



COMMISSION OF ARCHITECTURAL REVIEW
APPLICATION / CERTIFICATE OF APPROPRIATENESS

PROPERTY (Location of Work)

Address 812 Jessamine st
 Historic District Union Hill

PROPOSED ACTION

- Alteration (including paint colors) Rehabilitation Demolition
 Addition New Construction (Conceptual Review required)
 Conceptual Review Final Review

OWNER

Name Chris Jefferson
 Company Ridge Point Holdings LLC
 Mailing Address 2920 West Broad St
Suite 238
 Phone 804-201-3624
 Email Chris@RidgePointRe.com
 Signature [Signature]
 Date 7-28-17

APPLICANT (if other than owner)

Name _____
 Company _____
 Mailing Address _____
 Phone _____
 Email _____
 Signature _____
 Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

(Space below for staff use only)

Application received:

Date/Time _____ ECE VE

By _____ JUL 28 2017

Complete Yes No

COA-021096-2017 Created 7/2016



Ridge Point Real Estate, LLC.

2920 West Broad St Suite 238
Richmond VA 23230

Office: 804-420-2274
Fax: 888-751-5310

812 Jessamine
~~712 N 27th St~~

It is proposed that exterior renovations take place at the property located at 812 Jessamine St Richmond VA. The proposed changes will be in line with the historical integrity of the Church Hill neighborhood. The siding on the property currently is a mix of vinyl and hardboard siding. We are proposing to remove the vinyl siding on the property and expose the hardboard wood siding underneath and/or install matching hardboard siding at all exterior elevations. Existing wood siding would be restored properly and painted a CAR approved Color that we are asking to later be approved by staff. That being said, it is our assumption that there is hardboard siding underneath that will only warrant restoration and not replacement. All of the existing windows on the property will be kept and restored. Any windows added will be custom wood windows that would be in line with existing windows at the property. We also ask that review and approval of any changes required by the Virginia Department of Historic Resources or National Park Service for rehabilitation tax credit purposes may be deferred to commission staff.

We are also proposing permission to repair exterior moldings, repair and refurbishment of the front porch and existing materials. The previous owner made alterations to the front porch prior to the purchase. We are proposing to paint all exterior trim white, with exterior paint color being approved by CAR staff. The existing wooden front door that appear to be original to the home as well as the transom above the front door will be repaired and maintained if for any reason we are unable to use the existing front door we ask that a new door be presented to CAR staff for approval. The current screen door will be removed. We are also proposing to install a new french door on the first floor seen in the rear elevation to provide access from the living room. The intention of the project is to provide repair to a property that has long been vacant in the neighborhood while bringing back the historical presence it once held with modern interior updates and amenities to continue to bring a new generation of families to the Church Hill area. This property is already under contract pending completion and the buyers are super excited about the Church Hill neighborhood.

An addition will be added to the property, however, the existing footprint of the home will stay the same as the addition is only a 2nd floor addition. Plans do label the roof material as asphalt however TPO roofing material can be installed as well if the CAR staff and CAR board will more appropriate.

Chris Jefferson

Managing Member
Ridge Point Real Estate
Chris@ridgepointre.com



Ridge Point Real Estate, LLC.

2920 West Broad St Suite 238
Richmond VA 23230

Office: 804-420-2274
Fax: 888-751-5310



Ridge Point Real Estate, LLC.

2920 West Broad St Suite 238
Richmond VA 23230

Office: 804-420-2274
Fax: 888-751-5310

Exterior Front Photos:





Ridge Point Real Estate, LLC.

2920 West Broad St Suite 238
Richmond VA 23230

Office: 804-420-2274
Fax: 888-751-5310

Rear Exterior:



Exterior vinyl siding to be removed to expose hardboard siding. Existing asphalt shingles visible as well.



Ridge Point Real Estate, LLC.

2920 West Broad St Suite 238
Richmond VA 23230

Office: 804-420-2274
Fax: 888-751-5310

Neighbor to left of Front Elevation:





Ridge Point Real Estate, LLC.

2920 West Broad St Suite 238
Richmond VA 23230

Office: 804-420-2274
Fax: 888-751-5310

Neighbor Exterior Right:



Neighbors house to the left of subject property



Ridge Point Real Estate, LLC.

2920 West Broad St Suite 238
Richmond VA 23230

Office: 804-420-2274
Fax: 888-751-5310

Exterior Photos



Existing Porch: We are proposing to remove the PVC composite decking boards and vinyl railing system and installing wood tongue and groove decking boards and Richmond rail. This is not depicted specifically on plans, however, we believe the offer all integrity of the house is compromised with existing features.



Ridge Point Real Estate, LLC.

2920 West Broad St Suite 238
Richmond VA 23230

Office: 804-420-2274
Fax: 888-751-5310



Exterior Front Porch Ceiling: Ceiling to be maintained and repaired/painted White.



Ridge Point Real Estate, LLC.

2920 West Broad St Suite 238
Richmond VA 23230

Office: 804-420-2274
Fax: 888-751-5310



Rear Exterior showing existing asphalt shingles



Ridge Point Real Estate, LLC.

2920 West Broad St Suite 238
Richmond VA 23230

Office: 804-420-2274
Fax: 888-751-5310



Rear elevation from Church Owned parking lot at rear of property. There is no public right away or alley directly behind the property.



Ridge Point Real Estate, LLC.

2920 West Broad St Suite 238
Richmond VA 23230

Office: 804-420-2274
Fax: 888-751-5310

From the rear of elevation to left and right:



Exterior Right



Ridge Point Real Estate, LLC.

2920 West Broad St Suite 238
Richmond VA 23230

Office: 804-420-2274
Fax: 888-751-5310



Exterior Left

RENOVATION & ALTERATIONS FOR 812 JESSAMINE ST. RICHMOND, VA 23223

BUILDING INFORMATION:

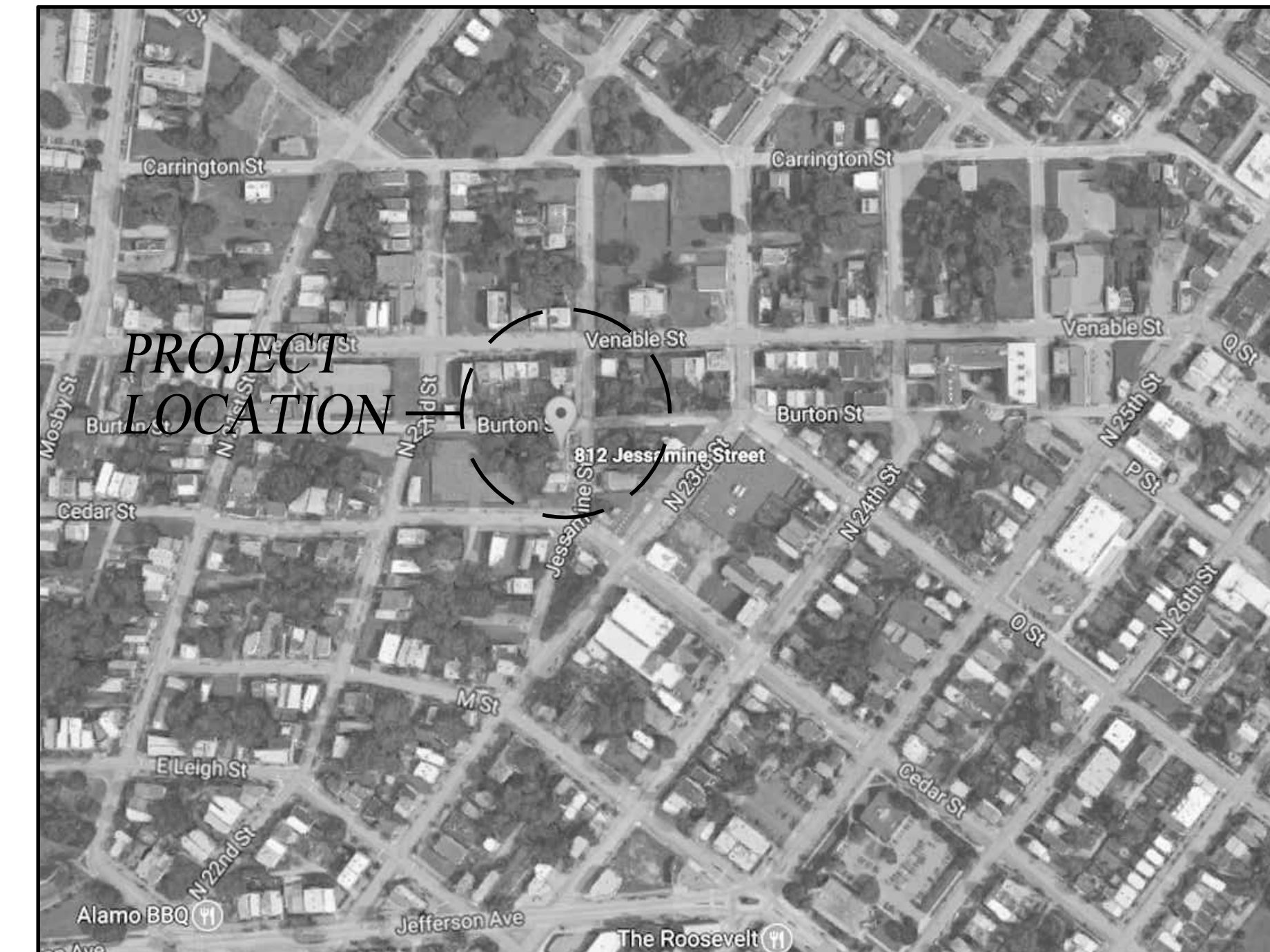
CONSTRUCTION CODE: VCC 2012, IRC 2012 - CONSTRUCTION TYPE: V-B
 BUILDING AREA (INCLUDING THE EXTERIOR WALL): 1ST FLOOR: 825 SF
 2ND FLOOR: 825 SF
 TOTAL: 1,650 SF

STORIES ABOVE GRADE: 2 HEIGHT ABOVE GRADE: 27'-4" +/-
 USE GROUP: SINGLE-FAMILY SPRINKLER SYSTEM: NO
 FIRE DETECTION: YES, HARD-WIRED SMOKE DETECTION SYSTEM
 INSULATION VALUES: CEILING: R-38 BATT INSUL
 WALLS: R-19 BATT INSUL
 FLOORS: R-30 BATT INSUL

DRAWING INDEX:

- T-1 TITLE SHEET, DRAWING INDEX
BUILDING INFO, VICINITY & LOCAL MAP
- T-2 GENERAL CONSTRUCTION NOTES
- D-1 DEMOLITION - 1ST & 2ND FLOOR PLAN
- A-1 NEW WORK - 1ST & 2ND FLOOR PLAN
NEW WORK - ROOF PLAN
- A-2 EXTERIOR ELEVATIONS
- A-3 TYPICAL WALL SECTION

VICINITY MAP



GENERAL NOTES

General Conditions:

Contractor to carefully review the contract documents and existing conditions of the job site to achieve full comprehension of the project renovation requirements. Contractor to include cost for all work described and required to satisfy the intent of the contract documents and required by existing conditions. Architect to be notified of conflicts between existing conditions and new work conflicts or omissions in the drawings and any limitations related to the execution of the work. In the case of conflicts within the contract documents, the strictest condition or requirement is to be included in the cost and scope of work. Contractor shall not proceed with the work, involved in such errors, omissions, or discrepancies until written instructions are given by the Architect. The Contractor shall be responsible to correct all work erroneously installed prior to receiving said instructions.

All work shall be in accordance with the Virginia Statewide Uniform Building Code and International Residential Code, latest editions, to the satisfaction of authorities having jurisdiction. All manufactured products shall be used per manufacturer's written specifications. Contractor to apply for, pay for and obtain all permits, fees and inspections by authorities having jurisdiction over the work. Copies of all transactions shall be made available to the owner. Notify the architect of any variance with current codes. Contractor shall be responsible for compliance with public authorities regarding the performance of work.

Contractor to make available to the owner a construction schedule along with a schedule of values prior to commencement of work.

Contractor shall supply all labor, materials, equipment, tools, handling, transportation, debris removal, and all related costs and services necessary for the execution of the work.

Work is to be executed by the general contractor unless provisions are made otherwise. References to "contractor" are to include general contractor and subcontractors. The contractor shall be solely responsible for and have control over all construction means and methods required by the contract documents including coordination of work. The contractor is to be responsible for acts and omissions of the contractor's employees, subcontractors and their employees, and any other persons performing any of the work under contract with the contractor. The architect will not be responsible for errors, omissions or delays caused by the contractor.

Field Verifications: Verify all dimensions in the field before performing the work. The Contractor will be responsible to correct any work that is done in error because of failure to verify or clarify dimensions.

Substantial changes to the drawings or actual work are to be issued by the architect with the owner's approval.

Construction Coordination:

Contractor is to coordinate and protect all new and existing work in place when exposed to potential damage by work of multiple trades. The Contractor shall coordinate construction of all required mechanical, electrical and plumbing.

All work and improvements shall be in strict accordance with the current codes adopted by the local jurisdictions and approved by the local building inspection office. All work is to comply with applicable provisions of the the occupational safety and health act- OSHA.

The contractor is to keep the premises free from excessive accumulation of waste materials or rubbish caused by construction and will remove it from the site in a timely fashion or as directed by the owner. Upon completion of the project, the contractor shall remove all remaining materials, waste or otherwise, as well as all construction equipment. The work and support areas shall be left broom clean.

Product information and samples:

Shop-drawings and all other submittals are to be examined by the general contractor and checked for compliance with contract requirements.

Quality Control:

Complete all construction and install materials per manufacturer's specifications and instructions and in a manner consistent with industry standards of workmanship and the products selected.

Material Acquisition:

Protect products during all stages of handling to prevent damage. Comply with all requirements of specified product and manufacturer's instructions to ensure optimum condition of final installed product.

Work Conditions:

Create appropriate environmental conditions for installing or applying finishes to the products specified.

Prior to product installation, evaluate all existing surfaces to receive product per product manufacturer's recommendation. Installation shall imply acceptance of substrate and shall not be grounds for claims against improper performance of installed materials.

Keep exits, exit lighting, fire protection and life safety devices operational during construction. Keep means of egress clear of all tools, materials and debris.

Guarantee:

Warrant all materials, finishes and equipment supplied under this contract shall be new, unless otherwise specified, and that all work shall be of good quality, free from defects and in compliance with the contract documents. For one year beginning at the date of substantial completion, contractor will promptly remedy work found not to be in compliance with the contract documents. Contractor shall assume all costs for corrections.

Transfer all manufacturer warranties, product literature, maintenance requirements and schedules to the owner at completion of the project.

Products:

Contractor to provide products specified in the following specifications or in the other contract documents. If no product is specified, contractor shall provide a match in quality and appearance to typical materials used in other similar buildings.

Construction execution:

Dimensions to be verified in the field. If dimensions can not be verified or the verification would cause a delay in the progress of work, contractor shall guarantee dimensions to the subcontractor for coordination. Drawings may be scaled for reference only.

Wall partitions, unless noted otherwise, shall be located as dimensioned and shown on the construction plans and details. Dimensions are to faces of finished partitions. Actual partition thicknesses are used. Contractor shall verify dimensions. All vertical dimensions are given from top of finished flooring unless otherwise noted.

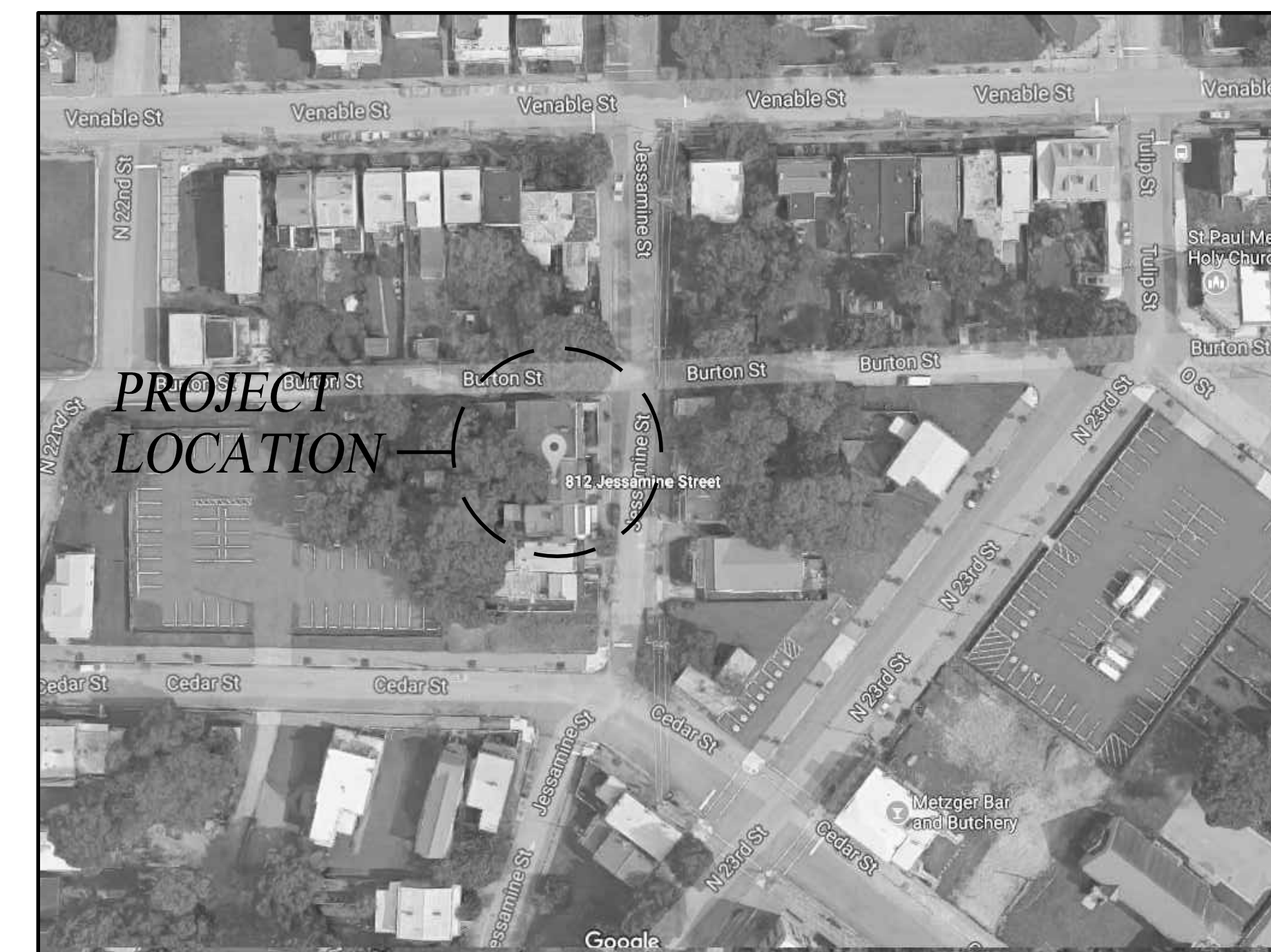
Contractor shall prepare concrete floors, if applicable, to be a smooth uniform surface. All floor anchors and penetrations shall be coordinated by contractor as part of the floor preparation.

Clean all surfaces and equipment 24 hours prior to occupancy. Vacuum or mop, as required, all floors and clean windows and glazing.

The date when the project is available for owner occupancy will be known as substantial completion. Additional touch-up or minor installation work may be incomplete.

Construct all items in strict adherence to the approved shop drawings and the referenced product standards. Connections of all parts being accurately and neatly fitted and securely fastened together.

LOCATION MAP



Ridge Point Custom Homes

2920 WEST BROAD ST SUITE 238

Phone: 804-420-2274 Mobile: 804-201-3624 Fax: 888-751-5310

OWNER: CHRIS JEFFERSON

RENOVATION & ALTERATIONS FOR

812 JESSAMINE ST.

RICHMOND, VA 23223

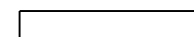

DATE: 07.21.17

T-1

DEMOLITION NOTES

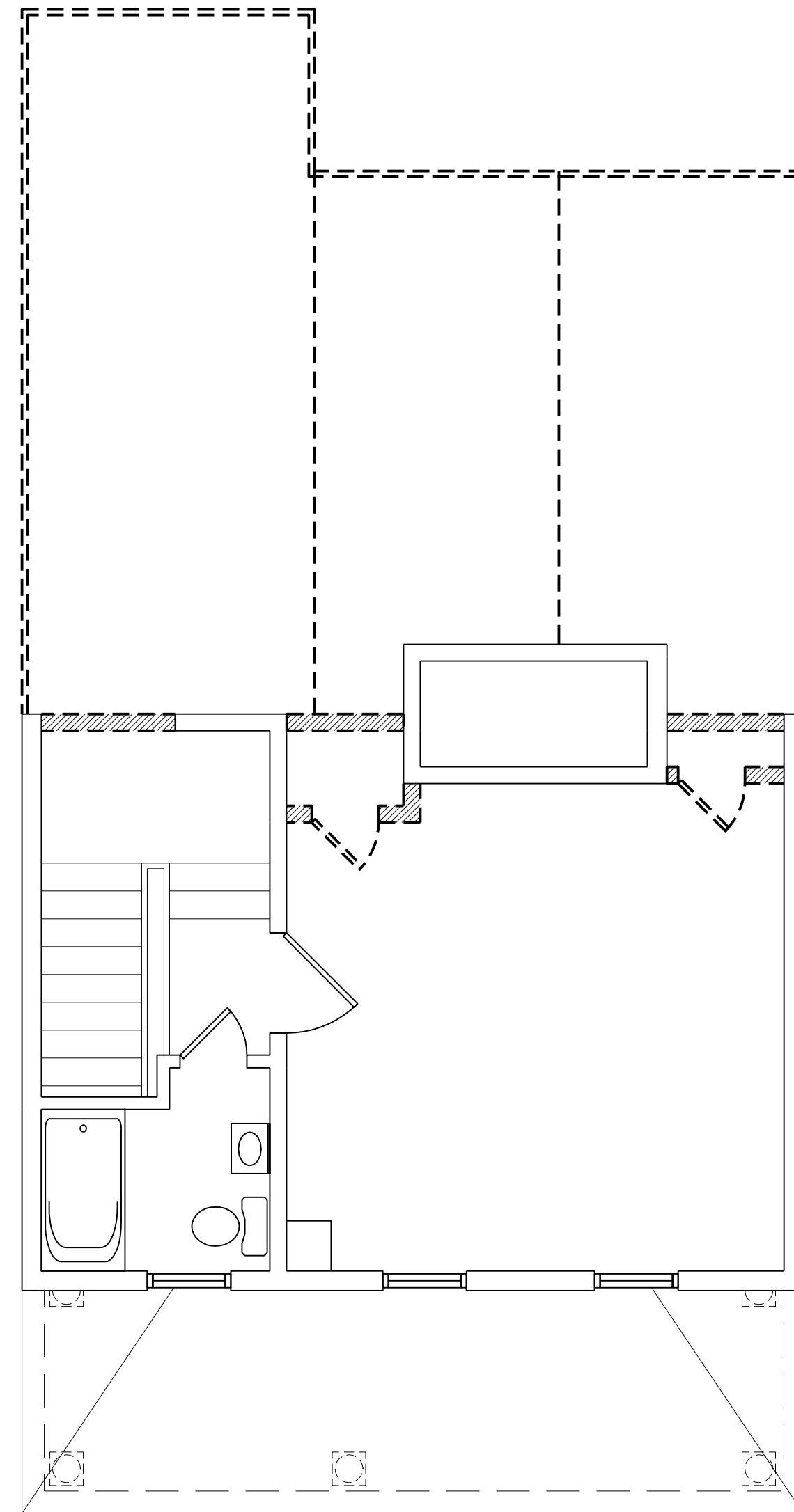
1. REMOVE ALL FIRE DAMAGED STRUCTURAL ELEMENTS, INCLUDING TRUSSES, STUDS, JOISTS, BEAMS, LINTELS, SHEATHING, SUBFLOOR, ETC. PREPARE ADJOINING SURFACES TO RECEIVE NEW CONSTRUCTION & REPLACE W/ NEW MATERIALS TO MATCH EXISTING.
2. REMOVE ALL INTERIOR PARTITIONS, FINISHES, FIXTURES, CASEWORK & MILLWORK OUT TO EXTERIOR WALLS & DOWN TO SUBFLOOR
3. INSPECT ALL DRYWALL & INSULATION & REPLACE IF COMPROMISED BY FIRE, SMOKE OR WATER DAMAGE.
4. REMOVE ALL EXTERIOR WINDOWS, DOORS, FRAMES & TRIM. COORDINATE OPENINGS W/ NEW FLOOR PLAN & INFILL OPENINGS WHERE REQUIRED W/ FRAMING & SHEATHING TO MATCH EXISTING.
5. REMOVE ALL EXTERIOR SIDING, TRIM, TRIM, HOUSEWRAP, ETC. DOWN TO EXISTING SHEATHING & PREPARE TO RECEIVE NEW MATERIALS.
6. REMOVE EXISTING ROOF CONSTRUCTION IN ITS ENTIRETY AS REQUIRED TO ACCOMMODATE NEW 2ND STORY FLOOR JOISTS.
7. UPON COMPLETION OF DEMOLITION WORK, CLOSELY INSPECT ALL REMAINING MATERIALS. REMOVE & PREP FOR REPLACEMENT ANY MATERIALS SHOWING SIGNS OF DAMAGE OR ROT.

LEGEND:

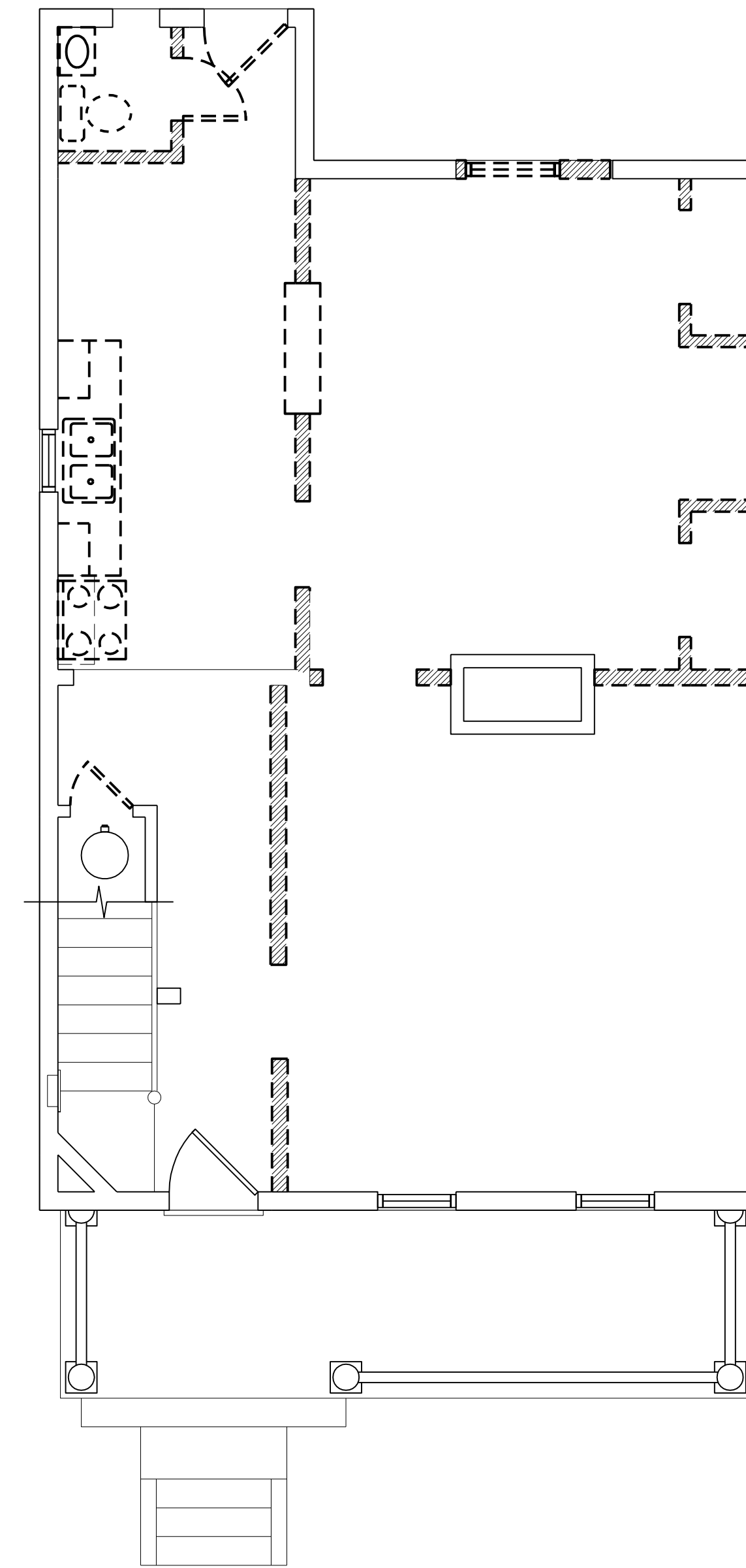
-  INDICATES EXISTING CONSTRUCTION
-  INDICATES CONSTRUCTION TO BE DEMOLISHED

SQUARE FOOTAGE

1ST FLOOR:	825 S.F.
2ND FLOOR:	390 S.F.
TOTAL:	1,215 S.F.



**DEMOLITION
FIRST FLOOR PLAN**
SCALE: 1/4"=1'-0"



**DEMOLITION
FIRST FLOOR PLAN**
SCALE: 1/4"=1'-0"



Ridge Point Custom Homes

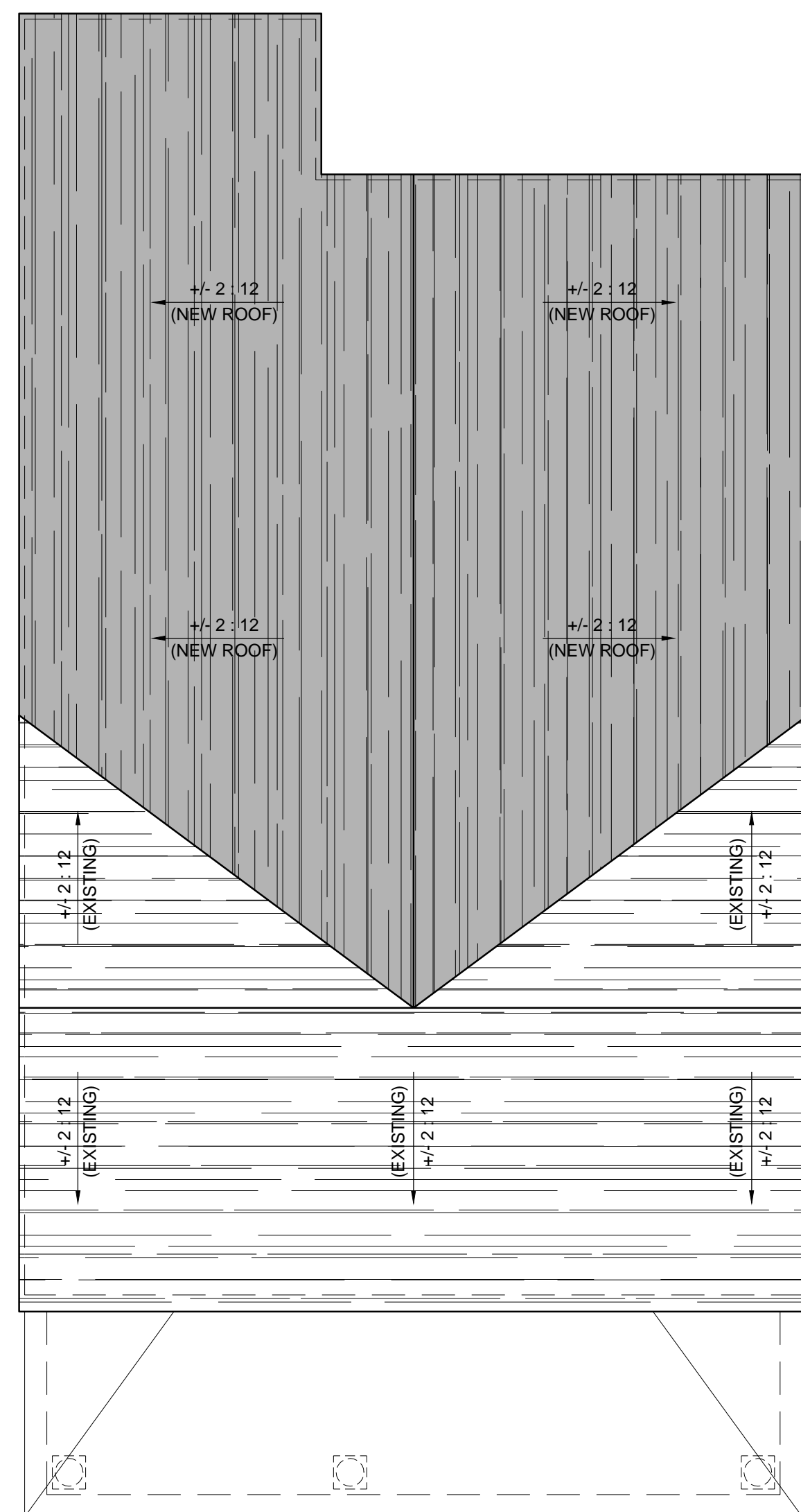
2920 WEST BROAD ST SUITE 238
Phone: 804-420-2274 Mobile: 804-201-3624 Fax: 888-751-5310
OWNER: CHRIS JEFFERSON

RENOVATION & ALTERATIONS FOR

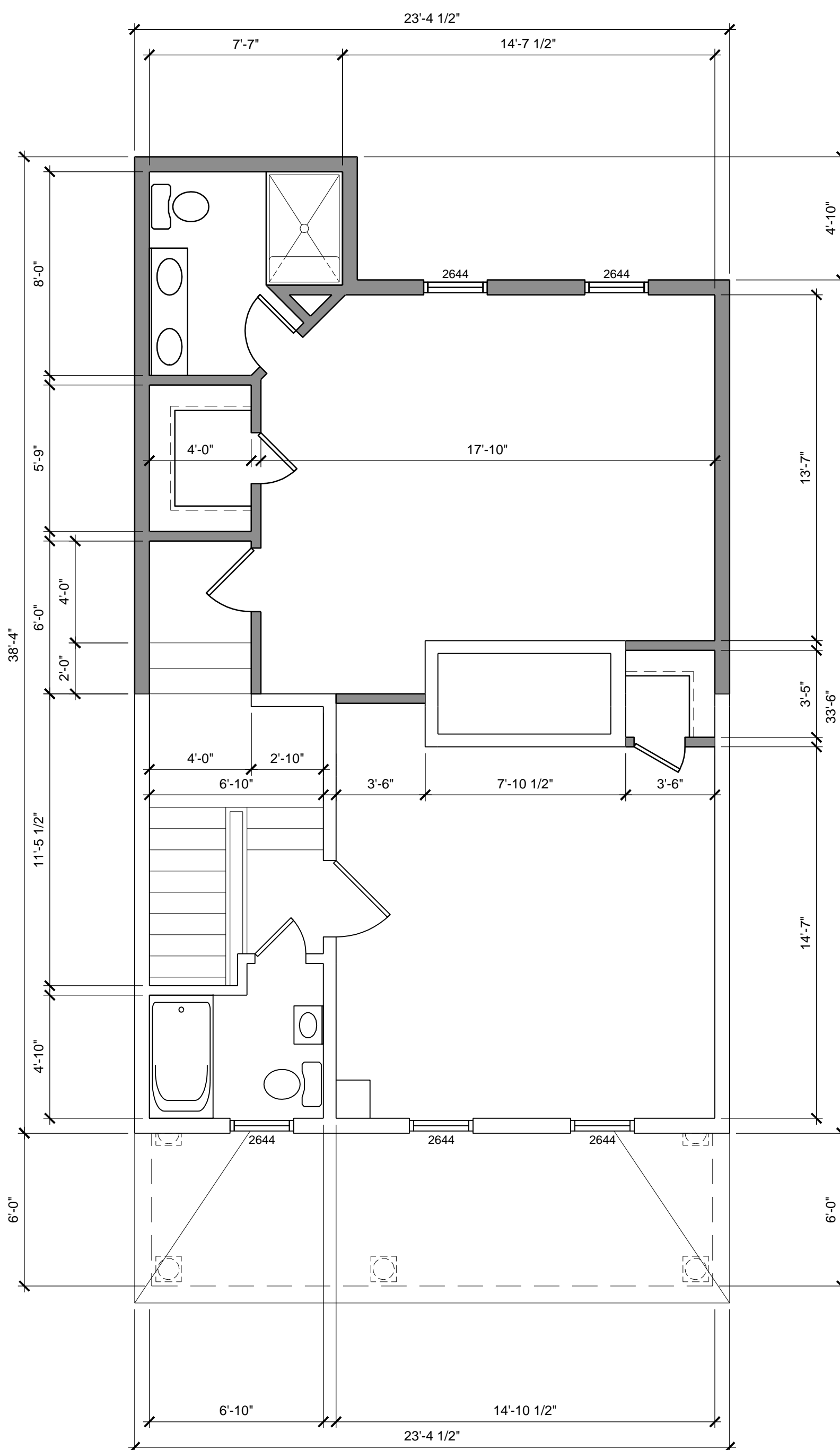
812 JESSAMINE ST.
RICHMOND, VA 23223

DATE: 07.21.17

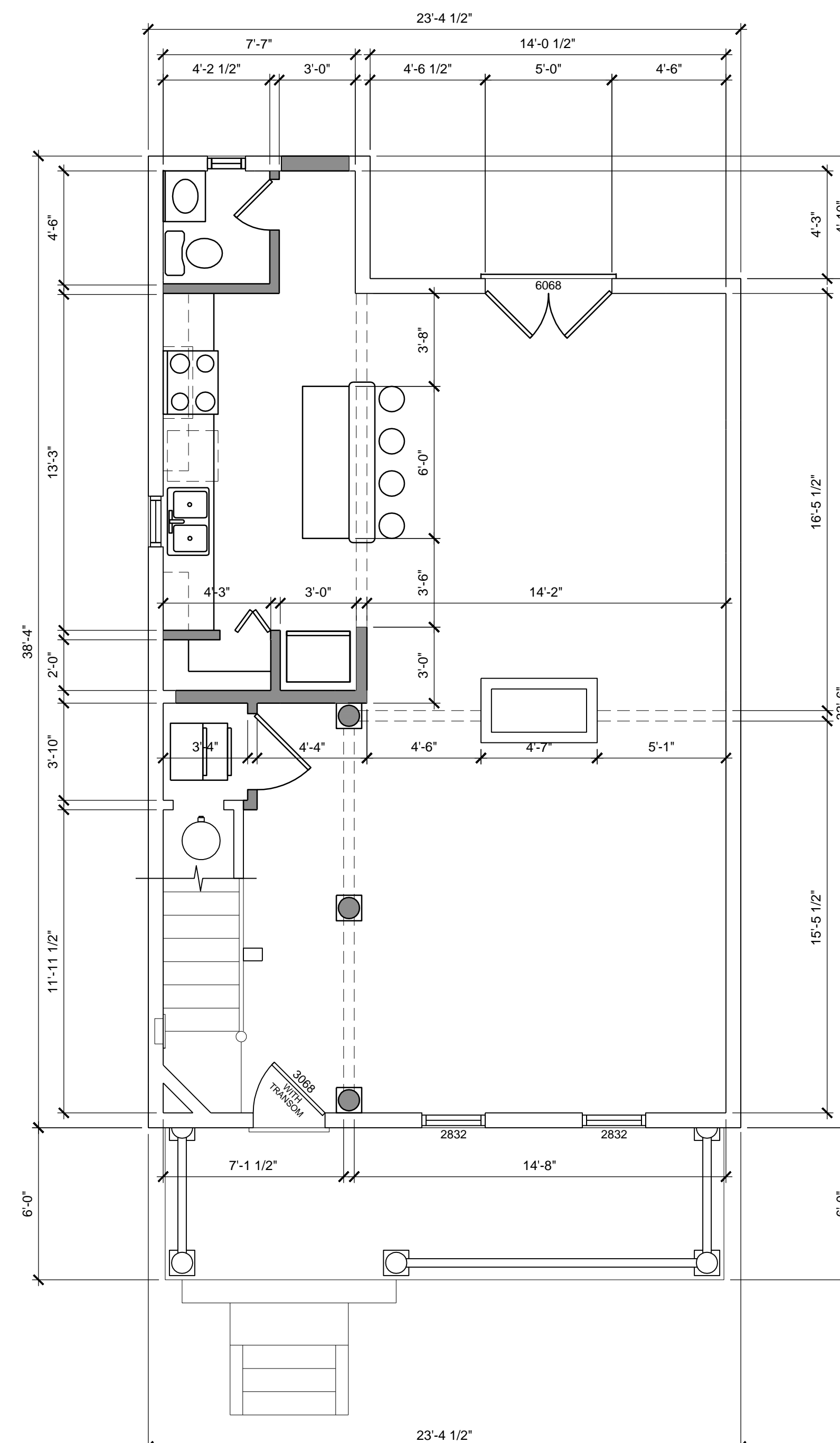
D-1



**NEW WORK
ROOF PLAN**
SCALE: 1/4"=1'-0"

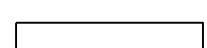



**NEW WORK
SECOND FLOOR PLAN**
SCALE: 1/4"=1'-0"



**NEW WORK
FIRST FLOOR PLAN**
SCALE: 1/4"=1'-0"

LEGEND:

	INDICATES EXISTING CONSTRUCTION
	INDICATES NEW WALL CONSTRUCTION: 2X4 @ 16" OC

SQUARE FOOTAGE

1ST FLOOR:	825 S.F.
2ND FLOOR:	825 S.F.
TOTAL:	1,650 S.F.



Ridge Point Custom Homes

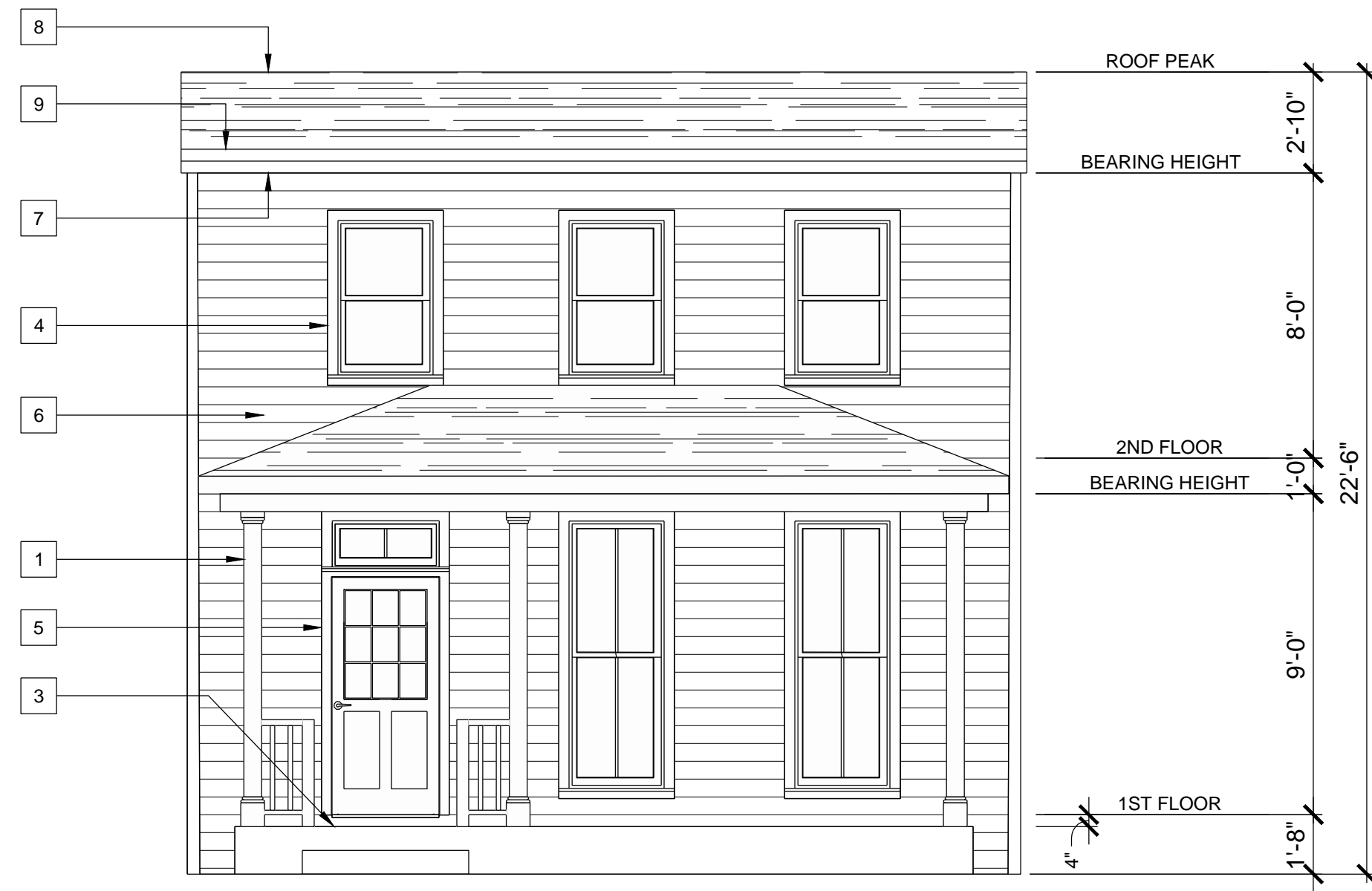
2920 WEST BROAD ST SUITE 238
 Phone: 804-420-2274 Mobile: 804-201-3624 Fax: 888-751-5310
 OWNER: CHRIS JEFFERSON

RENOVATION & ALTERATIONS FOR

812 JESSAMINE ST.
 RICHMOND, VA 23223

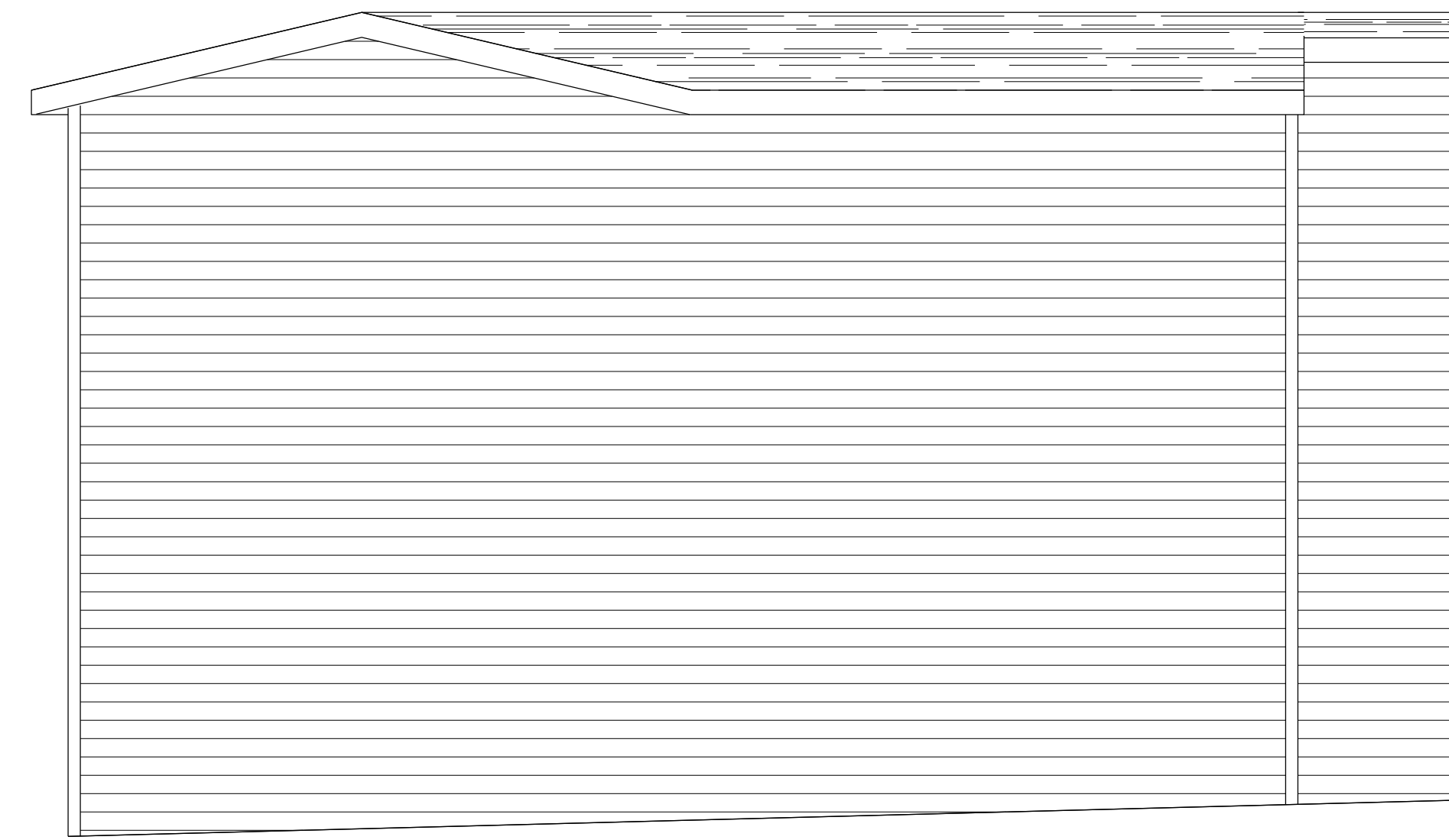
DATE: 07.21.17

A-1



FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

ARCHITECTURAL KEY NOTES: 1

NOTE: 2' CONTINUOUS SHEATHING FOR ALL WALL BRACING, INCLUDING CORNERS BY DOORS AND WINDOWS

1. PORCH COLUMNS: (EXISTING)
2. PORCH ROOFING: (EXISTING)
3. PORCH: COMPOSITE DECKING (EXISTING)
4. WINDOWS: - SEE PLANS FOR SIZE
5. DOORS: - SEE PLANS FOR SIZE
6. SIDING AND TRIM: HARDBOARD SIDING
7. FASCIA BOARDS: MATCH SIDING AND TRIM
8. 'A' FRAME ROOF: ARCHITECTURAL SHINGLES
9. ROOF FLASHING: METAL, COLOR TO MATCH FASCIA BOARD
10. TURNED DOWN PORCH FOUNDATION: PARGED TO MATCH FOUNDATION. 12" CONTINUOUS CONCRETE FOOTING, 18" BELOW GRADE MIN. (2) # 4 REBAR HORIZONTAL.
11. SIMPSON HDU8 HOLD DOWN



Ridge Point Custom Homes

2920 WEST BROAD ST SUITE 238

Phone: 804-420-2274 Mobile: 804-201-3624 Fax: 888-751-5310

OWNER: CHRIS JEFFERSON

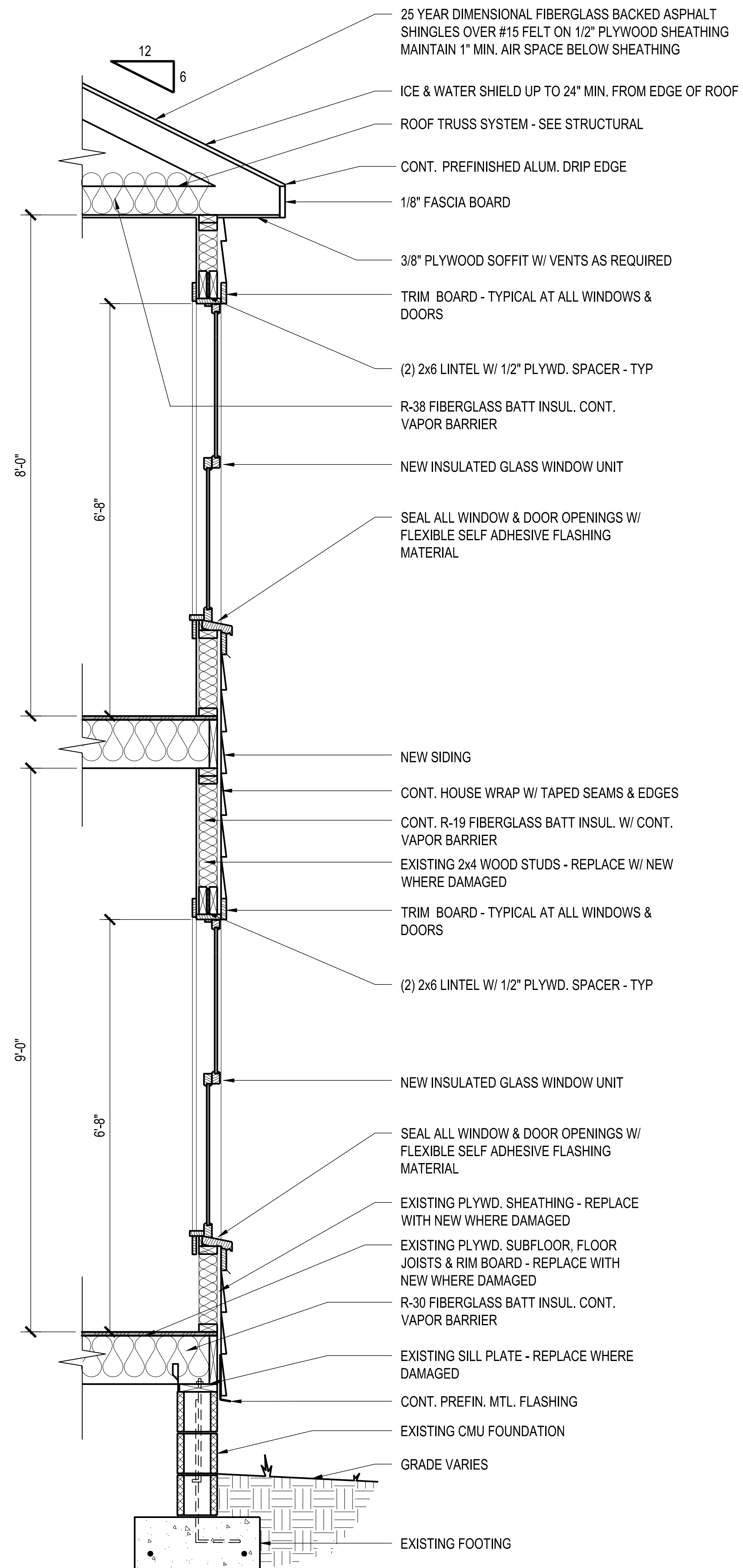
RENOVATION & ALTERATIONS FOR

812 JESSAMINE ST.

RICHMOND, VA 23223

DATE: 07.21.17

A-2



TYPICAL WALL SECTION

SCALE: 3/4"=1'-0"



Ridge Point Custom Homes

2920 WEST BROAD ST SUITE 238

Phone: 804-420-2274 Mobile: 804-201-3624 Fax: 888-751-5310

OWNER: CHRIS JEFFERSON

RENOVATION & ALTERATIONS FOR

812 JESSAMINE ST.

RICHMOND, VA 23223

DATE: 07.21.17

A-3