

INTRODUCED: March 24, 2014

AN ORDINANCE No. 2014-75-54

To amend Ord. No. 90-15-31, adopted Feb. 26, 1990, as previously amended by Ord. No. 96-169-163, adopted Jun. 24, 1996, Ord. No. 99-428-2000-16, adopted Jan. 24, 2000, and Ord. No. 2003-246-253, adopted Sept. 8, 2003, which authorized a special use of the property known as 428 North Boulevard, to permit exterior and interior modifications for museum and library purposes and to permit mobile food businesses, upon certain terms and conditions.

Patron – Mayor Jones (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: APR 28 2014 AT 6 P.M.

THE CITY OF RICHMOND HEREBY ORDAINS:

I. That Ordinance No. 90-15-31, adopted February 26, 1990, as previously amended by Ordinance No. 96-169-163, adopted June 24, 1996, Ordinance No. 99-428-2000-16, adopted January 24, 2000, and Ordinance No. 2003-246-253, adopted September 8, 2003, be and is hereby amended and reordained as follows:

§ 1. That the property, a parcel of land known, numbered and designated 428 N. Boulevard (Virginia Historical Society), located at the southwest corner of N. Boulevard and Kensington Avenue, being more completely described [~~as follows: beginning at the point of~~

AYES: 8 NOES: 0 ABSTAIN: _____

ADOPTED: APR 28 2014 REJECTED: _____ STRICKEN: _____

~~intersection of the west right of way line of N. Boulevard and the south right of way line of Kensington Avenue; thence extending in a westerly direction along the south right of way line of Kensington Avenue 730.97 feet to the east right of way line of Sheppard Street; thence extending in a southerly direction along the east right of way line of Sheppard Street 379.50 feet to a property line; thence extending in an easterly direction along a property line 733.06 feet to the west right of way line of N. Boulevard; thence extending in a northerly direction along the west right of way line of N. Boulevard 379.50 feet to the point of beginning;~~ on the plat entitled “Existing Conditions on a 6.377 Acre Parcel of Land Being the Virginia Historical Society Lying on the South Line of Kensington Avenue between N. Boulevard and N. Sheppard Street at 428 N. Boulevard, City of Richmond, VA,” prepared by Gene Watson & Associates, P.C. and dated June 11, 2012, a copy of which is attached to and made a part of this amendatory ordinance is hereby authorized to be used for purposes of ~~[the construction of a south wing addition, together with a previously constructed north wing addition, an accessory gift shop and accessory parking for the Virginia Historical Society Library and Museum and for nonaccessory office space]~~ exterior and interior modifications for museum, library and mobile food business uses, substantially as shown on sheets A1.0A, A1.0B, A1.1B, A2.0 Part A, A2.0 Part B, C1.0, C4.0, L101 through L106, L201 through L203, L302 and L303, of the plans entitled “Virginia Historical Society, Story of Virginia Campaign Renovations,” prepared by Glavé & Holmes Architecture, with sheets C1.0, A2.0 Part A, A2.0 Part B, A1.0A, A1.0B and A1.1B dated October 25, 2013, sheet C4.0 being dated November 15, 2013, and sheets L101 through L106, L201 through 203, and L302 through L303 being dated November 15, 2013, and last revised December 23, 2013, copies of which are attached to and made a part of this amendatory ordinance.

§ 2. That the adoption of this ordinance shall constitute the granting of a special use permit for the property, which shall be transferable from the owner of the property to the successor or successors in fee simple title of the owner, whether acquired by operation of law, deed or otherwise, and which shall run with the land.

~~[\§2.] § 3. That the Commissioner of Buildings is hereby authorized to issue to the owner of the [real estate] property, or its successor in fee simple title, [a special use permit for such purposes, and to permit the construction of the south wing addition to the Virginia Historical Society Library and Museum, substantially as shown on sheets T1.1, C1.0 through C5.0, L1.1, D1.1 through D1.4, A1.0 through A1.7, A2.1 and A2.2 of the plans entitled “Virginia Historical Society, South Wing Addition and Alterations, SPECIAL USE PERMIT APPLICATION, JANUARY 8, 2003”, prepared by Glave & Holmes Associates, Architecture and Design, and dated December 20, 2002, copies of which are attached to and made a part of this amendatory ordinance. The permits shall be transferable to the successor in title of the owner, whether acquired by operation of law, deed or otherwise, and shall run with the land]~~ a building permit, substantially in accordance with the plans referred to above, for the aforementioned purposes, subject to the following terms and conditions:

(a) That the owner of the property shall be bound by, shall observe and shall comply with all other laws, ordinances ~~[and]~~, rules and regulations adopted pursuant thereto, applicable to the land and buildings, except as otherwise provided in this ordinance;

(b) That ~~[not less]~~ no fewer than one hundred ~~[thirty (130)]~~ nineteen (119) parking spaces shall be provided on site substantially as shown on the ~~[attached]~~ plans attached to this ordinance. The on-site parking area and access aisles shall be paved with a dust-free, all weather surface and parking spaces shall be delineated. The parking spaces shall be screened from view

from public streets and adjacent properties through the maintenance of existing vegetation or by other measures as may be required by the detailed landscaping plan required by subsection (e), below;

(c) That ~~[not less]~~ no fewer than seventy (70) parking spaces shall be provided off site at a surface parking lot located in the 500 block of North Colonial Avenue. Such parking shall be available exclusively for the museum or nonaccessory office use located on the subject property during its hours of operation with the exception of Wednesday evenings after 6:00 ~~[PM]~~ p.m. and Sunday mornings prior to 1:00 ~~[PM]~~ p.m. Signage shall be provided on the subject property that identifies, in a conspicuous manner, the availability and location of the off-site parking. A formal lease agreement assuring the continued availability of the surface parking lot shall be submitted to the Zoning Administrator and the City Attorney for review and approval before a certificate of use and occupancy for the ~~[south wing addition]~~ exterior and interior modifications shown in the plans attached to this amendatory ordinance may be issued [-];

(d) That use of the building shall be as a library and museum with accessory gift shop sales and accessory classroom and educational space, with the option of up to 11,500 square feet of nonaccessory office space on the third floor of the south wing addition and the option of ~~[up to 10,500 square feet of]~~ nonaccessory archival storage space and archival laboratory space in the building. The occupancy of the building shall be limited to 650 individuals at any given time until such time that all the following conditions are met:

(1) ~~[A parking deck is constructed on the abutting property to the south;~~

~~(2)]~~ The parking deck located on the abutting property to the south is available for use by the general public or, if not available to the general public, a formal lease or written agreement assuring the continued availability of the parking spaces within the

parking deck for the use of the [subject] property shall be submitted to the Zoning Administrator and the City Attorney for review and approval;

~~[(3)]~~ (2) The parking deck located on the abutting property to the south is available for use during the hours of operation of the subject property;

~~[(4)]~~ (3) Signage that identifies, in a conspicuous manner, the availability and location of the parking deck is provided on the subject property; and

~~[(5)]~~ (4) For any museum event, the attendance of which would increase the total occupancy of the museum to an excess of 650 persons at one time, the parking deck located on the abutting property to the south shall be available for use by the individuals visiting the museum [~~at no charge or any fee shall be validated by the museum~~].

The parking spaces within ~~[such a]~~ the deck ~~[do not]~~ located on the abutting property to the south need not to be individually designated. The parking spaces and access isles within ~~[such a]~~ the deck may be substandard in their dimensions. The maximum occupancy of the building shall in no case exceed that permitted by applicable building and fire codes.

(e) That landscaping shall be provided and existing vegetative material be retained substantially as depicted on the ~~[attached]~~ plans attached to this ordinance~~[- A final detailed landscape plan shall be submitted for review and approval of the Director of Community Development prior to the issuance of the first building permit for the construction of the south wing addition. Such plans may also modify the location of the proposed pedestrian connection (walkway and stairs), depicted conceptually on the attached plans, to afford access to the abutting property to the south. In addition to requiring approval by the Director of Community~~

~~Development, any such modifications shall be subject to any applicable Old and Historic Overlay district regulations as required by subsection (k), below];~~

~~(f) [That a canopy may be constructed at the location depicted conceptually on the attached plans. Final detailed site and elevation plans shall be submitted for review and approval of the Director of Community Development prior to the issuance of the first building permit for the construction of the canopy. The canopy shall be subject to any applicable Old and Historic Overlay district regulations as required by subsection (k) below;~~

~~(g)] That facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened as not to be visible from adjacent properties and public streets;~~

~~[(h) — That final grading and drainage plans shall be approved by the Director of Community Development prior to the issuance of building permits]~~

~~(g) That all required final grading and drainage plans, together with all easements made necessary by such plans, shall be approved by the Director of Public Utilities prior to the issuance of building permits;~~

~~[(i)] (h) That storm or surface water shall not be allowed to accumulate on the land, and adequate facilities for the drainage of storm or surface water from the land or buildings shall be provided by the owner at its sole cost and expense so as not to adversely affect or damage adjacent properties or public streets and the use thereof;~~

~~[(j)] (i) [Identification] That identification of the premises shall be limited to one free-standing sign not exceeding twenty-four square feet in area and one wall-mounted sign on the north face of the building not exceeding sixteen (16) square feet in area at substantially the location shown on the [attached] plans attached to Ordinance No. 2003-246-253, adopted~~

September 8, 2003. The final design and location of any such signs shall be subject to the review and approval of the Director of [~~Community~~] Planning and Development Review;

[(k)] (j) That any exterior alterations and site improvements shall be subject to the provisions of any applicable Old and Historic Overlay district regulations and any approvals granted by the Commission of Architectural Review;

[(l)] (k) That should the owner use the premises for any purpose which is not permitted by this ordinance, or fails, refuses or neglects to comply with any of the provisions of [~~foregoing paragraphs (a) through (k)~~] this ordinance and does not terminate such use or comply with such provisions within sixty days after written notice so to do has been given to the owner by the Zoning Administrator, the privileges granted by this ordinance shall terminate and the special use permit shall become null and void;

[(m)]—~~That when the privileges granted by this ordinance terminate and the special use permit becomes null and void or when use of the premises is abandoned for a period of twenty-four consecutive months, use of the real estate shall be governed thereafter by the zoning regulations prescribed for the district in which the real estate is then situated; and]~~

[(n)] (l) That application for the building permit to construct [~~the addition to the building~~] the exterior and interior modifications shown in the plans attached to this amendatory ordinance shall be made within twenty-four (24) months from the effective date of this amendatory ordinance, which building permit shall expire [~~by limitation~~] and shall become null and void if [~~the building addition~~] any necessary construction is not commenced within one hundred eighty (180) days from the date of the building permit, or if [~~work of constructing the building addition~~] construction is suspended or abandoned for a period of one hundred eighty (180) days at any time after [~~the work~~] such construction is commenced, as provided in the

applicable provisions of the Virginia Uniform Statewide Building Code, and if application for the building permit is not made within twenty-four (24) months from the effective date of this amendatory ordinance or should the building permit expire and become null and void after the expiration of the twenty-four (24) month time period for making application for the building permit, the privileges granted by this amendatory ordinance shall terminate and the special use permit shall become null and void[-] ;

~~[(e) — N(e)]~~ (m) That no permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the subject property have been paid[-] ;

(n) That any encroachments existing, proposed on the plans attached to this ordinance or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2004), as amended;

(o) That in all other respects, the use of the properties shall be in accordance with the applicable underlying zoning regulations; and

(p) That the area of the subject property designated on the plans attached to this ordinance as “Food Truck Court” shall be used no more than twice a week by no more than ten mobile food businesses, subject to the following conditions:

(1) For purposes of this ordinance, the term “mobile food business” means a business that (i) is operated from other than public property or a public street or alley, (ii) does not operate from a fixed location, but is mobile and operates from one or more locations on an intermittent basis, and (iii) either serves or prepares and serves food or beverages from a truck, an other motorized vehicle or a trailer on wheels, including

accessory appurtenances such as chairs, tables, grills and generators, when such truck, vehicle, trailer and appurtenances are readily movable from one location to another.

(2) The sale of non-food or non-beverage items shall be limited to items that are incidental to the primary business of food or beverage sales.

(3) Mobile food businesses may be operated only from 6:00 p.m. to 9:00 p.m. during the days of operation of the “Food Truck Court” and shall be removed from the subject property during the periods of time during which they may not be operated. The operator or the designee thereof shall be present at all times during which the mobile food business is located on the subject property.

(4) A mobile food business shall not be located within any required yard, within five feet of any driveway, public sidewalk, utility box, handicapped ramp, building entrance or exit, or similar feature, or within 15 feet of any fire hydrant. The requirements of this subdivision shall apply to the vehicle or trailer from which the mobile food business is operated as well as its associated customer waiting, sales and service areas and other permitted accessory facilities.

(5) A mobile food business shall not be located or operated in any manner as to impede, endanger or interfere with pedestrian or vehicular traffic on the property or the adjacent public street. The requirements of this subdivision shall apply to the vehicle or trailer from which the mobile food business is operated as well as its associated customer waiting, sales and service areas and other permitted accessory facilities.

(6) Electric power serving a mobile food business may be provided only by a generator that is located in, is attached to or is an integral part of the vehicle or trailer from

which the business is operated or by a temporary connection to a fixed power supply in accordance with applicable code provisions.

(7) No amplified sound shall be permitted in conjunction with a mobile food business that is audible beyond the boundaries of the property.

(8) Toilet facilities for patrons of a mobile food business shall be provided in accordance with applicable code provision and may be provided by facilities located within another use on the property. In any case where portable toilets are provided, they shall be removed from the lot when the mobile food business is not in operation.

(9) All signage related to a mobile food business shall be attached flat to the vehicle, trailer or permitted accessory appurtenance from which the business is operated, and no freestanding signs shall be permitted.

(10) At least one covered trash container for use by patrons shall be provided for each mobile food business. The site of the mobile food business shall be kept sanitary, neat and clean at all times, and free from accumulation of leftover food and beverages, used eating and drinking utensils, and litter. The operator of the mobile food business shall be responsible for cleaning up any trash or litter on the site emanating from the mobile food business.

[§3.] § 4. That the privileges granted by this amendatory ordinance may under certain circumstances be revoked. Upon noting that a condition of a special use permit has been violated, the Zoning Administrator shall issue a written notice of violation to the property owner. The notice shall inform the property owner (i) which condition or conditions have been violated, (ii) the nature of the violation, and (iii) that the City Planning Commission shall hold a public hearing at which it shall review the violation and the special use permit pursuant to the

provisions of sections [~~32-1050.7 through 32-1050.11~~] 114-1050.7 through 114-1050.11 of the Code of the City of Richmond [~~(1993)~~] (2004), as amended, if (a) the property owner does not abate the violation within thirty (30) days of the issuance of the notice or (b) three (3) notices of violation are issued to the property owner within any twelve (12) month period. No action taken pursuant to the provisions of this section shall in any way limit the City's right to pursue any other remedy at law or in equity against the property owner. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section [~~32-1080~~] 114-1080 of the Code of the City of Richmond [~~1993~~] (2004), as amended, or any other applicable laws or regulations.

§ 5. That when the privileges granted by this ordinance terminate and the special use permit becomes null and void or when use of the property is abandoned for a period of twenty-four consecutive months, use of the property shall be governed thereafter by the zoning regulations prescribed for the district in which the real estate is then situated.

~~§ 4. § 6. This [amendatory] ordinance shall be in force and effect upon adoption [and Ordinance No. 90-15-31, as last amended by Ordinance No. 99-428-00-16, except as modified herein, shall continue in force].~~

II. This amendatory ordinance shall be in force and effect upon adoption, and Ordinance No. 90-15-31, adopted February 26, 1990, as previously amended by Ordinance No. 96-169-163, adopted June 24, 1996, Ordinance No. 99-428-2000-16, adopted January 24, 2000, and Ordinance No. 2003-246-253, adopted September 8, 2003, shall continue in force and effect except as modified by this amendatory ordinance.



CITY OF RICHMOND
INTRACITY CORRESPONDENCE

O & R REQUEST

FEB 26 2014

Chief Administration Office
City of Richmond



MAR 07 2014

DATE: February 25, 2014

EDITION: 1

TO: The Honorable Members of City Council OFFICE OF CITY ATTORNEY

THROUGH: Dwight C. Jones, Mayor (Patron: Mayor, by Request) (This in no way reflects a recommendation on behalf of the Mayor.)

THROUGH: Byron C. Marshall, Chief Administrative Officer

THROUGH: Peter H. Chapman, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Mark A. Olinger, Director of Planning and Development Review

SUBJECT: Special use permit amendment for 428 North Boulevard (Virginia Historical Society) to authorize exterior and interior modifications for museum and library purposes and to authorize mobile food businesses, upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: To amend Ordinance No. 90-15-31, adopted February 26, 1990, as last amended by Ordinance No. 2003-246-253, adopted September 8, 2003, which authorized a special use of the property known as 428 North Boulevard (Virginia Historical Society), to authorize exterior and interior modifications for museum and library purposes and to authorize mobile food businesses, upon certain terms and conditions.

REASON: The subject property is zoned R-6 Single-Family Attached Residential, which does not permit the existing museum/library because it is neither owned nor operated by a governmental agency. The original museum structure on the site was constructed in 1913. The museum became nonconforming in 1976 when the zoning ordinance was amended to remove the private museum use from the R-6 zoning district. A special use permit and subsequent amendments authorized expansions to the museum/library in 1990, 1996, 2000 and 2003. The applicant has requested a new amendment to the special use permit to authorize additional exterior and interior modifications for museum and library purposes. The new amendment would also legitimize the use of the subject property by mobile food businesses currently taking place.

201402018

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission once it has been introduced to City Council. A letter outlining the Commission's recommendation will be forwarded to City Council following that meeting.

BACKGROUND: The subject property is private museum and library located within The Museum District neighborhood of the Near West planning district. It is also located within an R-6 Single-Family Attached Residential zoning district, and the Boulevard National Historic District and Boulevard City Old & Historic District.

Previous amendments to the existing special use permit have authorized various modifications and additions to the Virginia Historical Society. The current amendment request would authorize modifications to the south entry and Boulevard entry and a new north entry that would provide access to a new education and classroom space to be used for museum and library programming. The amendment request would also legitimize and create standards for the food truck court currently being operated periodically on the property.

Parking is provided on site with supplemental parking being provided at the Virginia Museum of Fine Art's parking garage. Staff parking is provided at a surface parking lot at 515 North Colonial Avenue.

The City of Richmond's Master Plan designates the subject property for institutional land use. Primary uses include institutional uses such as places of worship, private schools, universities, museums, hospitals, and other care facilities. Typically this land use category depicts larger scale uses, while small-scale uses of this type are incorporated within the predominant surrounding land use designations (p. 135).

Parcels to the east of the subject property are zoned R-48, whereas parcels to the north are zoned R-6, R-48, and R-73. Parcels to the west and south are within the same R-6 district as the subject property. A mix of single-, two- and multi-family residential, commercial, office and institutional uses (including the Virginia Museum of Fine Arts directly to the south) are found in the area.

FISCAL IMPACT: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

COST TO CITY: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

REVENUE TO CITY: \$1,300 application fee

DESIRED EFFECTIVE DATE: Upon adoption.

REQUESTED INTRODUCTION DATE: March 24, 2014

CITY COUNCIL PUBLIC HEARING DATE: April 28, 2014

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL AGENCIES: City Planning Commission,
April 21, 2014

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)
City Assessor (for preparation of mailing labels for public notice)

RELATIONSHIP TO EXISTING ORDINANCES: Amend Ordinance No. 90-15-31, adopted
February 26, 1990, as last amended by Ordinance No. 2003-246-253, adopted September 8,
2003.

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Letter, Survey, Plans

STAFF: Matthew J. Ebinger, Senior Planner
Land Use Administration (Room 511)
646-6308

DCD O&R No.14-10

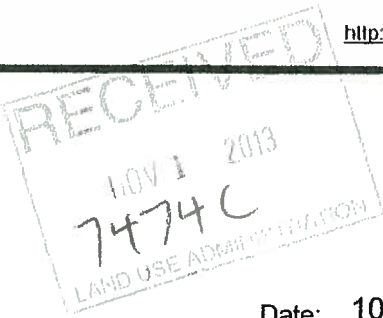


Application for SPECIAL USE PERMIT

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment



Project Name/Location

Project Name: Virginia Historical Society Date: 10/11/2013

Property Address: 428 North Boulevard Tax Map #: W000-1286/002

Fee: \$1,300 Total area of affected site in acres: 1.80
(See page 3 for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-6

Existing Use: Museum

Is this property subject to any previous land use cases?

- Yes
- No

If Yes, please list the Ordinance Number:

99-428-00-16

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Please refer to applicant report

Applicant/Contact Person: Steven P. Blashfield, AIA, NCARB

Company: Glave and Holmes Architecture

Mailing Address: 2101 East Main Street

City: Richmond State: VA Zip Code: 23223

Telephone: (804) 649-9303 Fax: (804) 343-3378

Email: sblashfield@glaveandholmes.com

Property Owner: Virginia Historical Society

If Business Entity, name and title of authorized signer: Richard Heiman, VP for Operations & CFO

Mailing Address: 428 North Boulevard

City: Richmond State: VA Zip Code: 23221

Telephone: (804) 342-9685 Fax: (804) 355-2399

Email: rheiman@vahistorical.org

Property Owner Signature: *Richard Heiman*

(The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.)

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)



8090 Villa Park Drive
Richmond, Virginia 23228
(804) 264-2228 • Fax: (804) 264-8773
www.daa.com

November 1, 2013
Revised March 21, 2014

APPLICATION FOR A SPECIAL USE PERMIT AMENDMENT FOR THE VIRGINIA HISTORICAL SOCIETY

APPLICANT'S REPORT

The Virginia Historical Society, located at 428 North Boulevard, is a private museum and library of Virginia History operating since 1831 and occupying the site since 1957. The original structure of 1912 has been extended on several occasions, most recently under the Special Use Ordinance 90-15-31 and Amendments 96-169-163, 99-428-00-16, 2003-246-253, and 2003-247-254, and 2005-348-2006-14. The Virginia Historical Society is housed in the original 1912 Battle Abbey – a Confederate Memorial built on the north end of an area previously known as R.E. Lee Camp No. 1. The building has been expanded five times since its original construction – 1922, 1956, 1992, 2000, and 2006.

This application of Amendment to the Special Use is to permit construction of the proposed improvements detailed below, to permit modification to the provided onsite parking and provisions for offsite parking, and to permit food trucks. The overall goal for this Project is to provide interior rehabilitation to the interior galleries on the Main Level, site improvements to the Boulevard side landscape, expansion of the existing South Entry facing the property of the Virginia Museum of Fine Arts and the introduction of a new education center entry on the North side of the existing 1992 addition. Overall renovations are designed to improve the operations and circulation within and around the building, provide new amenities associated with changing demographics and programming at the Institution and to improve the overall public nature of the existing facilities. The project will also include significant mechanical system and infrastructure upgrades within the existing facility.

Boulevard Site Improvements:

It has been a consistent concern for visitors and members of the Virginia Historical Society that the front entry is foreboding and uninviting. The current site configuration has parking in the front of the building, which is often unused. The proposed site improvements are intended to reconnect the building with the street, create a more public realm, provide a more inviting and welcoming appearance and allow for outdoor activities and programs to occur on the front lawn of the facility. The new configuration will allow for accessible access to all of the levels of the front landscape so that these spaces may be used more actively for events and programming associated with the mission of the Virginia Historical Society. These changes will be accomplished by re-grading the site, introducing new walks, and elimination of the existing parking area on east side of the building.

South Entry Expansion:

The South Entry, located on the southwest corner of the existing building has, over time, become the primary entry for visitors to the existing facility. This entry was never conceived to be the primary entry, but subsequent expansions and parking configurations has led to this use. The entry is accessed through an area that was once a porte cochere for drop off to event space located at this level. This project proposes to remove the porte cochere (constructed during the 1992 expansion) and replace this area with a

new two story volume that would serve as the museum entry and address increased pedestrian circulation to the south and the parking area to the west. The addition will be limestone with large expanses of glass and will be surrounded by a new plaza space that will serve outdoor functions on occasion.

Education Center Entry:

A new entry will be constructed into the existing ground floor wall of the 1992 Library addition. This entry will allow access into the lower level, which is being partially converted to use as classroom and educational space for visiting school groups and educational programs. Work will include cutting a hole into the existing limestone façade, construction of a new roof canopy, installation of a new sidewalk/ramp and exterior stairs, and minor parking and curb reconfigurations. Several windows will also be introduced into the existing wall, and these will be screened with decorative metal work consistent with other portions of the existing structure.

Site improvements will include creation of a new entry to the Gallery Reconfiguration including ADA enhancements, modifications to entry access from the parking lot, development of a new South Entry with associated vehicular plaza, pedestrian pathways and hardscape, connectivity to the existing parking and VMFA parcel to the south, reconstruction of the space between Virginia Historical Society and Boulevard to create a new exterior plaza and direct connection to the street, closure of the northern Boulevard entrance drive, and reconfiguration of the south entry drive. Overall connections to the VMFA parcel to the south will be enhanced and formalized.

The Society currently has a full-time staff of 62. The operating hours are 10 AM – 5 PM Monday through Saturday and Sunday 1-5 PM. There are currently 118 standard spaces and 9 ADA (total 127), and the new work will result in an overall decrease in provided parking to 108 standard spaces and 11 ADA (total 119). The Virginia Historical Society currently has an agreement to lease 72 parking spaces from St. Mark's Church, and uses these spaces located at 513 Colonial Avenue (Plat #W0001249004 and W0001249022) for staff parking during the work week. The St. Mark's parking lot is located within 750 feet of the staff entrance of the Society.

In addition, the Virginia Museum of Fine Arts to the south has an approximately 600 space parking garage, within 500 feet of the main entrance to the Virginia Historical Society. This garage is owned by the State of Virginia, and open to the public. The Virginia Historical Society and the Virginia Museum of Fine Art currently use each other's parking lots for overflow parking, and work together to avoid scheduling big events concurrently. Included with this report is a letter indicating availability of spaces for use within the VMFA parking deck.

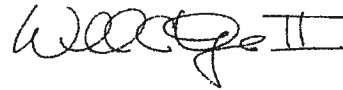
The proposed improvements will continue to enhance the mission of the Society primarily by providing a programmatic adjustment to their facilities to meet upcoming trends in operation and organization for the facility, which enhance visitor experience. The Boulevard improvements will create a more open and inviting connection between the Society and the main street frontage.

In accordance with the City of Richmond Special Use Permit the following amendment will not:

- Be detrimental to the safety, health, morals and general welfare of the community involved. The project will further evolve the existing use into an amenity to the adjacent Community.
- Tend to create congestion in the streets, roads, alleys, and other public ways and places in the area involved. The project will modify and add to the existing facility and will use existing site access points.
- Create hazards from fire, panic or other damages. The proposed amendment will provide adequate access for fire protection, with interior sprinkler systems, and exterior fire hydrants and access lanes. The proposed use of the facility will not change, thus will not promote panic or danger.

- Tend to cause overcrowding of land and an undue concentration of population. The proposed amendment will not increase the needed parking for the facility, and will not overcrowd the existing site. Adequate parking is provided under agreements with the Virginia Museum of Fine Arts and St. Mark's Episcopal Church.
- Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences, and improvements. The proposed amendment in its existing location does not interfere with schools, parks, and playgrounds. The amendment does not result in additional demands for domestic/fire water, and does not increase the discharge into the existing sewer system, nor does it impact transportation or other public requirements, conveniences and improvements.
- Interfere with adequate light and air. The proposed amendment in its existing location does modify or impede the lighting or air condition on the property or to adjacent properties.

Sincerely,
DRAPER ADEN ASSOCIATES

A handwritten signature in black ink, appearing to read "W. Charles Kreye II". The signature is fluid and cursive, with the "II" at the end being more distinct.

W. Charles Kreye II, P.E.
Principal - Site Planning & Engineering
Vice President

SURVEY NOTES:

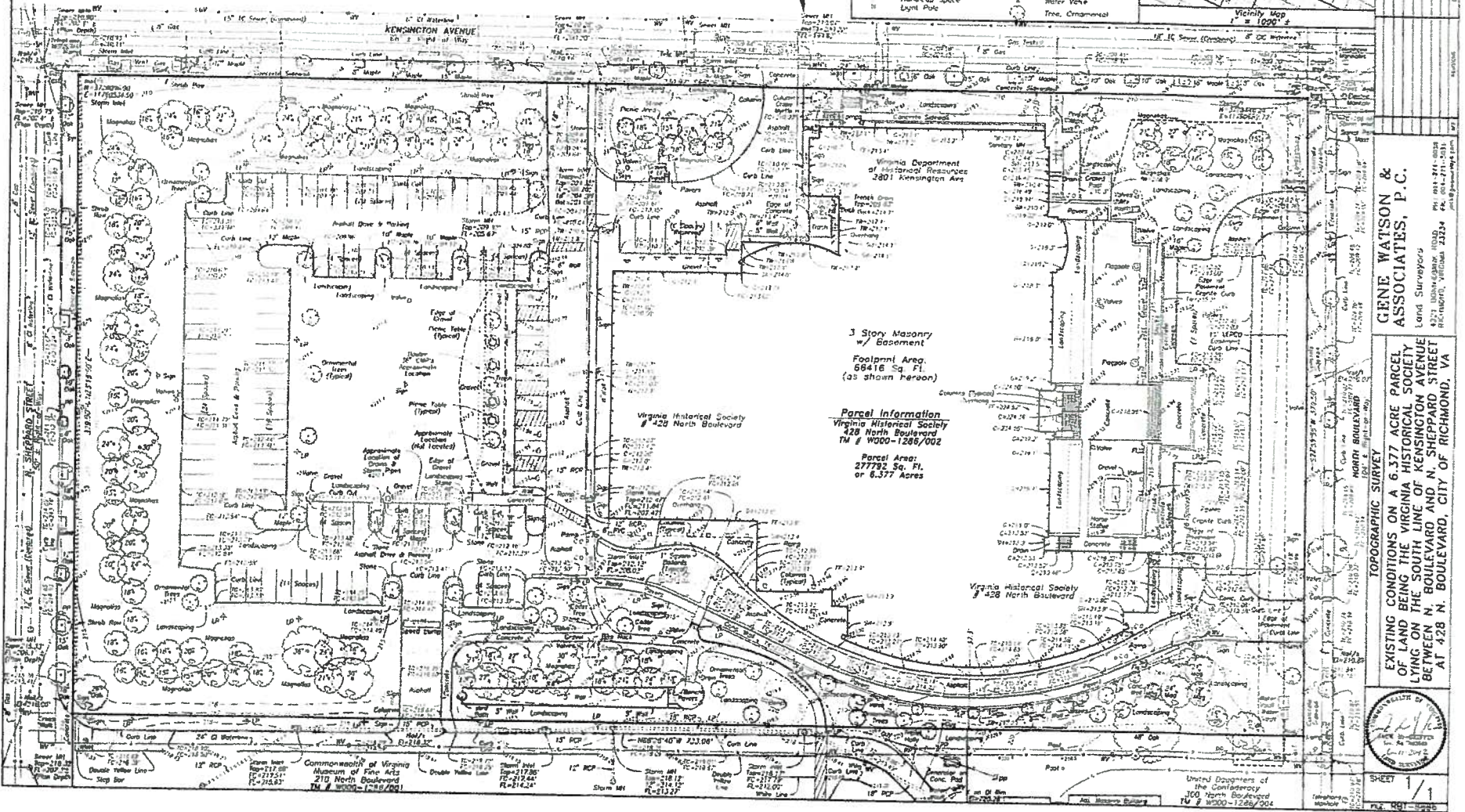
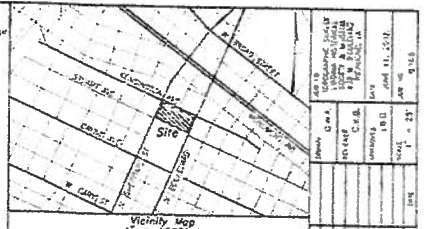
1. THE TOPOGRAPHIC SURVEY AS SHOWN IS BASED ON A CERTAIN COORDINATE SYSTEM ESTABLISHED BY THE CITY OF RICHMOND, VIRGINIA, ON APRIL 11, 1972. THE SURVEY IS BASED ON THE SOUTH LINE OF KENSINGTON AVENUE BETWEEN N. SHEPPARD STREET AND N. BOULEVARD, CITY OF RICHMOND, VIRGINIA, AS SHOWN ON THE CITY MAP OF RICHMOND, VIRGINIA, DATED APRIL 11, 1972, AND IS NOT TO BE CONSIDERED AS A BASIS FOR ANY OTHER SURVEY.
2. THE SURVEY IS BASED ON THE SOUTH LINE OF KENSINGTON AVENUE BETWEEN N. SHEPPARD STREET AND N. BOULEVARD, CITY OF RICHMOND, VIRGINIA, AS SHOWN ON THE CITY MAP OF RICHMOND, VIRGINIA, DATED APRIL 11, 1972, AND IS NOT TO BE CONSIDERED AS A BASIS FOR ANY OTHER SURVEY.
3. THE SURVEY IS BASED ON THE SOUTH LINE OF KENSINGTON AVENUE BETWEEN N. SHEPPARD STREET AND N. BOULEVARD, CITY OF RICHMOND, VIRGINIA, AS SHOWN ON THE CITY MAP OF RICHMOND, VIRGINIA, DATED APRIL 11, 1972, AND IS NOT TO BE CONSIDERED AS A BASIS FOR ANY OTHER SURVEY.
4. THE SURVEY IS BASED ON THE SOUTH LINE OF KENSINGTON AVENUE BETWEEN N. SHEPPARD STREET AND N. BOULEVARD, CITY OF RICHMOND, VIRGINIA, AS SHOWN ON THE CITY MAP OF RICHMOND, VIRGINIA, DATED APRIL 11, 1972, AND IS NOT TO BE CONSIDERED AS A BASIS FOR ANY OTHER SURVEY.
5. THE SURVEY IS BASED ON THE SOUTH LINE OF KENSINGTON AVENUE BETWEEN N. SHEPPARD STREET AND N. BOULEVARD, CITY OF RICHMOND, VIRGINIA, AS SHOWN ON THE CITY MAP OF RICHMOND, VIRGINIA, DATED APRIL 11, 1972, AND IS NOT TO BE CONSIDERED AS A BASIS FOR ANY OTHER SURVEY.
6. THE SURVEY IS BASED ON THE SOUTH LINE OF KENSINGTON AVENUE BETWEEN N. SHEPPARD STREET AND N. BOULEVARD, CITY OF RICHMOND, VIRGINIA, AS SHOWN ON THE CITY MAP OF RICHMOND, VIRGINIA, DATED APRIL 11, 1972, AND IS NOT TO BE CONSIDERED AS A BASIS FOR ANY OTHER SURVEY.
7. THE SURVEY IS BASED ON THE SOUTH LINE OF KENSINGTON AVENUE BETWEEN N. SHEPPARD STREET AND N. BOULEVARD, CITY OF RICHMOND, VIRGINIA, AS SHOWN ON THE CITY MAP OF RICHMOND, VIRGINIA, DATED APRIL 11, 1972, AND IS NOT TO BE CONSIDERED AS A BASIS FOR ANY OTHER SURVEY.
8. THE SURVEY IS BASED ON THE SOUTH LINE OF KENSINGTON AVENUE BETWEEN N. SHEPPARD STREET AND N. BOULEVARD, CITY OF RICHMOND, VIRGINIA, AS SHOWN ON THE CITY MAP OF RICHMOND, VIRGINIA, DATED APRIL 11, 1972, AND IS NOT TO BE CONSIDERED AS A BASIS FOR ANY OTHER SURVEY.
9. THE SURVEY IS BASED ON THE SOUTH LINE OF KENSINGTON AVENUE BETWEEN N. SHEPPARD STREET AND N. BOULEVARD, CITY OF RICHMOND, VIRGINIA, AS SHOWN ON THE CITY MAP OF RICHMOND, VIRGINIA, DATED APRIL 11, 1972, AND IS NOT TO BE CONSIDERED AS A BASIS FOR ANY OTHER SURVEY.
10. THE SURVEY IS BASED ON THE SOUTH LINE OF KENSINGTON AVENUE BETWEEN N. SHEPPARD STREET AND N. BOULEVARD, CITY OF RICHMOND, VIRGINIA, AS SHOWN ON THE CITY MAP OF RICHMOND, VIRGINIA, DATED APRIL 11, 1972, AND IS NOT TO BE CONSIDERED AS A BASIS FOR ANY OTHER SURVEY.

DEF. TOPOGRAPHIC SURVEY, TAKING PLACEMENT ON A 6.377 ACRE PARCEL OF LAND BEING THE VIRGINIA HISTORICAL SOCIETY (L.V.S.) AND THE SOUTH LINE OF KENSINGTON AVENUE BETWEEN N. SHEPPARD STREET AND N. BOULEVARD, CITY OF RICHMOND, VIRGINIA, AS SHOWN ON THE CITY MAP OF RICHMOND, VIRGINIA, DATED APRIL 11, 1972, AND IS NOT TO BE CONSIDERED AS A BASIS FOR ANY OTHER SURVEY.

JERRY GARDNER, L.S. (LICENSE # 1401) DESIGNER, GENE WATSON & ASSOCIATES, P.C.

Lineage & Symbol Legend

Working Line	---	Unfinished Edge
Exc Line (3/4")	---	Paved Edge
Exc Line (1/2")	---	Lower Line
Exc Line (1/4")	---	Storm Sewer
Exc Line	---	Telephone Line
Gravel Edge	---	Water Line
Build	○	Mannhole
Clear Pad	○	Sanitary Manhole
Electric Box	○	Sign Post
Electric Manhole	○	Storm Manhole
Fire Dept. Connection	○	Trash Manhole
Fire Hydrant	○	Traffic Control Box
Flood Light Lamp	○	Utility Pole
Gas Object, Valve	○	Valve
Gas Meter	○	Water Manhole
Day Post	○	Water Valve
Handicap Space	○	Water Valve
Light Pole	○	Tree, Ornamental



GENE WATSON & ASSOCIATES, P. C.
Land Surveyors
4321 WOODLAND AVENUE
RICHMOND, VIRGINIA 23234
TEL: 610-771-0031
FAX: 610-771-0031

TOPOGRAPHIC SURVEY
EXISTING CONDITIONS ON A 6.377 ACRE PARCEL OF LAND BEING THE VIRGINIA HISTORICAL SOCIETY LYING ON THE SOUTH LINE OF KENSINGTON AVENUE BETWEEN N. BOULEVARD AND N. SHEPPARD STREET AT 428 N. BOULEVARD, CITY OF RICHMOND, VA

RECORDED BY
[Signature]

SHEET 1/1

United Daughters of the Confederacy
300 North Boulevard
TM # W000-1286/004

RECEIVED
 JAN 29 2014
 LAND USE ADMINISTRATION



100 East Main Street
 Richmond, Virginia 23221
 P 804-649-9383 F 804-241-1129
 www.glaveandholmes.com

PROJECT TITLE
 VIRGINIA HISTORICAL SOCIETY - STORY OF VIRGINIA CAMPAIGN RENOVATIONS

VIRGINIA HISTORICAL SOCIETY
 422 N. 42ND STREET
 RICHMOND, VIRGINIA 23221

CONSULTANTS

STRUCTURAL ENGINEER
 STROUD, PEARCE & ASSOCIATES, LLC
 4710 CONE ROAD, SUITE 110
 CLYDE, VIRGINIA 23040
 P 804-786-7920 F 804-344-1974

MERIT CONSULTING ENGINEER
 MERIT CONSULTING ENGINEERS
 2000 W. HIGGINS RD., SUITE 200
 RICHMOND, VIRGINIA 23220
 T 804-351-2545 F 804-351-0644

LANDSCAPE ARCHITECT
 WILCOX & GOSSETT
 1225 GUYSON AVENUE
 RICHMOND, VIRGINIA 23221
 T 804-783-7820

CTVIL ENGINEER
 CASPER AND ASSOCIATES
 800 W. HALL STREET
 RICHMOND, VA 23224
 T 804-244-2220 F 804-244-2722

SCALE

PROJECT NUMBER
 21032

DATE
 OCTOBER 25, 2013

DRAWN BY: _____ CHECKED BY: _____
 REVISIONS
 NO. DATE DESCRIPTION

SHEET TITLE
 COVER SHEET

SHEET NUMBER
 C1.0

SPECIAL USE PERMIT SUBMISSION

VIRGINIA HISTORICAL SOCIETY
 STORY OF VIRGINIA CAMPAIGN

SUP SHEET LIST

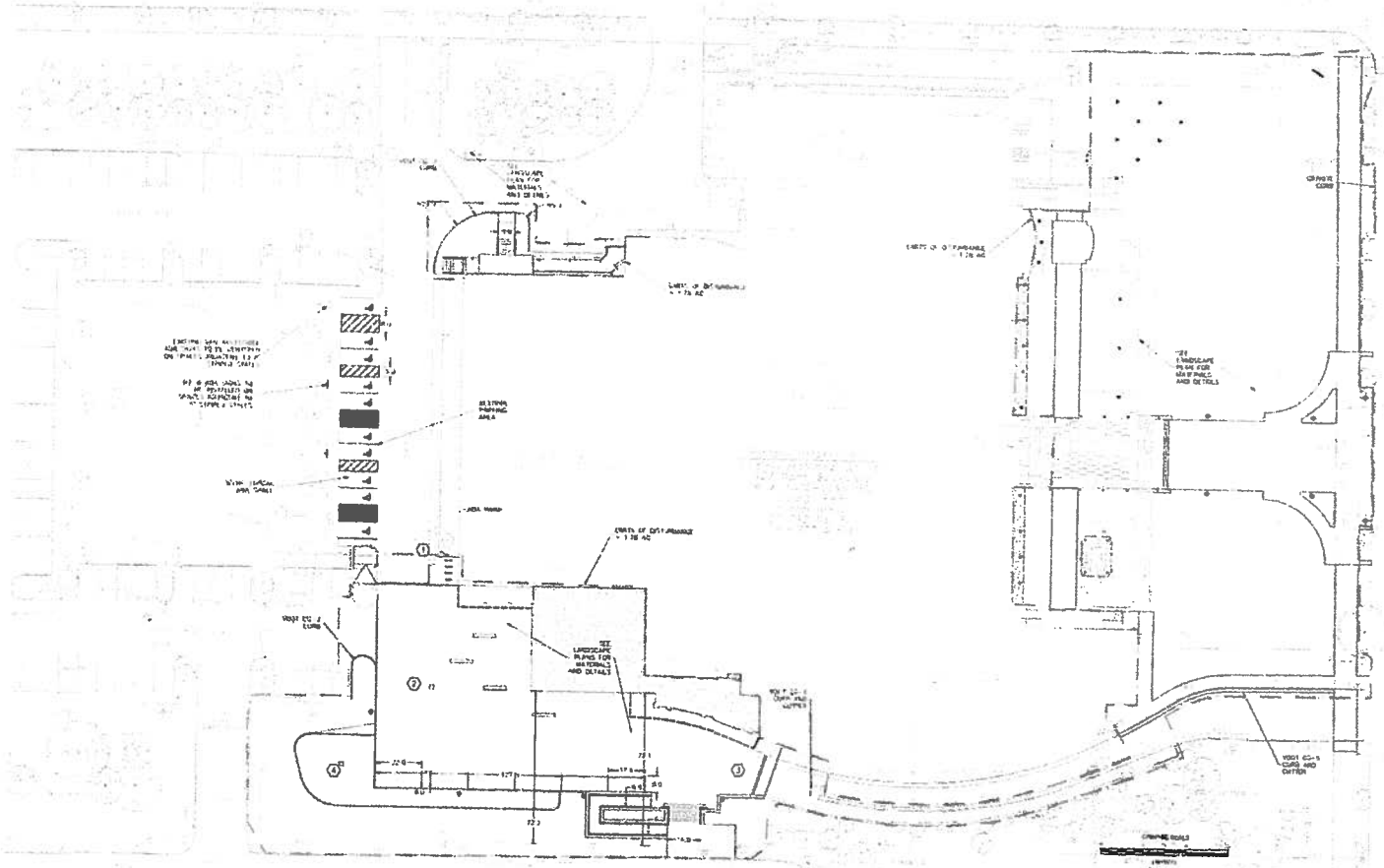
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110	COVER SHEET
111	1ST FLOOR PLAN
112	2ND FLOOR PLAN
113	3RD FLOOR PLAN
114	MECHANICAL FLOOR PLAN
115	BASEMENT FLOOR PLAN
116	SECTION A-A
117	SECTION B-B
118	SECTION C-C
119	SECTION D-D
120	SECTION E-E
121	SECTION F-F
122	SECTION G-G
123	SECTION H-H
124	SECTION I-I
125	SECTION J-J
126	SECTION K-K
127	SECTION L-L
128	SECTION M-M
129	SECTION N-N
130	SECTION O-O
131	SECTION P-P
132	SECTION Q-Q
133	SECTION R-R
134	SECTION S-S
135	SECTION T-T
136	SECTION U-U
137	SECTION V-V
138	SECTION W-W
139	SECTION X-X
140	SECTION Y-Y
141	SECTION Z-Z

BUILDING AREA

BASEMENT FLOOR PLAN	3,833	SQ. FT.
GROUND FLOOR PLAN	72,961	SQ. FT.
FIRST FLOOR PLAN	37,928	SQ. FT.
SECOND FLOOR PLAN	30,438	SQ. FT.
THIRD FLOOR PLAN	53,628	SQ. FT.
MECHANICAL FLOOR PLAN	6,875	SQ. FT.
TOTAL	223,694	SQ. FT.

BUILDING HEIGHT

1 STORY - 48'-6" (AT EXISTING SOUTH WING 2003 ADDITION)
 MECH. PENN-OLSC - 0'-0" (AT EXISTING SOUTH WING 2003 ADDITION)



GLAVÉ & HOLMES
ARCHITECTURE

2102 Kato Place, Suite 200
Richmond, Virginia 23223
P 804.344.9443 F 804.344.1474
www.glavesholmes.com

PROJECT NAME
VIRGINIA HISTORICAL SOCIETY - STORY OF VIRGINIA CAMPUS RENOVATIONS

PART B - SOUTH ENTRANCE CONSTRUCTION AND SITE MODIFICATIONS
VIRGINIA HISTORICAL SOCIETY
425 N. BOWLING GREEN, RICHMOND, VIRGINIA 23221

CONSULTANTS
STRUCTURAL ENGINEER
STROUD, PEREZ & ASSOCIATES, LTD.
4700 GOLF ROAD, SUITE 110
GLENNVILLE, VIRGINIA 23041
T 804-328-2123 F 804-328-3117

METEOROLOGICAL ENGINEER
ENGINEERED FIRM
2700 UNIVERSITY BLVD., SUITE 200
RICHMOND, VIRGINIA 23221
T 804-781-8800 F 804-781-8800

LANDSCAPE ARCHITECT
HUGHES & CHRISTENSEN
1501 COMMERCE STREET
RICHMOND, VIRGINIA 23220
T 804-781-8877

CIVIL ENGINEER
DAWSON ARCHITECTS
2000 VILLA PARK DRIVE
RICHMOND, VA 23228
T 804-274-2222 F 804-274-2273



PROJECT NUMBER
21032

DATE
November 15, 2013

DRAWN BY GSE/EDB

CHECKED BY

DATE 12/10/13

SCALE

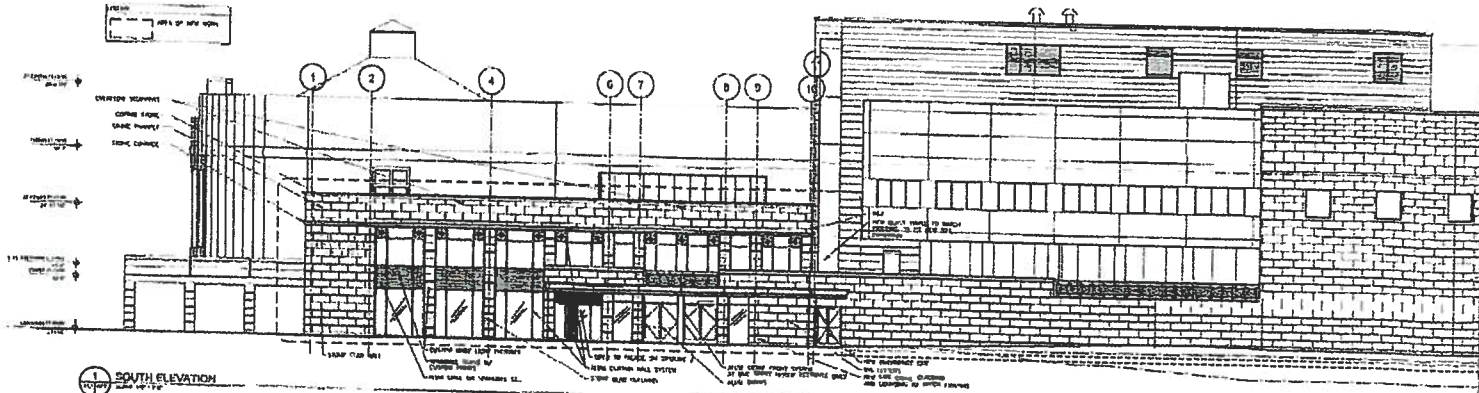
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SITE PLAN

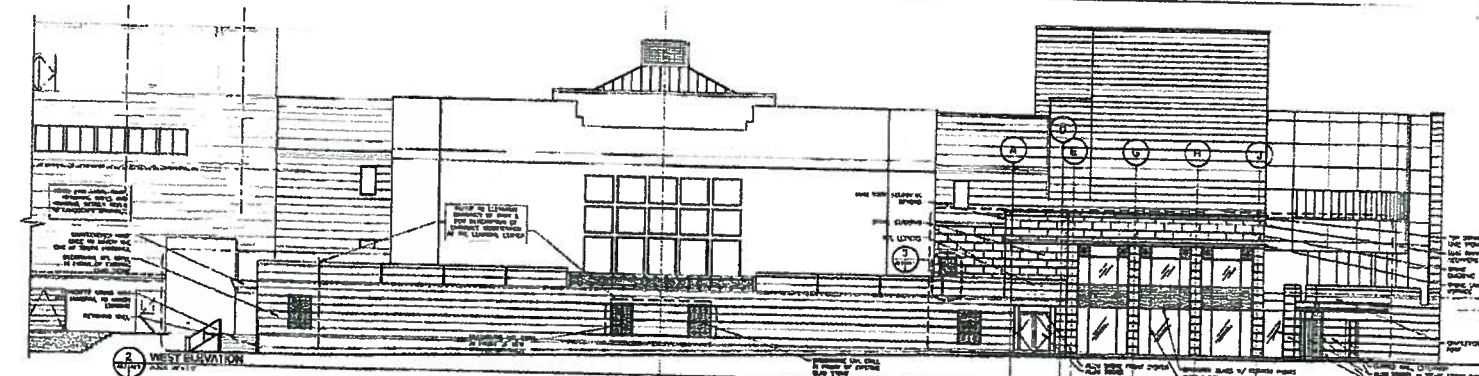
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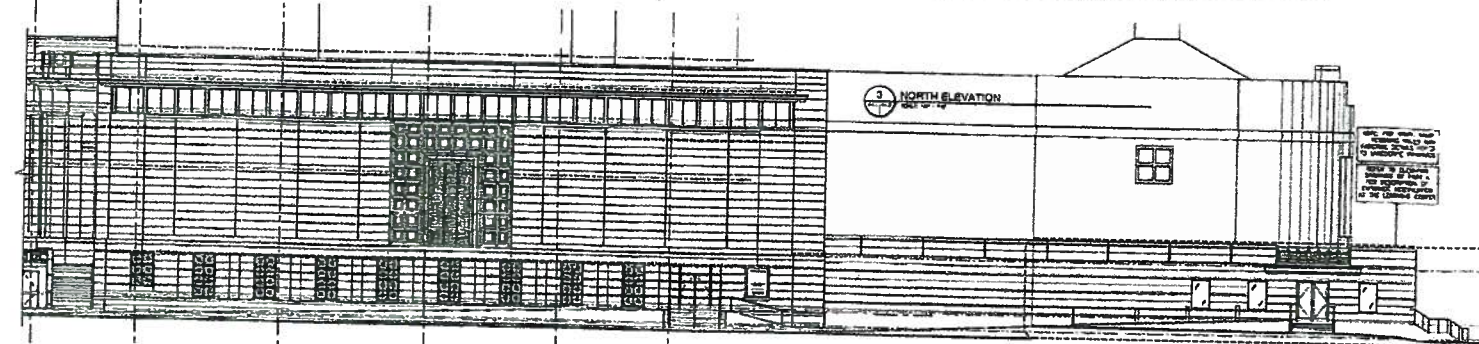
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1 SOUTH ELEVATION



2 WEST ELEVATION



3 NORTH ELEVATION

GLAVÉ & HOLMES ARCHITECTURE

1301 14th Street, Suite 100
 Richmond, Virginia 23219
 P: 804.646.1313 F: 804.646.1314
 www.glaveandholmes.com

PROJECT TITLE
 VIRGINIA HISTORICAL SOCIETY - STUDY OF
 VIRGINIA CAMPAIGN
 RENOVATIONS
**PART B - SOUTH PLAZA
 AND SOUTH ENTRANCE
 CONSTRUCTION**
 VIRGINIA HISTORICAL SOCIETY
 101 N. HANCOCK ST.
 RICHMOND, VIRGINIA 23219

CONSULTANTS
 STRUCTURAL ENGINEER
 SPINALE, PINCE & ASSOCIATES, LTD.
 4775 LEE HIGHWAY, SUITE 100
 CLYDE, VA 23041-1300
 P: 804.556.5125 F: 804.556.5127
 MECHANICAL ENGINEER
 BERKSHIRE FIRM
 1000 COMMONWEALTH BLVD., SUITE 200
 RICHMOND, VIRGINIA 23220
 P: 804.646.1400 F: 804.646.1404
 LANDSCAPE ARCHITECT
 HENKES & GUTENBERG
 1001 Green Building
 RICHMOND, VIRGINIA 23219
 P: 804.646.7600 F: 804.646.7600

DATE
**PART B
 100%
 Construction Document
 Q2-SET**

PROJECT NUMBER
 21032

DATE
 October 25, 2013

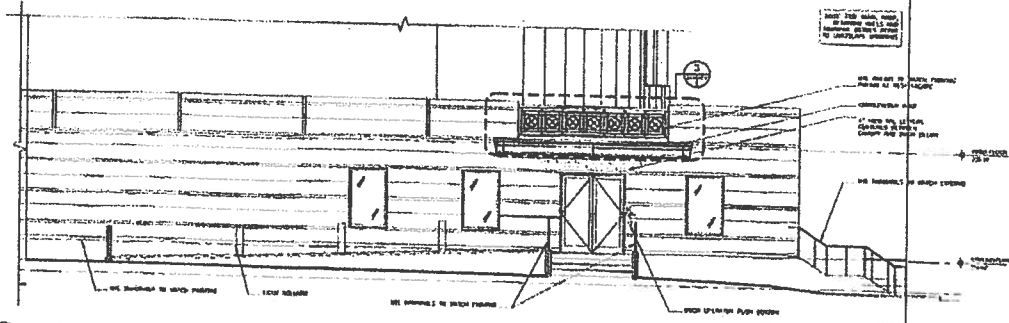
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REVISIONS

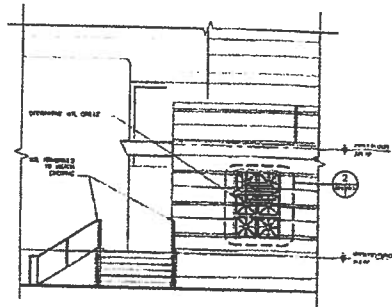
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DRAWING TITLE
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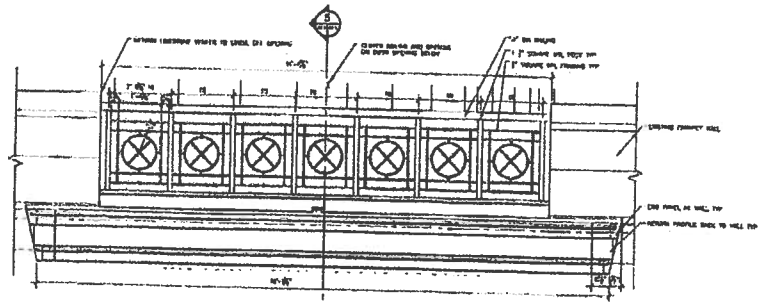
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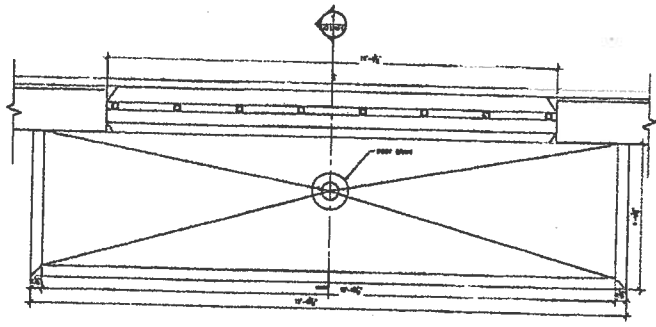
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SCALE: 1/8" = 1'-0"



2 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 ENLARGED CANOPY AND RAILING ELEVATION
SCALE: 1/8" = 1'-0"



4 CANOPY ROOF PLAN
SCALE: 1/8" = 1'-0"

GLAVÉ & HOLMES ARCHITECTURE

2501 East Main Street
Richmond, Virginia 23223
1 800 649 7222 F 804 344 2255
www.glavesholmes.com

PROJECT TITLE
VIRGINIA HISTORICAL SOCIETY - HISTORY OF VIRGINIA CAMPAIGN RENOVATIONS
PART A - SITE AND BUILDING MODIFICATIONS

VIRGINIA HISTORICAL SOCIETY
200 N. WEST MAIN
RICHMOND, VIRGINIA 23220

STRUCTURAL ENGINEER
PETERSON, FORT & ASSOCIATES, P.A.
1115 GLEBE ROAD, SUITE 1100
ALEXANDRIA, VIRGINIA 22304
1 800 346 3100 F 703 346 1471

MECHANICAL ENGINEER
DUNN, HILL, & CO.
2000 WALKER RD, SUITE 200
RICHMOND, VIRGINIA 23220
1 800 971 8800 F 703 401 0846

LANDSCAPE ARCHITECT
PETERSON & ASSOCIATES
1701 South Avenue
RICHMOND, VIRGINIA 23220
1 800 346 3100 F 703 346 3100

20A
PART A
100%
Construction Document
CC-SBT

PROJECT NUMBER
21002

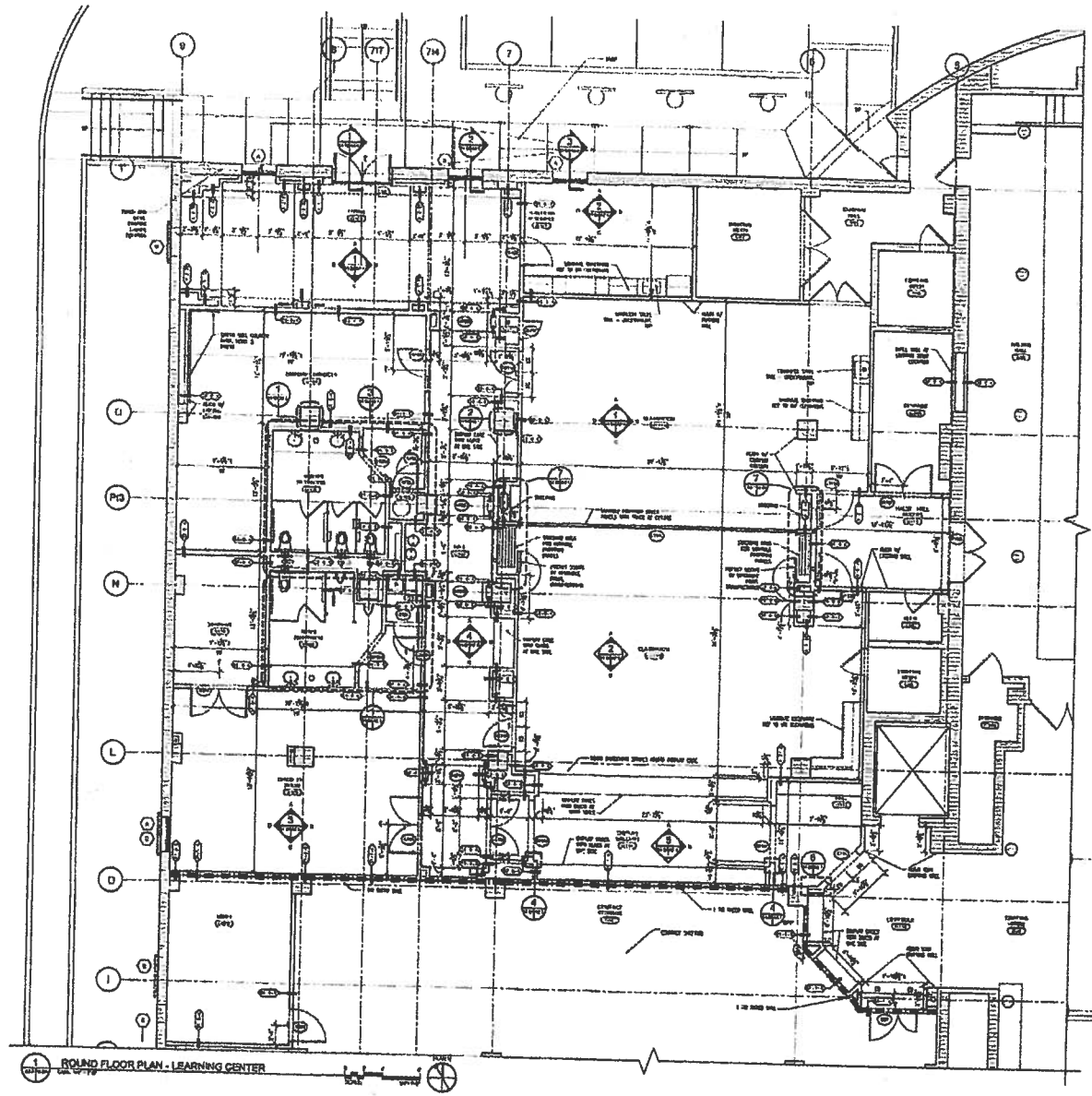
DATE
October 25, 2013

DESIGN BY: PJA **CHECKED BY: DP**

DATE
NOV 20 2013

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EXTERIOR ELEVATIONS

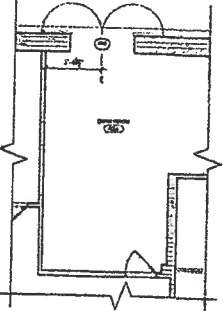
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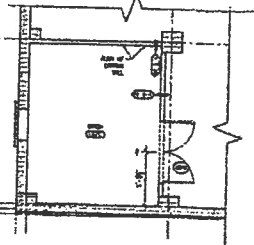
1 GROUND FLOOR PLAN - LEARNING CENTER



GENERAL FLOOR PLAN NOTES
 1. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 2. MATERIALS, FINISHES AND SPECIFICATIONS TO BE DETERMINED BY THE ARCHITECT.



2 GROUND FLOOR PLAN - DARK ROOM



3 GROUND FLOOR PLAN - MECH

GLAVÉ & HOLMES ARCHITECTURE

2201 East 10th Street
 Richmond, Virginia 23223
 P 804.647.1234 F 804.647.1237
 W www.glaveandholmes.com

PROJECT NAME
 VIRGINIA HISTORICAL SOCIETY - STORY OF VIRGINIA CAMPAIGN RENOVATIONS

PART A - SITE AND BUILDING MODIFICATIONS

VIRGINIA HISTORICAL SOCIETY
 615 S. BROADWAY
 RICHMOND, VIRGINIA 23220
 CONTACT: 804.771.1111

STRUCTURAL ENGINEER
 STUBBS, HENCK & COMPANY, LTD.
 1000 EAST BROADWAY, SUITE 110
 CLYDE HILL, VIRGINIA 23040
 P 804.647.3123 F 804.647.1571

MERITAGE ENGINEER
 1400 EAST BROADWAY
 2ND FLOOR, SUITE 205
 RICHMOND, VIRGINIA 23220
 P 804.371-0011 F 804.371-0011

LANDSCAPE ARCHITECT
 HUNTER & GREENBERG
 2001 EAST BROADWAY, SUITE 100
 RICHMOND, VIRGINIA 23220
 P 804.647.7100 F 804.647.7100

PART A
 100%
 Construction Document
 CC-SET

PROJECT NUMBER
 21032

DATE
 October 25, 2013

DESIGNED BY JRM **CHECKED BY** JRM

REVISION

NO. **DATE** **DESCRIPTION**

DATE _____

GROUND FLOOR PLAN - LEARNING CENTER

DATE 10/25/13

A1.0A

GLAVÉ & HOLMES ARCHITECTURE

100 East Main Street
 Arlington, Virginia 22201
 T 703 499 1203 F 703 243 3176
 www.glavesholmes.com

PROJECT TITLE
 NATIONAL HISTORICAL SOCIETY - STUDY OF
 YORDEENIA CAMBODIAN
 RENOVATIONS
**PART B - SOUTH PLAZA
 AND SOUTH ENTRANCE
 CONSTRUCTION**
 NATIONAL HISTORICAL SOCIETY
 400 N. 100th Street
 Richmond, VA 23133

CONTRACT #
 STRUCTURAL ENGINEER
 WINDRIDGE PARTNERS, LLC
 400 N. 100th Street, Suite 100
 Richmond, Virginia 23133
 P 804-378-1100 F 804-364-1177

METRIASE ENGINEER
 ENGINEER #152
 1000 N. 10th St., Suite 200
 Richmond, Virginia 23133
 P 804-378-1100 F 804-364-1177

LANDSCAPE ARCHITECT
 WINDRIDGE PARTNERS, LLC
 400 N. 100th Street, Suite 100
 Richmond, Virginia 23133
 P 804-378-1100 F 804-364-1177

DATE
**PART B
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 Construction Document
 CC-SET**

PROJECT NUMBER
 21032

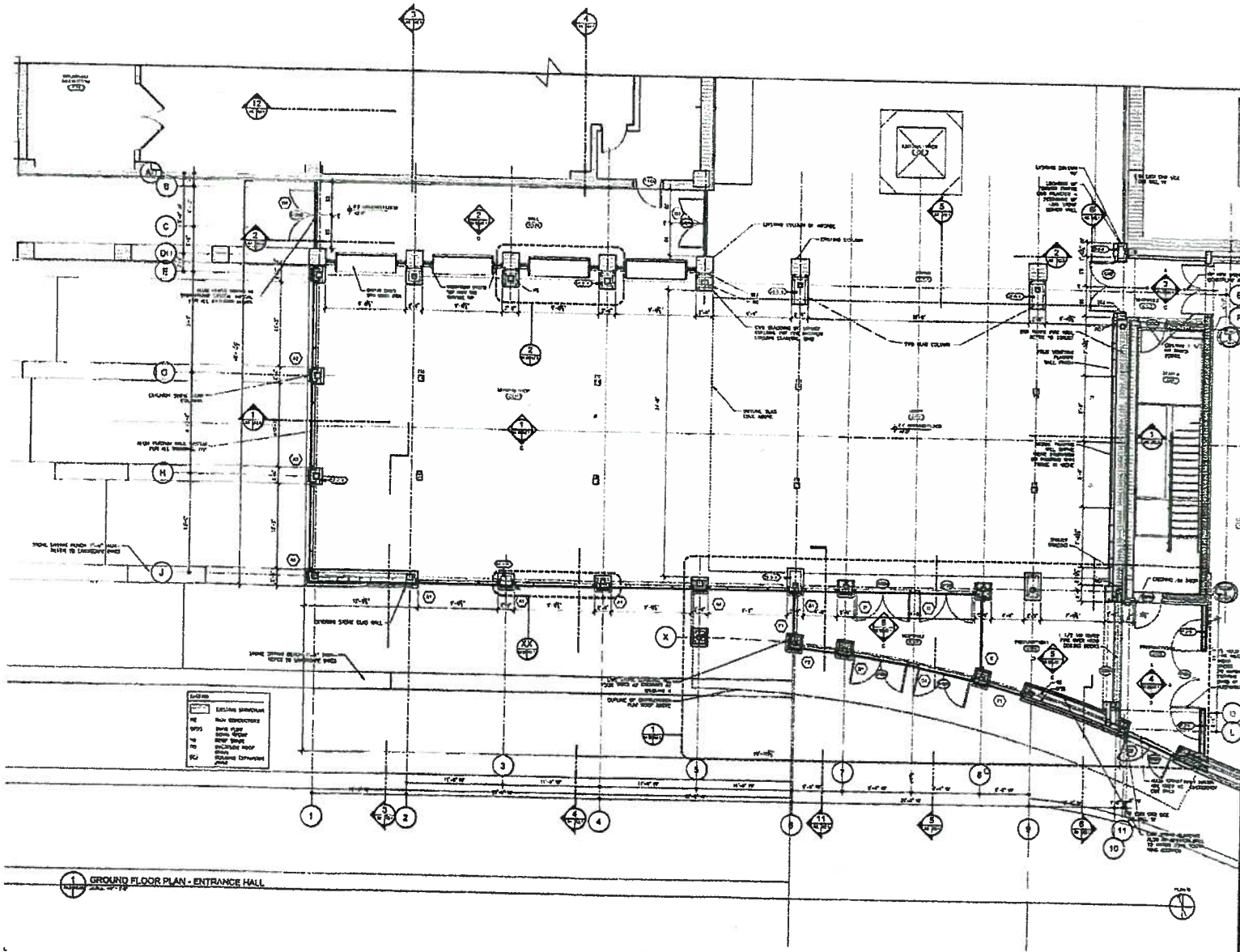
DATE
 October 25, 2013

DESIGNED BY
 LAY

CHECKED BY
 LAY

SHEET TITLE
**GROUND FLOOR PLAN -
 ENTRANCE HALL**

SHEET NUMBER
A1.0B



GROUND FLOOR PLAN - ENTRANCE HALL

GLAVÉ & HOLMES ARCHITECTURE

2401 1/2 Ave. South
 Richmond, Virginia 23223
 P 804.647.1022 F 804.647.2275
 www.glaveandholmes.com

PROJECT TITLE
 VIRGINIA HISTORICAL SOCIETY - STORY OF VIRGINIA CAMPAIGN RENOVATIONS

PART B - SOUTH FLAZA AND SOUTH ENTRANCE CONSTRUCTION
 VIRGINIA HISTORICAL SOCIETY
 600 N. HOLMES ST.
 RICHMOND, VIRGINIA 23221

CONSULTANTS

STRUCTURAL ENGINEER
 CHRISTOPHER S. HANCOCK, LTD.
 11415 BURNING TREE BLVD. SUITE 118
 CLAYTON, VIRGINIA 23041
 T 757-296-7120 F 800-246-1177

MULTI-PHASE ENGINEER
 MICHAEL J. HAYES, INC.
 1000 W. MAIN ST., SUITE 200
 RICHMOND, VIRGINIA 23220
 T 804-351-4544 F 804-351-4544

LANDSCAPE ARCHITECT
 WYATT DENNING
 1000 W. MAIN ST., SUITE 200
 RICHMOND, VIRGINIA 23220
 T 804-351-4544 F 804-351-4544

PART B
 100%
 Construction Document
 CC-SET

PROJECT NUMBER
 21032

DATE
 October 25, 2013

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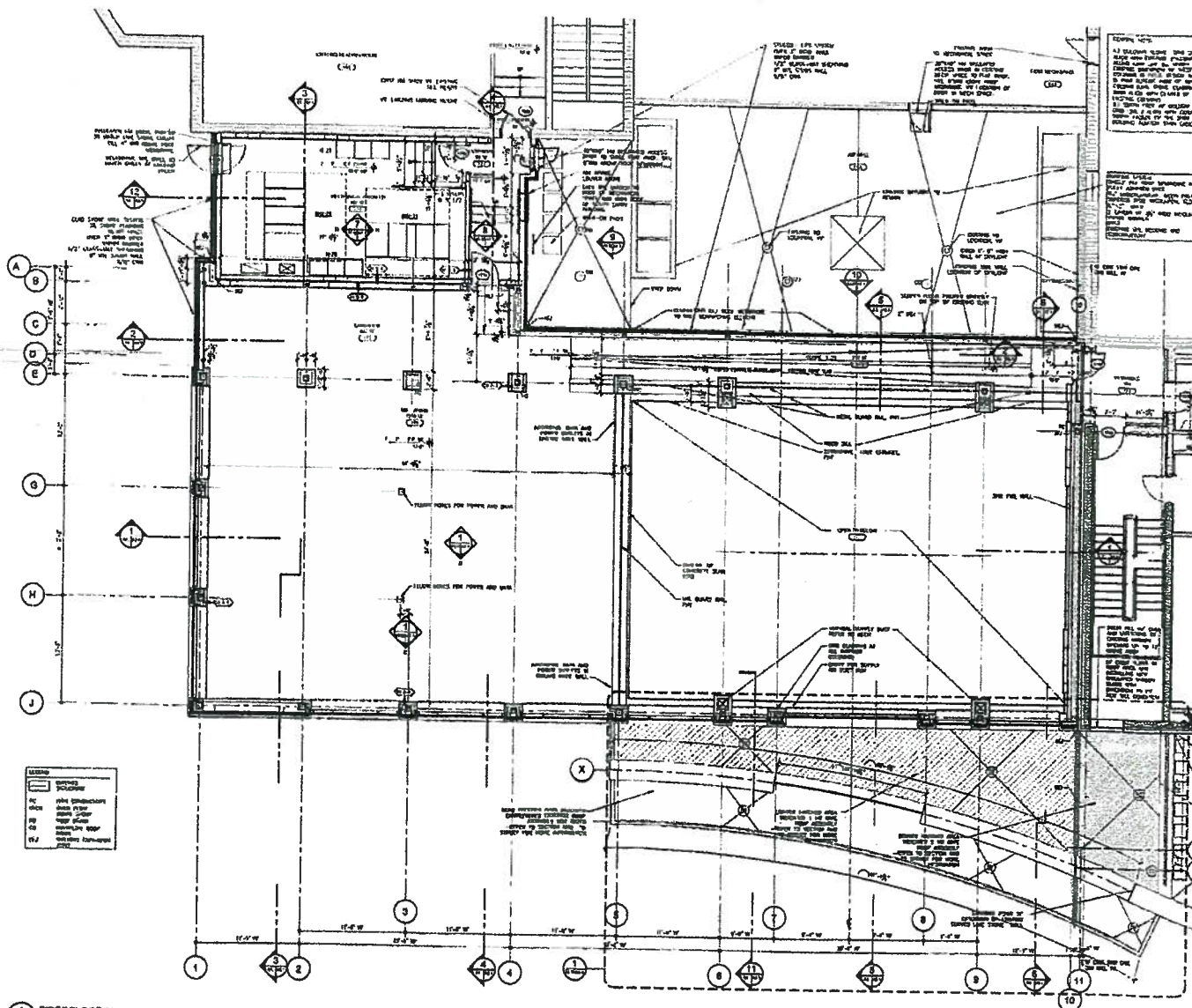
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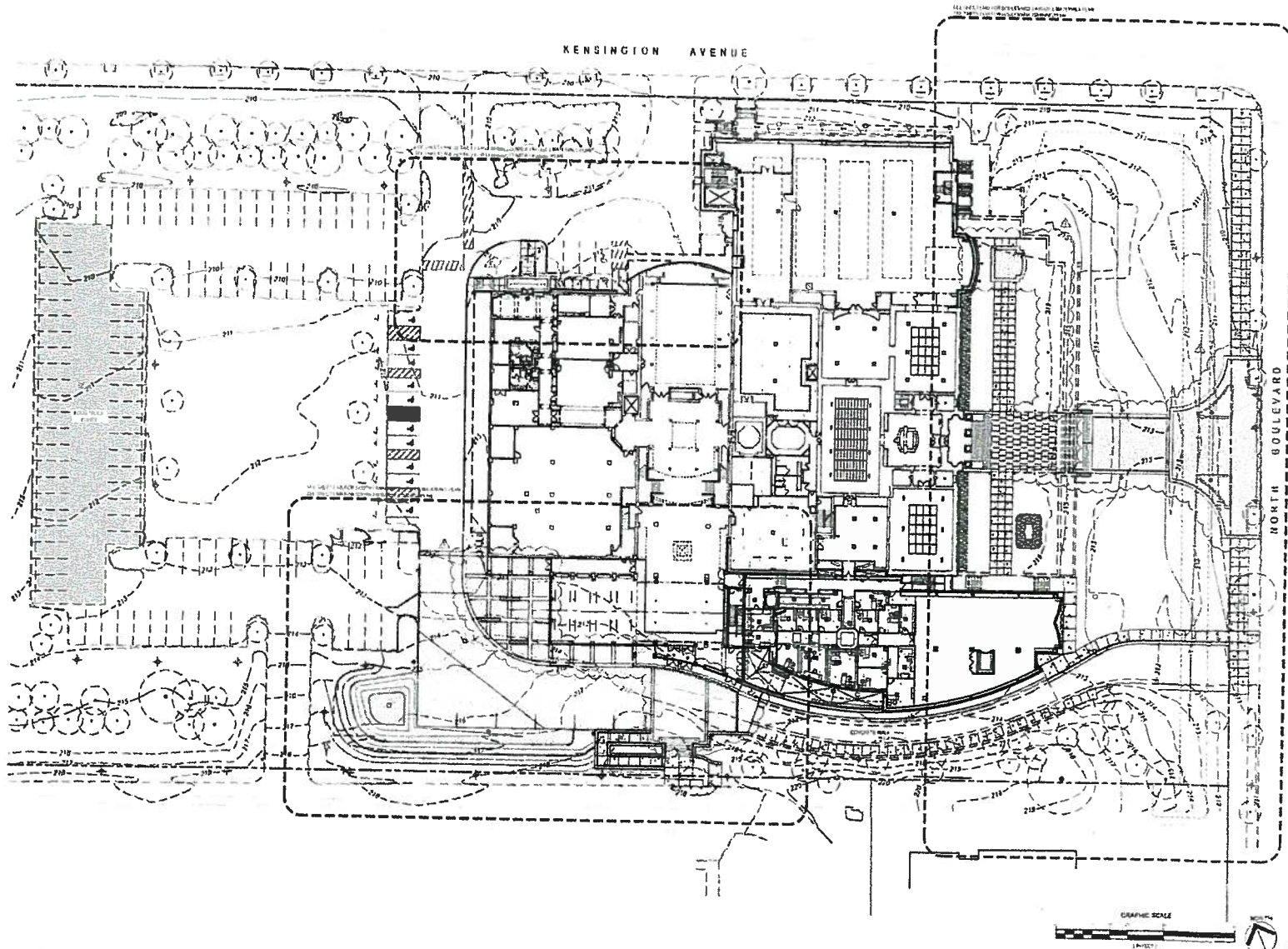
FIRST FLOOR PLAN - ENTRANCE HALL

SHEET NUMBER

A1.1B



1 FIRST FLOOR PLAN - ENTRANCE HALL



GLAVÉ & HOLMES
ARCHITECTURE

2101 East Main Street
Richmond, Virginia 23221
T 804-341-9231 F 804-343-3176
www.glave-holmes.com

PROJECT TITLE
VIRGINIA HISTORICAL SOCIETY - STORVICK CENTER CAMPAIGN RECONSTRUCTION

PART B - SOUTH ENTRANCE CONSTRUCTION AND SITE RECONSTRUCTIONS
VIRGINIA HISTORICAL SOCIETY
475 S. 18TH ST. RICHMOND, VIRGINIA 23221

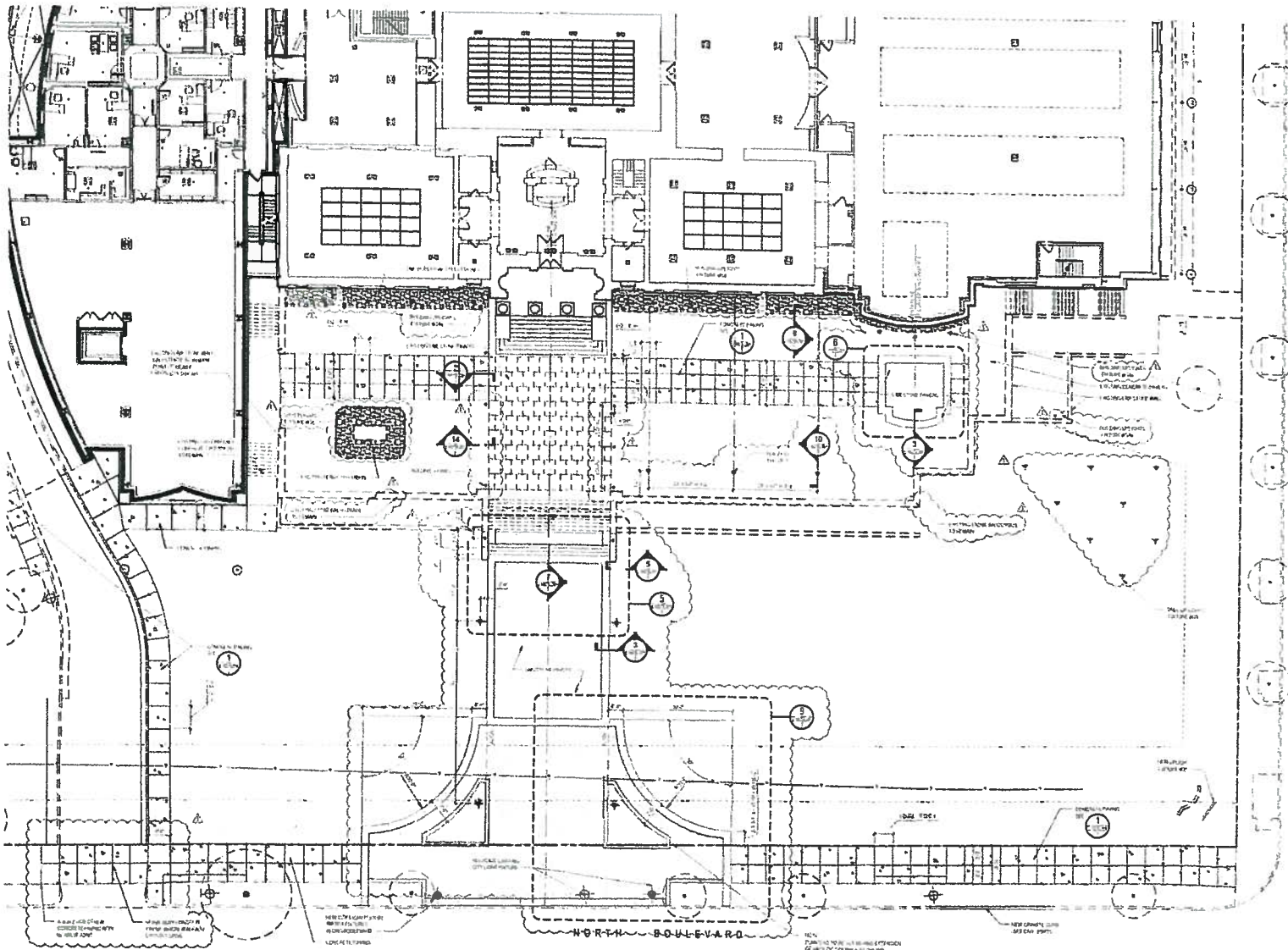
CONSOLE PARTS
STRUCTURAL ENGINEER
STEVENS, HAYES & BISHOP, LTD.
4170 ELM ROAD, SUITE 112
RICHMOND, VIRGINIA 23221
T 804-346-7910 F 804-346-1171
MEMPHAS ENGINEER
ENGINEER 7112
2700 HUNTERS LANE, SUITE 200
PLANTATION, VIRGINIA 23138
T 804-361-4284
LANDSCAPE ARCHITECT
WELLS & GARDENBERY
1000 COMMONWEALTH AVENUE
RICHMOND, VIRGINIA 23220
T 804-349-7500



PROJECT NUMBER
21032
DATE
November 15, 2013
DRAWN BY: ENCLERD BY:
REVISIONS:
NO. DATE BY: APPROVED BY:
1. 11/15/13 JH/STW

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
L101



GLAVÉ & HOLMES
ARCHITECTURE

2101 East Main Street
Richmond, Virginia 23221
P: 804.647.7807 F: 804.647.5174
www.glaveandholmes.com

PROJECT TITLE
VIRGINIA HISTORICAL SOCIETY - SILMUY OF VIRGINIA CAMPAIGN RENOVATIONS

PART B - SOUTH ENTRANCE CONSTRUCTION AND SITE MODIFICATIONS
VIRGINIA HISTORICAL SOCIETY
424 N. BOSTON ST.
RICHMOND, VIRGINIA 23217

CONSULTANTS
STRUCTURAL ENGINEER
STEVEN PRICE & ASSOCIATES, LTD.
4700 GLEN ROAD, SUITE 110
GLEN ALLEN, VIRGINIA 23060
P: 804.644.1214 F: 804.644.1177
VEGETATION ENGINEER
MICHAEL R. DE
2102 PENNINGTON RD., SUITE 200
RICHMOND, VIRGINIA 23224
P: 804.771.0841 F: 804.771.0841

LANDSCAPE ARCHITECT
MICHAEL R. DE
2102 PENNINGTON RD.
RICHMOND, VIRGINIA 23224
P: 804.771.0841 F: 804.771.0841



PROJECT NUMBER
21032

DATE
November 15, 2013

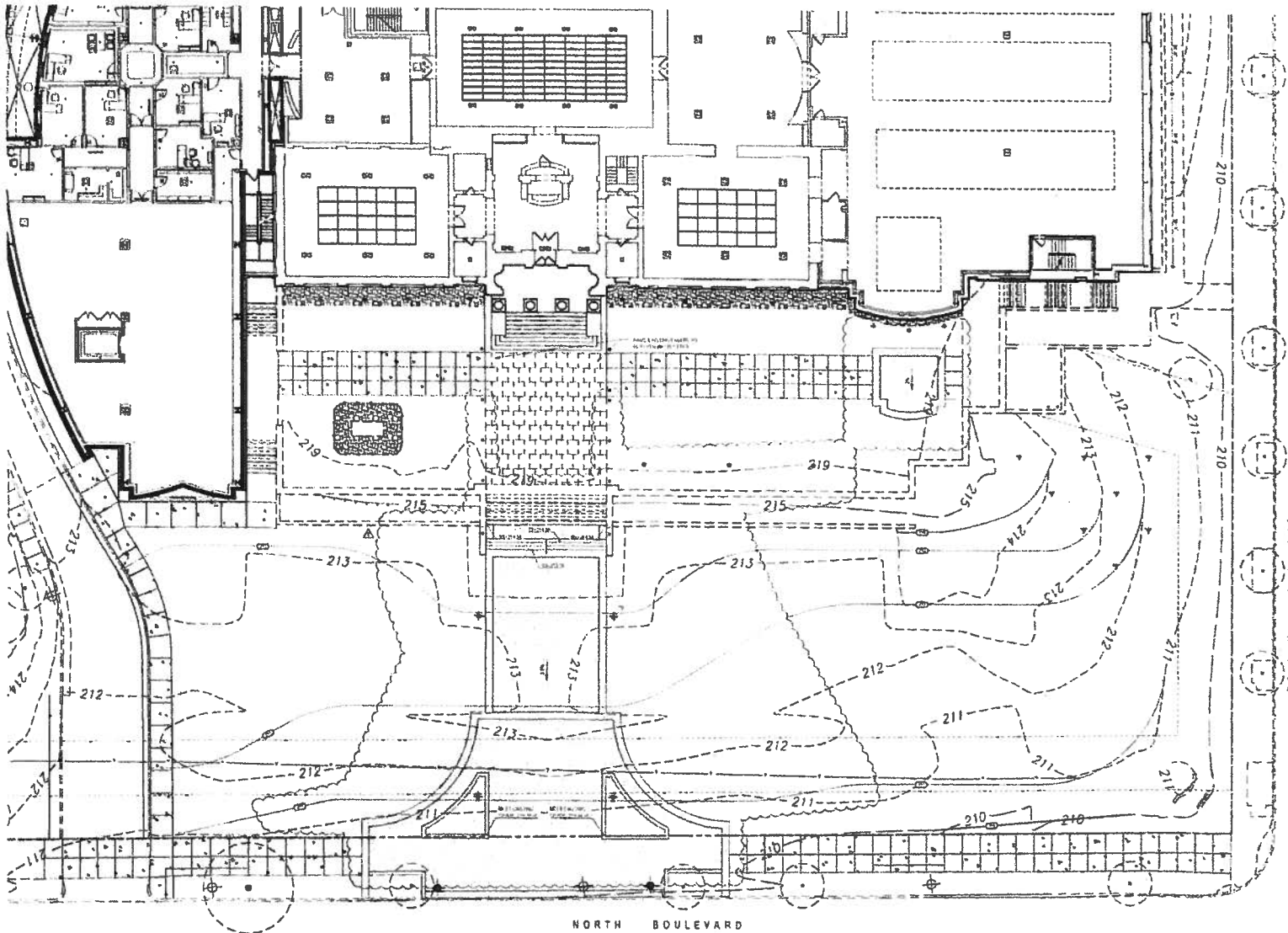
DESIGNED BY
CHECKED BY

REVISED
NO. DATE DESCRIPTION
BY CHECKED BY

SHEET TITLE
BLVD. ENTRANCE LAYOUT PLAN

SHEET NUMBER
L102





NORTH BOULEVARD

KENSINGTON AVENUE

GLAVÉ & HOLMES
ARCHITECTURE

279 East Main Street
Richmond, Virginia 23222
P 804.648.9322 F 804.342.4299
www.glaveandholmes.com

PROJECT TITLE
VIRGINIA HISTORICAL SOCIETY - STUDY OF VIRGINIA CAMPAIGN RENOVATIONS

PART B - SOUTH ENTRANCE CONSTRUCTION AND SITE RECONSTRUCTION - VIRGINIA HISTORICAL SOCIETY - 4214 W. PARKLAD RICHMONDE, VIRGINIA 23226

CONTRACT NO.
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STEVEN HICKS & ASSOCIATES, LTD
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LAFAYETTE, VIRGINIA 23226
P 804-146-7113

MECHANICAL ENGINEER
CHANCE IG FINE
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SPRINGBORO, VIRGINIA 22151
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LANDSCAPE ARCHITECT
WILLIAM S. OF 15 THURGOOD
5000 GARDEN DRIVE
RICHMONDE, VIRGINIA 23226
P 804-251-9777



PROJECT NUMBER
21032

DATE
November 15, 2013

DRAWN BY CHECKED BY

REVISION	DATE	DESCRIPTION
1	11/15/13	ISSUED FOR PERMIT

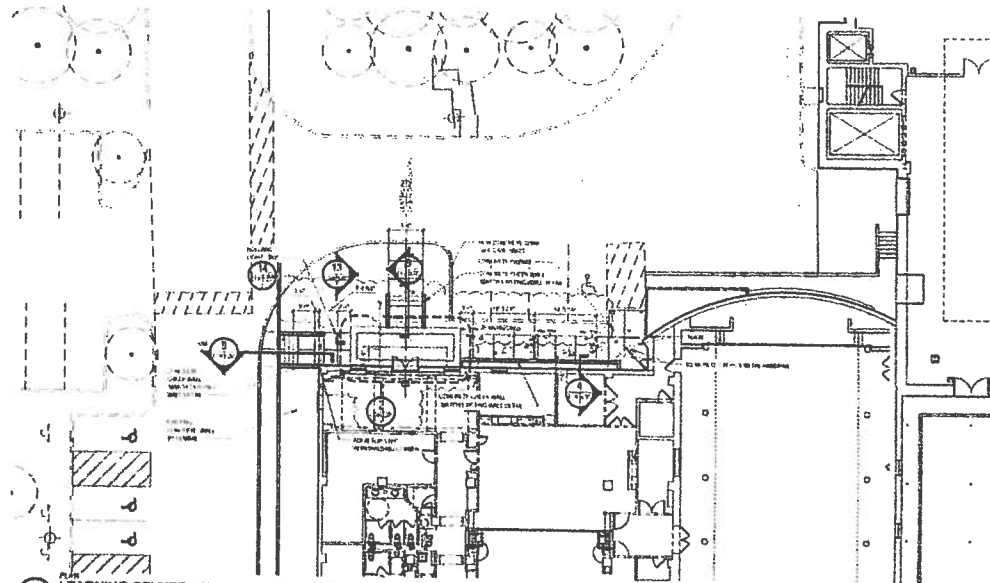
SHEET TITLE

BLVD. ENTRANCE GRADING PLAN

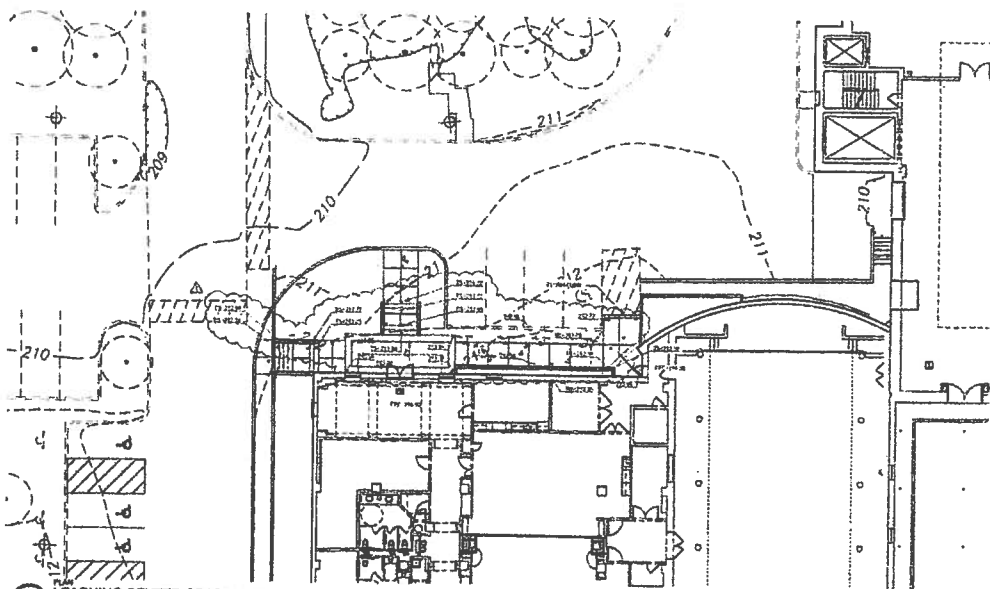
SHEET NUMBER

L103





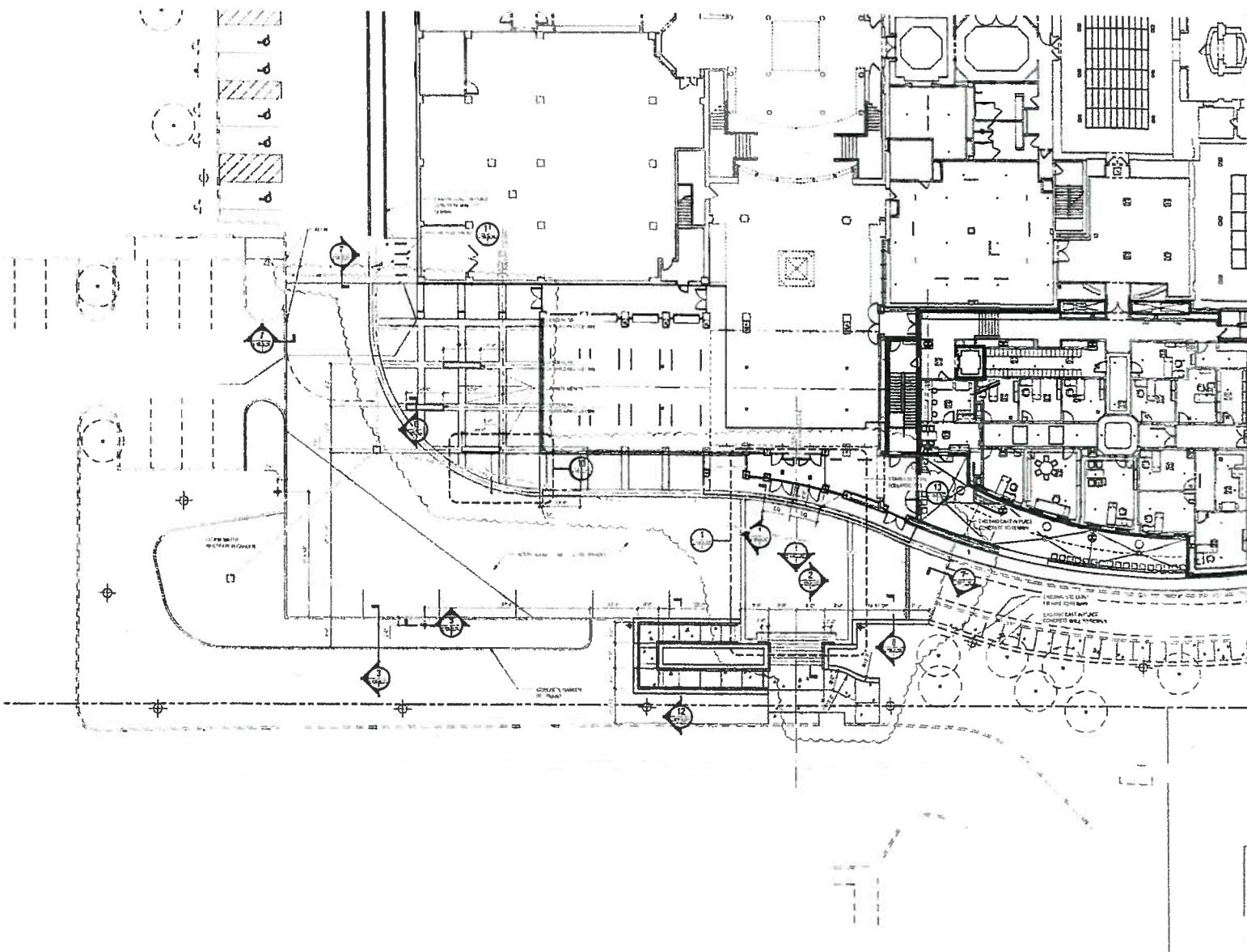
1 LEARNING CENTER LAYOUT & MATERIALS PLAN
SCALE 1" = 10'-0"



2 LEARNING CENTER GRADING PLAN
SCALE 1" = 10'-0"



<p>GLAVÉ & HOLMES ARCHITECTURE</p> <p>2001 East Main Street Richmond, Virginia 23222 T 804.648.7373 F 804.281.8278 www.glavesholmes.com</p>	
<p>PROJECT TITLE VIRGINIA HISTORICAL SOCIETY - STORY OF VIRGINIA CAMPAIGN RENOVATIONS</p>	
<p>PART B - SOUTH ENTRANCE CONSTRUCTION AND SITE MODIFICATIONS VIRGINIA HISTORICAL SOCIETY 418 N. ROBERTSON BLVD. RICHMOND, VIRGINIA 23220</p>	
<p>CONTRACTORS</p>	
<p>STRUCTURAL ENGINEER STROUD, PINE & ASSOCIATES, LTD. 2715 GUN ROAD, SUITE 117 GLENN DALE, VIRGINIA 22040 T 804.338.9113 F 804.338.9111</p>	
<p>MEEPPAS ENGINEER 1 HEMLOCK PLAZA 2703 HEMLOCK RD. SUITE 100 FARMING, VIRGINIA 22024 T 804.338.8147 F 804.338.0348</p>	
<p>LANDSCAPE ARCHITECT HELAND & CO. DESIGNER 1701 Grove Avenue LEANING, VIRGINIA 22076 T 804.735.2700</p>	
<p>SEAL</p>	
<p>PROJECT NUMBER 21032</p>	
<p>DATE November 15, 2013</p>	
<p>DRAWN BY MAY 04/13</p>	<p>CHECKED BY DATE 11/15/13</p>
<p>REVISIONS</p>	
<p>SHEET TITLE LEARNING CENTER LAYOUT & GRADING PLANS</p>	
<p>SHEET NUMBER L104</p>	



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PROJECT TITLE
VIRGINIA HISTORICAL SOCIETY - STUDY OF VIRGINIA CAMPAIGN RENOVATIONS

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VIRGINIA HISTORICAL SOCIETY
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1000 COMMONWEALTH BLVD., SUITE 200
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LANDSCAPE ARCHITECT
VICKI & GALEY HENDERSON
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T 804-620-6700



PROJECT NUMBER
21032

DATE
November 15, 2013

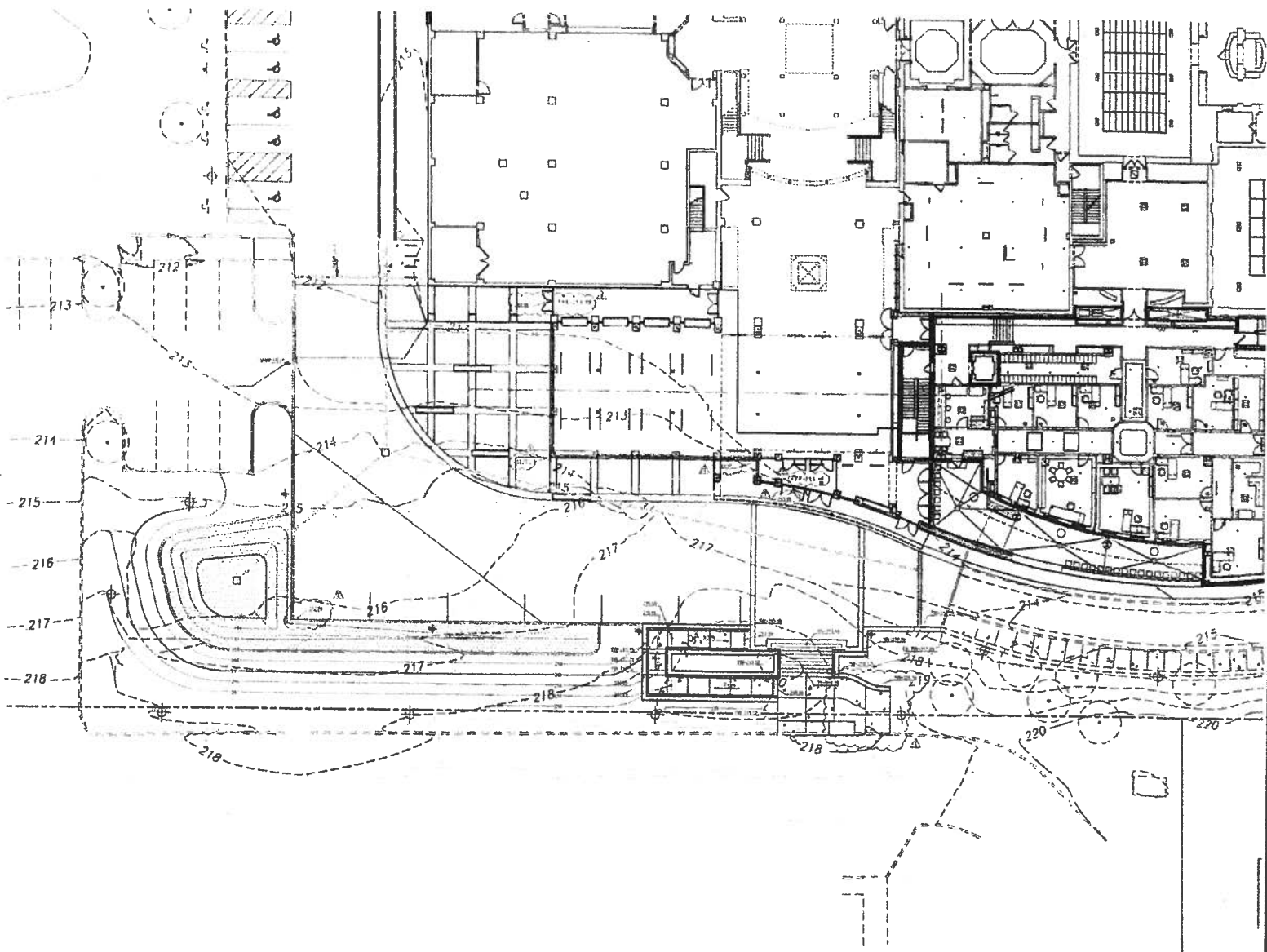
DRAWN BY
CHECKED BY

APPROVED BY
DATE: 11/15/13
BY: STEVEN FRENCH, P.E.

SHEET TITLE
SOUTH ENTRANCE LAYOUT PLAN

SHEET NUMBER
L105





GLAVÉ & HOLMES ARCHITECTURE

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PROJECT TITLE
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PART B - SOUTH ENTRANCE CONSTRUCTION AND SITE MODIFICATIONS
VIRGINIA HISTORICAL SOCIETY
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LANDSCAPE ARCHITECT
INGENIERO & GARDNER
1701 Green Springs
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PROJECT NUMBER
21032

DATE
November 15, 2013

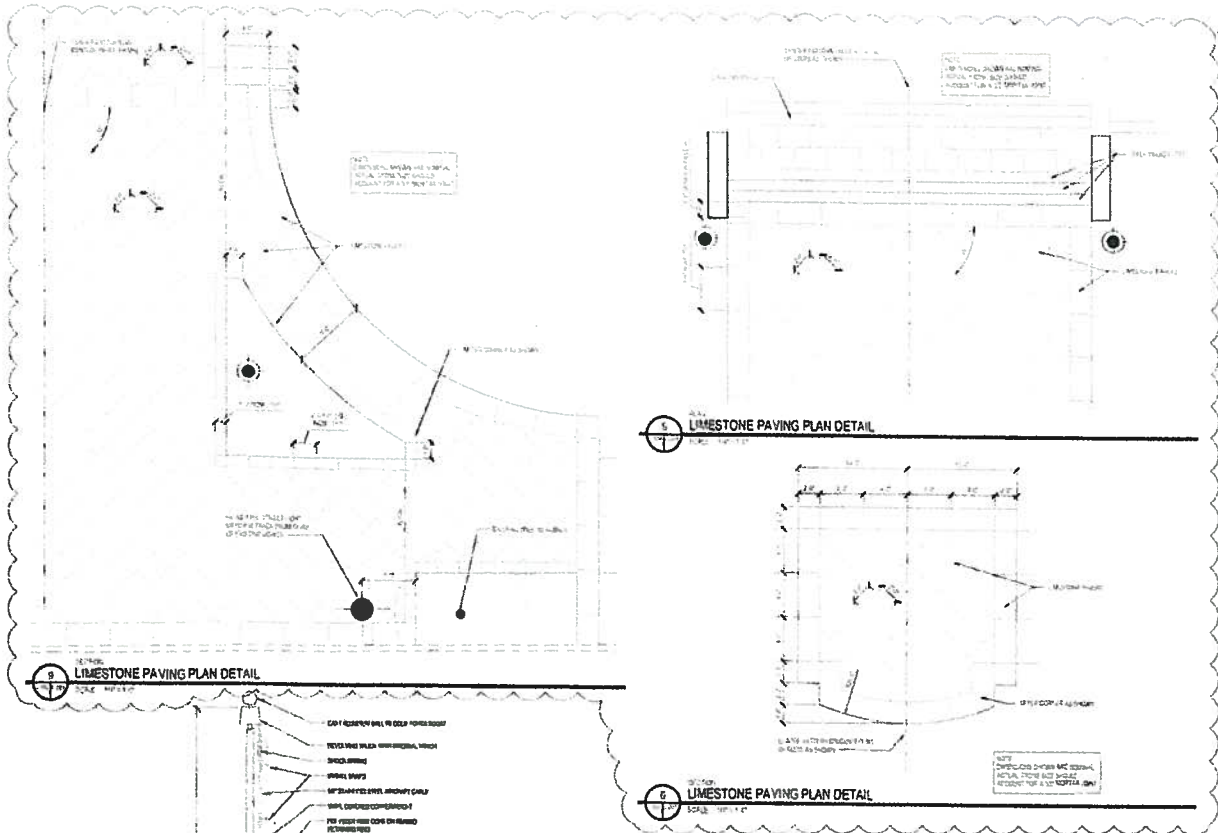
DRAWN BY
CHECKED BY

DESIGN
SCALE: 1/8" = 1'-0"
DATE: 12/15/13

SHEET TITLE
SOUTH ENTRANCE GRADING PLAN

SHEET NUMBER
L106

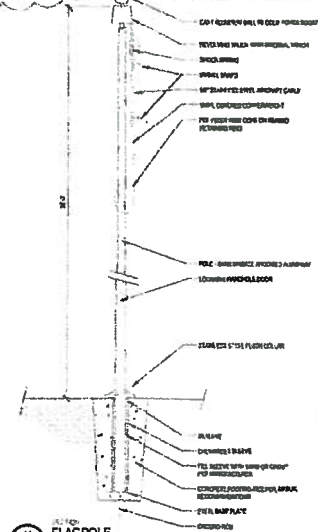




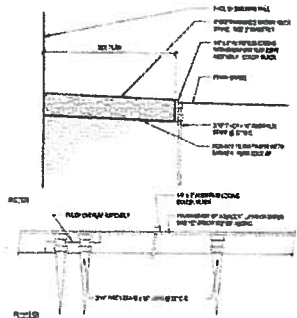
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LIMESTONE PAVING PLAN DETAIL
SCALE: 1/4" = 1'-0"

SECTION 6
LIMESTONE PAVING PLAN DETAIL
SCALE: 1/4" = 1'-0"

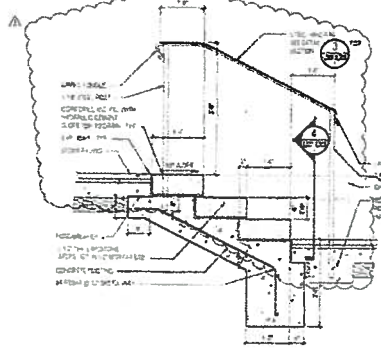
SECTION 9
LIMESTONE PAVING PLAN DETAIL
SCALE: 1/4" = 1'-0"



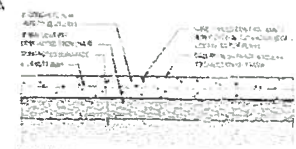
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FLAGPOLE
SCALE: 1/4" = 1'-0"



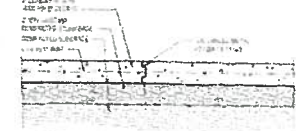
SECTION 8
STONE BORDER
SCALE: 1/4" = 1'-0"



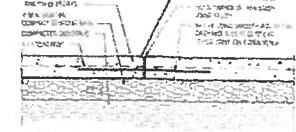
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LIMESTONE STEPS
SCALE: 1/4" = 1'-0"



CONTROL JOINT



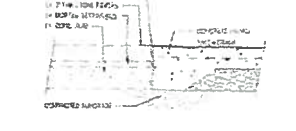
CONSTRUCTION JOINT



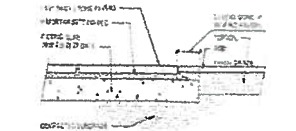
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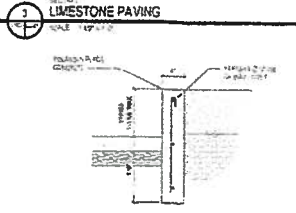
CONCRETE PAVING
SCALE: 1/4" = 1'-0"



CONCRETE PAVING @ EX. LIMESTONE
SCALE: 1/4" = 1'-0"



LIMESTONE PAVING
SCALE: 1/4" = 1'-0"



LEARNING CENTER CURB WALL
SCALE: 1/4" = 1'-0"

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PROJECT INFO
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PROJECT NUMBER
21032

DATE
November 15, 2013

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REVISIONS
NO. DATE DESCRIPTION
1 11/15/13 ORIGINAL

SHEET TITLE
BLVD ENTRANCE DETAILS

SCALE
AS SHOWN

L201

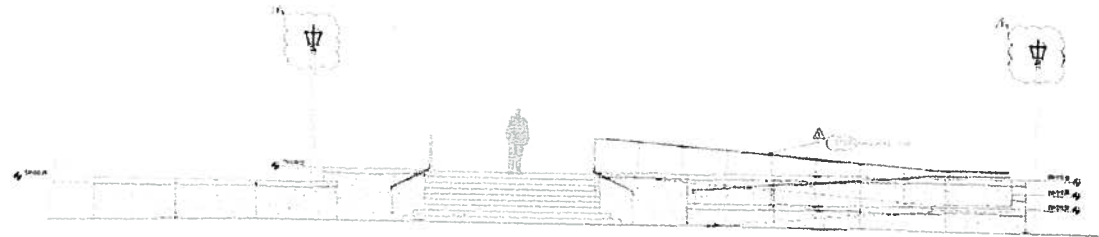
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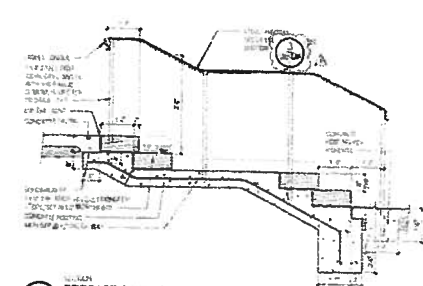
PROJECT FILE
 VIRGINIA COMMONWEALTH UNIVERSITY LIBRARY II
 VIRGINIA CAMPUS
 RECONSTRUCTION

PART B SECTION
 ENTRANCE CONSTRUCTION
 UNIVERSITY LIBRARY II
 VIRGINIA COMMONWEALTH UNIVERSITY
 1000 UNIVERSITY AVENUE
 RICHMOND, VIRGINIA 23221

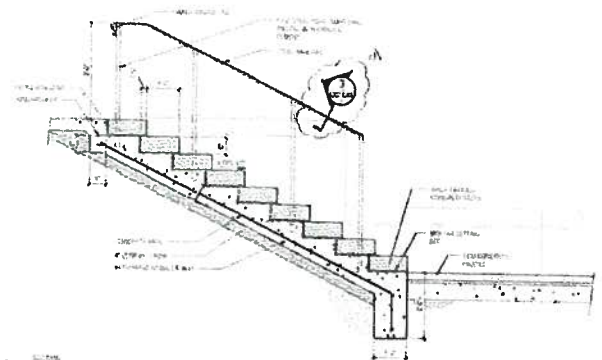
CONSULTANTS
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 LANDSCAPE ARCHITECT
 FRANK & ED BENTHEIMER
 1700 GLENN ROAD, SUITE 100
 RICHMOND, VIRGINIA 23221
 P: 804.646.7700



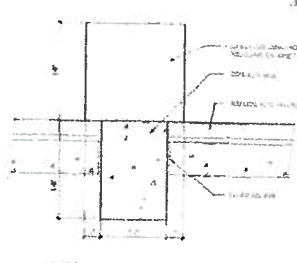
1 SOUTH ENTRANCE STEPS AND RAMP
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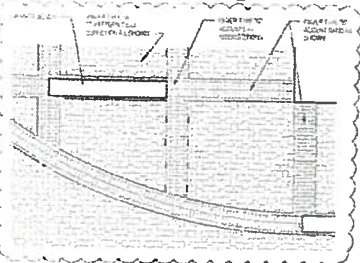
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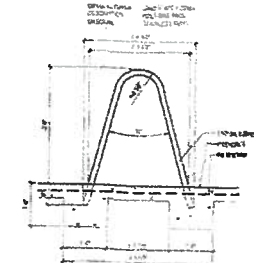
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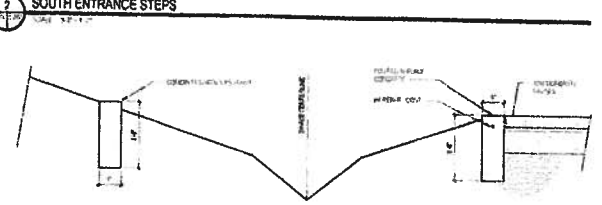
10 GRANITE BENCH
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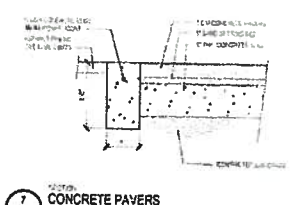
11 RAW PAVING PLAN DETAIL
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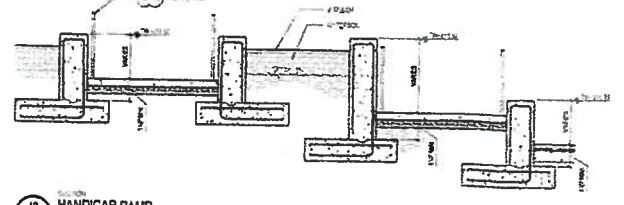
12 BIKERACK
 SCALE: 1/2" = 1'-0"



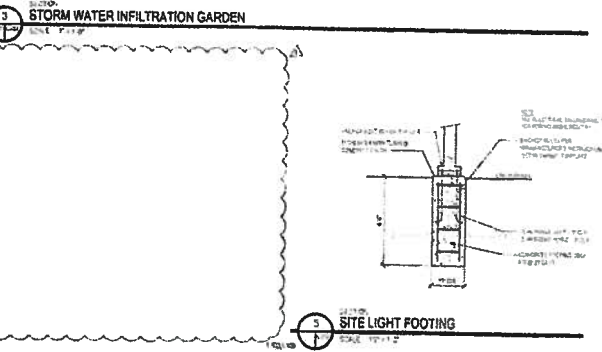
3 STORM WATER INFILTRATION GARDEN
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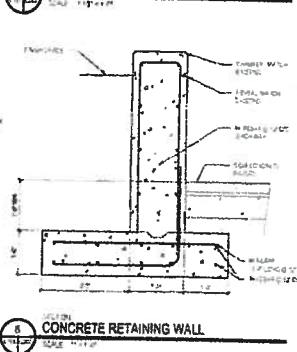
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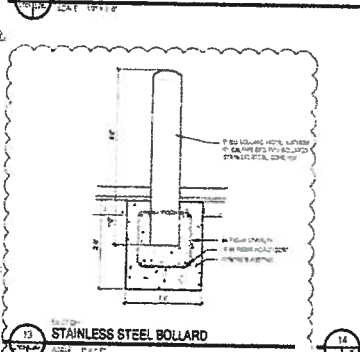
12 HANDICAP RAMP
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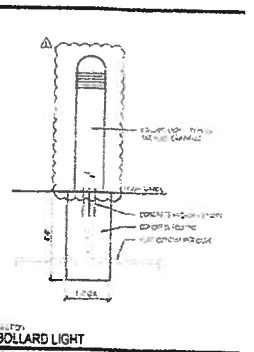
5 SITE LIGHT FOOTING
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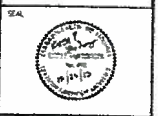
6 CONCRETE RETAINING WALL
 SCALE: 1/2" = 1'-0"



13 STAINLESS STEEL BOLLARD
 SCALE: 1/2" = 1'-0"



14 BOLLARD LIGHT
 SCALE: 1/2" = 1'-0"



PROJECT NUMBER
21032

DATE
November 15, 2013

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REVISIONS

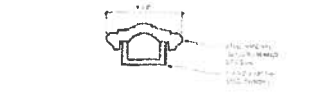
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SHEET TITLE

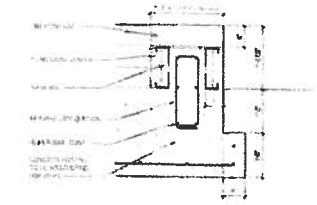
LEARNING CENTER & SOUTH ENTRANCE DETAILS

SHEET NUMBER

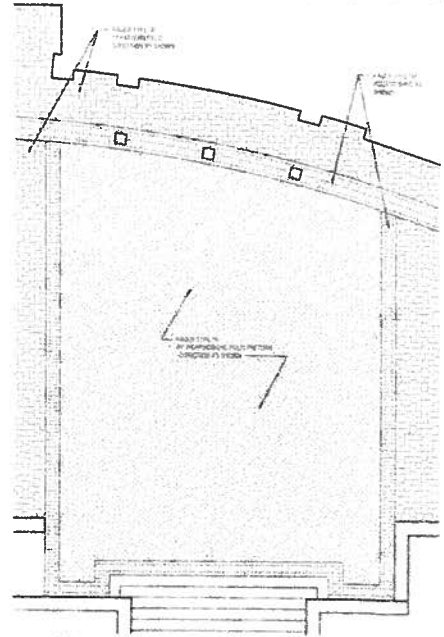
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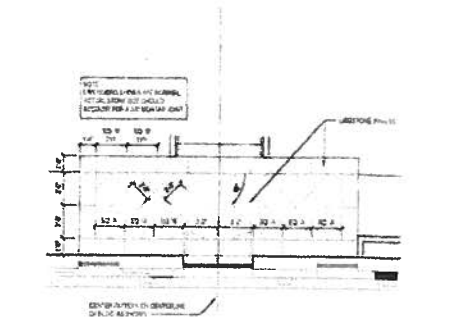
3 STEEL HANDRAIL
SCALE: 1/8" = 1'-0"



4 CHEEK WALL
SCALE: 1/8" = 1'-0"



P.36 PAVING PLAN DETAIL
SCALE: 1/8" = 1'-0"



P.36 PAVING PLAN DETAIL
SCALE: 1/8" = 1'-0"

GLAVÉ & HOLMES ARCHITECTURE

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PROJECT TITLE
VIRGINIA HISTORICAL SOCIETY - HISTORY CENTER
VIRGINIA CAMPUS
RENOVATIONS

PART B - NOISE
ENTRANCE CONSTRUCTION
ANALYSIS AND MITIGATION
VIRGINIA HISTORICAL SOCIETY
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PROJECT NUMBER
21032

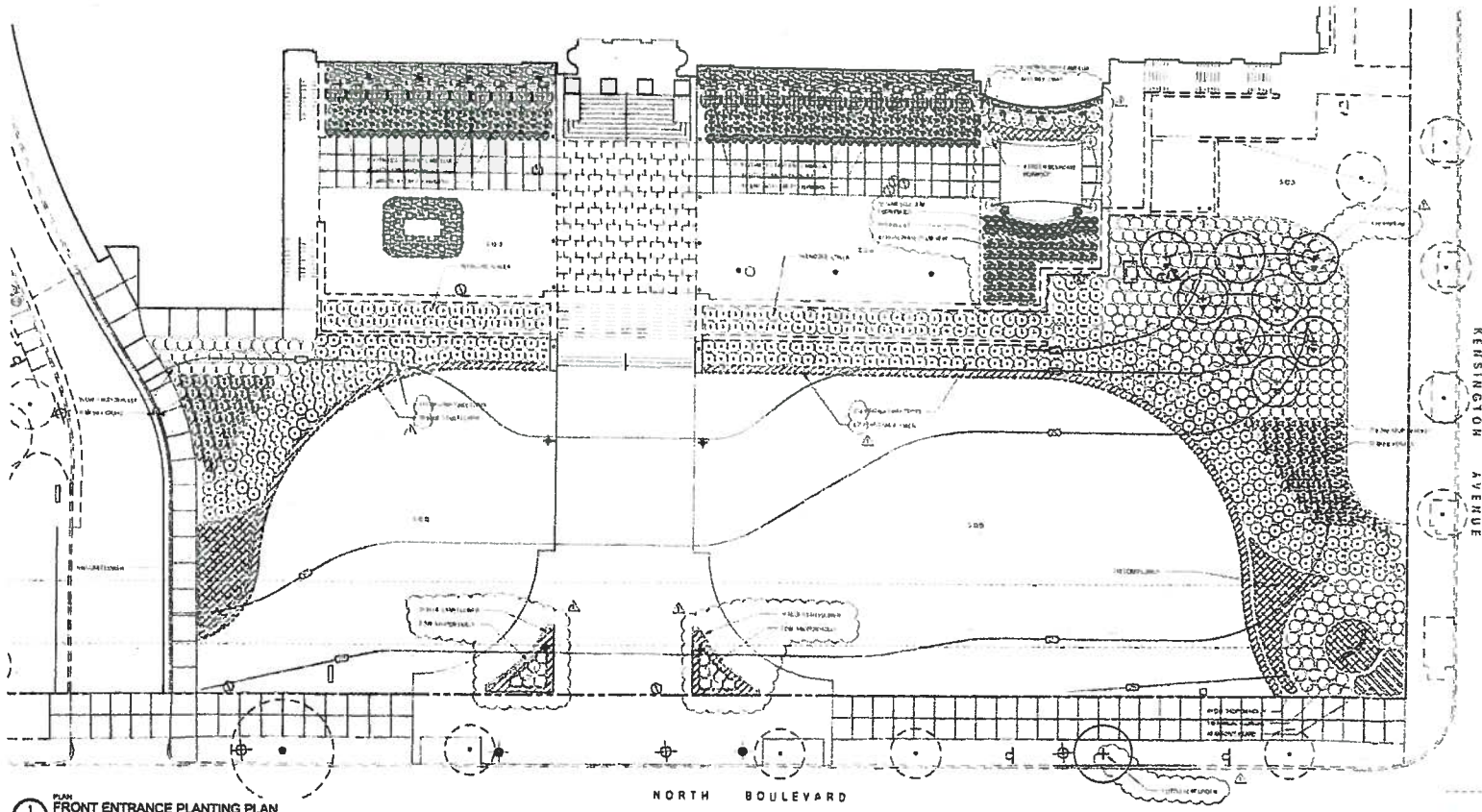
DATE
November 15, 2015

DESIGNED BY: CHECKED BY:

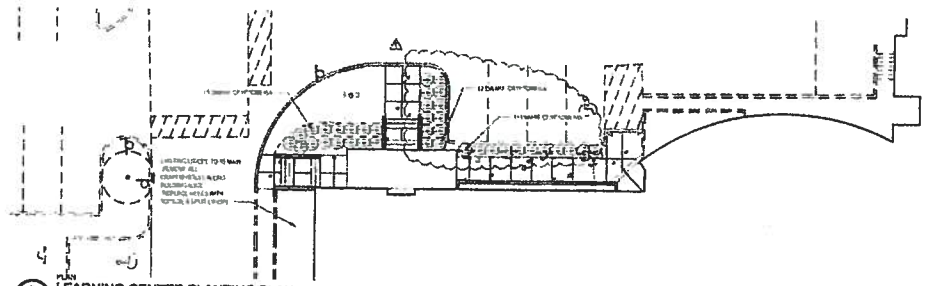
DESIGNED BY: NED DEER
CHECKED BY: JEN DEERMAN
DATE: 11/15/15

SHEET TITLE
MISC. DETAILS

SHEET NUMBER
L203



1
PLAN
FRONT ENTRANCE PLANTING PLAN
SCALE: 1" = 10'-0"



2
PLAN
LEARNING CENTER PLANTING PLAN
SCALE: 1" = 10'-0"



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2301 East Main Street
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PROJECT TITLE
VIRGINIA HISTORICAL SOCIETY - STORY OF VIRGINIA CAMPAIGN RENOVATIONS

PART B - SOUTH ENTRANCE CONSTRUCTION AND SITE MODIFICATIONS
VIRGINIA HISTORICAL SOCIETY
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LANDSCAPE ARCHITECT
GLAVÉ & HOLMES ARCHITECTURE
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PROJECT NUMBER
21032

DATE
November 15, 2013

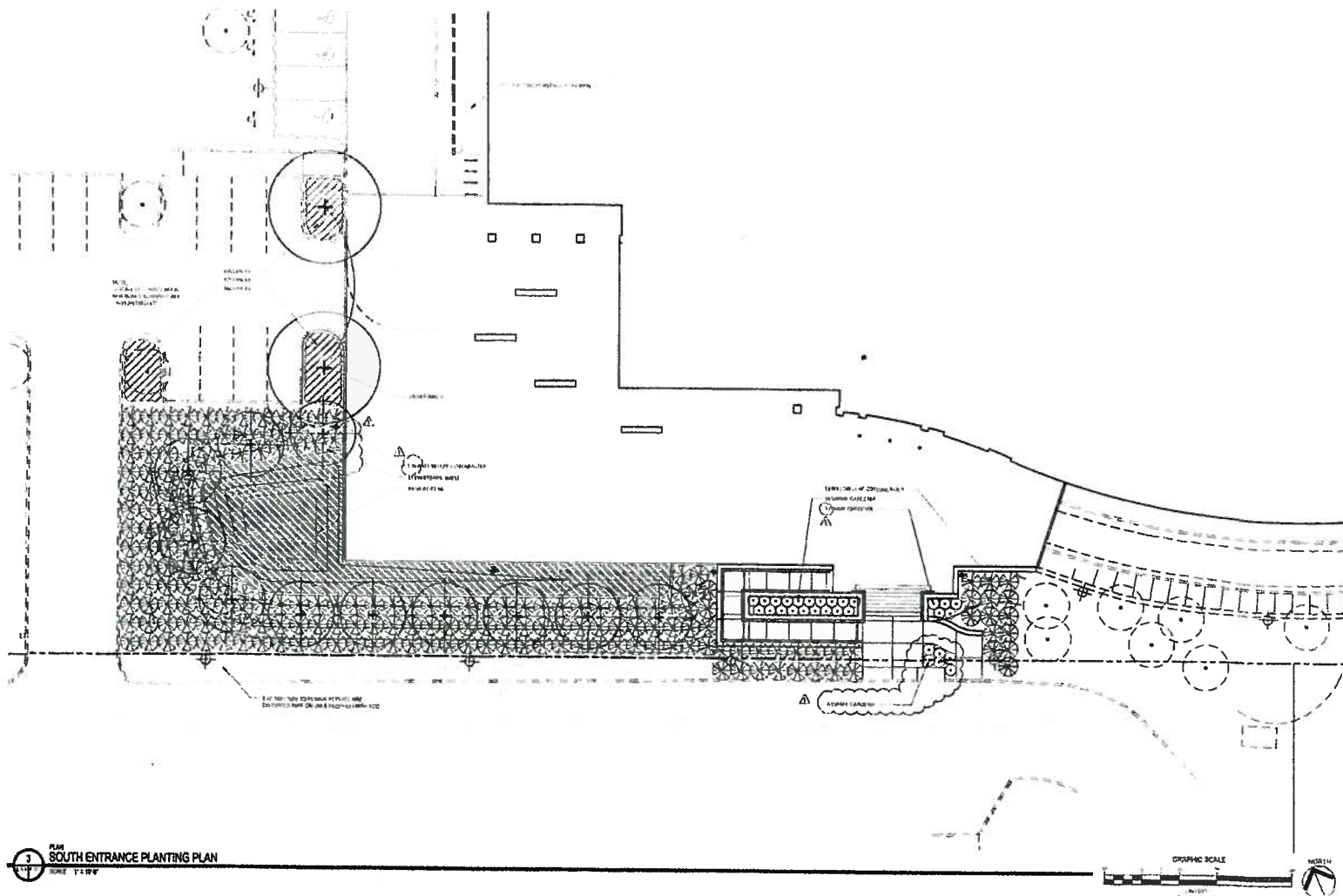
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REVISIONS

NO.	DATE	DESCRIPTION
1	11/15/13	ISSUE FOR PERMIT

SHEET TITLE
FRONT ENTRANCE & LEARNING CENTER PLANTING PLANS

SHEET NUMBER
L302



PLAN SOUTH ENTRANCE PLANTING PLAN
SHEET 1 OF 1

GLAVÉ & HOLMES
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PROJECT TITLE
VIRGINIA HISTORICAL SOCIETY - STONEY CREEK VIRGINIA CAMP GROUND REHABILITATION

PART B - SOUTH ENTRANCE CONSTRUCTION AND SITE MODIFICATIONS
VIRGINIA HISTORICAL SOCIETY
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ROANOKE, VIRGINIA 24012

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MECHANICAL ENGINEER
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LANDSCAPE ARCHITECT
VIRGINIA, INC. WITH
1000 EAST MAIN, SUITE 110
ROANOKE, VIRGINIA 24012
P 540-346-0841



PROJECT NUMBER
21032

DATE
November 15, 2013

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REVISIONS
NO. 1 DATE DESCRIPTION
BY (INITIALS) BY (INITIALS)

SHEET TITLE
SOUTH ENTRANCE PLANTING PLAN

SHEET NUMBER
L303