



# Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall  
900 East Broad Street, Richmond, Virginia 23219  
PHONE: (804) 646-6335 FAX: (804) 646-5789

**12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION**

LOCATION OF WORK: 101 N 29th St DATE: July 28, 2017

OWNER'S NAME: Ms. Margaret Freund TEL NO.: 8042269555

AND ADDRESS: 1000 Carlisle Ave, Suite 215 EMAIL: info@fultonhillpro

CITY, STATE AND ZIPCODE: Richmond, VA 23231-3213

ARCHITECT/CONTRACTOR'S NAME: ADO TEL. NO.: 804-343-1212

AND ADDRESS: 105 E Broad St EMAIL: todd@ado.design

CITY, STATE AND ZIPCODE: Richmond, VA 23219

Would you like to receive your staff report via email? Yes  No

## REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

## DETAILED DESCRIPTION OF PROPOSED WORK (Required):

**STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK PROPOSED.** (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

This proposal for conceptual review is for a rehabilitation and addition to the existing historic single-family attached residence in the St John's Historic District. The description of the proposal in reference to the Design Guidelines Standards for New Commercial Construction is included in the attached application materials.

Signature of Owner or Authorized Agent: x Todd Dykshorn for Aso/cep

Name of Owner or Authorized Agent (please print legibly): Todd Dykshorn

(Space below for staff use only)

Received by Commission Secretary EGE VED  
DATE JUL 28 2017 4:09

APPLICATION NO. COA-071086-2017  
SCHEDULED FOR \_\_\_\_\_

**Note: CAR reviews all applications on a case-by-case basis.**

# Project Context

Commission for Architectural Review  
Application for  
CERTIFICATE OF APPROPRIATENESS

submitted: July 28, 2017

**101 N 29TH STREET**

101 N 29th St  
Richmond, VA 23223  
ST JOHN'S CHURCH  
OLD AND HISTORIC DISTRICT



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1	Project Context / Aerial Site Plan
2	Project Description/Materials/Colors
3/4	Floor Plans
5	Birds Eye View
6	Existing / Proposed View from SE/lower E Franklin St
7	Existing/Proposed View from SW/N29th St corner
8	Neighborhood Context Elevation



# Project Overview and Description

## COLOR INDEX

All paint colors are coordinated with approved swatches outlined in Design Review Guidelines, unless otherwise noted. Materials noted are intended to be examples for coloration, texture and other qualities and to be confirmed as directed by the CAR for approval of actual type of submitted substitute.

**BRICK AT REAR GARAGE/STUDIO ADDITION**  
tbd to match existing foundation brick, historic red

**EXTERIOR TRIM AND CORNICE**  
sw 7008/Alabaster  
sw 0023/Pewter Tankard

**SECOND FLOOR RECESSIVE PANEL COLOR**  
sw 7019/Gauntlet Gray [intended to be 3 shades darker than the pewter tankard]

**EXISTING FRONT PORCH ROOF**  
Refurbish, color tbd

**EXISTING WINDOWS**  
sw 7008/Alabaster

**NEW WOOD PANELS AND TRIM AT BACK PORCH**  
sw 0077/Classic French Gray

**NEW FRAMED WINDOW WALL SECTIONS**  
Aluminum Clad Wood in color to approximate  
sw 0023/Pewter Tankard

**ELEVATOR CLADDING**  
sw 0055 Light French Gray

**ROOF**  
Membrane replacement and new on new areas. No roof areas are visible from grade

**RAISED TERRACE FLOORING AND RAILS**  
contemporary steel rail system as shown in renderings  
sw 7067/Cityscape

**GUTTERS AND DOWNSPOUTS**  
tbd

## EXTERIOR MATERIALS and COMPONENTS

1/ **PRIMARY EXTERIOR MATERIALS**  
Front Section  
Existing red brick masonry, No change

Side Porch Infill  
Wood framed and painted wood or composite clad wall with trim and window openings intended to approximate the character of the existing framed porches.

Rear Addition Porch/Elevator  
New wood clad and painted porch. Structure to be metal framing and metal square columns intended to continue the proportions of the adjacent properties rear porch.  
Elevator cladding to be cementitious paneling with composite trim.

Rear Addition, 2-story Garage/Studio  
Red brick masonry approximating size, color and texture of existing brick foundations facing E Franklin St.

2/ **WINDOWS AND DOORS**  
Front Section  
Existing wood double hung in masonry openings, No change  
Wood historic entry doors - No change

Infill at existing gap between front masonry section and side porches including proposed new side entry door  
Framed window wall with inset fixed, awning and casement windows

Side Porch Infill  
Metal-clad wood casement type set in panels emulating existing openings above porch rails and between columns

Rear Addition, 2-story Garage/Studio  
Framed window wall with inset fixed, awning and casement windows

Masonry openings - Metal-clad awning or casement window  
Wood or metal painted 2-bay overhead sectional garage door. Slab type with no panels or decorative features.

3/ **SITE FEATURES AND FENCING:**  
Existing E Franklin St covered porch to remain and be refurbished.

Raised Terrace at roof level of proposed garage addition features sections of masonry parapet walls to rail height and metallic rails.

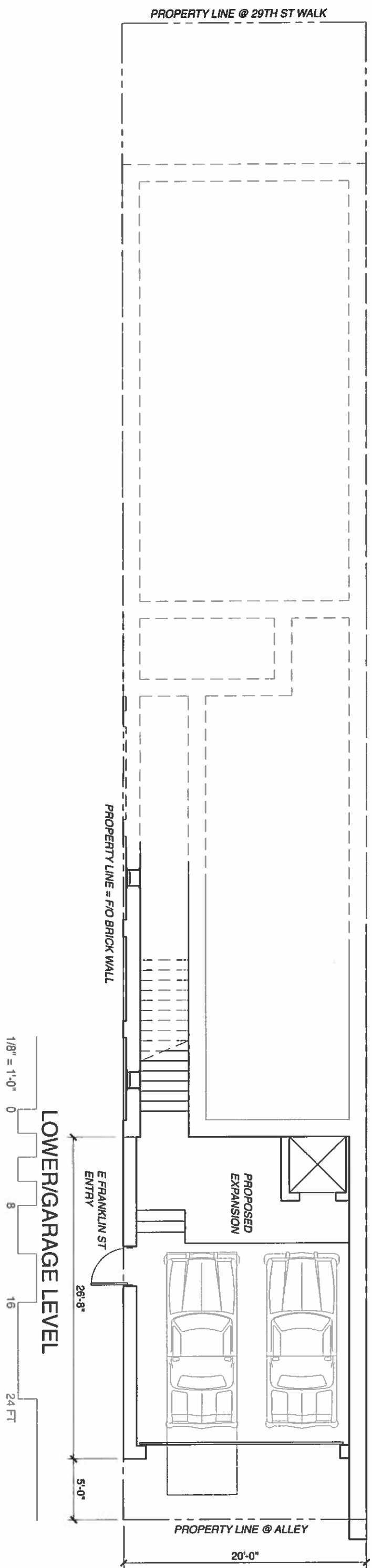
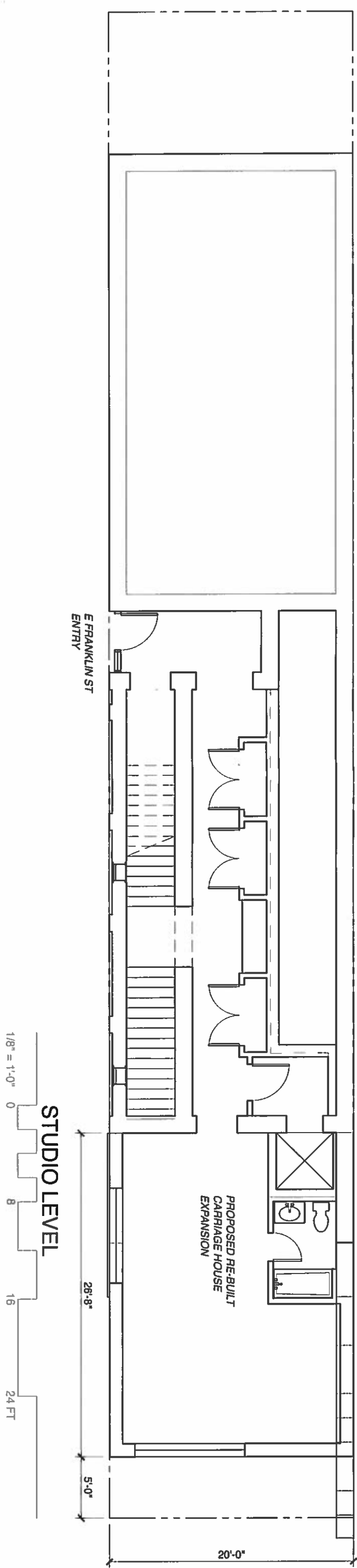
Upper level balcony off existing east/rear brick masonry wall. Wood floor decking on metal structure with horizontal cable-type rails.

## PROJECT DESCRIPTION

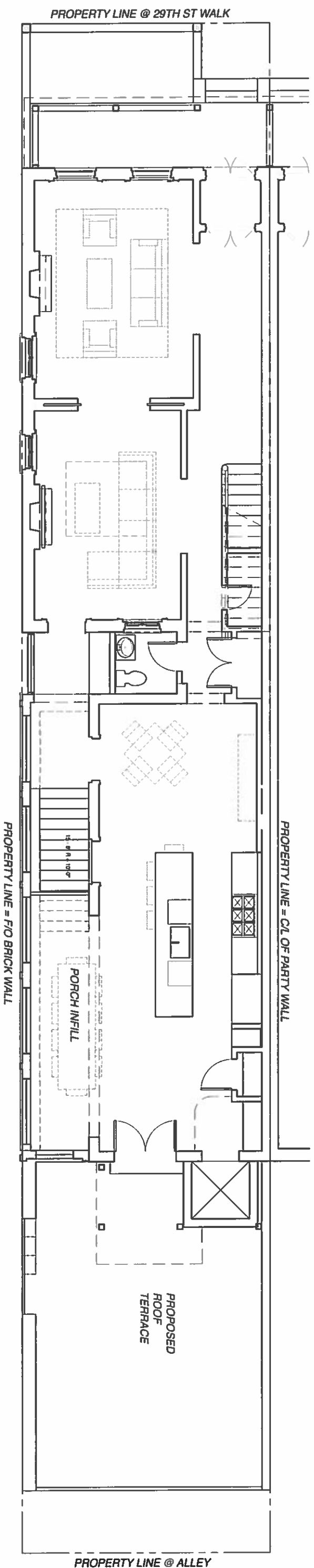
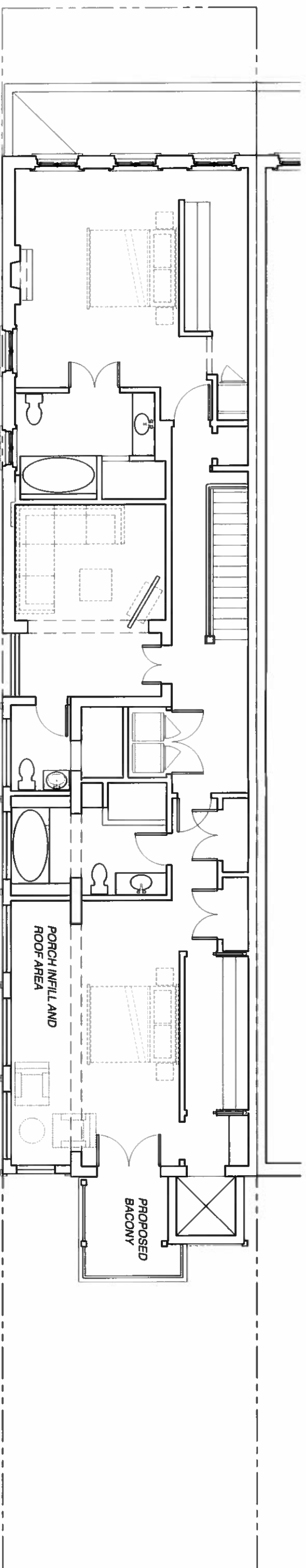
The project outlined in this application proposes rehabilitation and addition to the existing historic single-family attached residence in the St John's Historic District. The house occupies the prominent corner of E Franklin and N 29th Sts overlooking the Northeast corner of Libby Hill Park. The existing structure exemplifies the massing and materials typified throughout the historic district and is characterized by a primary two-story front section with single-story porch facing N 29th St and narrow 2-story rear section that faces E Franklin St. E Franklin St descends dramatically from the N 29th St corner and this feature of the property creates a unique elevation to the residence characterized by a nearly two-story masonry foundation wall exposed along E Franklin St beneath open porches that open to both of the occupied levels. At the back of the site, along an existing alley, brick masonry foundation walls provide evidence of what is known to be a 2-story carriage house.

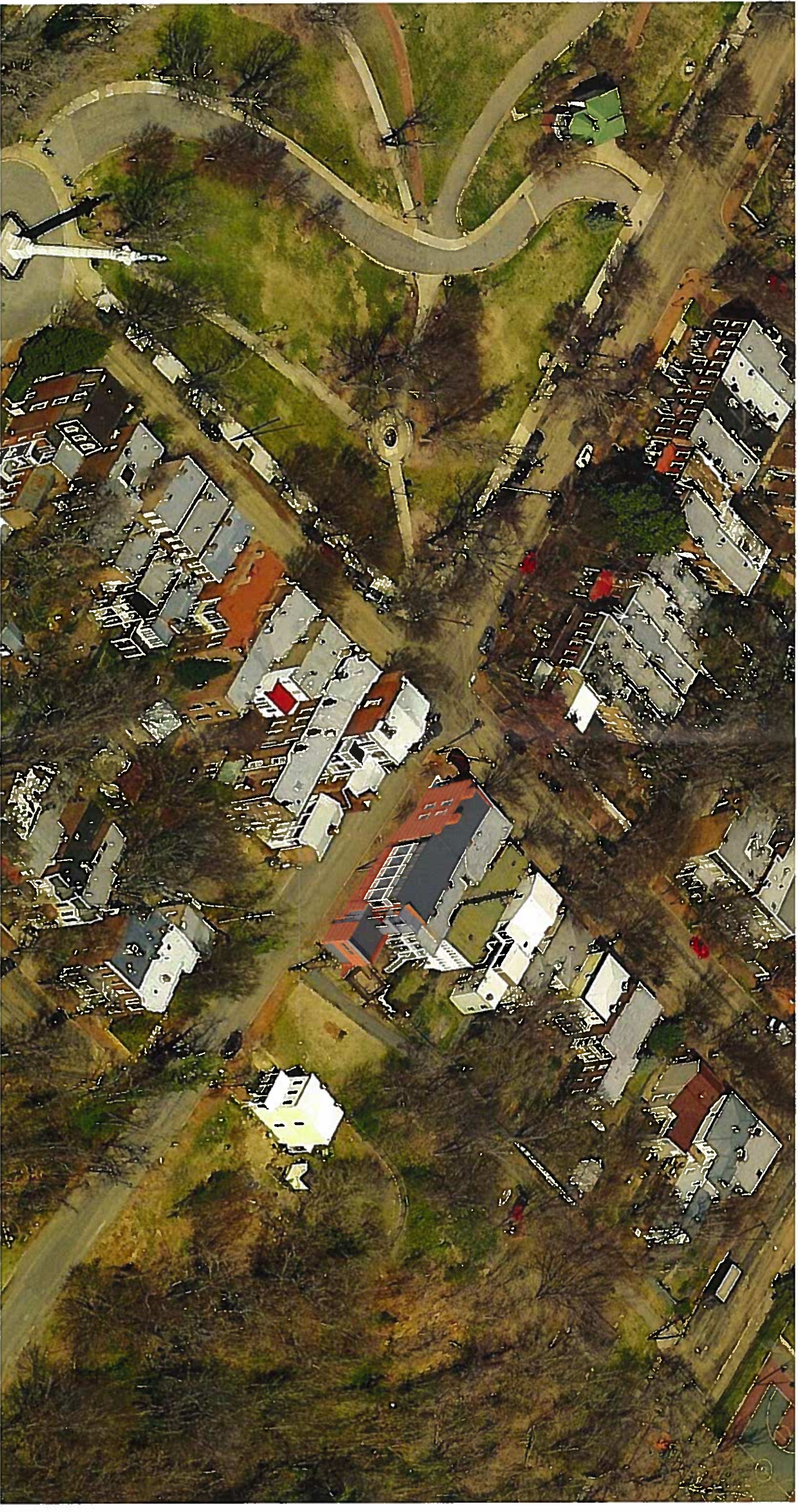
The primary goals of the project are to retain and rehabilitate the front 2-story section on the corner, to widen the existing rear section in a way that retains the current character, and to construct an addition connected to the east, rear of the structure that provides a garage and studio. These goals were established and are retained from the conceptual review package previously submitted. However, in contrast to that proposal, the extent and mass of the addition has been dramatically reduced and the proposed garage/studio addition has been pulled off of the east/alley property line. As shown in the conceptual review, the proposed side porch infill facing E Franklin St that is intended to maintain the character and proportions of the existing wood framed porches including the size and position of existing vertical elements, proportion of openings, and presence of rails and other components. This scheme attempts to further emphasize the historic porch character by retaining sections of the existing south brick masonry wall, now interiorized, and increased depth between windows, panels, sills, columns, and related trim components. The garage addition is conceptualized as a foundational element that extends the existing masonry foundations and anchors the overall composition to the steeply graded site. The vertical dimensions of the site allow the roof of this element to be closely aligned with the existing main level floors and are thus programmed as an elevated terrace set one or two steps lower than that existing floor level.

# Floor Plans



# Floor Plans





Birds Eye View with Proposed Porch Infill & Carriage House Section



EXISTING - View Looking up E Franklin toward N 29th St



PROPOSED - View Looking up E Franklin toward N 29th St

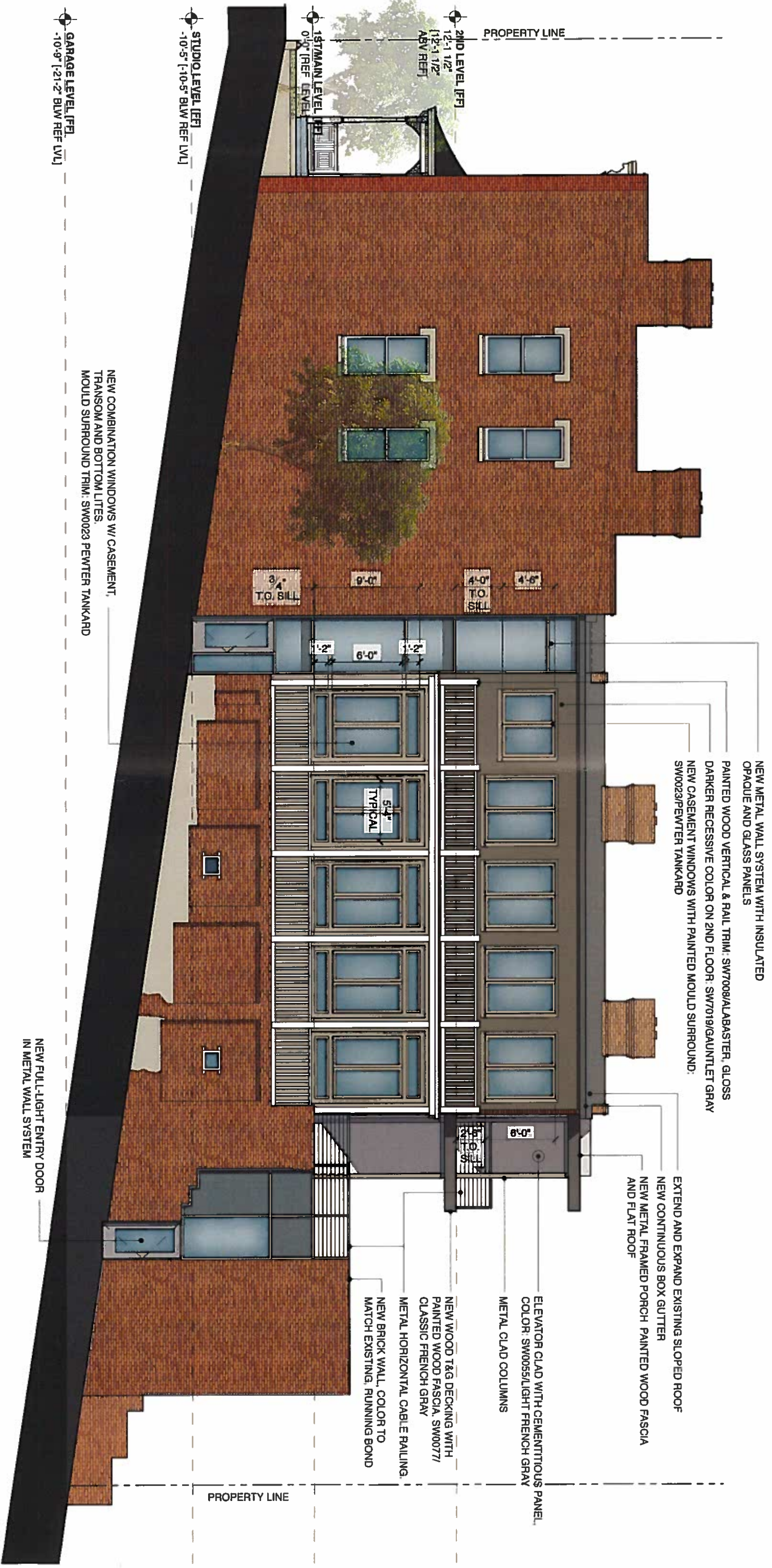


EXISTING - View from Corner of N 29th and E Franklin Sts



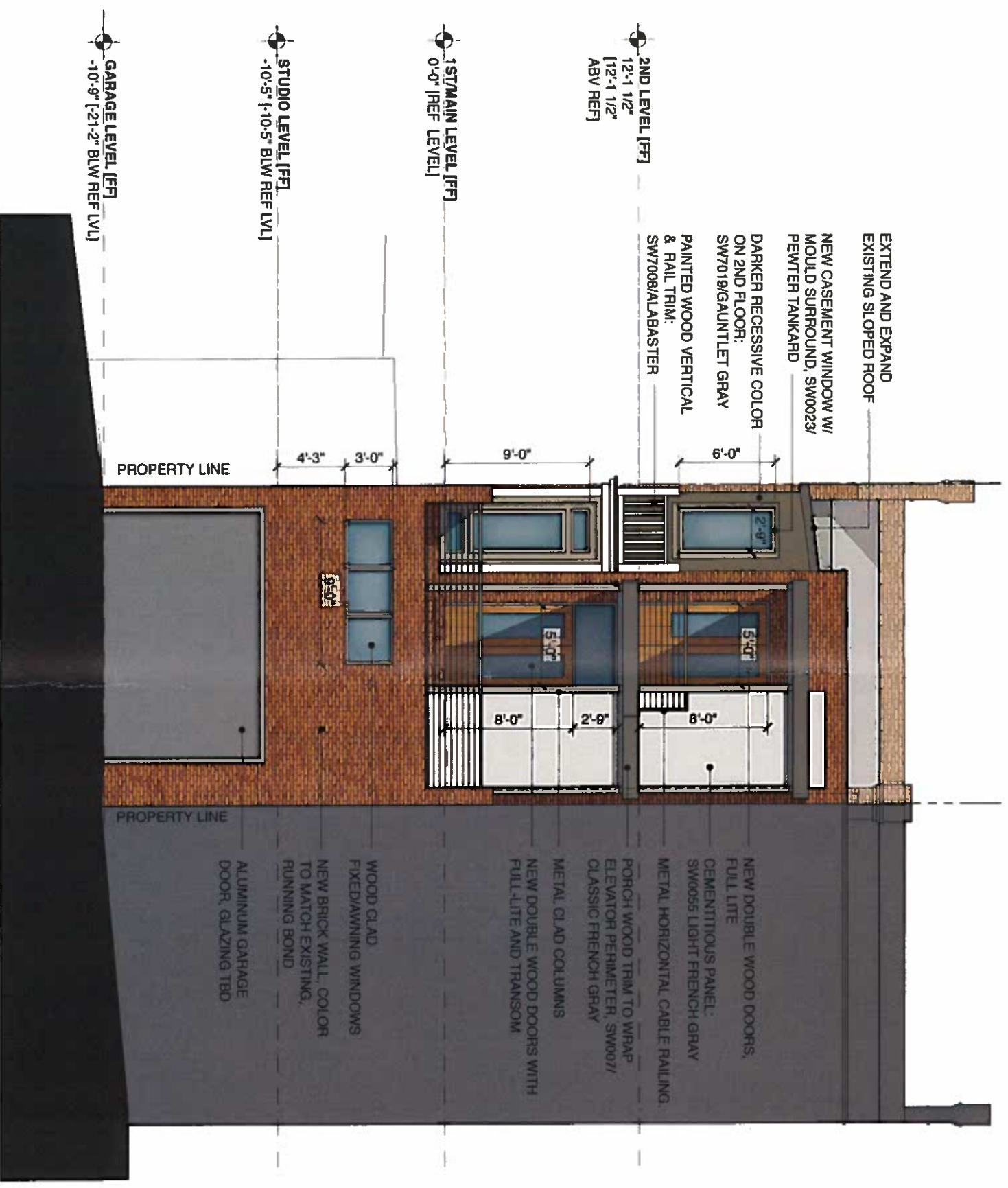
PROPOSED - View from Corner of N 29th and E Franklin Sts





South/E Franklin St Elevation





East/Alley Elevation

# Context Elevations



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105 e broad street,  
richmond VA 23219  
(804) 343-1212

info@ado.design

COMMISSION OF ARCHITECTURAL REVIEW - Application for Certificate of Appropriateness  
address: 101 N 29th Street  
submitted on: 28 July 2017