



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 813 N 28th Street, Richmond, VA 23223

Historic district Church Hill

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name Don Summers

Phone 804-646-6614

Company City of Richmond - Capital Projects

Email donald.summers@richmondga.gov

Mailing Address 900 E. Broad Street, RM 602, Richmond

Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): DPW

OWNER INFORMATION (if different from above)

Name _____

Company _____

Mailing Address _____

Phone _____

Email _____

PROJECT INFORMATION

Review Type: Conceptual Review Final Review

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

This new 750 student school building will replace the existing school building at this address. The project will also include a parking lot, parent drop-off area, bus loop, play grounds, athletic fields, landscaping, lighting, and stormwater management.

ACKNOWLEDGEMENT OF RESPONSIBILITY

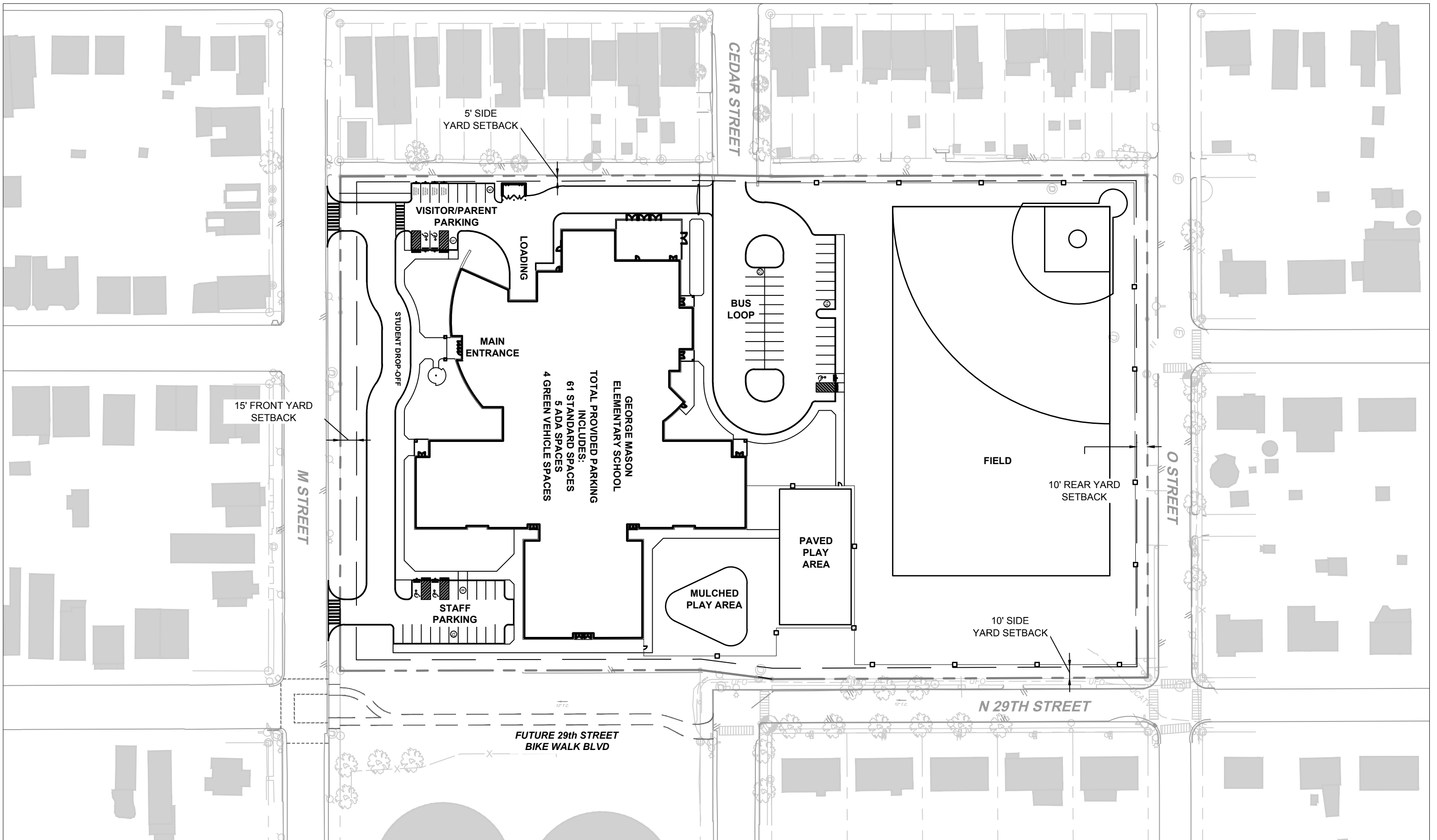
Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date 10/26/18



5' SIDE YARD SETBACK

VISITOR/PARENT PARKING

LOADING

MAIN ENTRANCE

STUDENT DROP-OFF

BUS LOOP

TOTAL PROVIDED PARKING
 INCLUDES:
 61 STANDARD SPACES
 5 ADA SPACES
 4 GREEN VEHICLE SPACES

GEORGE MASON
 ELEMENTARY SCHOOL

FIELD

10' REAR YARD SETBACK

PAVED PLAY AREA

MULCHED PLAY AREA

STAFF PARKING

10' SIDE YARD SETBACK

15' FRONT YARD SETBACK

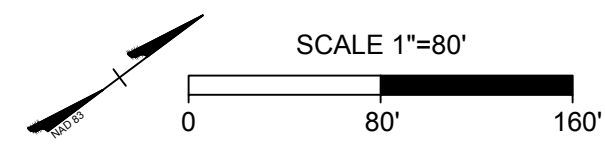
M STREET

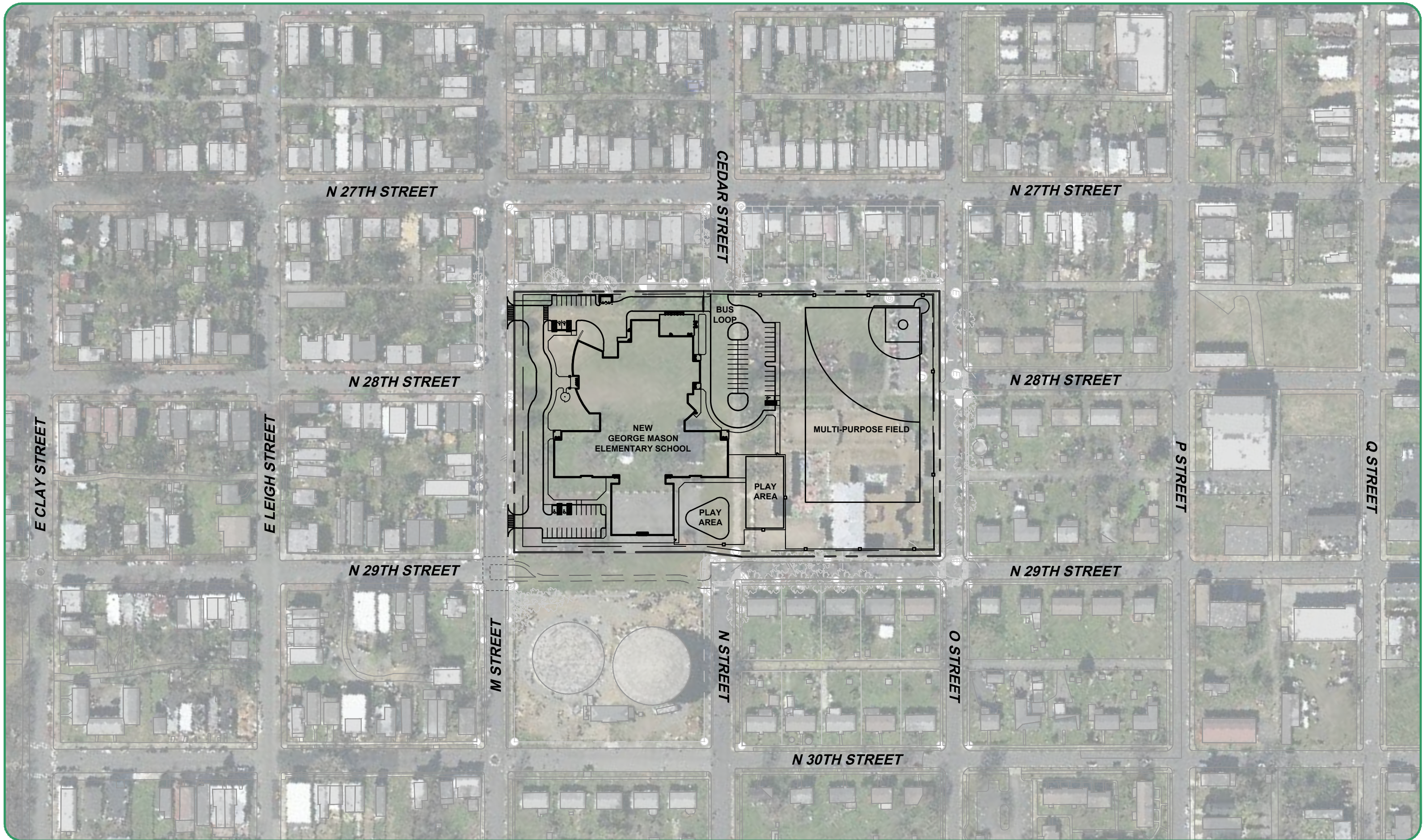
CEDAR STREET

O STREET

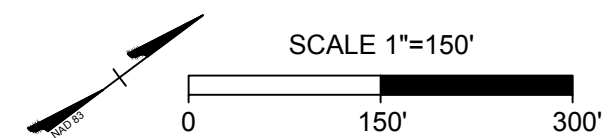
N 29TH STREET

FUTURE 29th STREET BIKE WALK BLVD

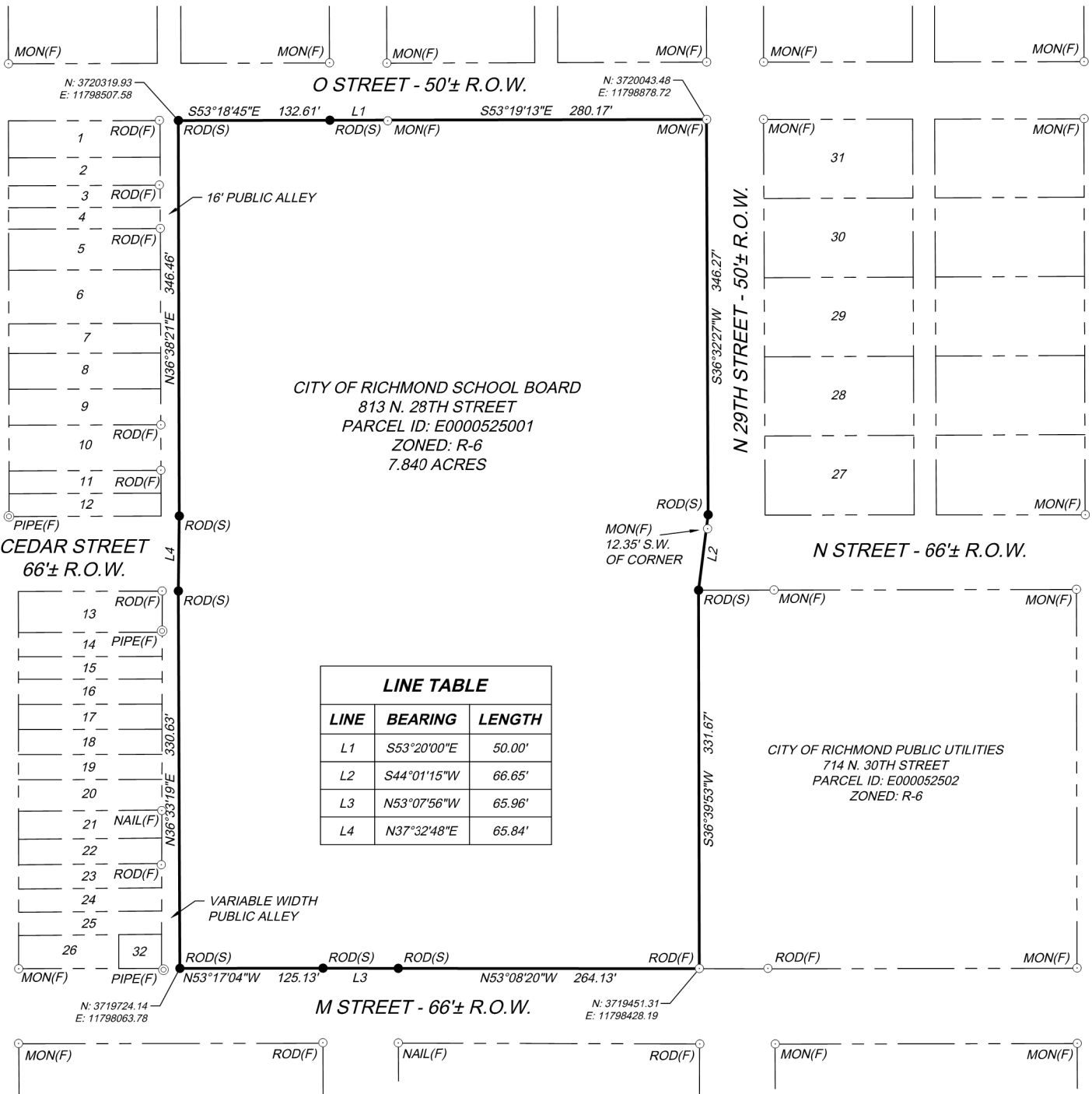




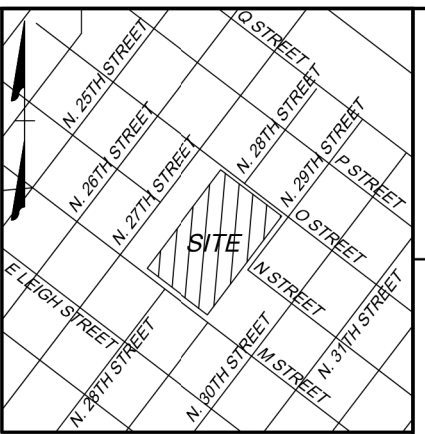
NEW GEORGE MASON ELEMENTARY SCHOOL



- 1.) AMINE M. CHAFI
829 N. 27TH STREET
PARCEL ID: E0000478043
DEED REF: ID2007-15496
ZONED: R-8
- 2.) BRETT T. SHANKLES
827 N. 27TH STREET
PARCEL ID: E0000478042
DEED REF: ID2011-10206
ZONED: R-8
- 3.) CHRISTOPHER R. BRUNO
825 N. 27TH STREET
PARCEL ID: E0000478041
DEED REF: ID2015-24209
ZONED: R-8
- 4.) LULA B. SINGLETARY
823 N. 27TH STREET
PARCEL ID: E0000478040
DEED REF: ID9900-25149
ZONED: R-8
- 5.) MICHAEL W. & ASHLEY R. SMITH
821 N. 27TH STREET
PARCEL ID: E0000478039
DEED REF: ID2010-23950
ZONED: R-8
- 6.) ALEXANDER RHONDA ROBINSON
815 N. 27TH STREET
PARCEL ID: E0000478036
DEED REF: 09600-1291
ZONED: R-8
- 7.) TIMOTHY A. HORROCKS
813 N. 27TH STREET
PARCEL ID: E0000478035
DEED REF: ID2006-37465
ZONED: R-8
- 8.) ANGEL A. & NAVIA QUAN
809 N. 27TH STREET
PARCEL ID: E0000478034
DEED REF: ID2017-20679
ZONED: R-8
- 9.) ANGEL A. & NAVIA QUAN
809 N. 27TH STREET
PARCEL ID: E0000478034
DEED REF: ID2017-20679
ZONED: R-8
- 10.) CYNTHIA L. MONROE
805 N. 27TH STREET
PARCEL ID: E0000478029
DEED REF: 9900-17378
ZONED: R-8
- 11.) THOMAS & KRISTEN
803 N. 27TH STREET
PARCEL ID: E0000478027
DEED REF: ID2015-9358
ZONED: R-8
- 12.) SHANE & CLAIRE S. FLANSBERG
801 N. 27TH STREET
PARCEL ID: E0000478026
DEED REF: ID2016-7810
ZONED: R-8
- 13.) RICHARD F. EISSLER, TRUSTEE
727 N. 27TH STREET
PARCEL ID: E0000479028
DEED REF: ID2014-2746
ZONED: R-8
- 14.) ELIZABETH B. & FREDERIC H. JR. COX
723 N. 27TH STREET
PARCEL ID: E0000479027
DEED REF: IW2007-436
ZONED: R-8
- 15.) NICOLA L. BLAHA
721 N. 27TH STREET
PARCEL ID: E0000479026
DEED REF: ID2017-15879
ZONED: R-8
- 16.) JEROME S. JOHNSON
719 N. 27TH STREET
PARCEL ID: E0000479025
DEED REF: 09700-20391
ZONED: R-8
- 17.) NTGLQ INVESTORS LP
717 N. 27TH STREET
PARCEL ID: E0000479024
DEED REF: ID2017-5959
ZONED: R-8
- 18.) CORIE A. BUTNER
715 N. 27TH STREET
PARCEL ID: E0000479023
DEED REF: ID2016-13210
ZONED: R-8
- 19.) CORIE A. BUTNER
715 N. 27TH STREET
PARCEL ID: E0000479023
DEED REF: ID2016-13210
ZONED: R-8
- 20.) HODZIC XIMENA TAGLE
711 N. 27TH STREET
PARCEL ID: E0000479021
DEED REF: ID2016-21526
ZONED: R-8
- 21.) IVAN FRANCIS BAUMWELL
LIVING TRUST
709 N. 27TH STREET
PARCEL ID: E0000479020
DEED REF: ID2018-5638
ZONED: R-8
- 22.) JAOLYN C. VASELECK
707 N. 27TH STREET
PARCEL ID: E0000479019
DEED REF: ID2017-6151
ZONED: R-8
- 23.) SUSAN L. HOWARD
705 1/2 N. 27TH STREET
PARCEL ID: E0000479018
DEED REF: ID2014-22494
ZONED: R-8
- 24.) CHARLES W. & NONI H.
LEDFOED
703 N. 27TH STREET
PARCEL ID: E0000479017
DEED REF: ID2007-26593
ZONED: R-8
- 25.) CHARLES W. & NONI H.
LEDFOED
703 N. 27TH STREET
PARCEL ID: E0000479029
DEED REF: ID2017-26590
ZONED: R-8
- 26.) JASON R. PICKART
701 N. 27TH STREET
PARCEL ID: E0000479016
DEED REF: ID2013-25779
ZONED: R-8
- 27.) BERNICE L. CARSON
801 N. 29TH STREET
PARCEL ID: E0000571006
DEED REF: IW2014-421
DEED REF: ID2007-26593
ZONED: R-6
- 28.) GOVINDANKUTTY
PROP., INC.
803 N. 29TH STREET
PARCEL ID: E0000571007
DEED REF: ID2014-9828
ZONED: R-6
- 29.) GAIL C. PETERSON
805 N. 29TH STREET
PARCEL ID: E0000571008
DEED REF: ID2017-14516
ZONED: R-6
- 30.) VALARAY D. WRIGHT
807 N. 29TH STREET
PARCEL ID: E0000571009
DEED REF: 09800-34926
ZONED: R-6
- 31.) JESSIE M. & MARY F.
WHITE
809 N. 29TH STREET
PARCEL ID: E0000571010
DEED REF: 00787-0633
ZONED: R-6
- 32.) MICHAEL Q. & NINA
ROGERS
2708 M STREET
PARCEL ID: E0000479015
DEED REF: 2016-9354
ZONED: R-8



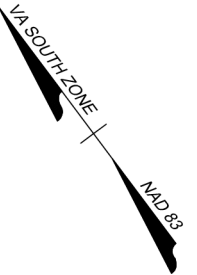
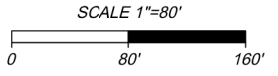
LINE TABLE		
LINE	BEARING	LENGTH
L1	S53°20'00"E	50.00'
L2	S44°01'15"W	66.65'
L3	N53°07'56"W	65.96'
L4	N37°32'48"E	65.84'



VICINITY MAP
SCALE 1"=2000'

NOTES:

- 1.) OWNER OF RECORD:
CITY OF RICHMOND SCHOOL BOARD
ADDRESS: 813 N. 28TH STREET
PARCEL ID: E0000525001
- 2.) THIS SURVEY IS BASED ON A CURRENT TIMMONS GROUP FIELD SURVEY.
FIELDWORK WAS PERFORMED IN JULY OF 2018.
- 3.) HORIZONTAL DATUM IS REFERENCED TO NAD83, VIRGINIA SOUTH ZONE.
- 4.) THE PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE
DESIGNATION "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY
(FEMA) ON FLOOD INSURANCE RATE MAP NO. 5101290041,
DATED JULY 16, 2014.
- 5.) ZONED: R-6 - RESIDENTIAL (SINGLE FAMILY ATTACHED)
- 6.) THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT
AND MAY BE SUBJECT TO INFORMATION PROVIDED IN SUCH. ALL
EASEMENTS MAY NOT BE SHOWN HEREON.



BOUNDARY SURVEY
CITY OF RICHMOND
SCHOOL BOARD
PARCEL ID: E0000525001

City of Richmond	Commonwealth of Virginia
DATE: July 28, 2018	SCALE: 1" = 80'
SHEET 1 OF 1	J.N.: 39490.005
DRAWN BY: Pugh	CHECK BY: Delano

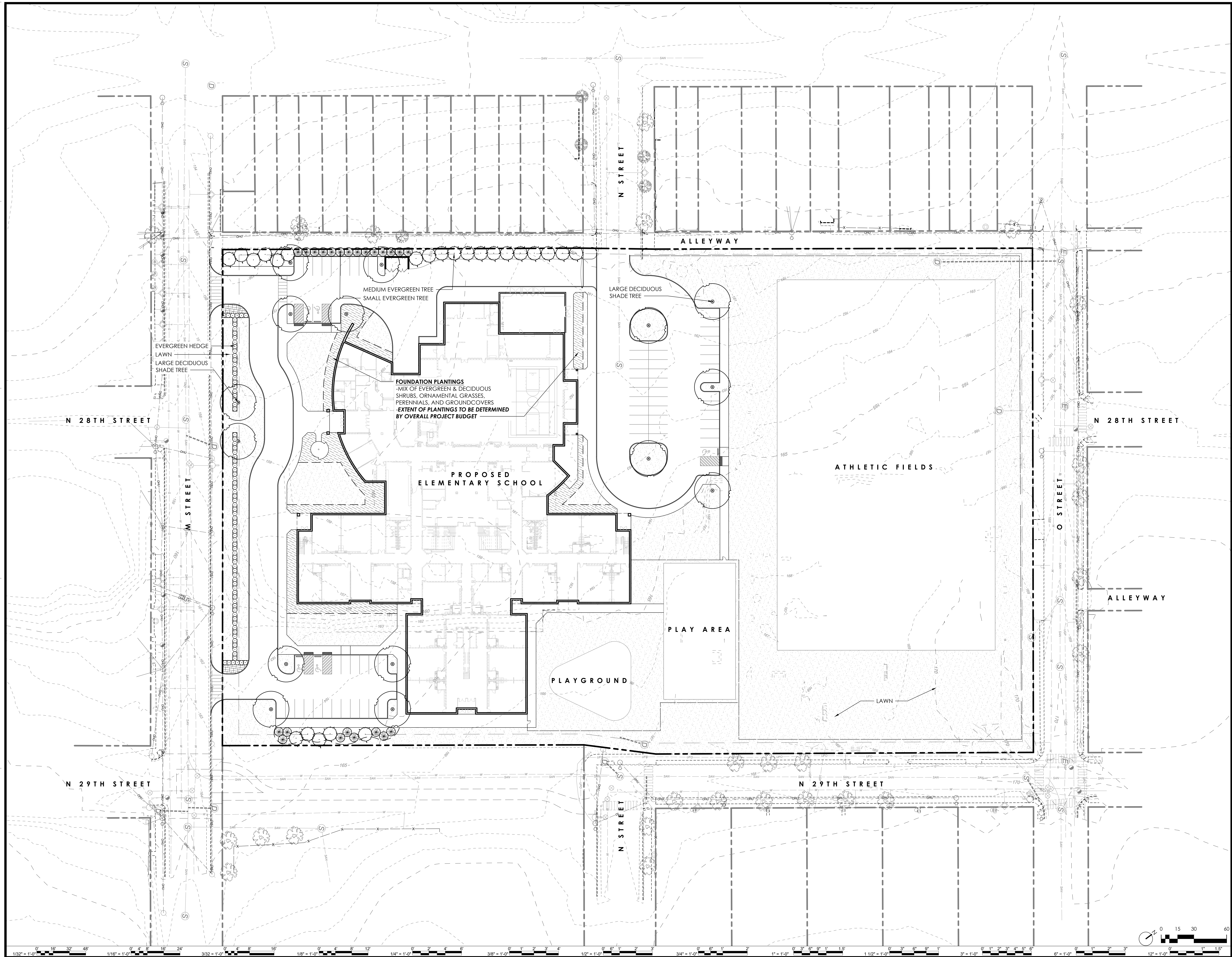
TIMMONS GROUP

YOUR VISION ACHIEVED THROUGH OURS:
 Site Development | Residential | Infrastructure | Technology
 THIS DRAWING PREPARED AT THE
 CORPORATE OFFICE
 1801 Builders Parkway, Suite 100 | Richmond, VA 23225
 TEL: 804-206-6500 | FAX: 804-561-1010 | www.timmons.com

Y:\901139490.005-George_Masoni\DWG\39490005V-XPSURV\Boundary.dwg | Plotted on 10/24/2018 12:10 PM | by David Pugh

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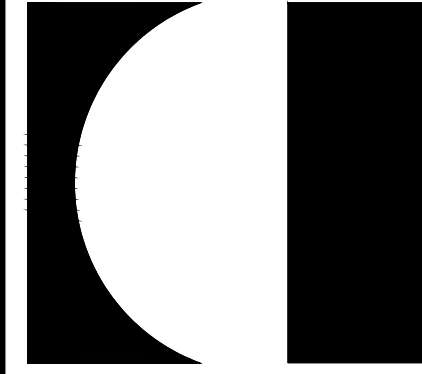


waterstreetstudio

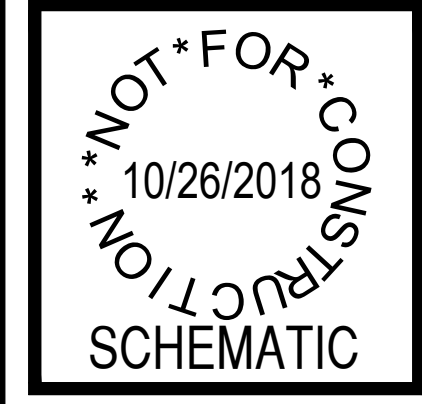
landscape architecture | civil engineering
101 Main Street, Suite 200, Chesapeake, VA 23041

DATE	PROJECT	DESIGNED	DRAWN	CHECKED	MARK	DATE	DESCRIPTION
10-26-18	18219-00	MMP	MMP	MMP	BY		
					REVISIONS		

DATE	10-26-18
PROJECT	18219-00
DESIGNED	MMP
DRAWN	MMP
CHECKED	MMP



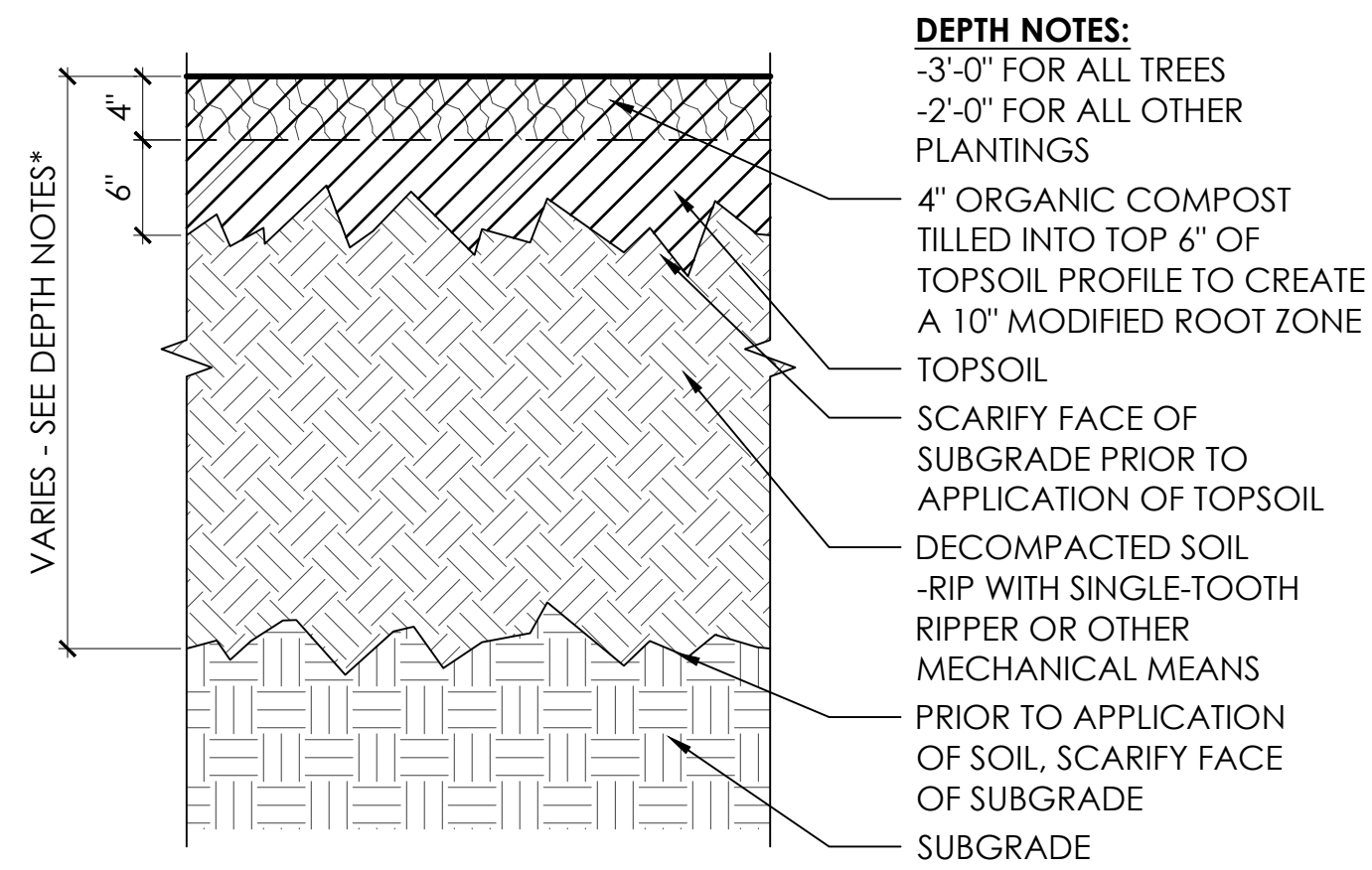
RRMM ARCHITECTS, PC
1317 Executive Blvd, Suite 200
Chesapeake, Virginia 23320
(757)622-2828



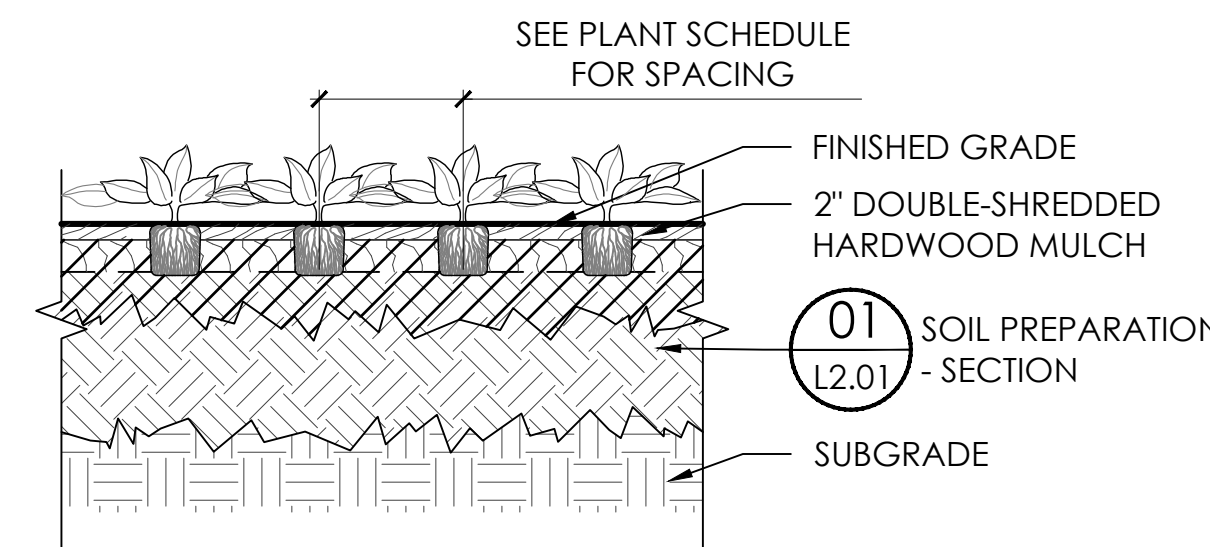
PROJECT: NEW ELEMENTARY SCHOOL CONSTRUCTION ON NORTH 28TH STREET
RICHMOND PUBLIC SCHOOLS
1745 CATALINA DRIVE
RICHMOND, VIRGINIA

DRAWING: OVERALL PLANTING PLAN

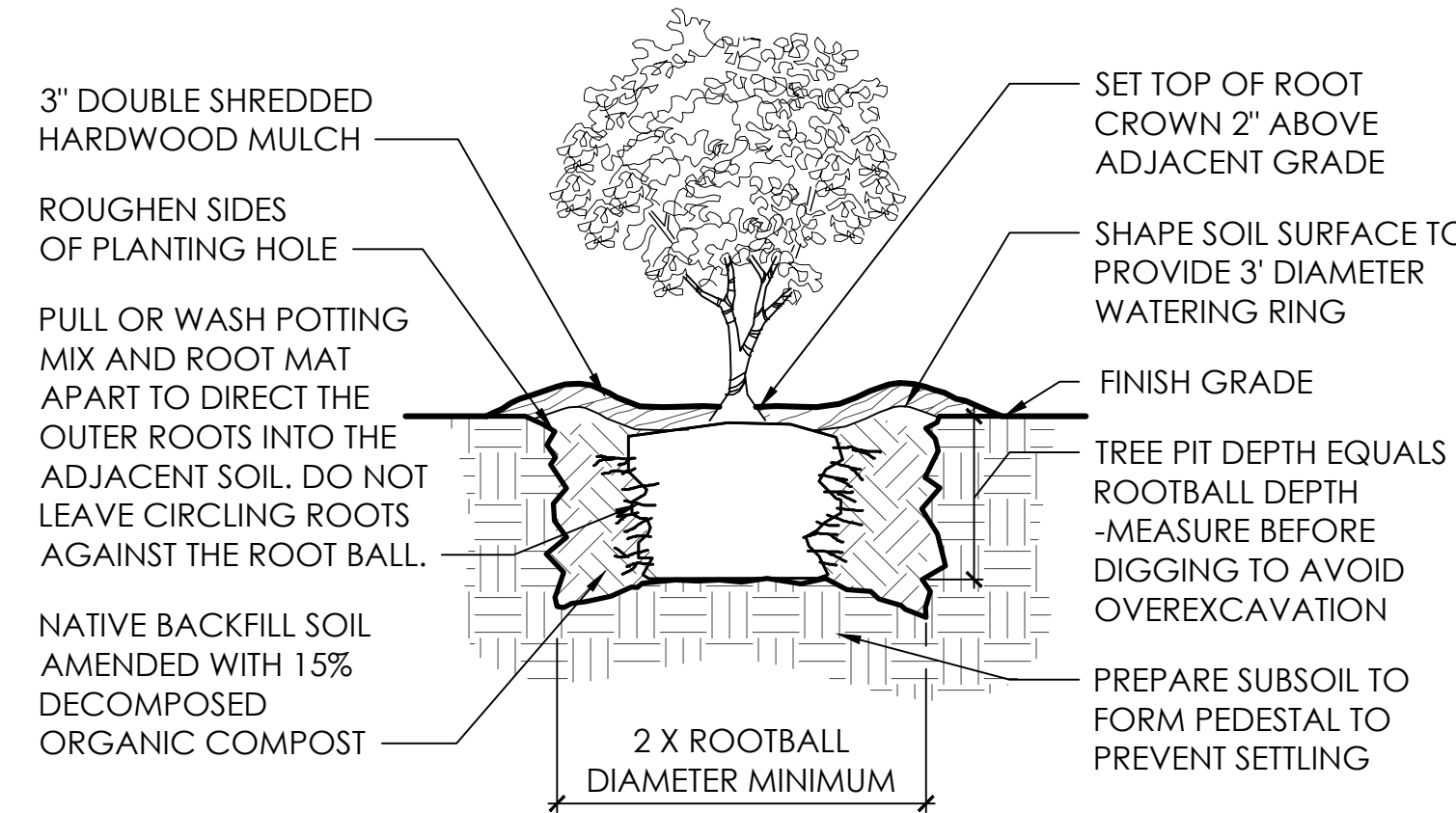
SHEET
L1.01



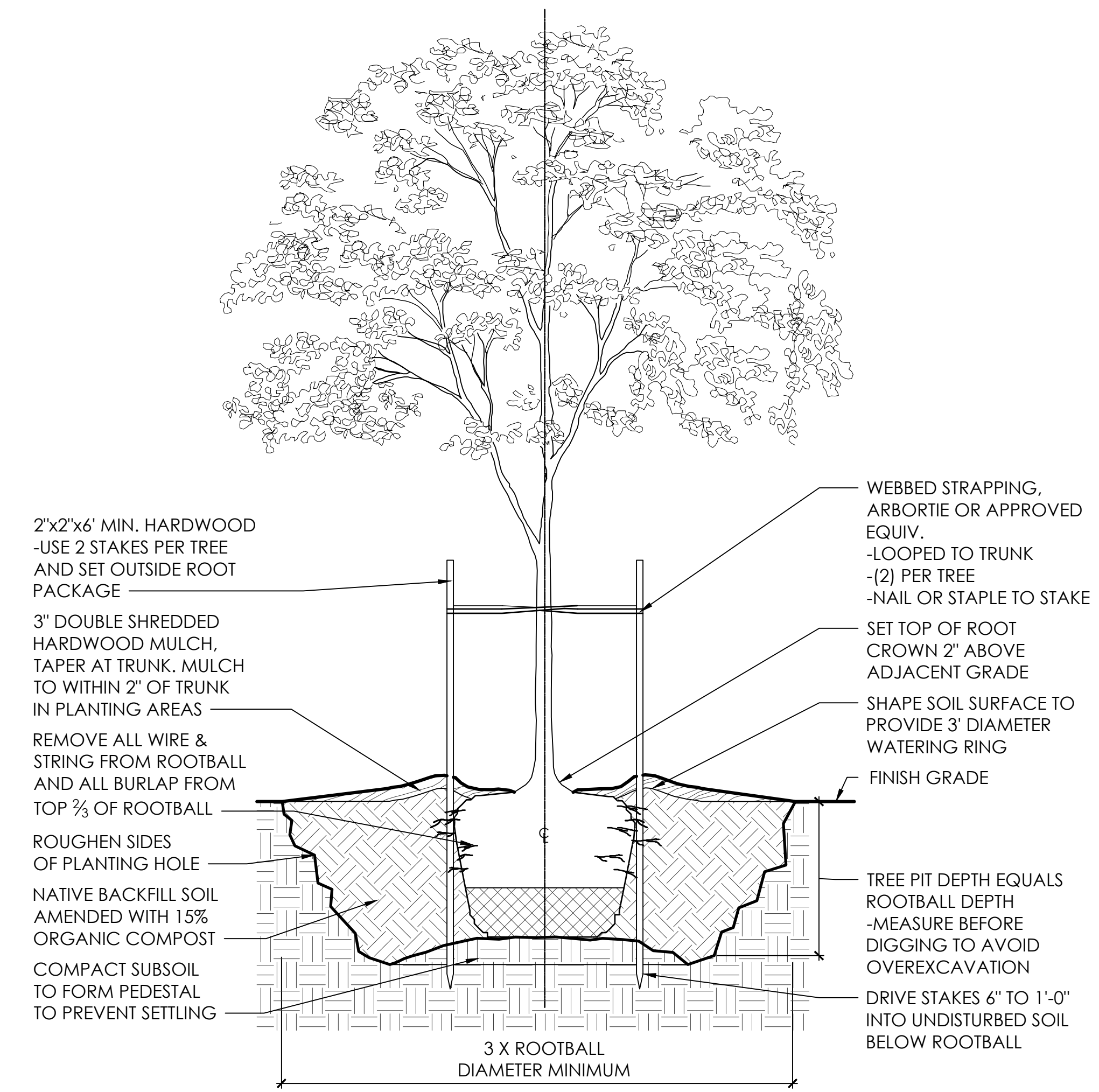
01 SOIL PREPARATION - SECTION
SCALE: 1" = 1'-0"



02 PERENNIAL PLANTING - SECTION
SCALE: 1/2" = 1'-0"



03 SHRUB PLANTING - SECTION
SCALE: 1/2" = 1'-0"



04 TREE PLANTING - SECTION
SCALE: 1/2" = 1'-0"

PLANT SCHEDULE

QTY.	SYMBOL	Scientific Name	Common Name	Size	Spacing	Root	Notes	Canopy
TREES								
15		Deciduous Tree - Large		2 1/2' Cal.	AS SHOWN	B&B		200
24		Evergreen Tree - Medium		2 1/2' Cal.	AS SHOWN	B&B		
23		Evergreen Tree - Small		2 1/2' Cal.	AS SHOWN	B&B		
ORNAMENTAL GRASSES & SHRUBS								
7		Entrance Plantings - Shrubs		24" Ht.	36" O.C.	3 Gal.		
10		Entrance Plantings - Grasses		18" Ht.	30" O.C.	3 Gal.		
85		Evergreen Shrubs - Hedgerow		42" Ht.	48" O.C.	5 Gal.		
379		Foundation Plantings - Shrubs		24" Ht.	36" O.C.	3 Gal.		
220		Foundation Plantings - Grasses		18" Ht.	30" O.C.	3 Gal.		
GROUNDCOVERS & PERENNIALS								
81		Entrance Plantings - Perennials		18" O.C.		3 QT.		
909		Foundation Plantings - Perennials		18" O.C.		3 QT.		

LANDSCAPE CALCULATIONS

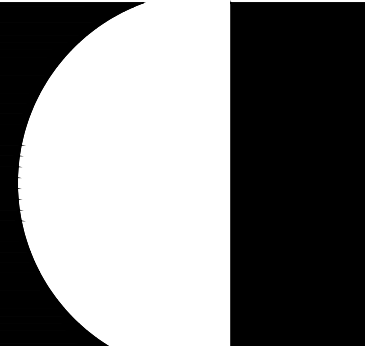
TREE COVERAGE REQUIREMENTS	
30-710.15	Requirement: 30 S.F. OF 10 YEAR CANOPY PER PARKING SPACE
Parking Spaces	70
Required:	2,100 S.F.
Provided:	3000 S.F. OF 10 YEAR CANOPY

PLANTING NOTES

- CONTRACTOR SHALL VERIFY PLANT MATERIAL QUANTITIES SOWN ON PLAN WITH TOTALS IN PLANTING SCHEDULE. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING. UNITS PRICES BE SUBMITTED AS PART OF FINAL BID.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) FULL YEAR AND SHALL BE IN A HEALTHY GROWING CONDITION. PLANT MATERIALS WHICH DO NOT FULFILL THIS GUARANTEE SHALL BE REPLACED AT NO COST TO THE OWNER. REPLACEMENT SHALL BE GUARANTEED THROUGHOUT THE ORIGINAL GUARANTEE PERIOD. PLANTS THAT DIE SHALL BE REPLACED IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR WATERING, WEEDING, PEST CONTROL, AND FERTILIZATION OF ALL PLANT MATERIAL UNTIL, a) UPON FINAL ACCEPTANCE IS ISSUED BY LANDSCAPE ARCHITECT AND/OR OWNER, AND b.) THE CONTRACTOR PROVIDES OWNER WRITTEN NOTIFICATION OF ALL MAINTENANCE NEEDS OF ALL SCOPE ASSOCIATED WITH THE PLANTING PLAN(S) CONTRACT DOCUMENTS. CONTRACTOR SHALL NOT ASSUME IRRIGATION SYSTEM IS FULLY OPERATIONAL AT THE COMPLETION OF THE PLANTING INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY PRIOR TO THE BEGINNING OF CONSTRUCTION FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF FIVE (5) FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- THE LANDSCAPE ARCHITECT IS THE OWNER'S REPRESENTATIVE AND SHALL BE THE APPROVING AUTHORITY FOR INFORMATION PROVIDED WITHIN THESE PLANS AND SPECIFICATIONS.
- ALL PLANT MATERIALS, TOPSOIL, MULCH, FERTILIZERS, SOIL AMENDMENTS, PLANTING SUPPLIES, AND METHODS SHALL BE SUBJECT TO LANDSCAPE ARCHITECTS APPROVAL. REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE WITHOUT DELAY AT NO EXPENSE TO THE OWNER.
- CONTRACTOR SHALL LAYOUT AND MARK LOCATION FOR ALL PLANT MATERIAL, AND IMPROVEMENTS SHOWN AND SHALL REQUEST IN FIELD APPROVAL FROM LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS AND PLANTING METHODS SHALL CONFORM TO A.A.N. STANDARDS.
- BEDS TO CONTAIN SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, OR PERENNIALS SHALL BE TILLED TO A DEPTH OF 12" AND THE SOIL CONDITIONED BY ADDING 3" OF A U.S. COMPOSTING COUNCIL APPROVED COMPOST.
- ALL PLANTING BED AREAS SHALL BE COVERED WITH A 3" MINIMUM LAYER OF MEDIUM TEXTURED SHREDDED HARDWOOD MULCH UNLESS OTHERWISE NOTED.
- ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
- ALL PLANTING OPERATIONS SHALL BE UNDER THE SUPERVISION OF AN EXPERIENCED PLANTSMAN.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SELECT PLANT MATERIALS IN THE NURSERY.
- FOR TREES BALLED IN WIRE BASKETS, CUT AND REMOVE TOP AND SIDES OF BASKET AFTER INSTALLATION.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT AND PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO A.A.N. STANDARDS.
- SOIL SHALL BE FREE OR ALL WEEDS AND ROCKS GREATER THAN 1" IN DIAMETER.
- PLANT SIZES, QUANTITIES, AND SPECIES WILL BE CHECKED BY MUNICIPALITY INSPECTION FOR COMPLIANCE WITH PLANT SCHEDULE AS APPROVED BY THE MUNICIPALITY. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DELAY IN ISSUANCE OF CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY RESULTING FROM UNAUTHORIZED SUBSTITUTIONS OR DOWNSIZING.
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL, AND SCHEDULE A FINAL INSPECTION FOR ACCEPTANCE BY OWNER.
- CONTRACTOR SHALL REMOVE TREE STAKING AT THE END OF THE ONE YEAR WARRANTEE PERIOD.

DATE	PROJECT	DESIGNED	MMP	BY	DESCRIPTION
10-26-18	18219-00				

DATE	PROJECT	DESIGNED	MMP	DRAWN	MMP	CHECKED
10-26-18	18219-00					



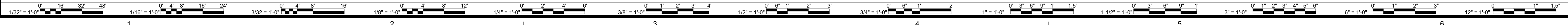
RRMM ARCHITECTS, PC
1317 Executive Blvd, Suite 200
Chesapeake, Virginia 23320
(757)622-2828

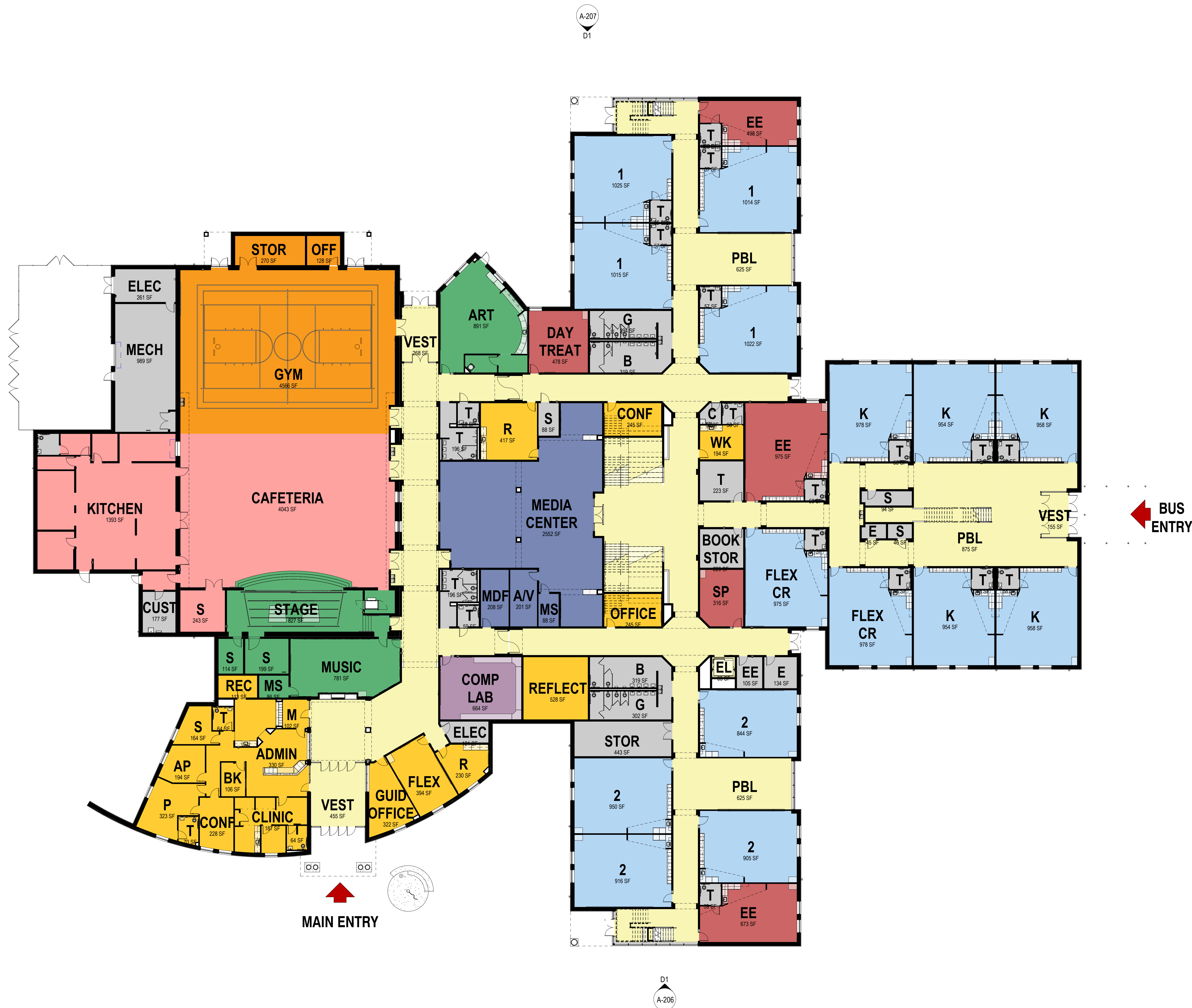


NEW ELEMENTARY SCHOOL CONSTRUCTION ON NORTH 28TH STREET
RICHMOND PUBLIC SCHOOLS
1745 CATALINA DRIVE
RICHMOND, VIRGINIA
VIRGINIA DEPARTMENT OF EDUCATION | 123-188-00-100

PROJECT
DRAWING
PLANT SCHEDULE, NOTES, DETAILS & CALCULATIONS

SHEET
L2.01





OVERALL FIRST FLOOR PLAN

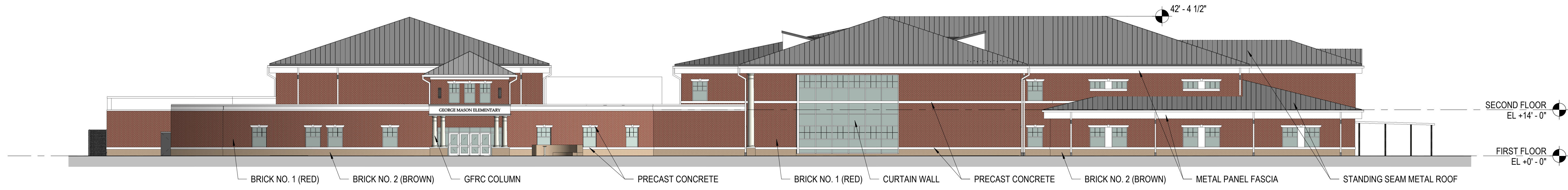
GEORGE MASON ELEMENTARY SCHOOL



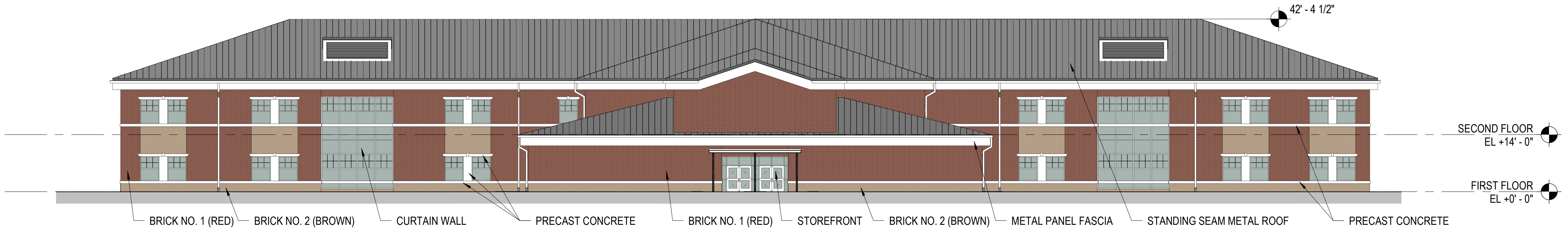
- DEPARTMENT**
- GENERAL CLASSROOMS
 - ADMINISTRATION
 - BUILDING SERVICES / RESTROOMS
 - EXCEPTIONAL EDUCATION / SUPPORT
 - CIRCULATION
 - PROJECT BASED LEARNING

OVERALL SECOND FLOOR PLAN

GEORGE MASON ELEMENTARY SCHOOL



D1 SOUTH ELEVATION
A-206 SCALE: 1/16" = 1'-0"



B1 EAST ELEVATION
A-206 SCALE: 1/16" = 1'-0"

MARK	DATE	BY	DESCRIPTION

DATE	09/26/2018
PROJECT	181900-00
DESIGNED	
DRAWN	
CHECKED	

RRMM
ARCHITECTS, PC
1317 Executive Blvd, Suite 200
Chesapeake, Virginia 23320
(757) 622-2828

NOT FOR CONSTRUCTION
10/18/2018
SCHEMATIC

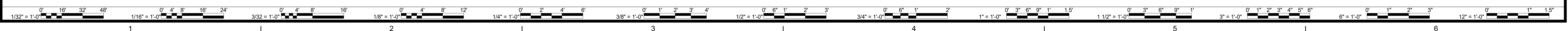
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RICHMOND PUBLIC SCHOOLS
813 N 28TH STREET
RICHMOND, VIRGINIA 23223

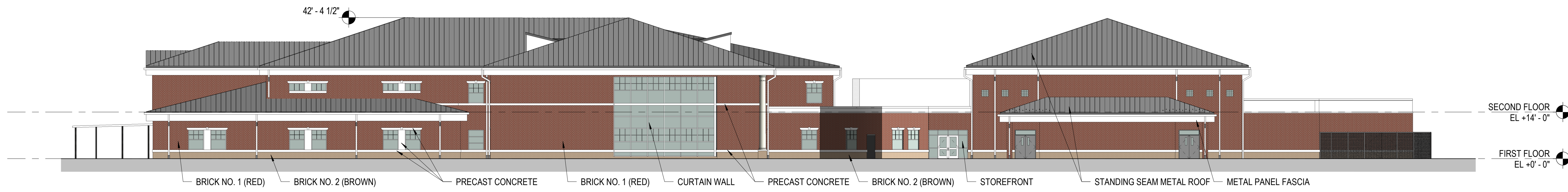
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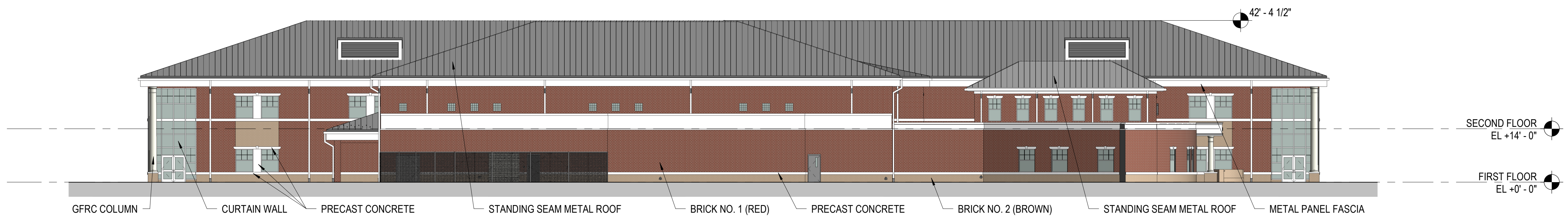
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D1 NORTH ELEVATION
A-207 SCALE: 1/16" = 1'-0"



B1 WEST ELEVATION
A-207 SCALE: 1/16" = 1'-0"

MARK	DATE	BY	DESCRIPTION

DATE	09/26/2018
PROJECT	181900-00
DESIGNED	
DRAWN	
CHECKED	

RRMM
ARCHITECTS, PC
1317 Executive Blvd, Suite 200
Chesapeake, Virginia 23320
(757) 622-2828

NOT FOR CONSTRUCTION
10/18/2018
SCHEMATIC

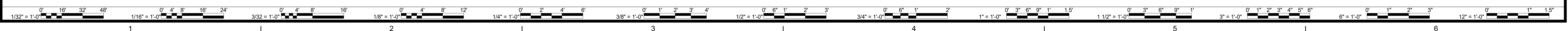
PROJECT: GEORGE MASON ELEMENTARY SCHOOLS
RICHMOND PUBLIC SCHOOLS
813 N 28TH STREET
RICHMOND, VIRGINIA 23223

DRAWING: OVERALL BUILDING ELEVATIONS

VIRGINIA DEPARTMENT OF EDUCATION # X065656606
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Traditional Option 2A