



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 2320 E. Marshall St.

Historic district Church Hill North

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name Robert A. Steele, FAIA

Phone 804-344-0060

Company B.O.B. Architecture

Email bobsteele@bobarchitecture.net

Mailing Address 108 N. 1st Street
Richmond, VA 23219

Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify):

OWNER INFORMATION (if different from above)

Name Thomas Grillo

Company Porchlight Homes LLC

Mailing Address 3126 W. Cary St. #213
Richmond, VA 23221

Phone 804-362-7272
Email tom@porchlightrva.com

PROJECT INFORMATION

Review Type: Conceptual Review Final Review

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

See Attached

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date 10/12/2020



CERTIFICATE OF APPROPRIATENESS

ALTERATION AND ADDITION CHECKLIST

Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

PROPERTY ADDRESS: _____

BUILDING TYPE

- single-family residence
- multi-family residence
- commercial building
- mixed use building
- institutional building
- garage
- accessory structure
- other

ALTERATION TYPE

- addition
- foundation
- wall siding or cladding
- windows or doors
- porch or balcony
- roof
- awning or canopy
- commercial sign
- ramp or lift
- other

WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

PHOTOGRAPHS place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

DRAWINGS (refer to required drawing guidelines)

- current site plan
- proposed site plan
- current floor plans
- proposed floor plans
- legal "plat of survey"
- list of current windows and doors
- list of proposed window and door
- current roof plan
- proposed roof plan
- current elevations (all sides)
- proposed elevations (all sides)
- demolition plan
- perspective and/or line of sight



E Marshall St. Residence
2320 E Marshall Street, Richmond, VA 23223

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Legal Plat

Drawings
Current Site Plan
Proposed Site Plan
Existing Floor Plans
Proposed Floor Plans
Existing Elevations
Proposed Elevations



E Marshall St. Residence

2320 E Marshall Street, Richmond, VA 23223

Written Description

Our proposal includes the renovation of the existing 3,168 SF three story residence at 2320 E. Marshall Street.

2320 E. Marshall Street is an existing three story brick residence built in 1910, and is in a state of disrepair. The interior of the home has been demolished and little of the original architectural detail and integrity remains. The home shall be a 4 BR, 3.5 Bath single family residence once completed. The design calls for the respectful reuse of the original front two parlors, with a more open space at the rear on each of the three levels. New systems shall be installed. The front façade shall be carefully cleaned and new windows installed. All wood work shall be refinished and reused where possible. The existing brick has a pigmented paint coating. Our goal is to clean and paint the brick. All windows are new and match the original. The existing double entry doors shall be refinished and reused. A new painted wood entry stairway is proposed to replace in kind the original. An outdoor ground level terrace and an elevated porch is proposed in the rear of the home.

The current site area totals 8,137 SF and is relatively flat with a gentle slope of grade from E. Marshall Street to the rear alley. Two other residences will be constructed on the site and are being submitted under separate applications. Proposed off street parking for all 3 single family residences is accessed from the alley. An auto court with privacy fence shall be provided off the alley with access to each residence. Privacy fencing and green space shall be provided for each home.



E Marshall St. Residence

2320 E Marshall Street, Richmond, VA 23223

1 Brick

Manuf: TBD



Red Painted Finish



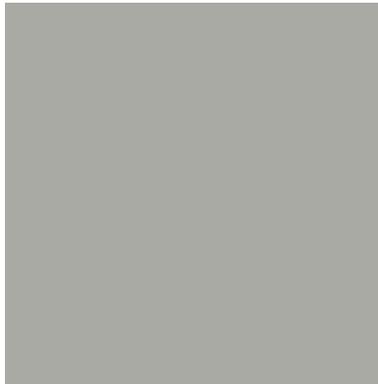
2 Front Steps

Manuf: Advantage Lumber



Wood Stairs

Paint: Benjamin Moore Platinum Gray

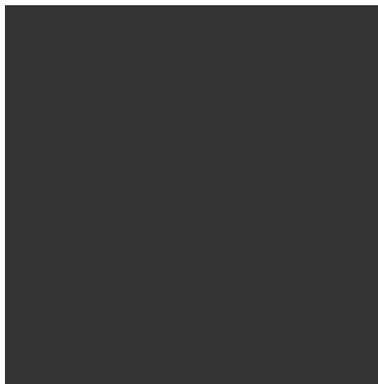


3 Standing Seam Metal Roof

Manuf: ATAS or equal



Matte Black Finish

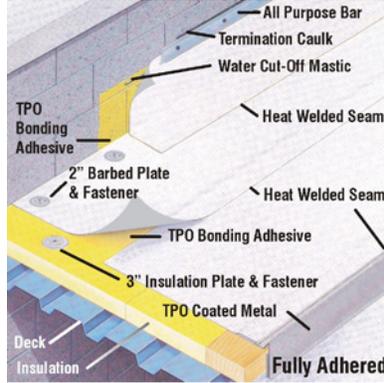




E Marshall St. Residence
2320 E Marshall Street, Richmond, VA 23223

4 Roofing

Manuf: Firestone or Equal



TPO Single Ply Roofing
White Finish

5 Gutters & Downspouts



Internal Concealed Drainage System

6 Replacement Windows

Manuf: Marvin or equal



Aluminum Clad Wood Windows with Simulated Divided Lites
White Exterior, Wood Interior



E Marshall St. Residence

2320 E Marshall Street, Richmond, VA 23223

7 Doors

Manuf: Marvin or equal



Aluminum Clad Wood Doors
Iron Ore Exterior, Wood Interior

8 Screening/Fencing

Manuf: Advantage Lumber



Alternating 1x6 & 1x3 Cumaru Fencing
w/4x4 P.T. Post Pntd.

9 Exterior Rails

Manuf: TimberTech



Classic Composite Series



E Marshall St. Residence

2320 E Marshall Street, Richmond, VA 23223

10 Terrace

Manuf: Marazzi



Mystone Basalto Collection 30x30
Color: Sabia

11 Decks

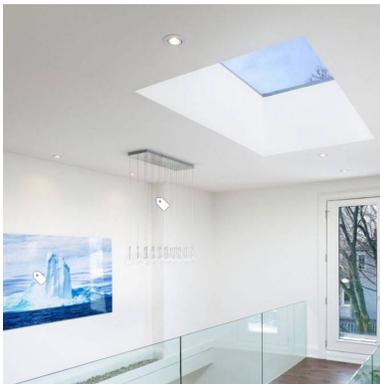
Manuf: Advantage Lumber



1x6 Cumaru

12 Skylights

Manuf: Velux



Velux
Flat Roof Fixed Skylight



E Marshall St. Residence
2320 E Marshall Street, Richmond, VA 23223

13 Light Fixtures

Manuf: TBD



Modern Black Sconce



14 Brick Piers

Manuf: TBD



Brick Pier with Light Fixture

15 Gravel

Manuf: TBD



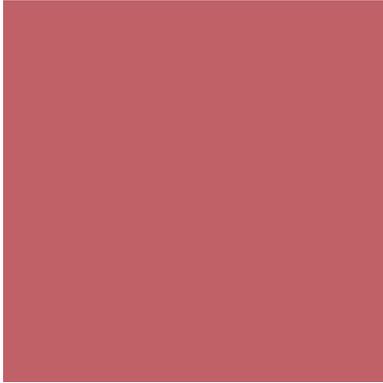
Pea Gravel Auto Court



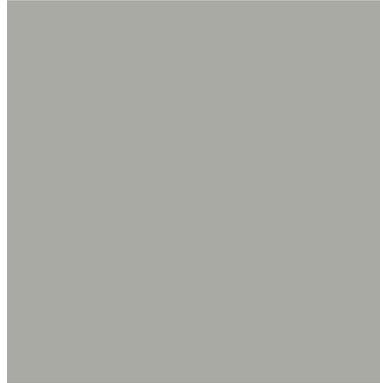
E Marshall St. Residence
2320 E Marshall Street, Richmond, VA 23223

Colors

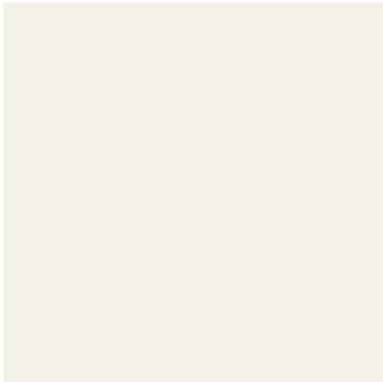
Siding - Painted Brick
- Red



Front Steps
- Benjamin Moore Platinum Gray



Replacement Windows
- Marvin Stone White



Screening Fence & Decks
- Cumaru (Sealed)



Standing Seam Metal Roof
- Matte Black



Stone Terrace
- Basalto Sabia





E Marshall St. Residence

2320 E Marshall Street, Richmond, VA 23223

List of Current Windows and Doors

Basement

3'-0" x 5'-0" (2) Front
3'-8 1/2" x 1'-5 1/2" (1) Rear
3'-4" x 5'-1 1/2" (1) Rear
3'-0" x 5'-1 1/2" (1)Rear

First Floor

3'-0" x 6'-9 1/4" (2) Front
5'-0" x 8'-0" D (1) Front
3'-4" x 4'-1 1/2" (2) Rear
3'-0" x 4'-1 1/2" (1) Rear

Second Floor

3'-0" x 6'-9 1/4" (3) Front
3'-4" x 4'-1 1/2" (3) Rear

List of Proposed Windows and Doors

Basement

3'-0" x 5'-0" (2) Front
3'-8 1/2" x 1'-5 1/2" (1) Rear
3'-4" x 5'-1 1/2" (1) Rear
3'-0" x 7'-0" D (1)Rear

First Floor

3'-0" x 6'-9 1/4" (2) Front
5'-0" x 8'-0" D (1) Front
8'-9" x 7'-0" D (1) Rear
3'-0" x 7'-0" D (1) Rear

Second Floor

3'-0" x 6'-9 1/4" (3) Front
3'-4" x 4'-1 1/2" (3) Rear



E Marshall St. Residence
2320 E Marshall Street, Richmond, VA 23223

Photographs



Front Facade



E Marshall St. Residence
2320 E Marshall Street, Richmond, VA 23223

Photographs



West Facade



E Marshall St. Residence
2320 E Marshall Street, Richmond, VA 23223

Photographs



Rear Facade



E Marshall St. Residence
2320 E Marshall Street, Richmond, VA 23223

Photographs



Front Steps



E Marshall St. Residence
2320 E Marshall Street, Richmond, VA 23223

Photographs - Windows



Front



Rear



Rear



Rear - East



E Marshall St. Residence
2320 E Marshall Street, Richmond, VA 23223

Photographs - Windows (Cont.)



Rear



Rear



West



E Marshall St. Residence
2320 E Marshall Street, Richmond, VA 23223

Photographs - Interior



Basement



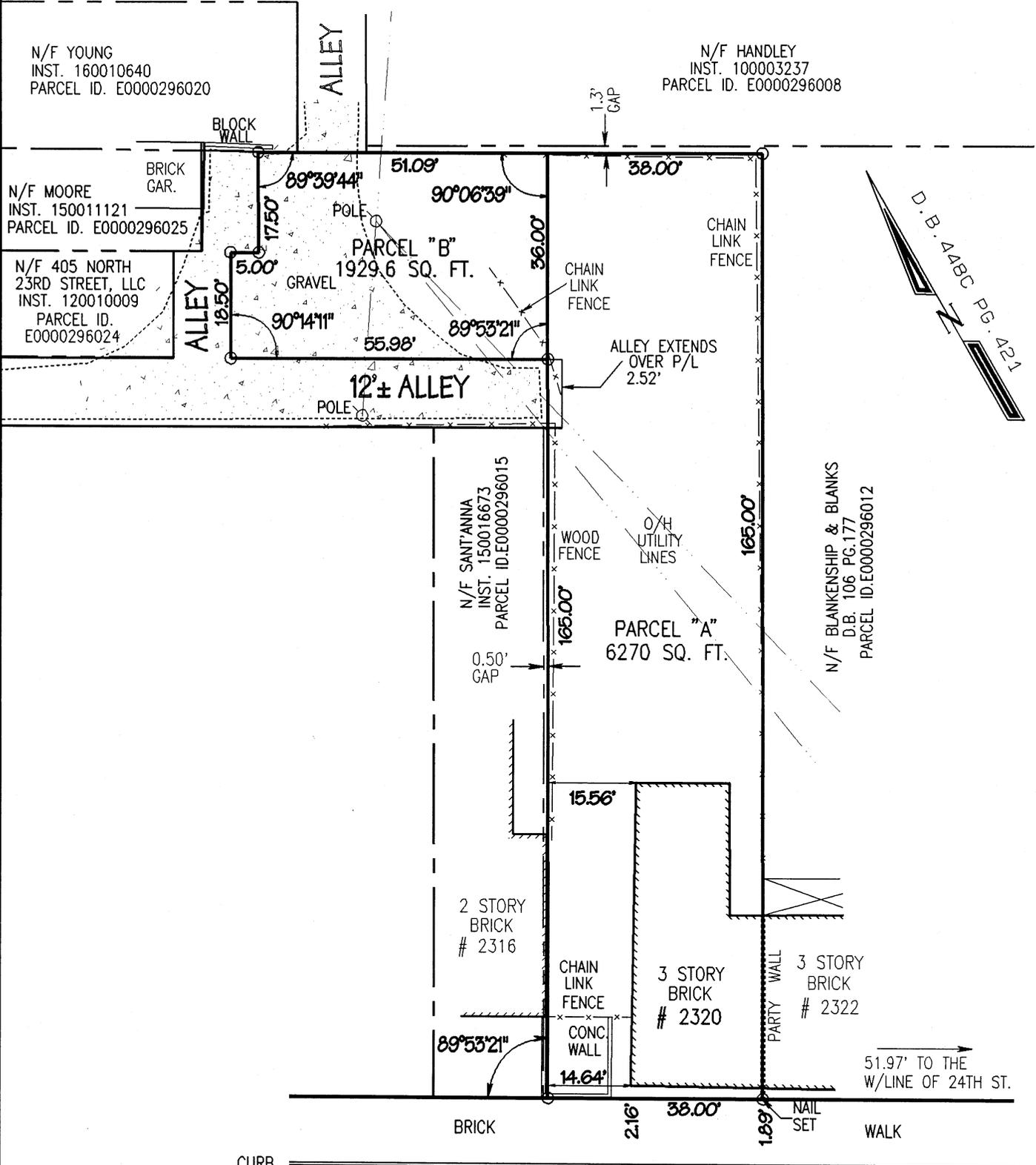
E Marshall St. Residence
2320 E Marshall Street, Richmond, VA 23223

Photographs - Interior



First Floor

FREDERICK A. GIBSON & ASSOCIATES, P.C. ASSUMES NO LIABILITY REGARDING SUB-SURFACE FEATURES SUCH AS TOXIC WASTE, GARBAGE OR WASTE DISPOSAL AREAS, LANDFILLS, UNDERGROUND STORAGE TANKS,CEMETERIES OR BURIAL SITES, SHRINK/SWELL SOILS, UNDERGROUND WATERWAYS OR UTILITIES. CURRENT OWNER(S): TUCKAHOE FUNDING,LLC INST.200003276 PARCEL ID E0000296013



CURB **E. MARSHALL STREET**

VARIABLE WIDTH R/W
(PHYSICAL SURVEY)

**SURVEY & PLAT OF # 2320 E. MARSHALL STREET
IN THE CITY OF RICHMOND, VIRGINIA**

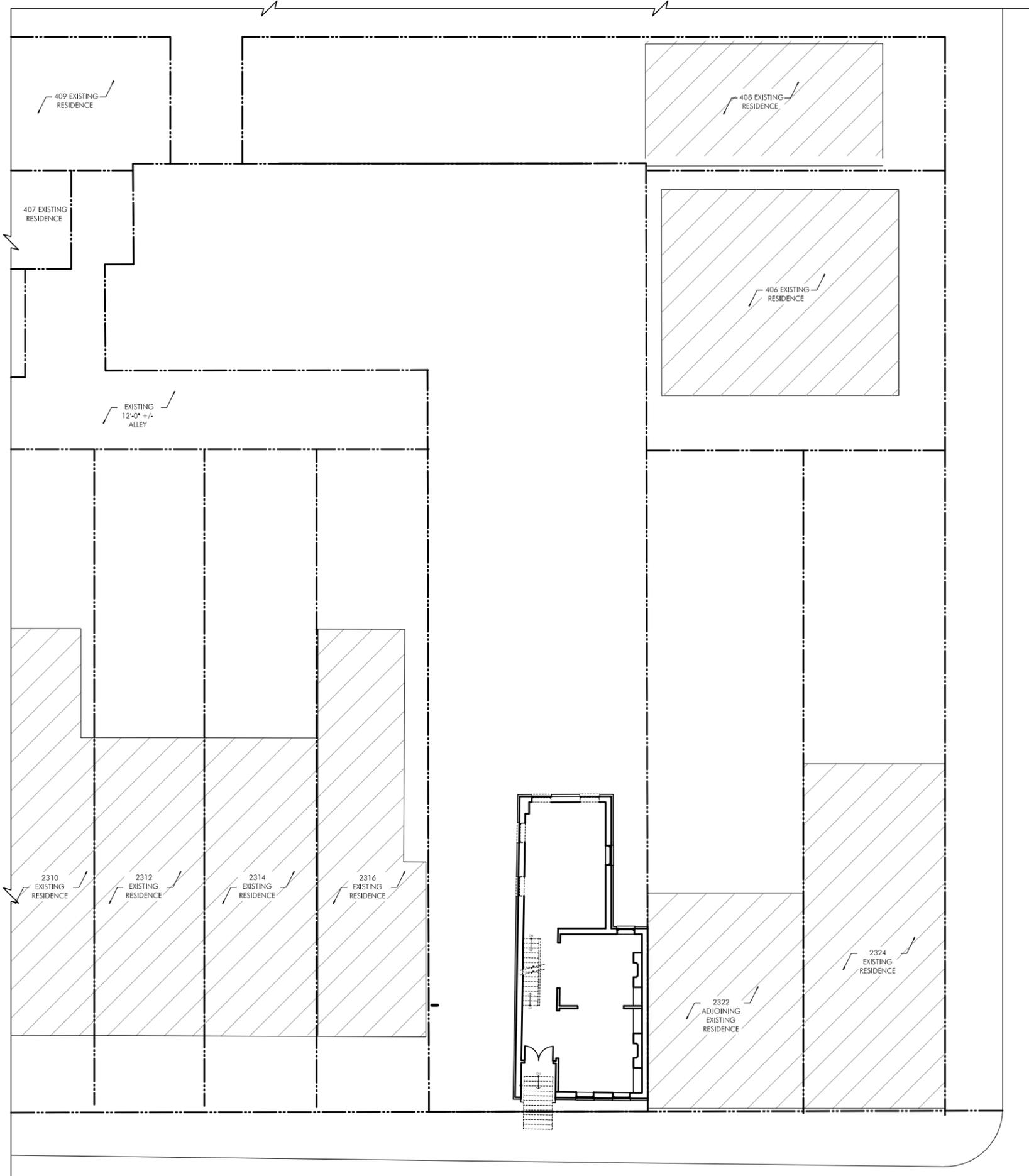
SCALE: 1" = 25'

THIS IS TO CERTIFY THAT ON MARCH 20, 2020, I MADE A FIELD SURVEY OF THE PREMISES SHOWN HEREON; THAT THERE ARE NO VISIBLE ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES OR FROM SUBJECT PREMISES UPON ADJOINING PREMISES, OTHER THAN AS SHOWN HEREON. THIS PLAT IS BEING FURNISHED WITHOUT BENEFIT OF A TITLE REPORT. PREMISES SHOWN HEREON IS SUBJECT TO EASEMENTS OF RECORD OR OTHERWISE. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT COMPLIES WITH THE MINIMUM PROCEDURES AND STANDARDS ESTABLISHED BY THE VIRGINIA STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS, AND CERTIFIED LANDSCAPE ARCHITECTS.



**FREDERICK A. GIBSON
& ASSOCIATES, P.C.**
LAND SURVEYORS
11521-G MIDLOTHIAN TURNPIKE
NORTH CHESTERFIELD, VIRGINIA 23235
PHONE 804 378-4485 FAX 804 378-4487

LEGEND	
○	= IRON ROD FOUND
●	= IRON ROD SET
UNLESS OTHERWISE NOTED.	
PROJECT # 8810-51	



E. MARSHALL ST.

N. 24TH ST.

LOCATION

2320 E. MARSHALL ST.
RICHMOND VA, 23223

BUILDING DATA

ZONING
R-63 RESIDENTIAL MULTI-FAMILY URBAN

LOT AREA

2320 E. MARSHALL 8,137 SF

BUILDING AREA

2320 E. MARSHALL 3,168 SF EXISTING SINGLE FAMILY RESIDENCE



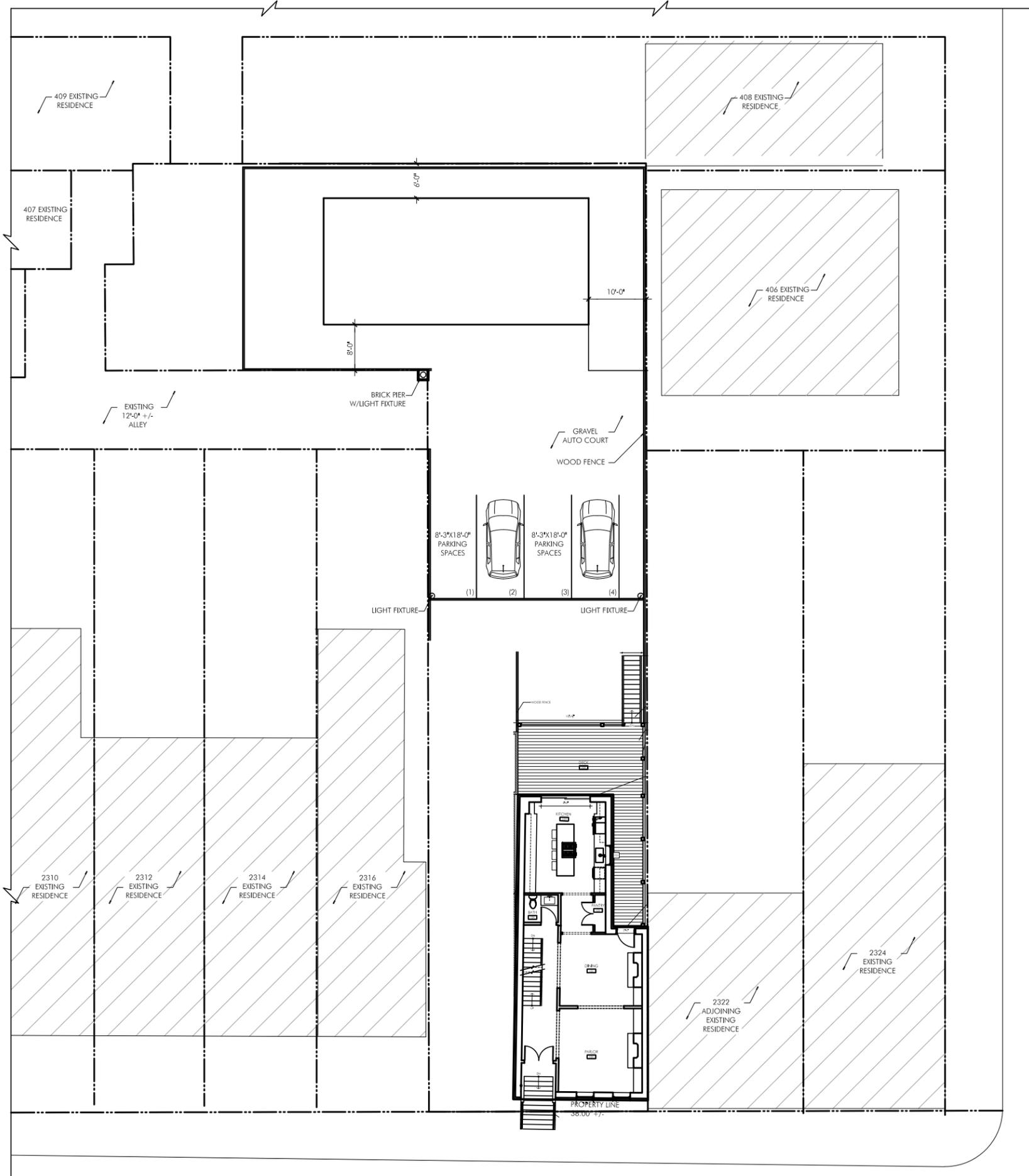
2320 E. MARSHALL ST.

10.12.2020

BOB ARCHITECTURE

EXISTING SITE PLAN

1"=20'



E. MARSHALL ST.

N. 24TH ST.

LOCATION

2318, 2320, & ALLEY E MARSHALL ST.
RICHMOND VA, 23223

BUILDING DATA

ZONING
R-63 RESIDENTIAL MULTI-FAMILY URBAN

LOT AREA

2320 E. MARSHALL 8,137 SF

BUILDING AREA

2320 E. MARSHALL 3,168 SF EXISTING SINGLE FAMILY RESIDENCE REHAB
2318 E. MARSHALL 2,001 SF NEW SINGLE FAMILY ADDITION
ALLEY RESIDENCE 2,145 SF NEW ALLEY RESIDENCE



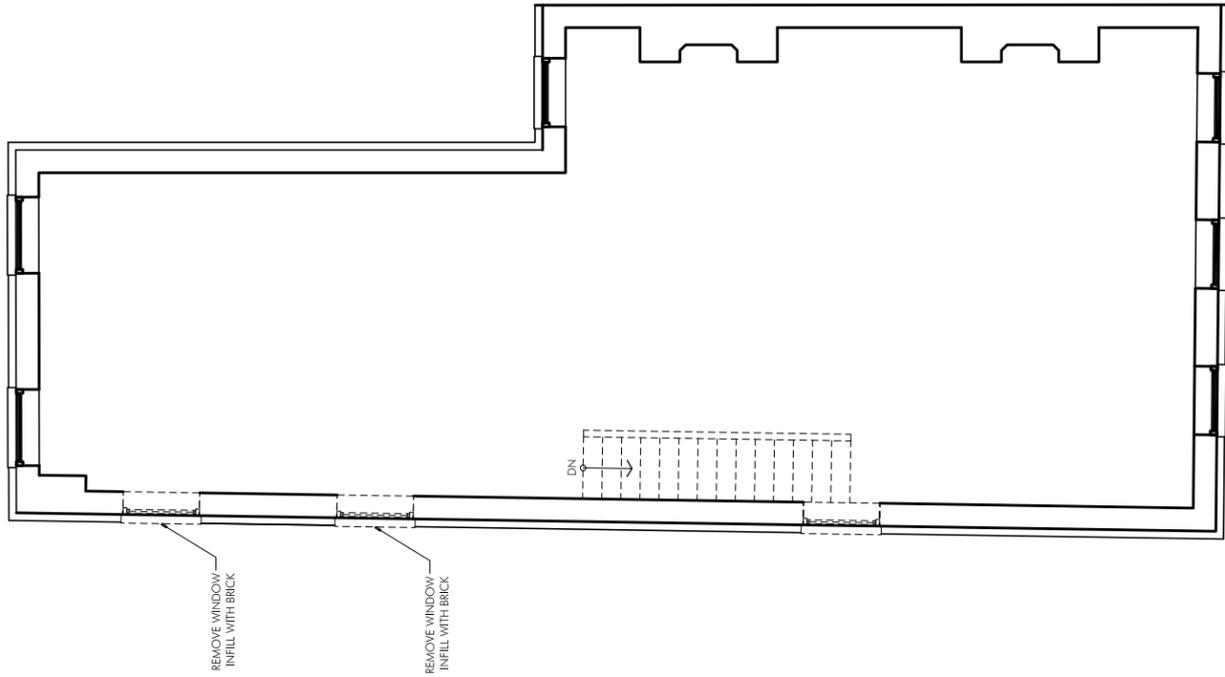
2320 E. MARSHALL ST.

10.12.2020

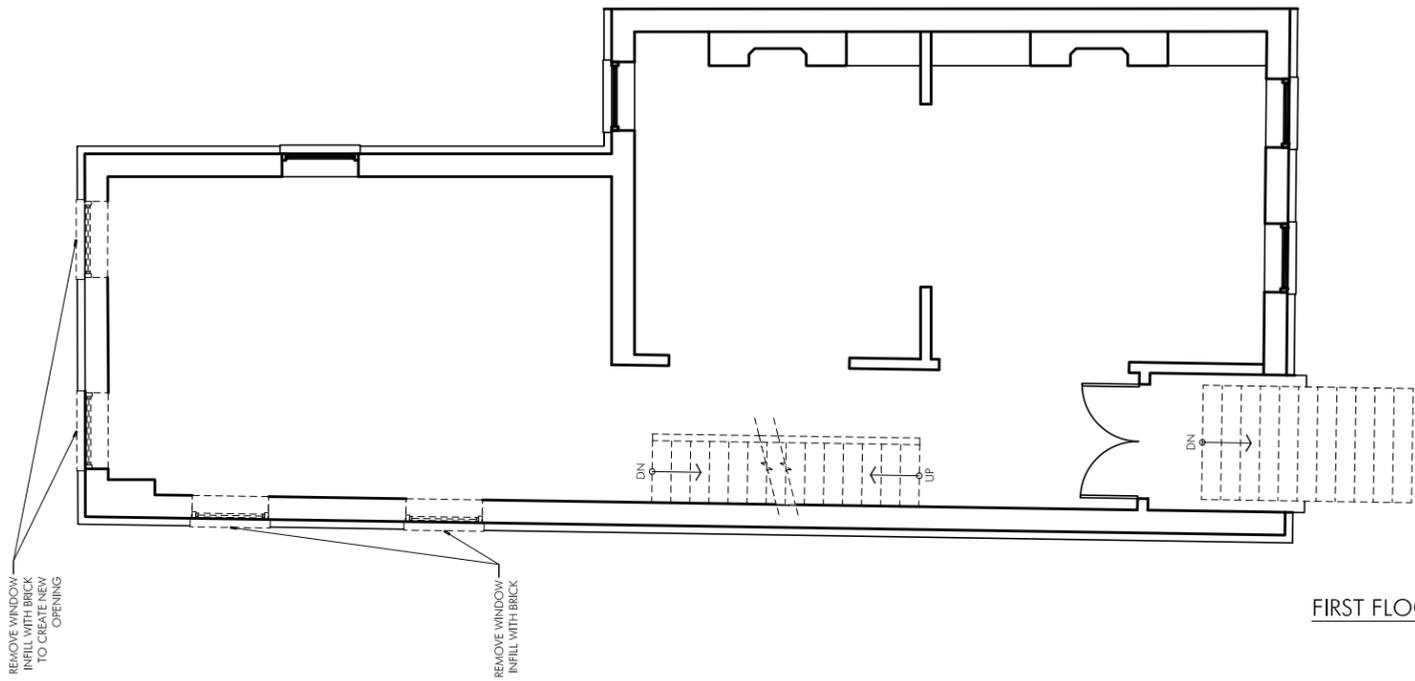
BOB ARCHITECTURE

PROPOSED SITE PLAN

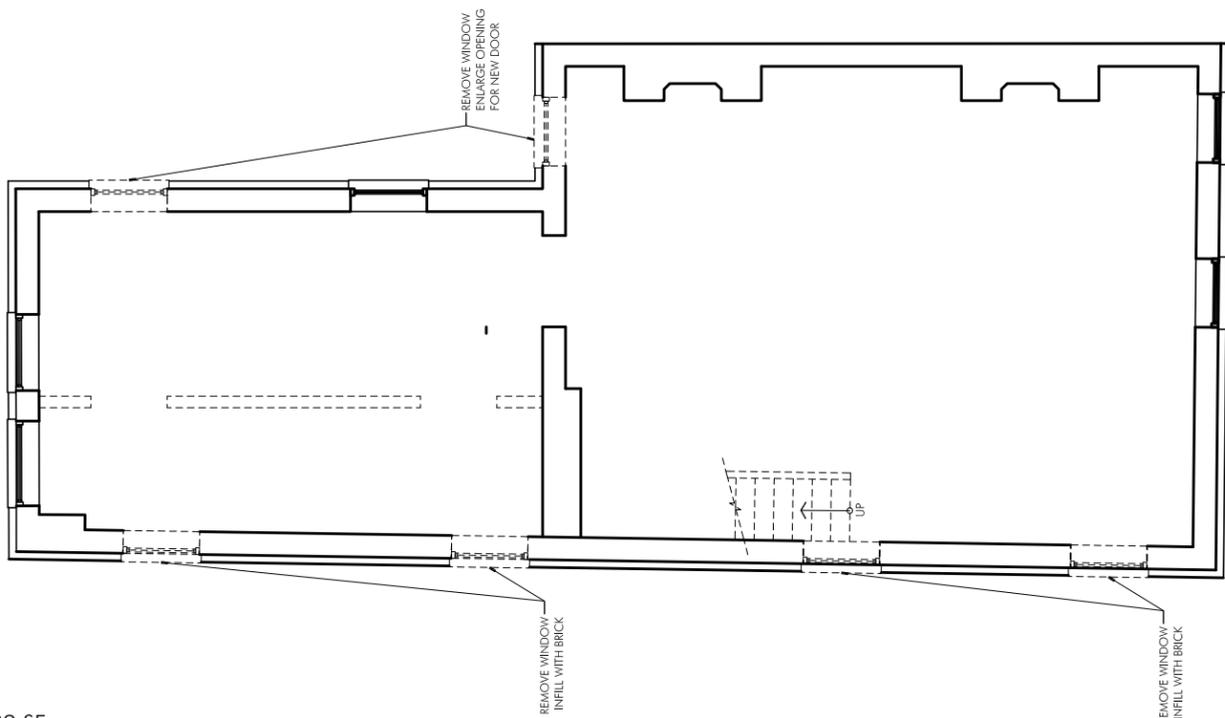
1"=20'



SECOND FLOOR PLAN



FIRST FLOOR PLAN

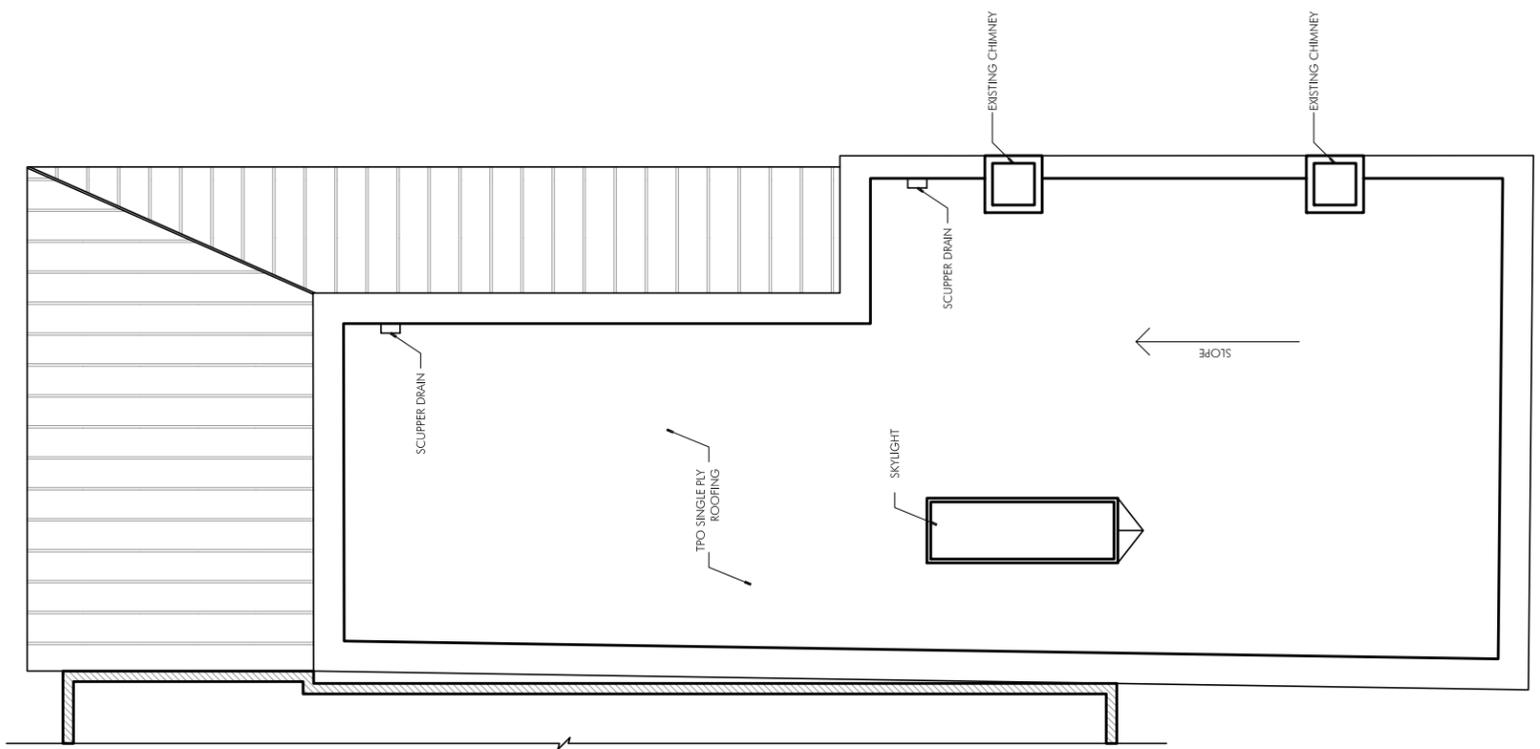


BASEMENT FLOOR PLAN

SQUARE FOOTAGE:	
BASEMENT FLR -	1,082 SF
FIRST FLOOR -	1,043 SF
SECOND FLOOR -	1,043 SF
TOTAL -	3,168 SF

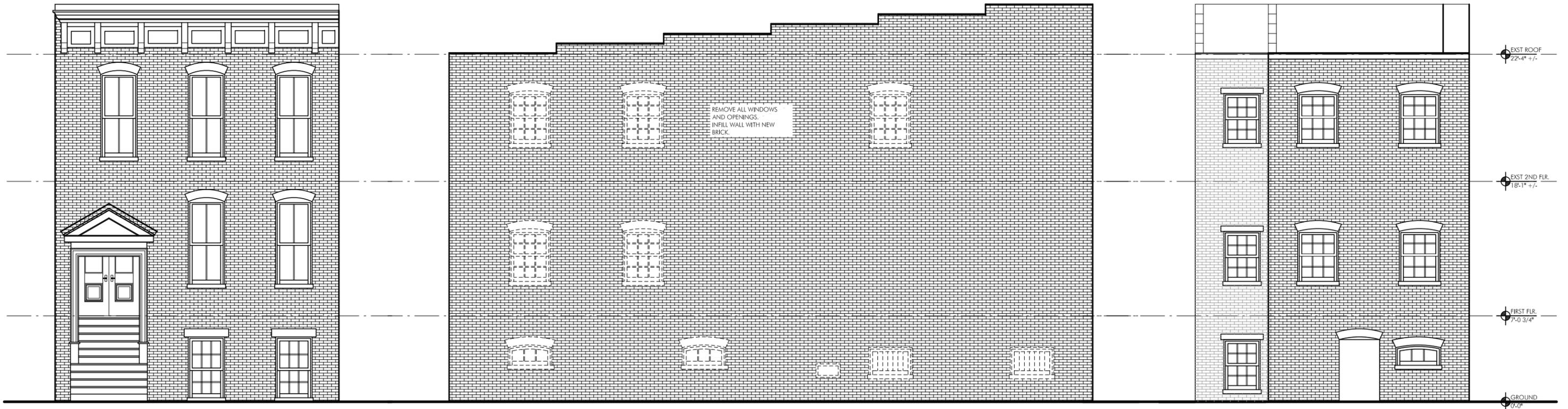
2320 E. MARSHALL ST.

EXISTING & DEMOLITION FLOOR PLANS



SQUARE FOOTAGE:
 ROOF - 895 SF

2320 E. MARSHALL ST.

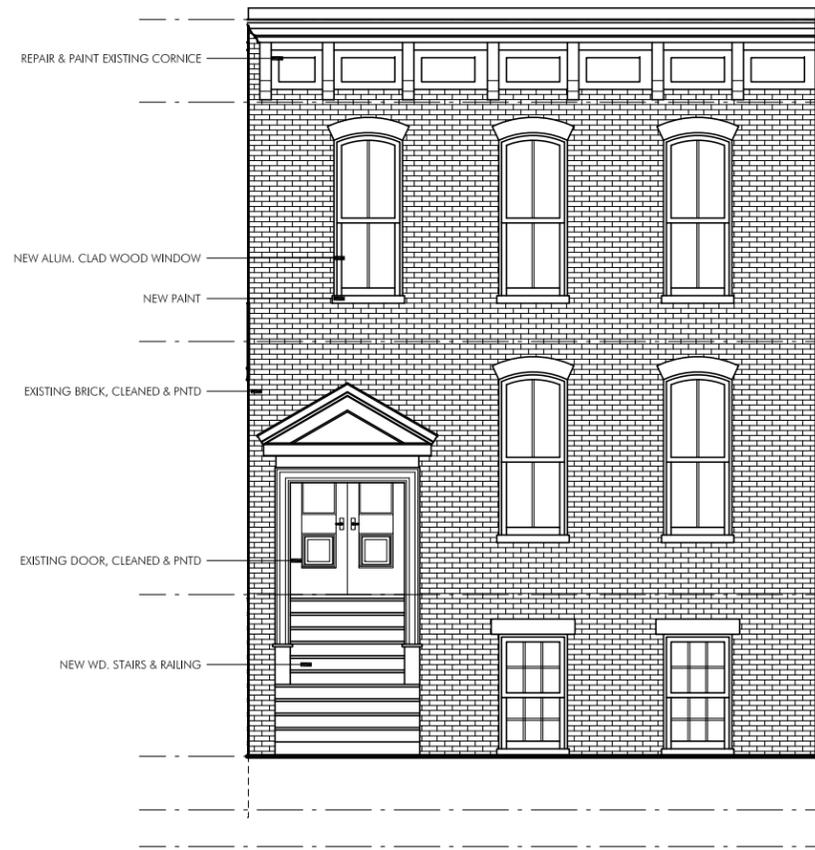


REAR ELEVATION

SIDE ELEVATION

FRONT ELEVATION

2320 E. MARSHALL ST.



FRONT ELEVATION



REAR ELEVATION

- T.O. CORNICE
32'-2"
- ROOF BRNG.
22'-4" +/-
- SECOND FLR.
18'-1" +/-
- FIRST FLR.
7'-0 3/4"
- GROUND
0'-0"
- LOWER LEVEL
-2'-4"
- TERRACE
-2'-8"

2320 E. MARSHALL ST.