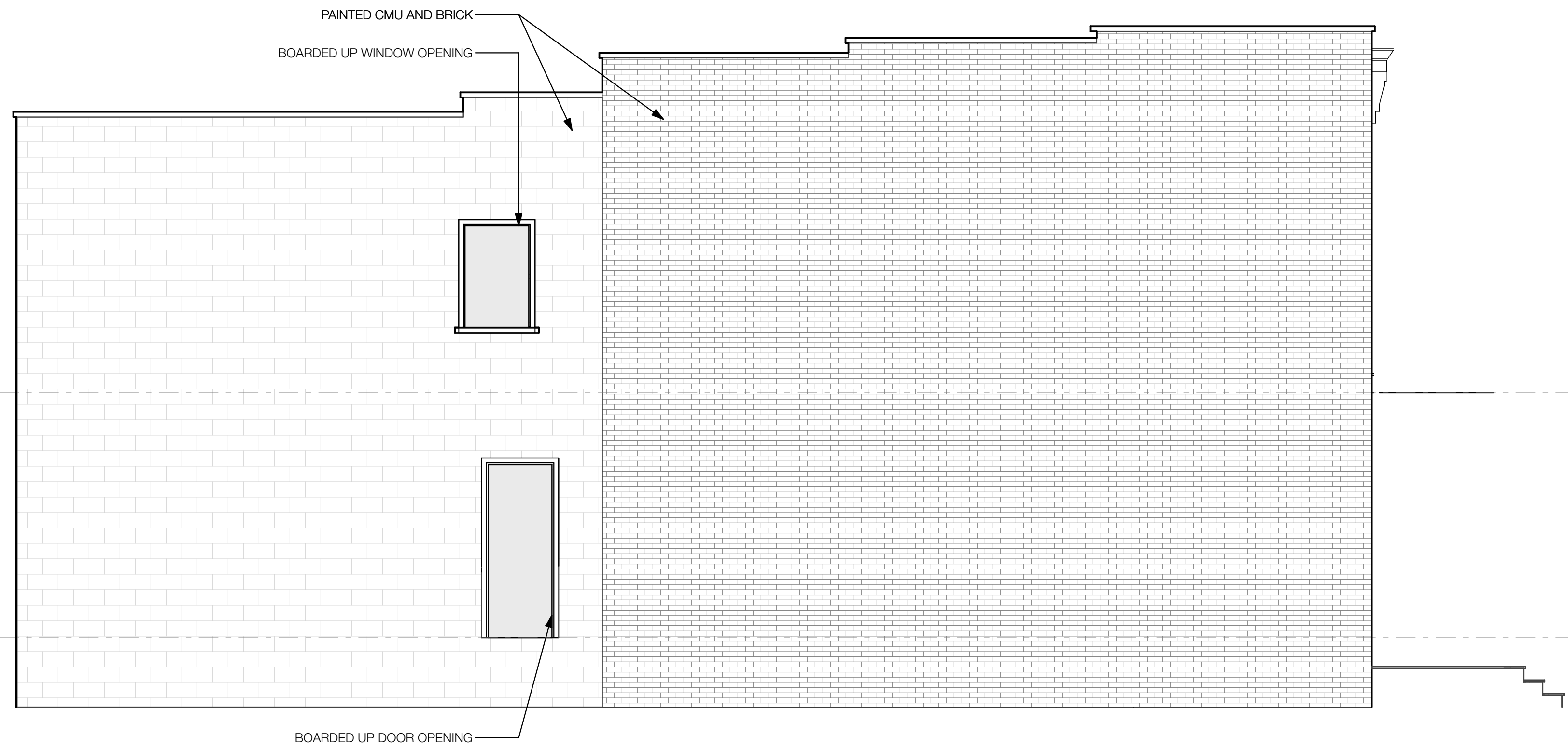
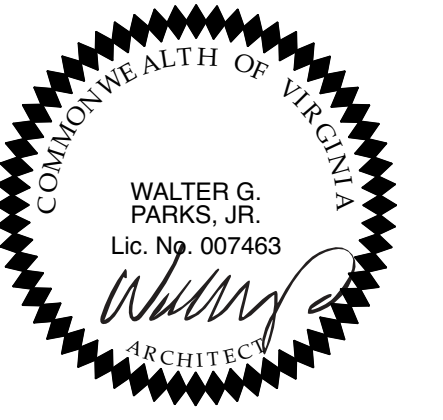
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AS IS ELEVATIONS
AS.301



SIDE ELEVATION - SOUTH
SCALE: 1/4" = 1'-0" 1

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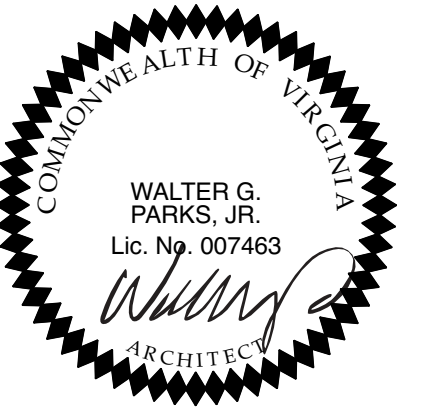
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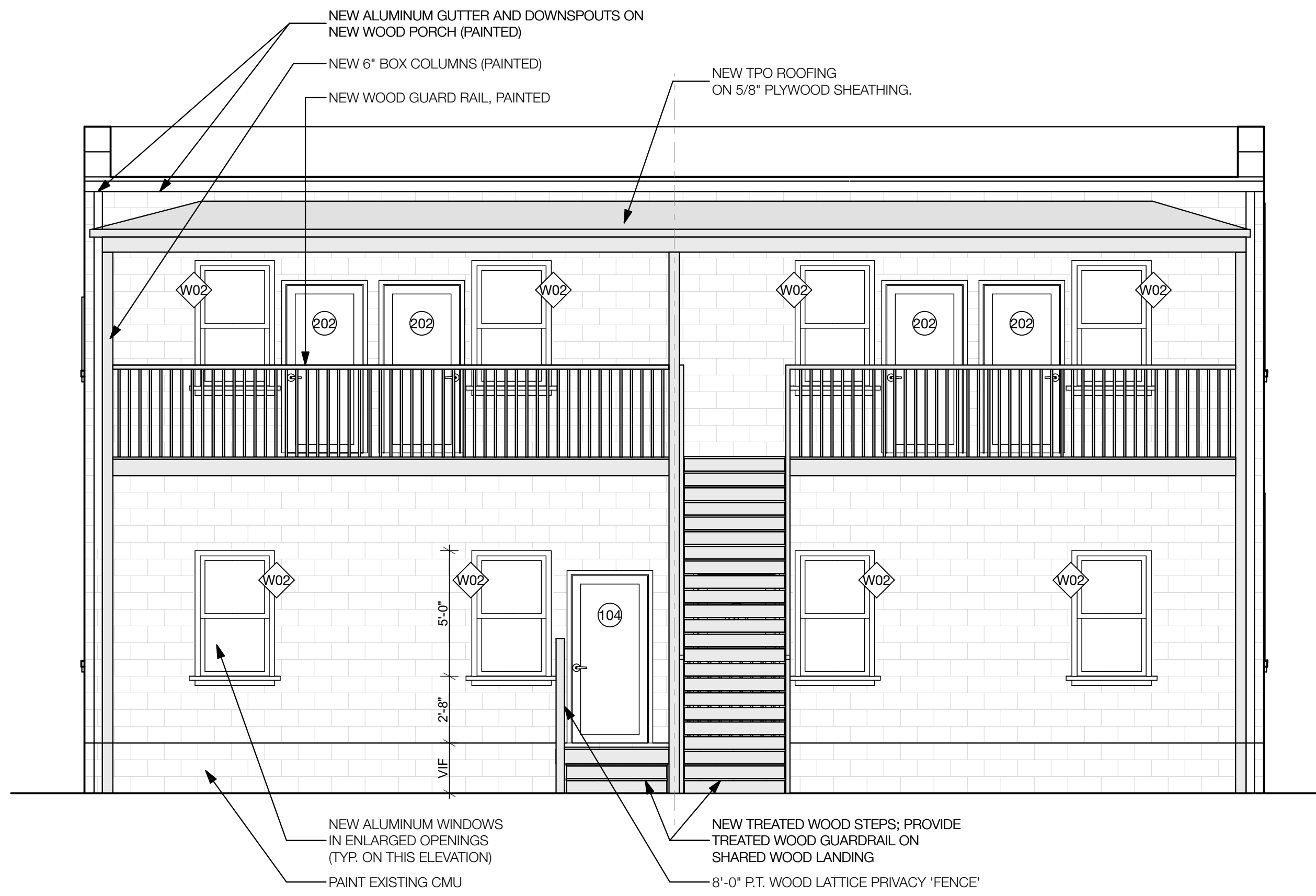
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AS IS ELEVATIONS
AS.302



1st Street Apartments
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REAR ELEVATION - WEST
 SCALE: 1/4" = 1'-0" 2



FRONT ELEVATION - EAST
 SCALE: 1/4" = 1'-0" 1

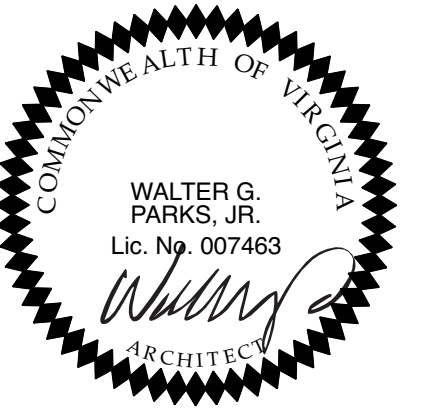
REVISIONS	
TAG	DATE

walter PARKS
 ARCHITECT

313 N. ADAMS STREET
 RICHMOND, VIRGINIA 23220
 t: 644-4761 / f: 644-4763

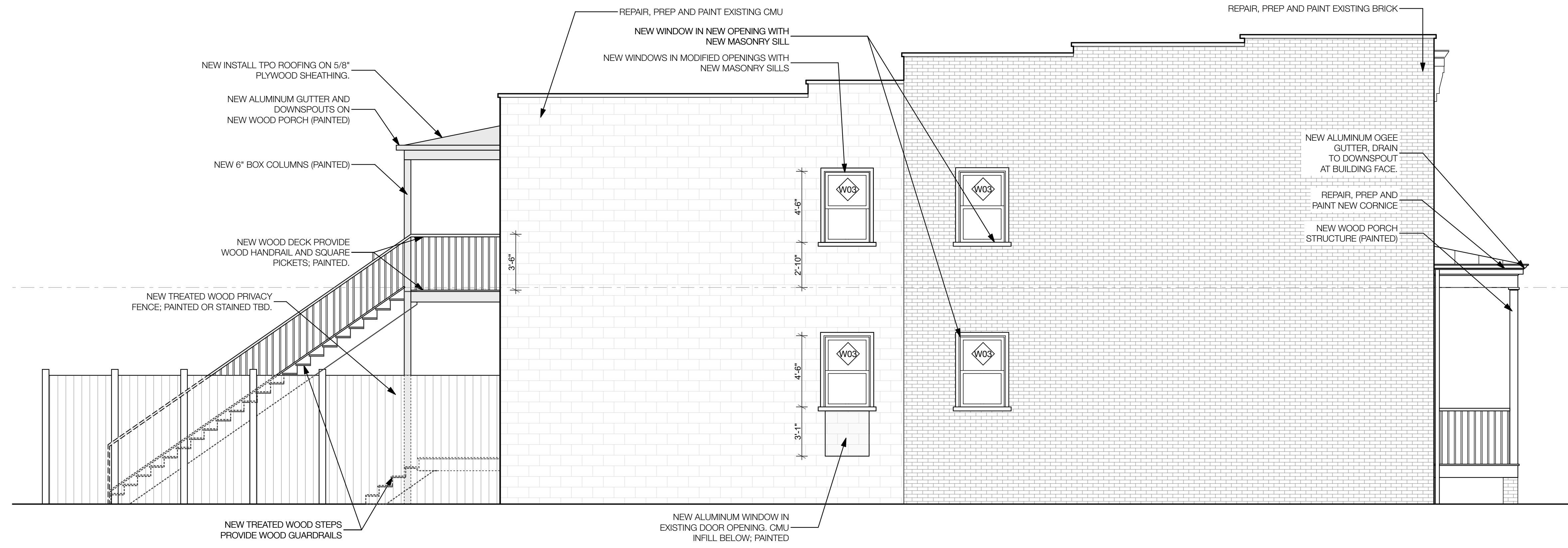
PROJECT #: 13.41
 DATE: 10/18/19

ELEVATIONS
A.301

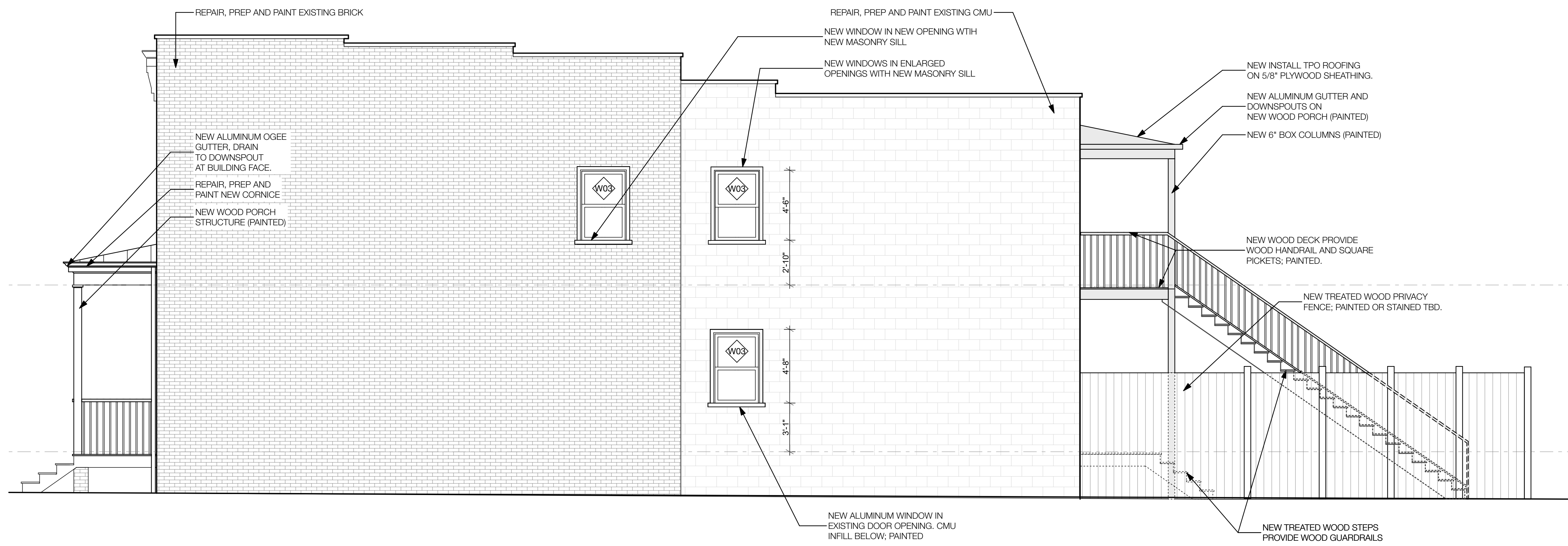


1st Street Apartments

524 - 526 N. 1st Street
Richmond, Virginia 23220



SIDE ELEVATION - SOUTH
SCALE: 1/4" = 1'-0" 1



SIDE ELEVATION - NORTH
SCALE: 1/4" = 1'-0" 2

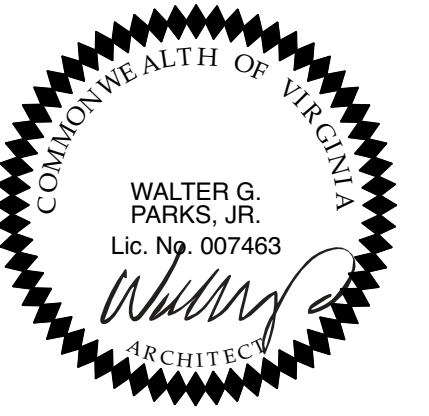
REVISIONS	
TAG	DATE

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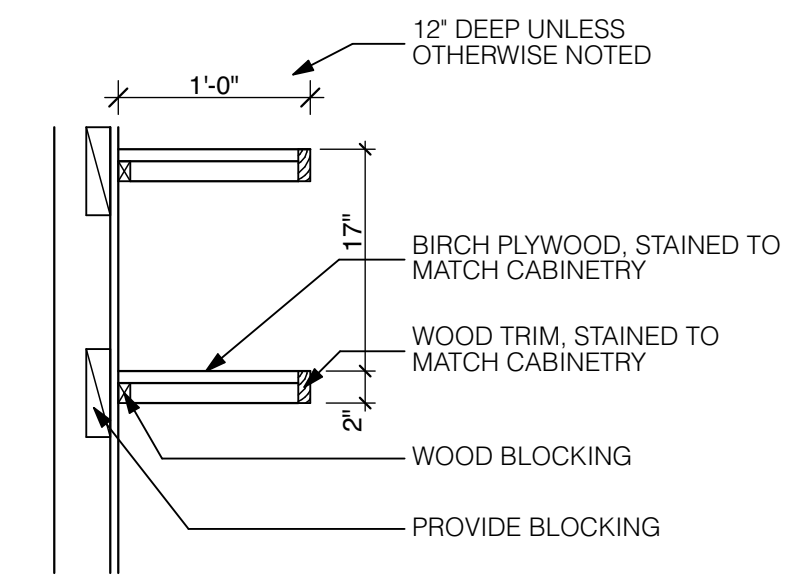
PROJECT #: 13.41
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ELEVATIONS
A.302



1st Street Apartments

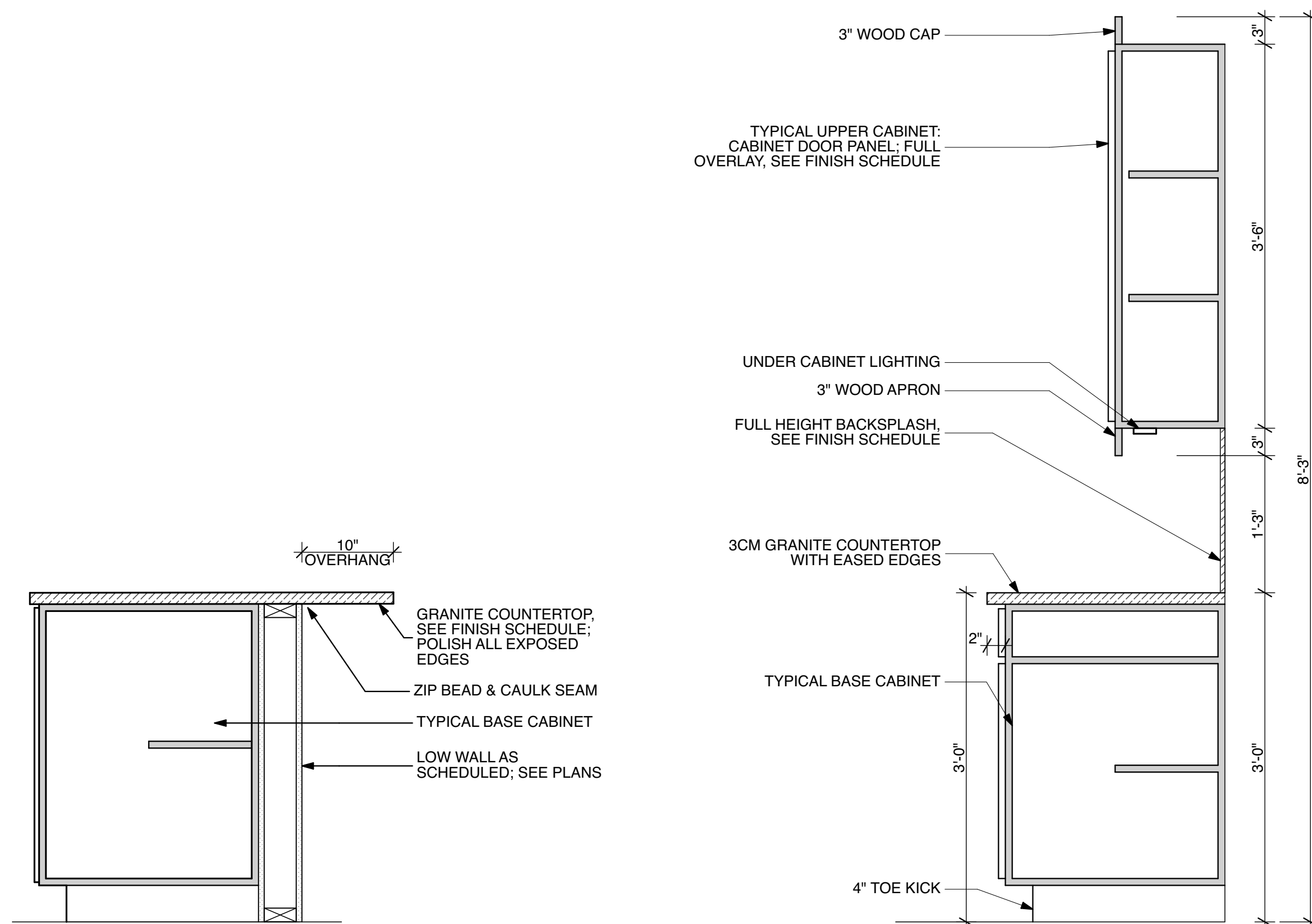
524 - 526 N. 1st Street
Richmond, Virginia 23220



- NOTES:**
1. PROVIDE ADDITIONAL SUPPORT BRACKETS AT WOOD SHELVES LONGER THAN 4'-0"
 2. SEE FINISH SCHEDULE FOR FINISHES
 3. SEE PLANS FOR SHELF DEPTH

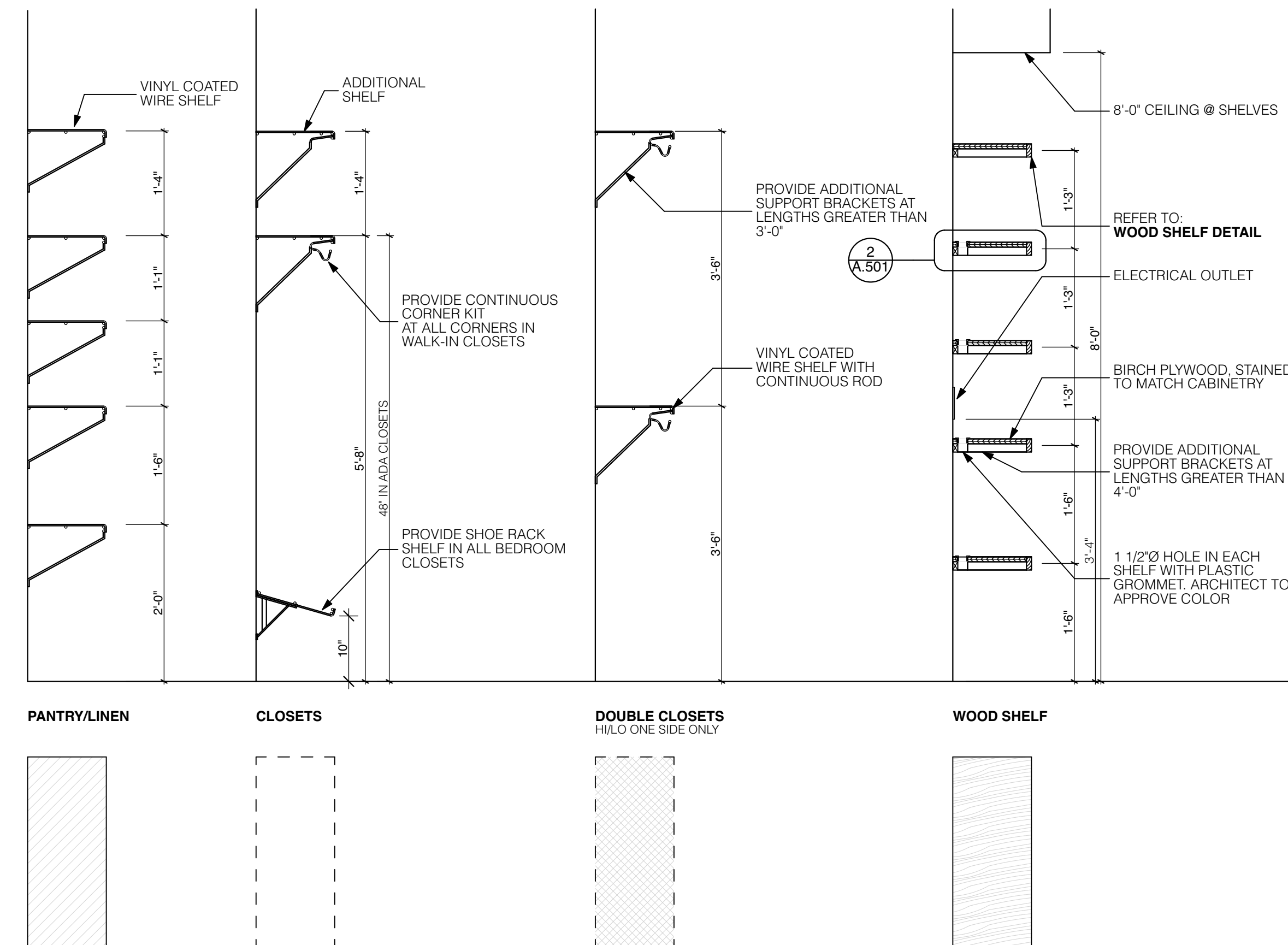
WOOD SHELF DETAIL
SCALE: 1" = 1'-0"

2



TYPICAL KITCHEN CABINETS
SCALE: 1" = 1'-0"

3



SHELVING DETAIL
SCALE: 3/4" = 1'-0"

1

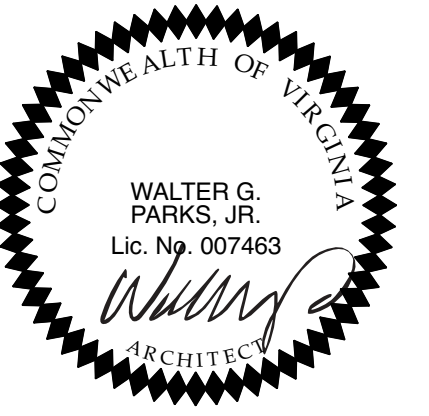
REVISIONS	
TAG	DATE

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313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
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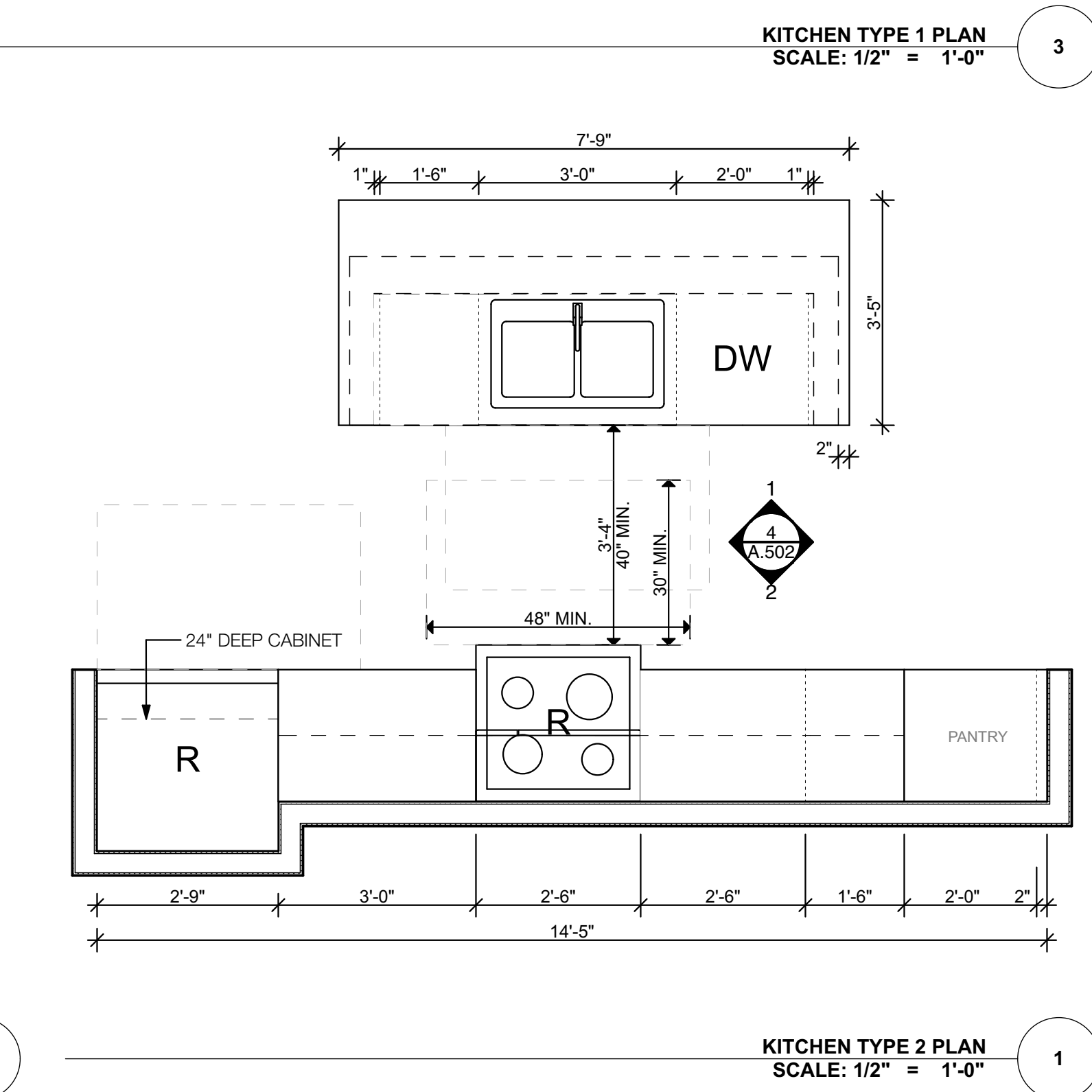
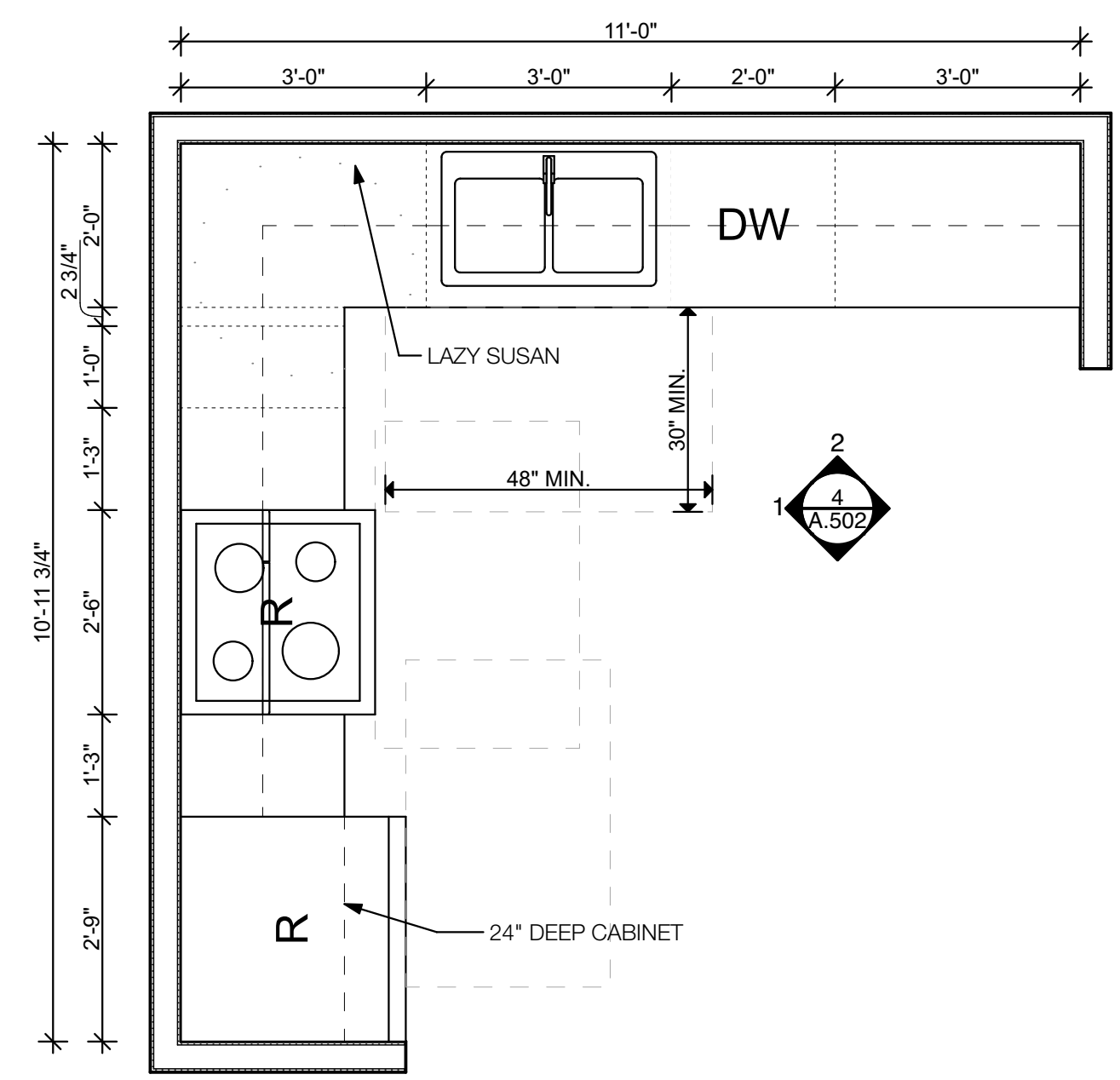
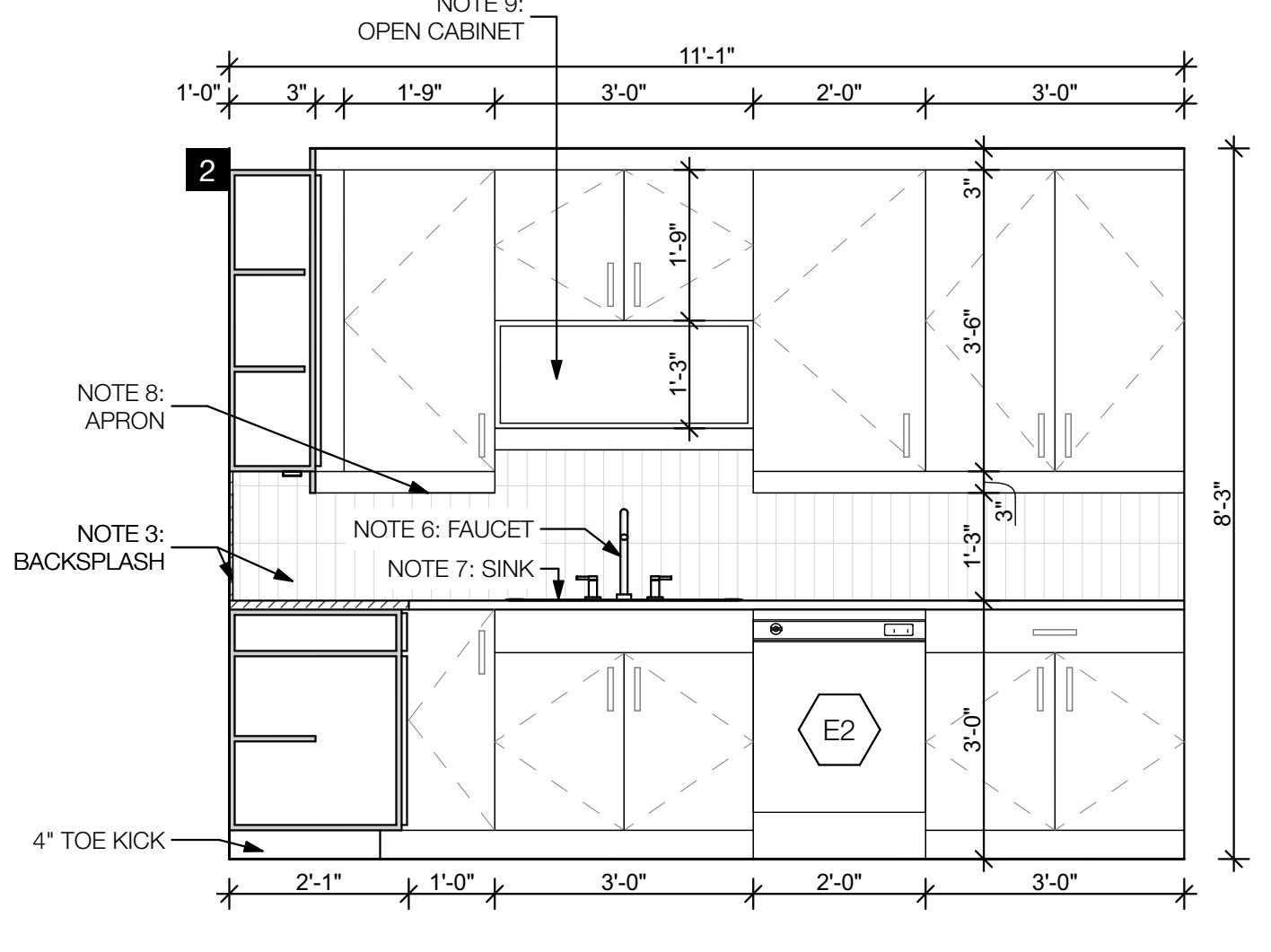
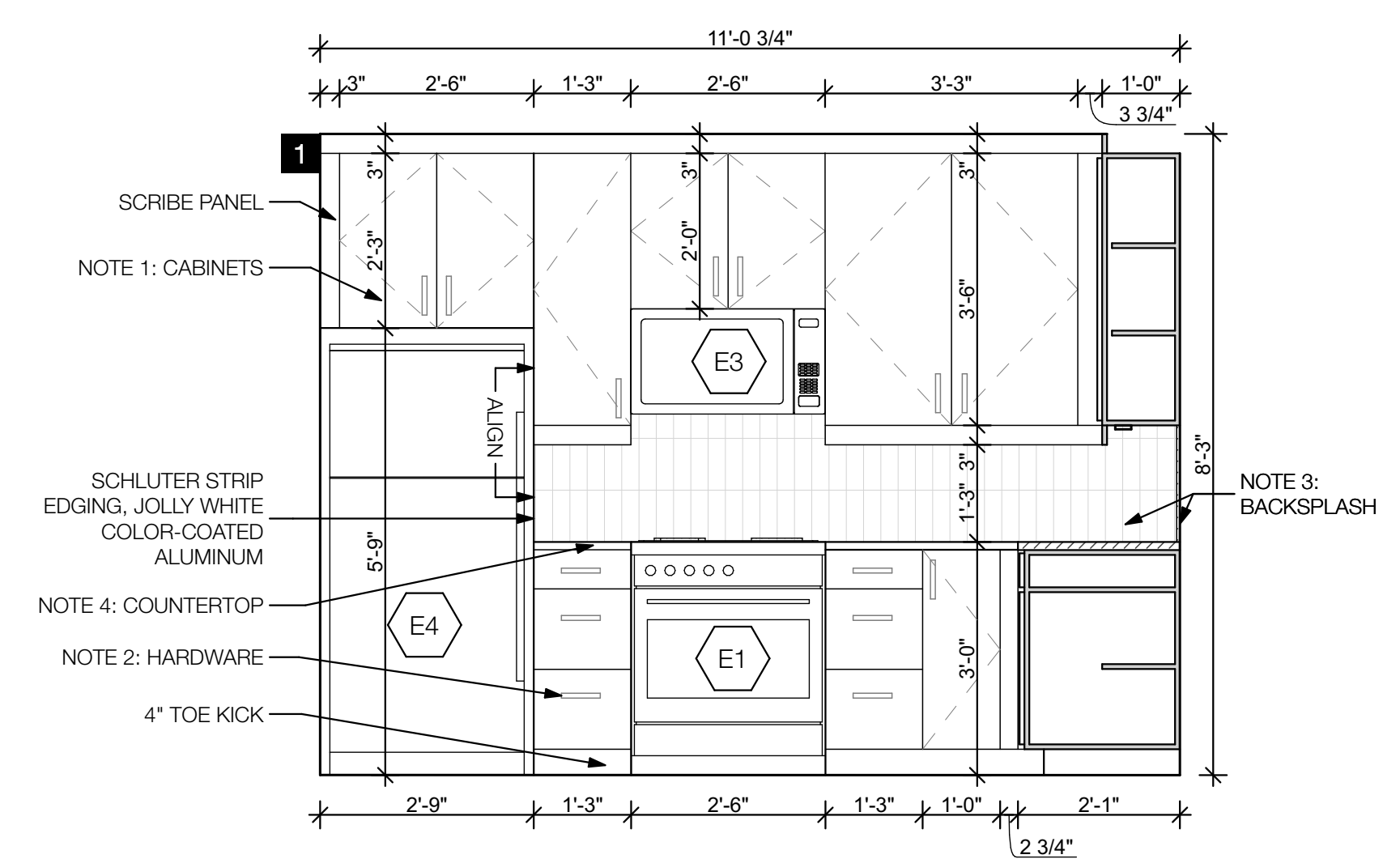
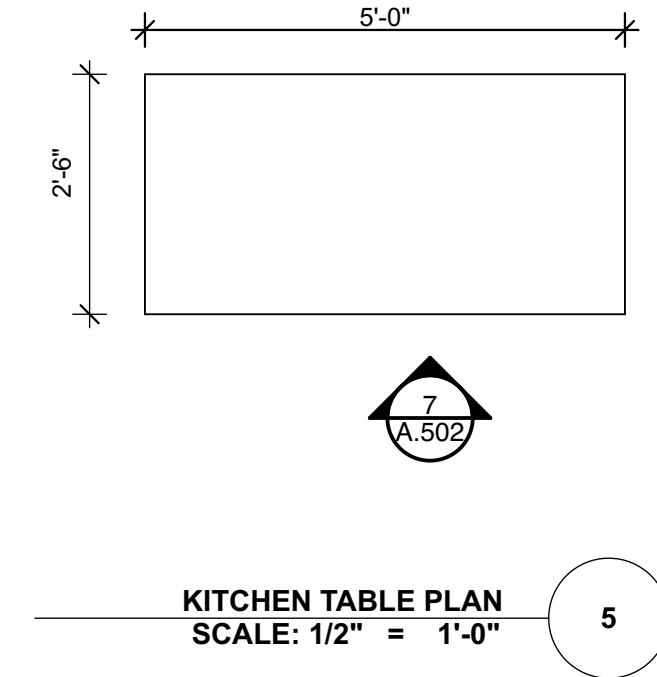
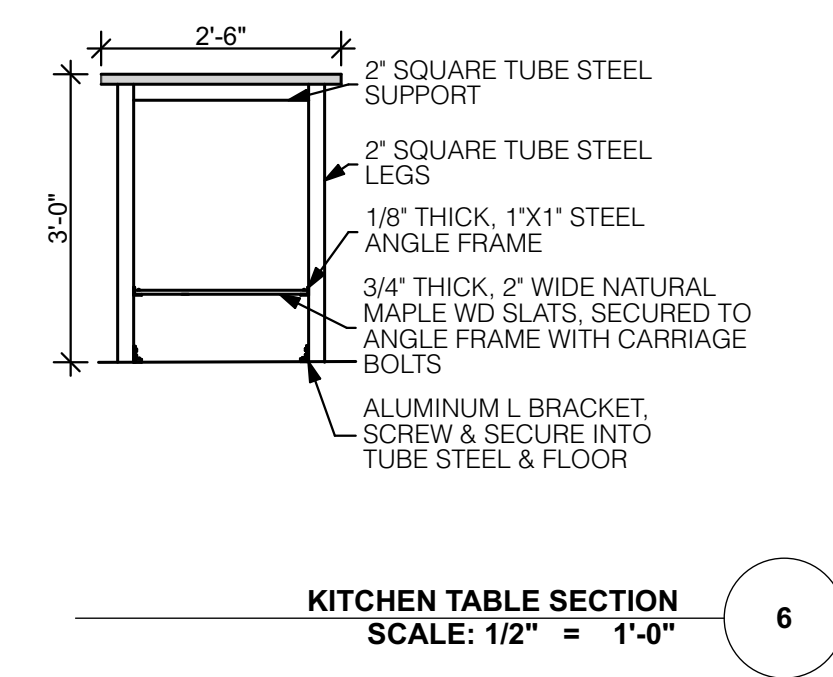
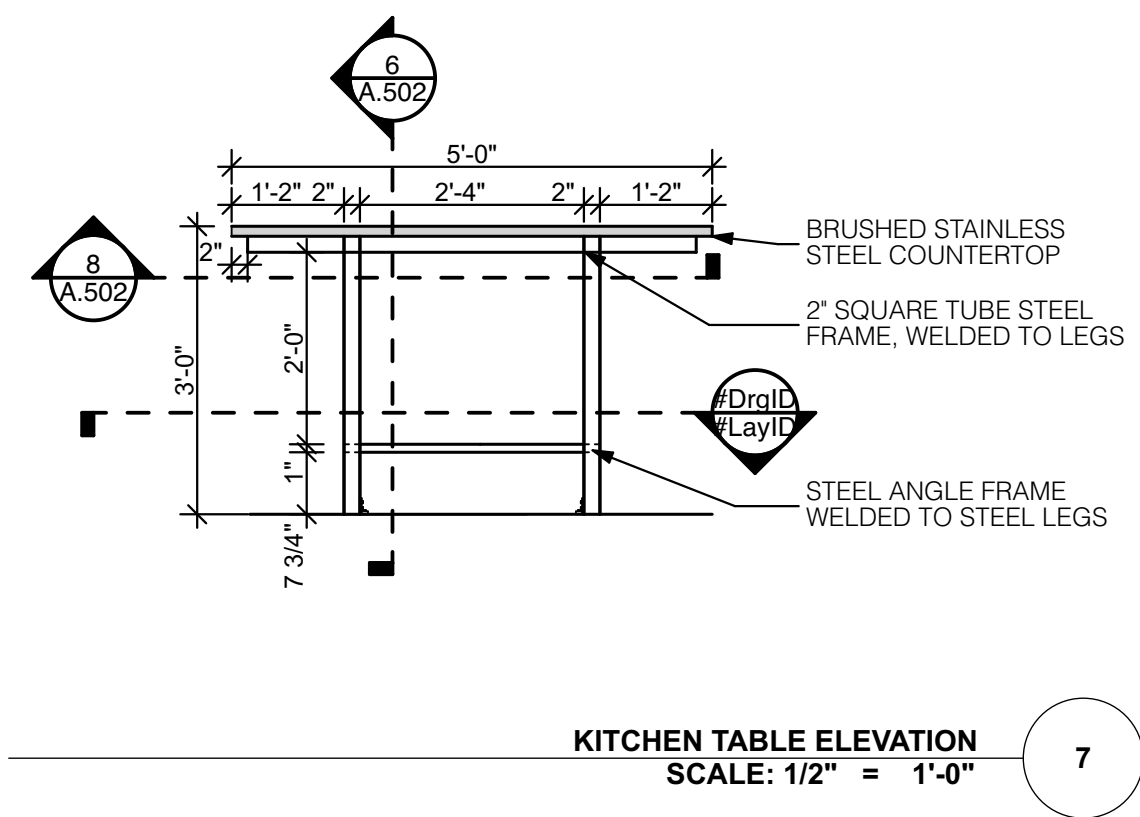
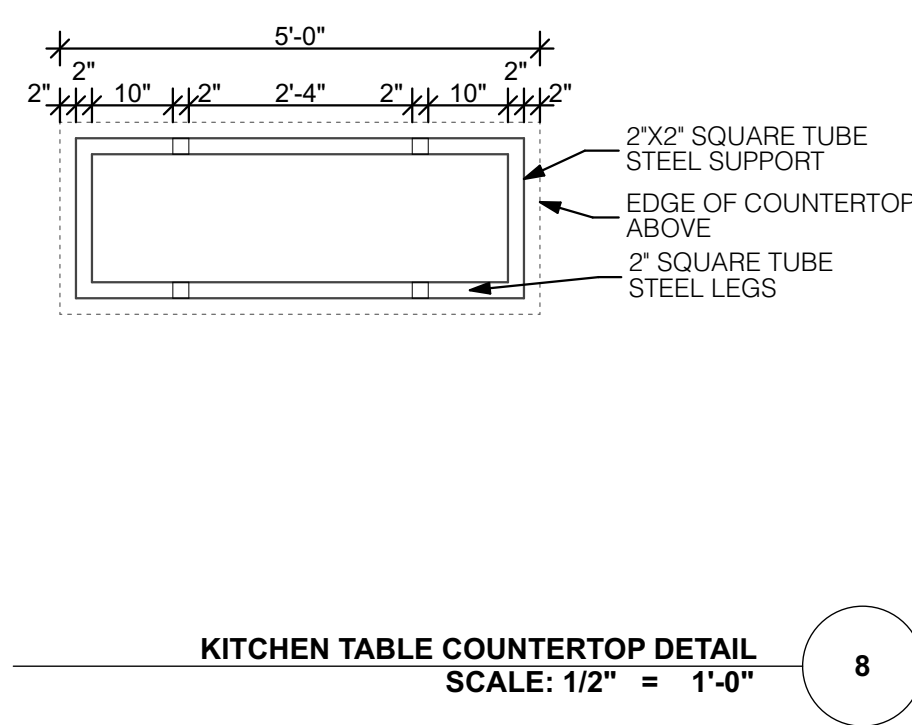
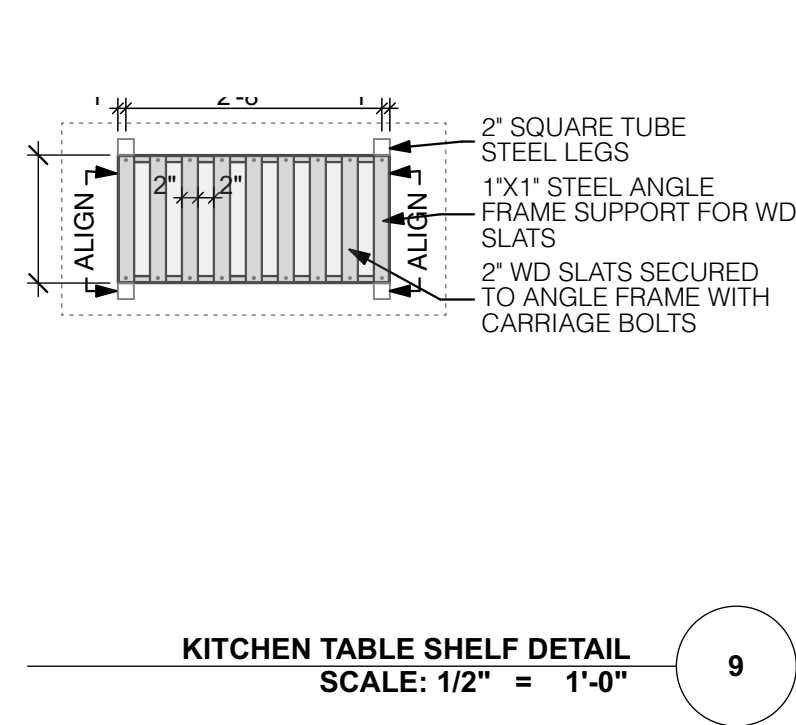
PROJECT #: 13.41
DATE: 10/18/19

DETAILS
A.501

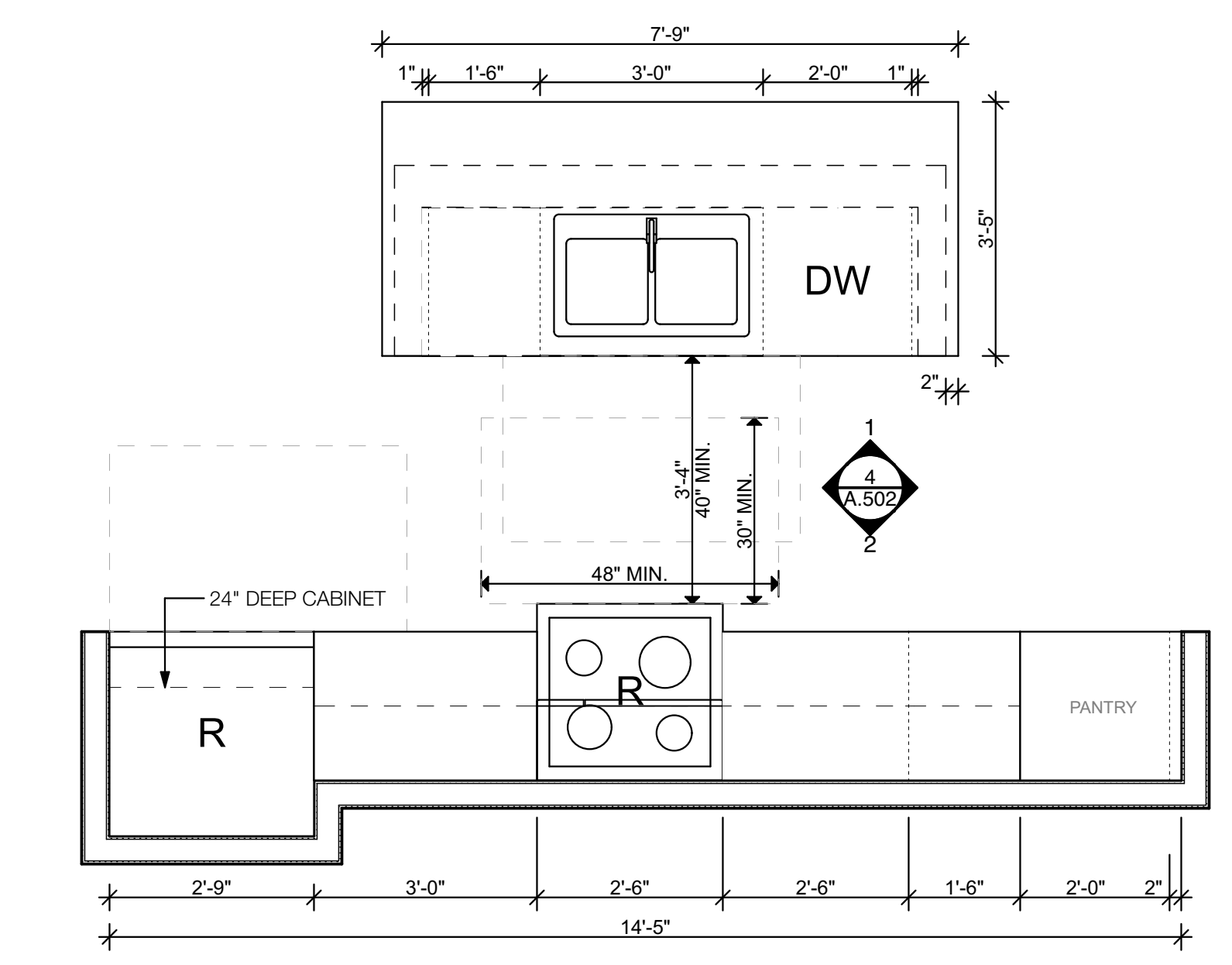
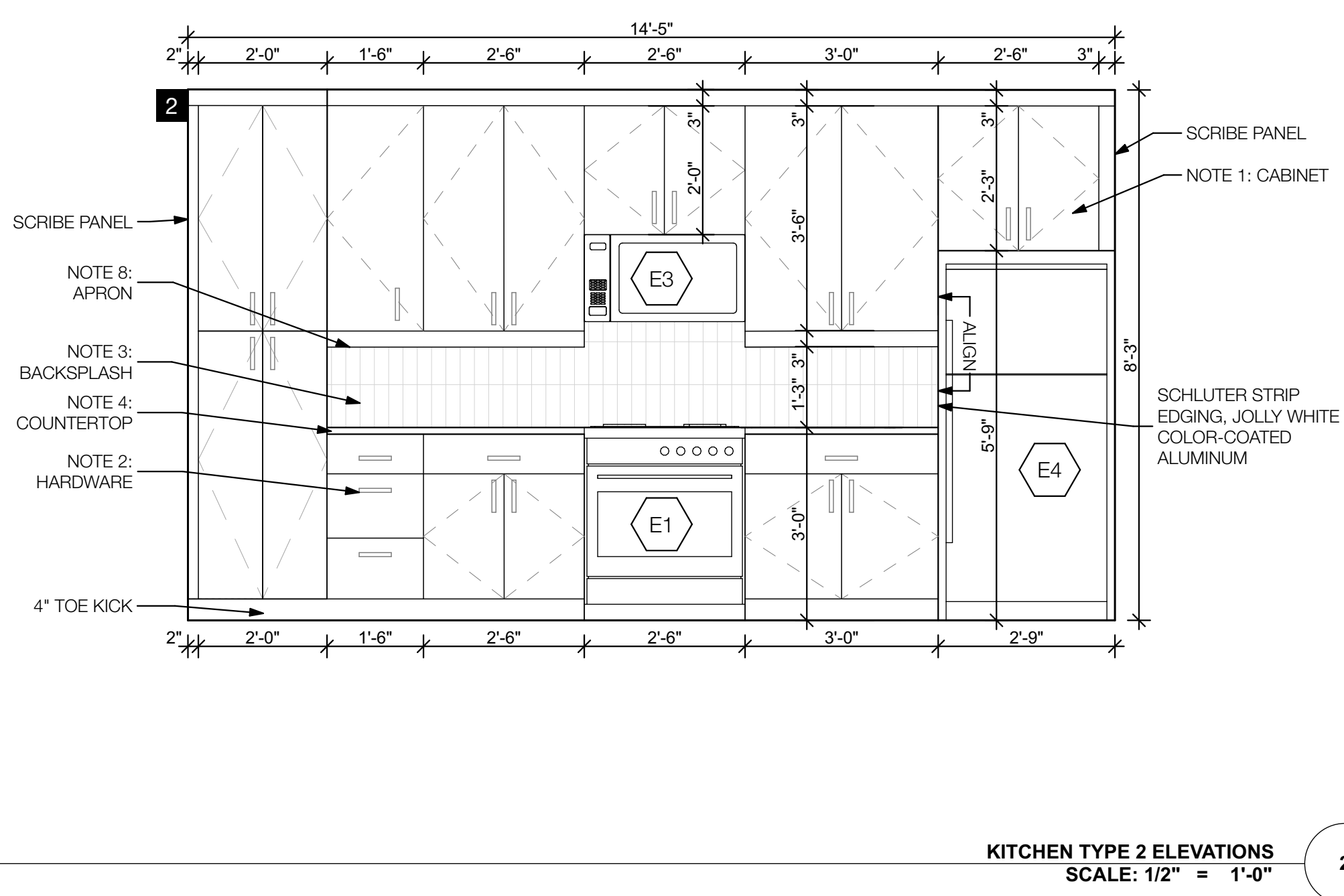
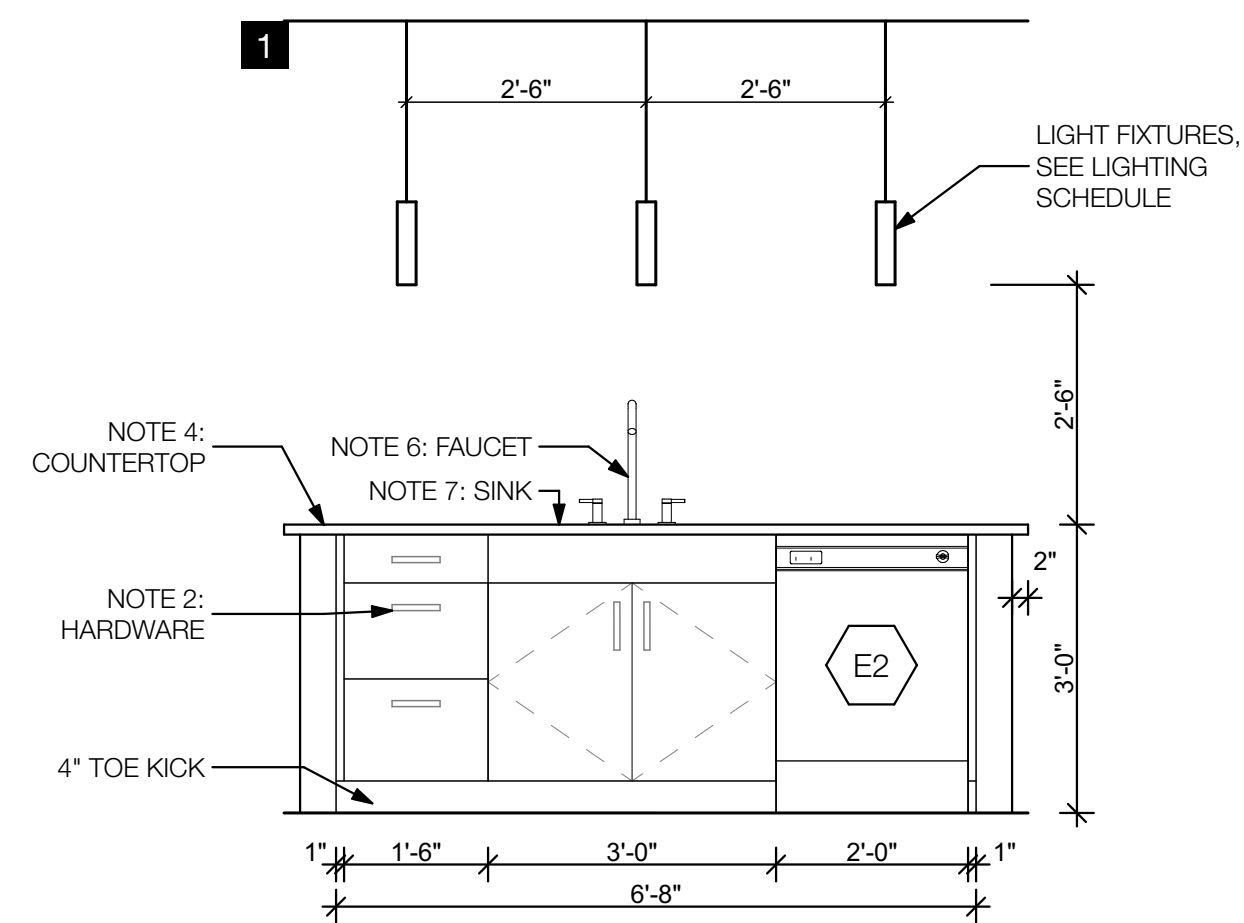


1st Street Apartments

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- KITCHEN NOTES**
- CABINETS:** FULL OVERLAY CABINET, SEE FINISH SCHEDULE.
 - HARDWARE:** SEE PLUMBING & ACCESSORIES SCHEDULE.
 - BACKSPLASH:** FULL HEIGHT BACKSPLASH (CONTINUOUS BEHIND FRANGES), SEE FINISH SCHEDULE. EXPOSED TILE EDGE TO HAVE SCHLUTER STRIP TO MATCH TILE DEPTH. 2CM 4" GRANITE SIDE SPLASH WHERE COUNTER ABUTS SIDE WALL.
 - COUNTERTOP:** 3CM GRANITE, EASED EDGES, SQUARE CORNERS, SEE FINISH SCHEDULE. POLISH EXPOSED EDGES.
 - APPLIANCES:** STAINLESS STEEL, SEE SPECS. "E" APPLIANCE SYMBOL, REFER TO APPLIANCE SCHEDULE FOR DETAILS.
 - FAUCET:** FIXTURE B, SEE PLUMBING SCHEDULE.
 - SINK:** FIXTURE A, SEE PLANS & PLUMBING SCHEDULE.
 - APRON:** ALL SIDES NEED TO BE FINISHED TO MATCH CABINETRY.
 - OPEN CABINET:** PROVIDE OPEN CABINET. INTERIOR FINISH TO MATCH EXTERIOR CABINET FINISH.
 - DIMENSIONS TO FINISH.**
 - ALL RECEPTACLES & SWITCHES TO BE WHITE, ALL COVERS/PLATES TO BE WHITE.**
 - DRAWER BASES THAT ARE 12" WIDE OR LESS, SPECIFY BOTTOM MOUNTED DRAWER SLIDES TO OPTIMIZE INNER DRAWER WIDTH.**



REVISIONS

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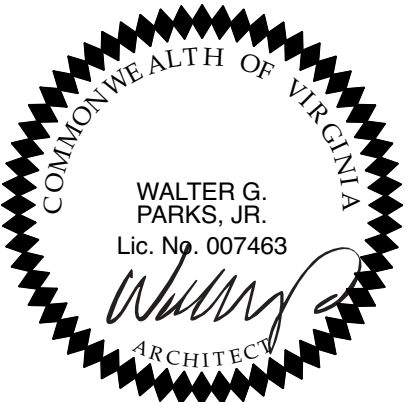
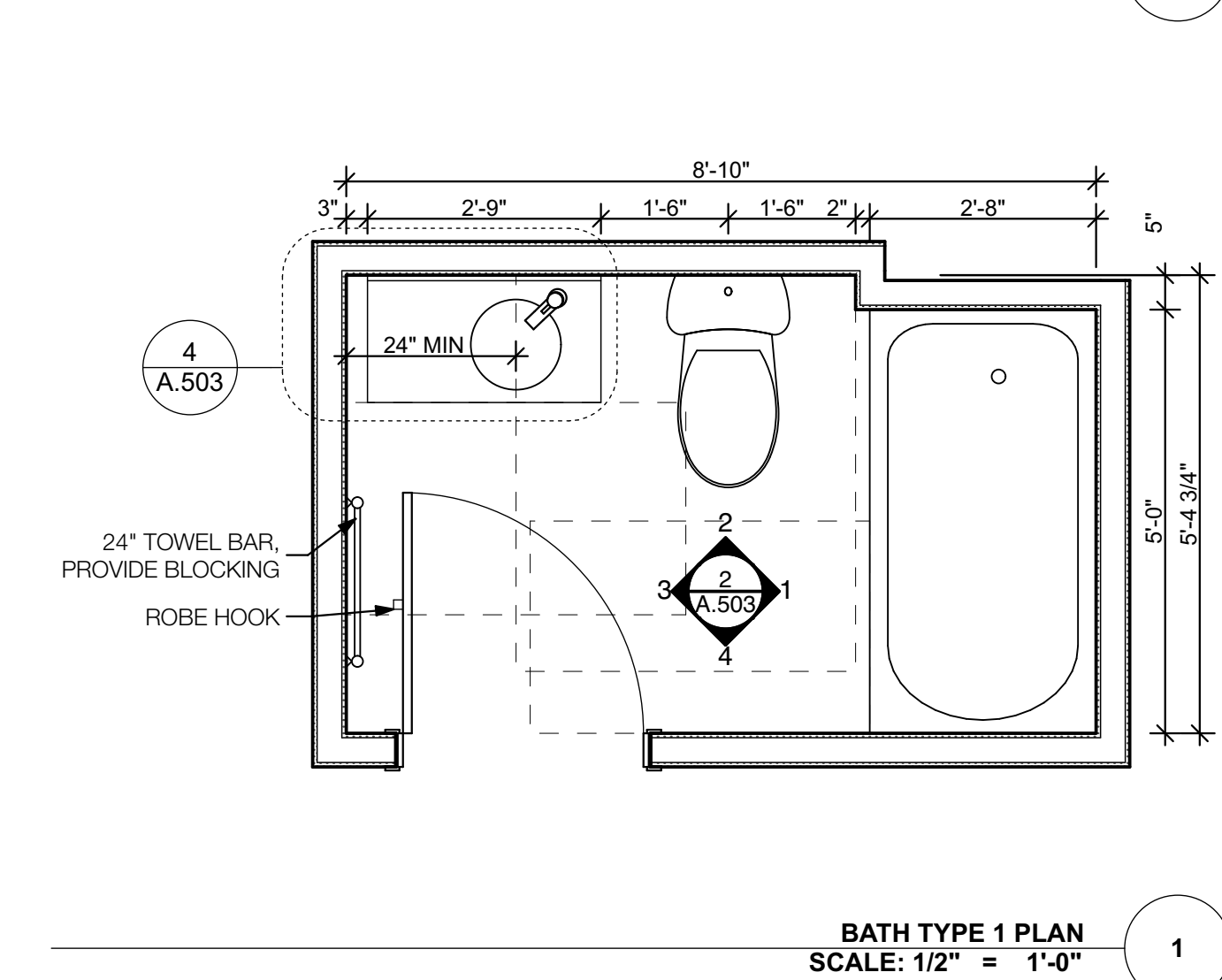
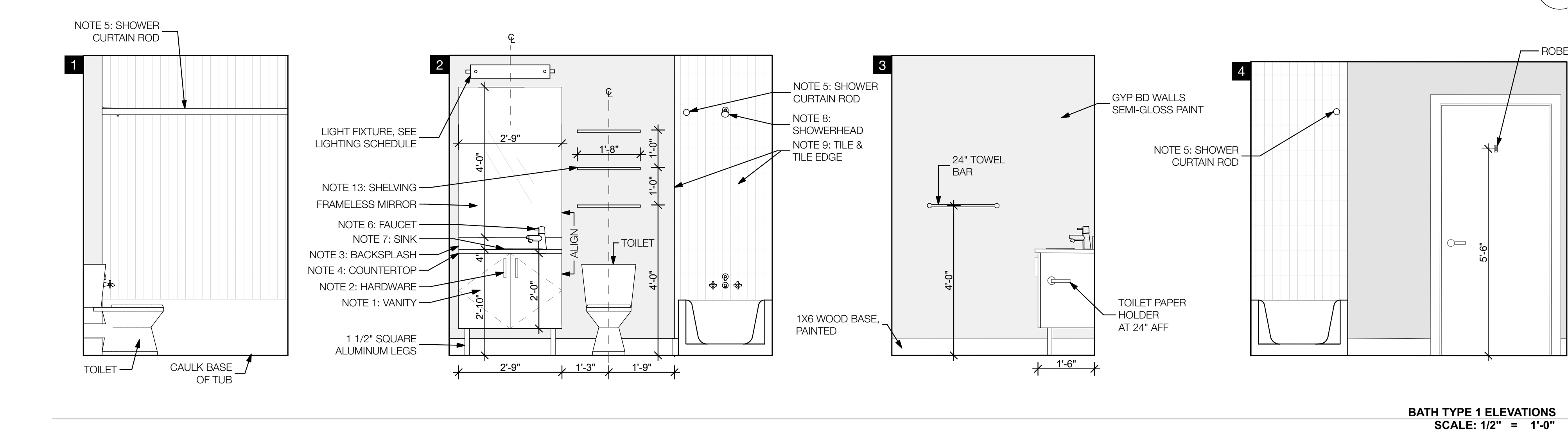
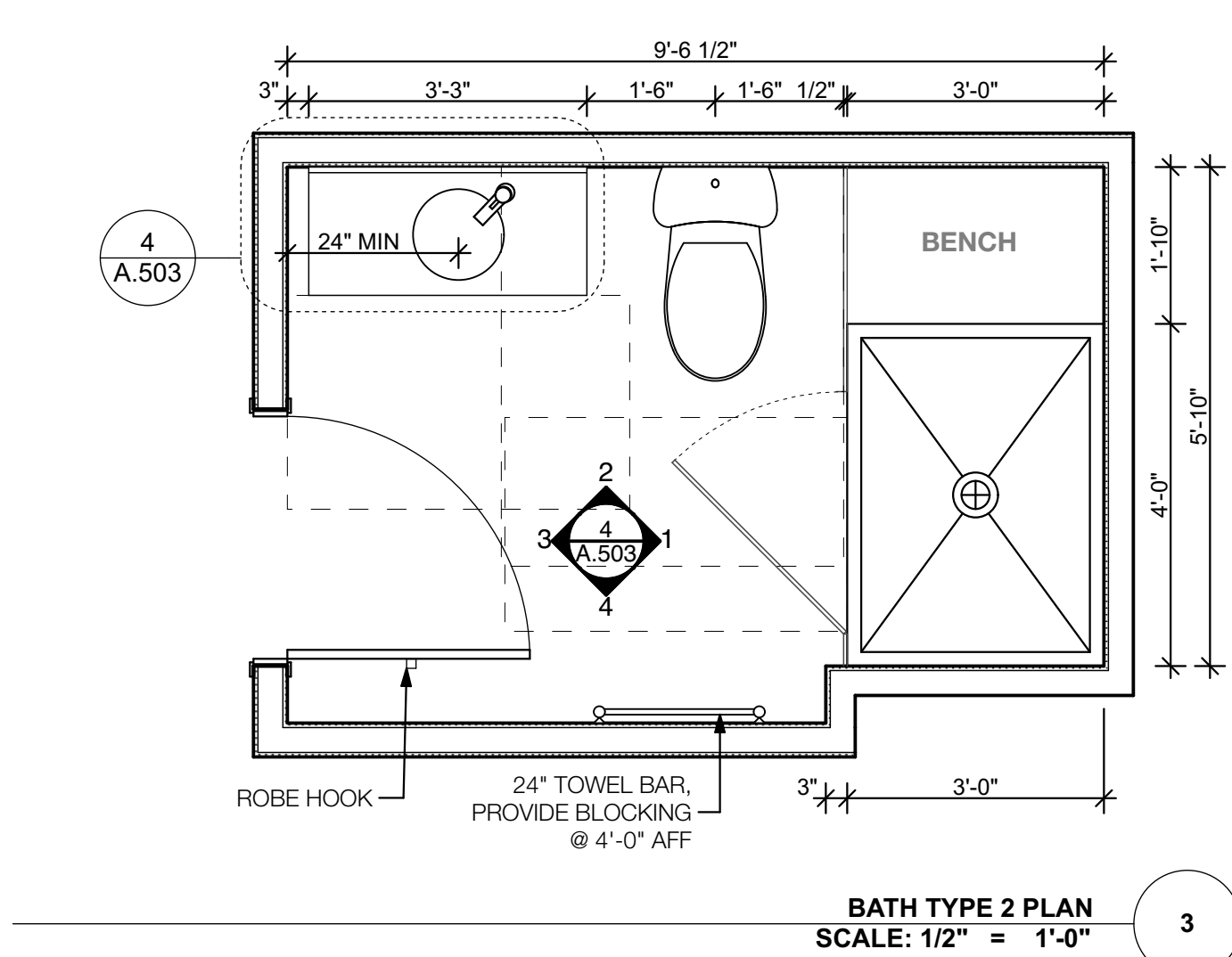
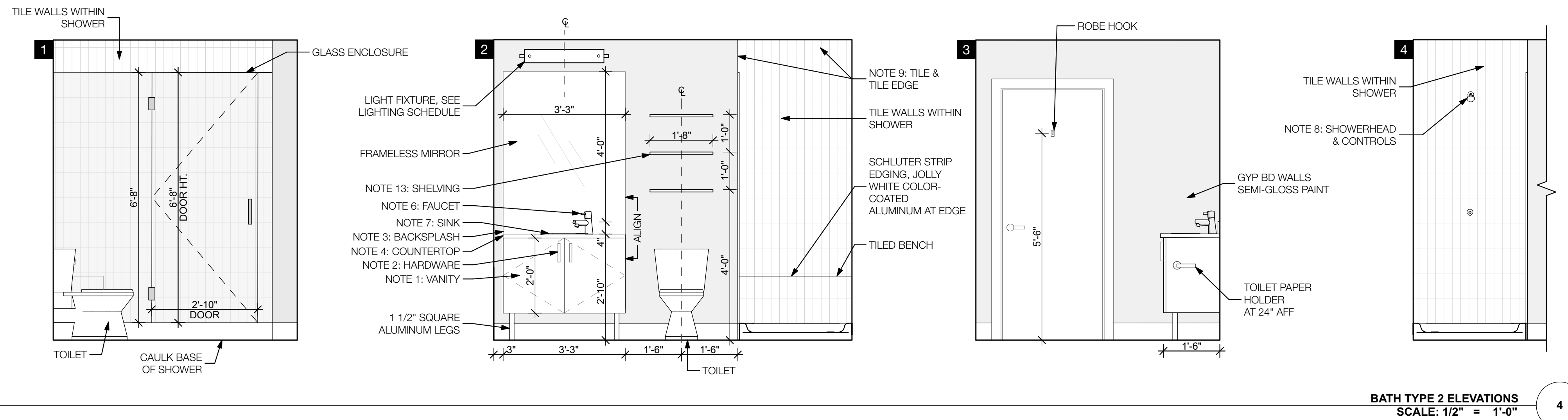
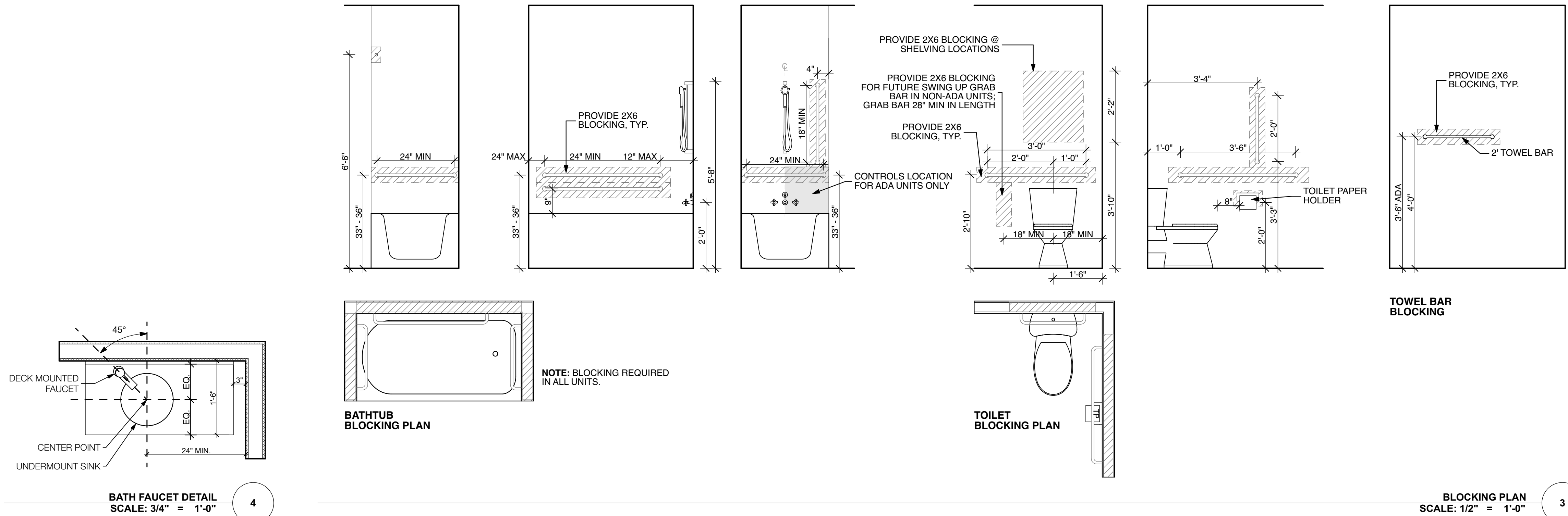
313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
t: 644-4761 / f: 644-4763

PROJECT #: 13.41
DATE: 10/18/19

KITCHEN DETAILS
A.502

BATH NOTES

- VANITY CABINETS:** 18" DEEP CABINET, REFER TO BATH ELEVATIONS FOR DEPTH.
- HARDWARE:** SEE PLUMBING AND BATH ACCESSORIES SCHEDULE.
- BACKSPASH:** 2CM 4" GRANITE BACKSPASH, SEE FINISH SCHEDULE. PROVIDE SIDE SPLASHES AT ALL CONDITIONS WHERE COUNTER ABUTS WALL.
- COUNTERTOP:** 3CM GRANITE, EASED EDGES, SEE FINISH SCHEDULE. GRANITE DOES NOT SHOW ANY OVER HANG, TYPICAL.
- SHOWER CURTAIN ROD:** CURVED, SEE PLUMBING SCHEDULE. LENGTH VARIES BETWEEN TUB & SHOWER LOCATIONS. PROVIDE BLOCKING AT ENDS.
- FAUCET:** FIXTURE K, SEE PLUMBING SCHEDULE.
- SINK:** FIXTURE G, SEE PLUMBING SCHEDULE.
- SHOWER HEAD:** FIXTURE H/J, SEE PLUMBING SCHEDULE. MOUNTING HEIGHT AT 78" AFF. MIN FLOW RATE 20 GPM. 60" HOSE MIN.
- TILE & TILE EDGE:** ALUMINUM SCHLUTER STRIP EDGING, THICKNESS TO MATCH TILE; FULL TILE SURROUND, SEE FINISH SCHEDULE.
- DIMENSIONS TO FINISH.**
- ALL RECEPTACLES & SWITCHES TO BE WHITE, ALL COVERS/PLATES TO BE WHITE.
- ALL PLUMBING FIXTURES & BATH ACCESSORIES TO BE BRUSHED NICKEL OR STAINLESS STEEL. SEE FOR MOUNTING HEIGHTS.
- SHELVING:** 11" DEEP, 3/4" THICK MAPLE W/D SHELVES, STAINED TO MATCH VANITY CABINETRY FINISH, PROVIDE BLOCKING. INSTALLED WITH DECORATIVE BRACKETS, SEE PLUMBING & BATH ACCESSORIES SCHEDULE FOR SHELF SUPPORT BRACKET.
- REFER TO DRAWING FOR BLOCKING DETAILS.



1st Street Apartments
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REVISIONS	TAG	DATE

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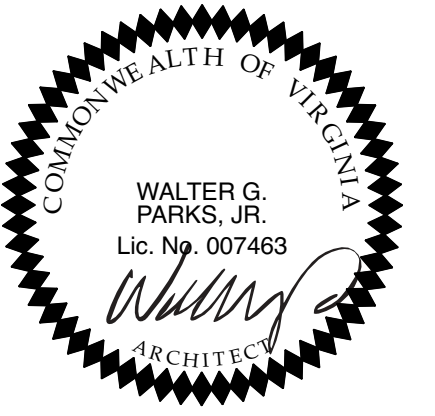
313 N. ADAMS STREET
RICHMOND, VIRGINIA 23220
T: 644-4761 / F: 644-4763

PROJECT #: 13.41
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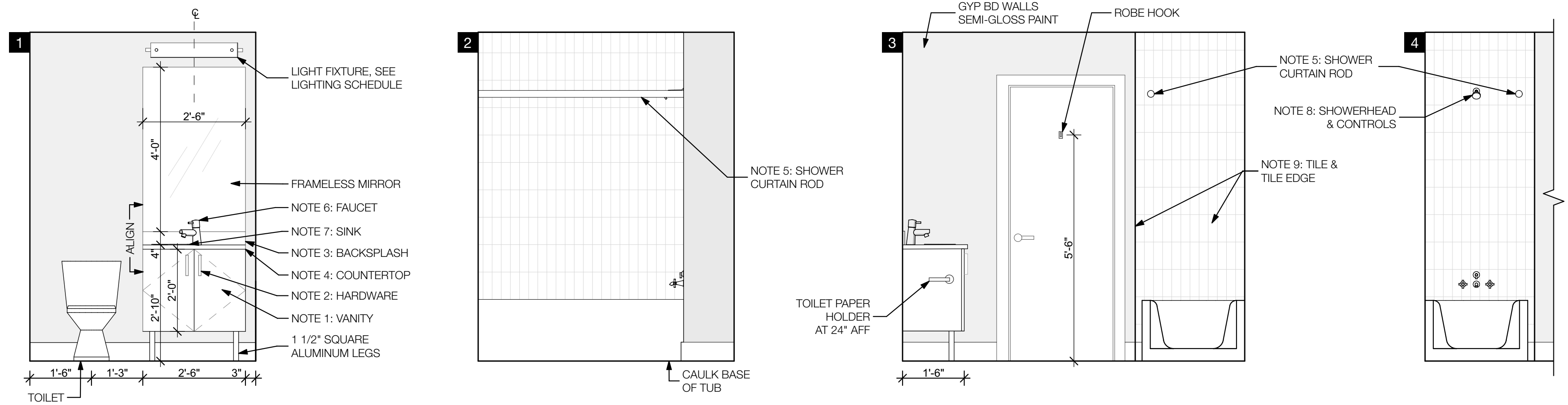
BATH DETAILS
A.503

BATH NOTES

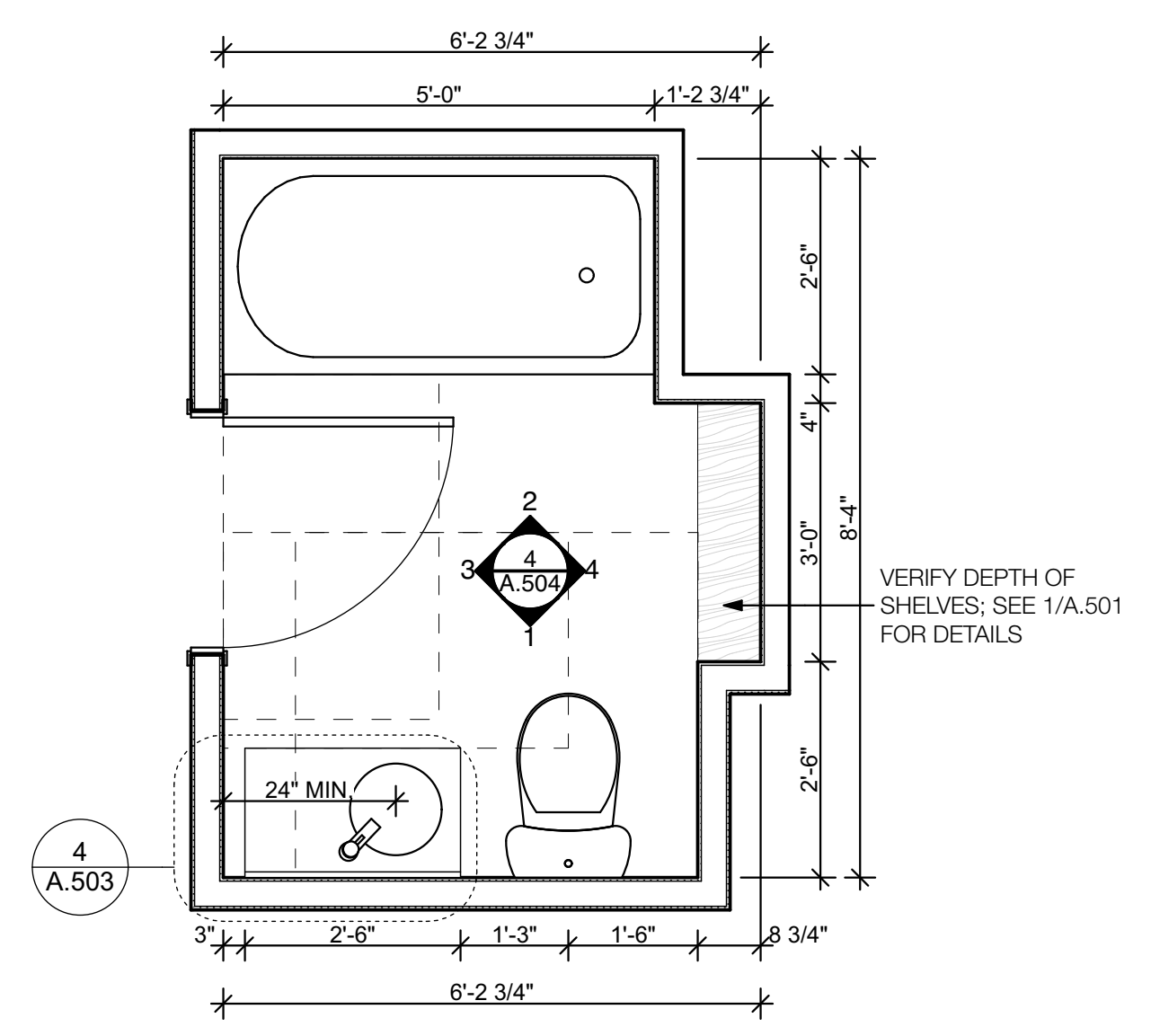
1. **VANITY CABINETS:** 18" DEEP CABINET, REFER TO BATH ELEVATIONS FOR DEPTH.
2. **HARDWARE:** SEE PLUMBING AND BATH ACCESSORIES SCHEDULE.
3. **BACKSPLASH:** 2CM 4" GRANITE BACKSPLASH, SEE FINISH SCHEDULE. PROVIDE SIDE SPLASHES AT ALL CONDITIONS WHERE COUNTER ABUTS WALL.
4. **COUNTERTOP:** 3CM GRANITE, EASED EDGES, SEE FINISH SCHEDULE. GRANITE DOES NOT SHOW ANY OVER HANG, TYPICAL.
5. **SHOWER CURTAIN ROD:** CURVED, SEE PLUMBING SCHEDULE. LENGTH VARIES BETWEEN TUB & SHOWER LOCATIONS. PROVIDE BLOCKING AT ENDS.
6. **FAUCET:** FIXTURE K, SEE PLUMBING SCHEDULE.
7. **SINK:** FIXTURE G, SEE PLUMBING SCHEDULE.
8. **SHOWER HEAD:** FIXTURE H/J, SEE PLUMBING SCHEDULE. MOUNTING HEIGHT AT 78" AFF. MIN FLOW RATE 20 GPM. 60" HOSE MIN.
9. **TILE & TILE EDGE:** ALUMINUM SCHLUTER STRIP EDGING, THICKNESS TO MATCH TILE; FULL TILE SURROUND, SEE FINISH SCHEDULE.
10. DIMENSIONS TO FINISH.
11. ALL RECEPTACLES & SWITCHES TO BE WHITE, ALL COVERS/PLATES TO BE WHITE.
12. ALL PLUMBING FIXTURES & BATH ACCESSORIES TO BE BRUSHED NICKEL OR STAINLESS STEEL. SEE 3
A.503 FOR MOUNTING HEIGHTS.
13. **SHELVING:** 11" DEEP, 3/4" THICK MAPLE WD SHELVES, STAINED TO MATCH VANITY CABINETRY FINISH, PROVIDE BLOCKING. INSTALLED WITH DECORATIVE BRACKETS, SEE PLUMBING & BATH ACCESSORIES SCHEDULE FOR SHELF SUPPORT BRACKET.
14. REFER TO DRAWING 3
A.503 FOR BLOCKING DETAILS



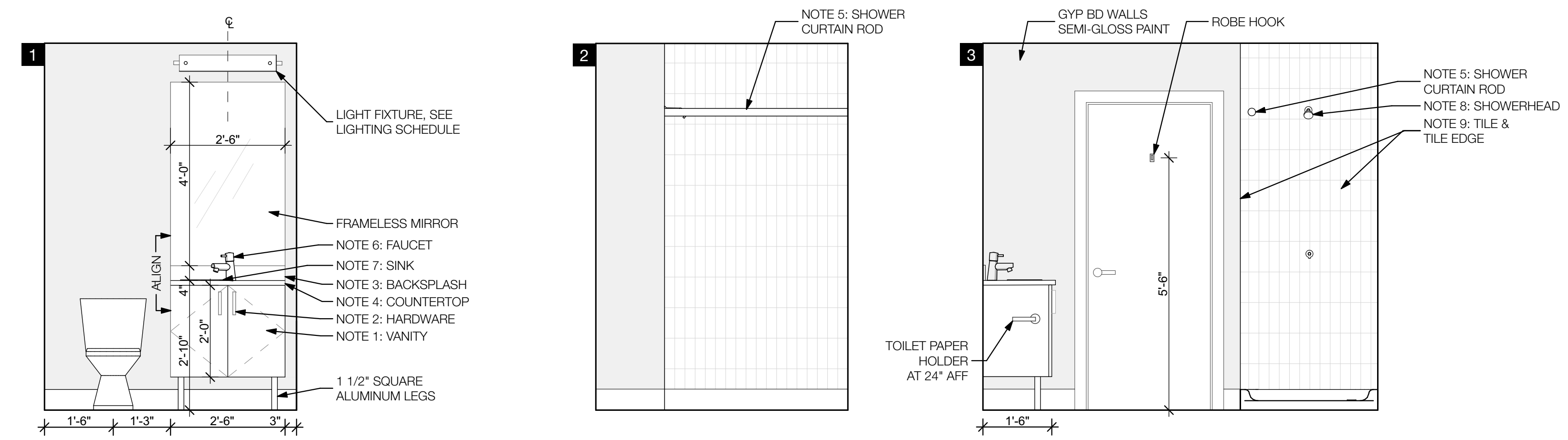
1st Street Apartments
524 - 526 N. 1st Street
Richmond, Virginia 23220



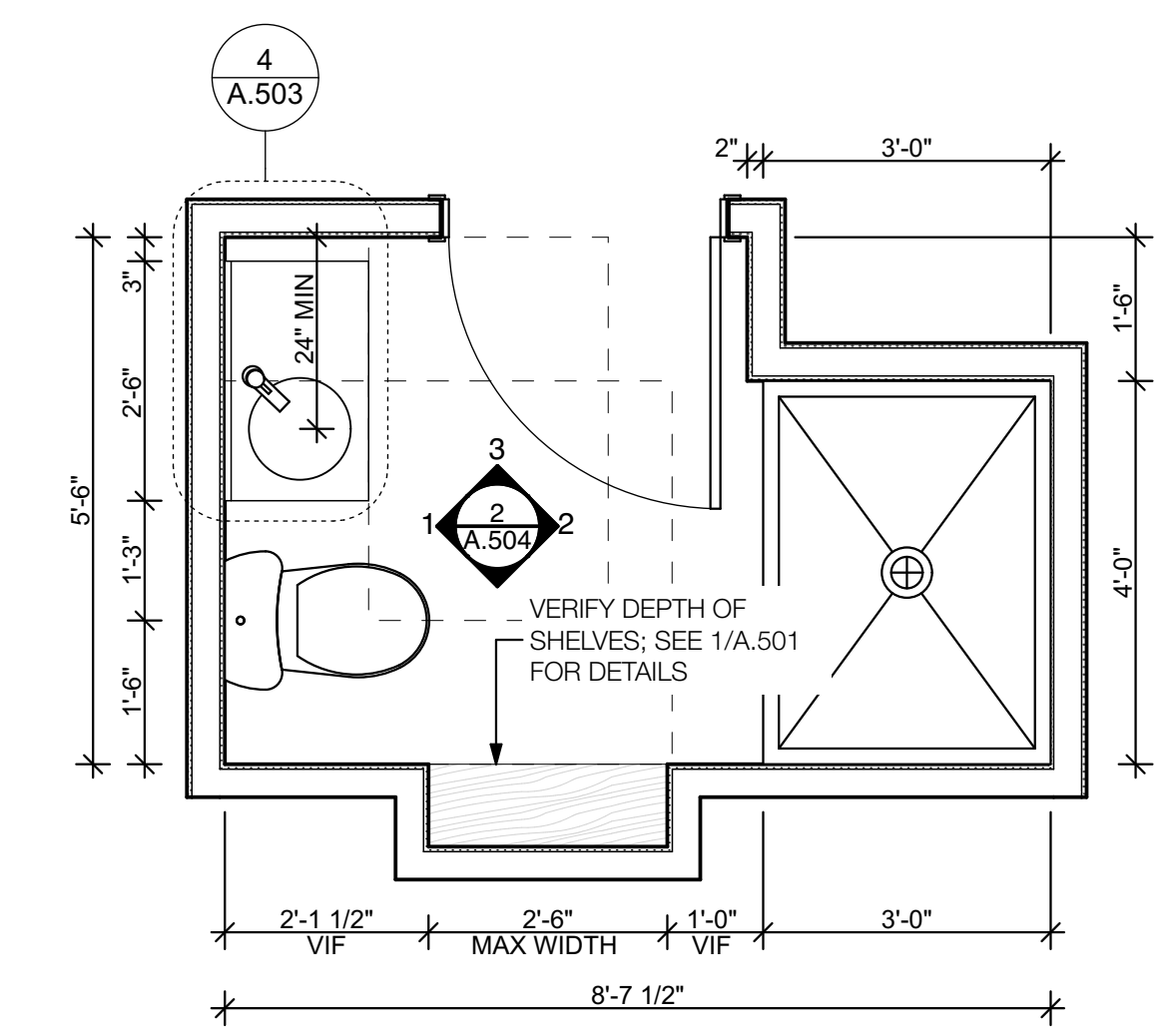
BATH TYPE 4 ELEVATIONS
SCALE: 1/2" = 1'-0" 4



BATH TYPE 4 PLAN
SCALE: 1/2" = 1'-0" 3



BATH TYPE 3 ELEVATIONS
SCALE: 1/2" = 1'-0" 2



BATH TYPE 3 PLAN
SCALE: 1/2" = 1'-0" 1

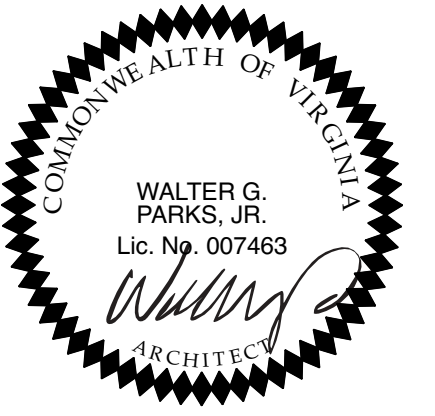
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ARCHITECT

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PROJECT #: 13.41
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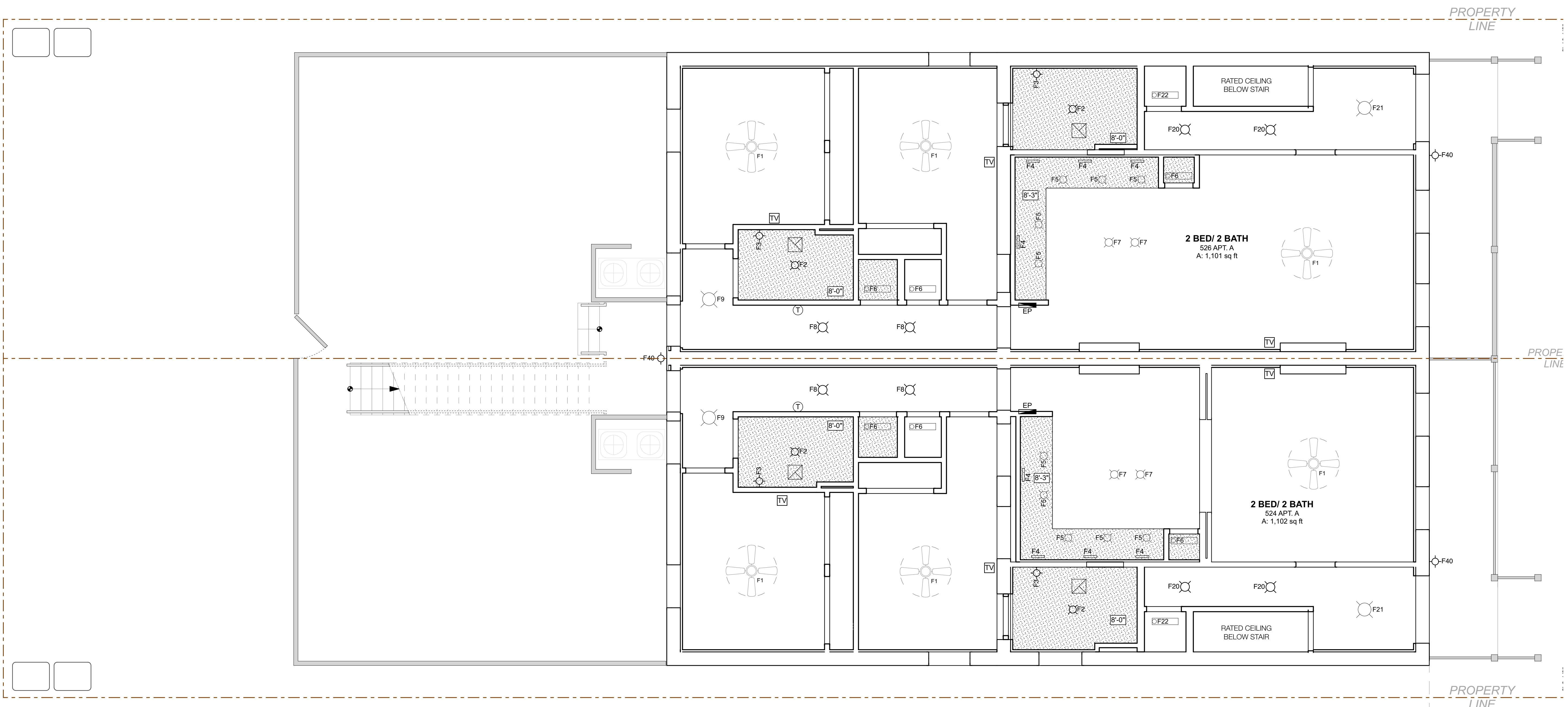
BATH DETAILS
A.504



1st Street Apartments

524 - 526 N. 1st Street
Richmond, Virginia 23220

REFLECTED CEILING PLAN NOTES	REFLECTED CEILING PLAN LEGEND
1. REFER TO FLOOR PLANS, WALL SECTIONS AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION, INCL WALL/PNT TERMINATIONS.	DROPPED INTERIOR GYPSUM BOARD SOFFITS
2. REFER TO ELECTRICAL DRAWINGS FOR WALL MOUNTED AND UNDER-CABINET FIXTURES.	FIRE RATED CEILING, TIGHT TO STRUCTURE REFER TO A-101 CEILING ASSEMBLIES FOR FIRE RATINGS
3. REFLECTED CEILING PLANS SHALL GOVERN LOCATIONS OF FIXTURES ONLY. REFER TO MECH. AND ELEC. FOR LOCATIONS OF MECHANICAL DUCTS, DIFFUSERS AND GRILLS. NOTIFY ARCHITECT PRIOR TO INSTALLATION OF ANY CONFLICTS WITH LOCATIONS INDICATED IN DRAWINGS.	CEILING HEIGHT
4. THESE PLANS GENERALLY INDICATE ITEMS THAT ARE INSTALLED ON AND IN THE CEILINGS, EXCEPT AS INDICATED. REFER TO CONTRACT DOCUMENTS TO DETERMINE EXACT QUANTITY AND LOCATION OF ITEMS NOT INDICATED.	LIGHT FIXTURE
5. FOR LIGHT FIXTURE SCHEDULE REFER TO ARCHITECTURAL SHEET A.10X AND ENGINEERING DOCUMENTS.	SCHEMATIC MECHANICAL EQUIPMENT & SYSTEMS HIDDEN WITHIN SOFFITS. REFER TO MECH DWGS FOR MORE INFO.
6. CONFIRM WITH ARCHITECT THE LOCATION, PENDANT LENGTH, AND EXACT FINAL AFF MOUNTING HEIGHT FOR ALL SUSPENDED FIXTURE TYPES. CONFIRM EXACT FINAL AFF MOUNTING HEIGHT FOR ALL WALL SCONCES.	EXPOSED SYSTEMS, PAINTED TO MATCH CEILING. COORDINATE FINAL LOCATION W/ MECH DWGS.
7. FOR LIGHT SWITCHING AND LIGHT SWITCH LOCATIONS, REFER TO DTL A.10X.	



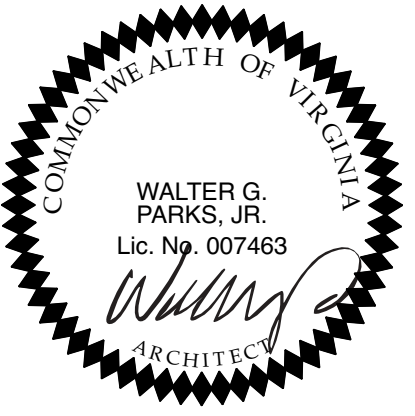
REVISIONS	
TAG	DATE

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ARCHITECT

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t: 644-4761 / f: 644-4763

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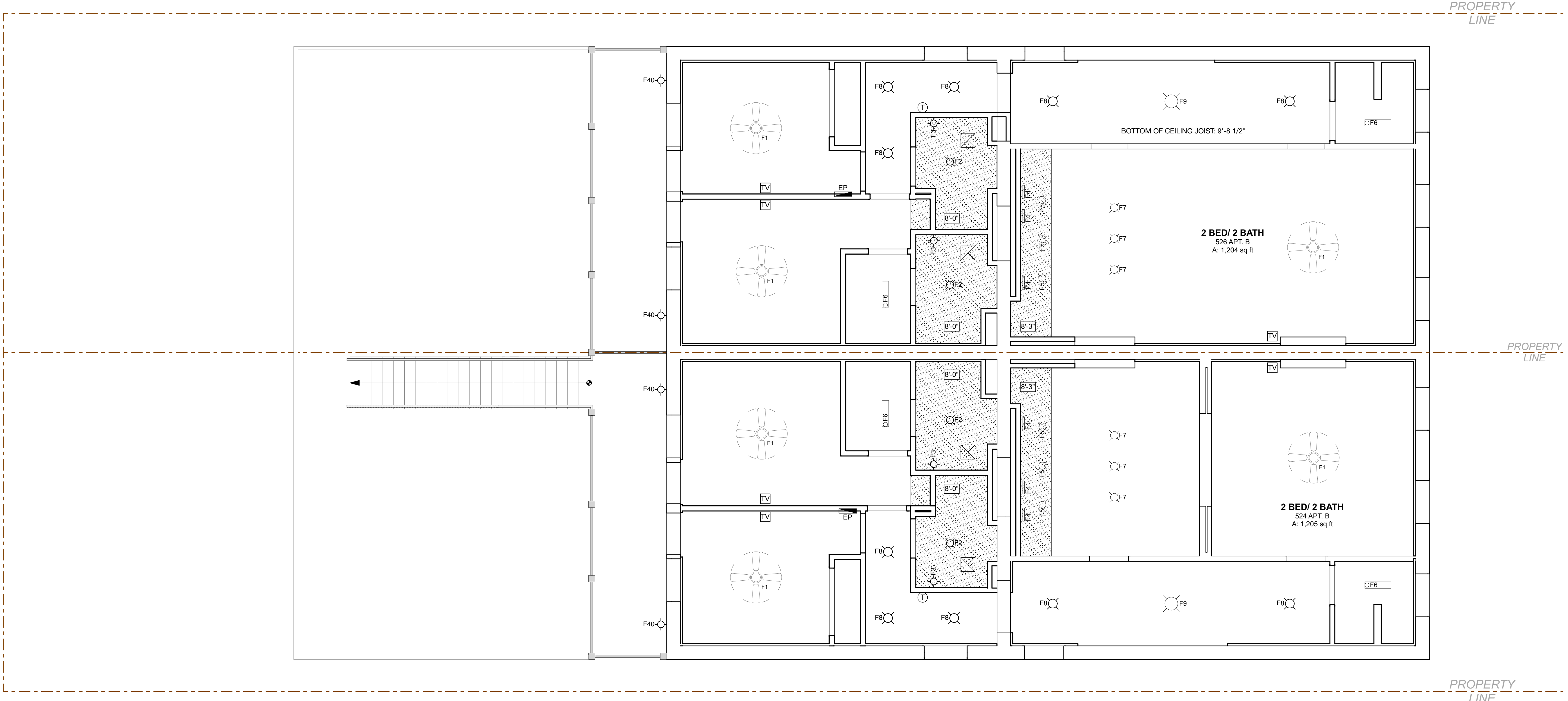
FIRST FLOOR RCP
A.601



1st Street Apartments

524 - 526 N. 1st Street
Richmond, Virginia 23220

REFLECTED CEILING PLAN NOTES	REFLECTED CEILING PLAN LEGEND
1. REFER TO FLOOR PLANS, WALL SECTIONS AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION, INCL WALL/PNT TERMINATIONS.	DROPPED INTERIOR GYPSUM BOARD SOFFITS
2. REFER TO ELECTRICAL DRAWINGS FOR WALL MOUNTED AND UNDER-CABINET FIXTURES.	FIRE RATED CEILING, TIGHT TO STRUCTURE REFER TO A-101 CEILING ASSEMBLIES FOR FIRE RATINGS
3. REFLECTED CEILING PLANS SHALL GOVERN LOCATIONS OF FIXTURES ONLY. REFER TO MECH. AND ELEC. FOR LOCATIONS OF MECHANICAL DUCTS, DIFFUSERS AND GRILLS. NOTIFY ARCHITECT PRIOR TO INSTALLATION OF ANY CONFLICTS WITH LOCATIONS INDICATED IN DRAWINGS.	CEILING HEIGHT
4. THESE PLANS GENERALLY INDICATE ITEMS THAT ARE INSTALLED ON AND IN THE CEILINGS, EXCEPT AS INDICATED. REFER TO CONTRACT DOCUMENTS TO DETERMINE EXACT QUANTITY AND LOCATION OF ITEMS NOT INDICATED.	LIGHT FIXTURE
5. FOR LIGHT FIXTURE SCHEDULE REFER TO ARCHITECTURAL SHEET A.10X AND ENGINEERING DOCUMENTS.	SCHEMATIC MECHANICAL EQUIPMENT & SYSTEMS HIDDEN WITHIN SOFFITS. REFER TO MECH DWGS FOR MORE INFO.
6. CONFIRM WITH ARCHITECT THE LOCATION, PENDANT LENGTH, AND EXACT FINAL AFF MOUNTING HEIGHT FOR ALL SUSPENDED FIXTURE TYPES. CONFIRM EXACT FINAL AFF MOUNTING HEIGHT FOR ALL WALL SCONCES.	EXPOSED SYSTEMS, PAINTED TO MATCH CEILING. COORDINATE FINAL LOCATION W/ MECH DWGS.
7. FOR LIGHT SWITCHING AND LIGHT SWITCH LOCATIONS, REFER TO DTL A.10X.	



SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0" 1

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PROJECT #: 13.41
DATE: 10/18/19

SECOND FLOOR RCP
A.602



COMMONWEALTH of VIRGINIA

Department of Historic Resources

2801 Kensington Avenue, Richmond, Virginia 23221

Matt Strickler
Secretary of Natural Resources

Julie V. Langan
Director

Tel: (804) 367-2323
Fax: (804) 367-2391
www.dhr.virginia.gov

October 8th, 2018

Steven T. Alexander
ALX 1st Stret Townhomes, LLC
c/o Colony Apt Homes
9211 Quioccasin Road
Henrico, VA – 23229

Re: 524-526 North 1st Street – Richmond
Part 2 Response
DHR # 2017-252

Mr. Alexander –

Thank you for submitting the State and Federal Rehabilitation Tax Credit Application, Part 2, “Description of Rehabilitation,” for the property located at 524-526 North 1st Street in Richmond. We are also in receipt of the necessary State application fee and appreciate its timely submission. Based on the materials provided, the proposed scope of work is consistent with the Secretary of the Interior’s *Standards for Rehabilitation* and the project is approved provided the below conditions are met.

CONDITIONS:

The following conditions should be met in order for the project to receive approval. If additional information is requested, please submit the materials as an Amendment to the Part 2 application. Otherwise, evidence of the completed, compliant work must be submitted with the Part 3 application.

Rear Porch – As this new porch is to be installed off of a non-historic CMU addition, the porch should be contemporary and compatible in design, and should not seek to replicate historic features found elsewhere on the structure. If the historic appropriateness of the new hipped-roof front porch is based on the National Register nomination and Sanborn maps, then the new rear porch should not seek to match the front porch in details. Therefore, please differentiate the rear porch roof so as to provide the necessary differentiation required by *Standard #9*:

#9: New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Capital Region Office
2801 Kensington Avenue
Richmond, VA 23221
Tel: (804) 367-2323
Fax: (804) 367-2391

Western Region Office
962 Kime Lane
Salem, VA 24153
Tel: (540) 387-5443
Fax: (540) 387-5446

Northern Region Office
5357 Main Street
PO Box 519
Stephens City, VA 22655
Tel: (540) 868-7029
Fax: (540) 868-7033

First Floor Front Elevation Windows – Please provide additional information on why 2-over-4 light windows are appropriate for this historic structure. This is not a light configuration typically found on historic structures of this style and period, and so it is unclear how the decision was made to use this distinctive type of window. If historic evidence does not substantiate the use of 2-over-4 light windows on the first floor the front elevation, the new windows should be either 2-over-2 light – as was previously found on the second floor of this structure based on 2007 Google street view images, or simple 1-over-1 light windows.

Please be aware that DHR is conducting a physical inspection of all properties as part of the Part 3 review process. Consequently, we anticipate that review of completed projects will take approximately 60 days from the date of submission.

This conditional approval is for the Part 2 application as submitted. All new information should be sent for review and approval to the Virginia Department of Historic Resources (DHR) as an Amendment to the original application; you can find the appropriate form through the National Park Service's website at <http://www.nps.gov/tps/tax-incentives/application.htm>. We have forwarded a copy of the application to the National Park Service with our recommendations ~ you will receive their response in a separate letter.

Please feel free to contact me with questions or concerns at 804-482-6452 or by e-mail at Jessica.Ugarte@dhr.virginia.gov.

Sincerely,



Jessica Aurora Ugarte
Tax Credit Reviewer
Office of Preservation Incentives

cc: Mary Harding Sadler

Capital Region Office
2801 Kensington Avenue
Richmond, VA 23221
Tel: (804) 367-2323
Fax: (804) 367-2391

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Salem, VA 24153
Tel: (540) 387-5443
Fax: (540) 387-5446

Northern Region Office
5357 Main Street
PO Box 519
Stephens City, VA 22655
Tel: (540) 868-7029
Fax: (540) 868-7033