

INTRODUCED: December 13, 2021

AN ORDINANCE No. 2021-366

To authorize the special use of the property known as 313 West 26th Street for the purpose of a two-family detached dwelling, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: JAN 10 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 313 West 26th Street, which is situated in a R-6 Single-Family Attached Residential District, desires to use such property for the purpose of a two-family detached dwelling, which use, among other things, is not currently allowed by section 30-412.4, concerning lot area and width, density, and unit width, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: FEB 14 2022 REJECTED: _____ STRICKEN: _____

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 313 West 26th Street and identified as Tax Parcel No. S000-0699/019 in the 2021 records of the City Assessor, being more particularly shown on a survey entitled “Survey and Plat of Lot 4, Block 17, Woodland Heights in the City of Richmond, VA,” prepared by Edwards, Kretz, Lohr & Associates, PLLC, and dated April 20, 2015, provided as an inset on sheet CS of the plans entitled “New 2-Story Duplex, 313 W 26th St, Richmond, Virginia,” prepared by Michael Pellis Architecture, and dated June 2, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a two-family detached dwelling, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “New 2-Story Duplex, 313 W 26th St, Richmond, Virginia,” prepared by Michael Pellis Architecture, and dated June 2, 2021, and hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a two-family detached dwelling, substantially as shown on the Plans.

(b) No less than two off-street parking spaces accessible from the alley shall be provided on the Property.

(c) All building materials, elevations, and site improvements shall be substantially as shown on the Plans.

(d) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(e) The height of the Special Use shall not exceed two stories, substantially as shown on the Plans.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

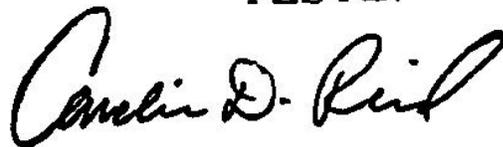
(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

**A TRUE COPY:
TESTE:**

A handwritten signature in black ink, appearing to read "Carolin D. Reil". The signature is written in a cursive style with a large initial 'C'.

City Clerk

City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Item Request File Number: PRE.2021.900

O & R Request

DATE: November 15, 2021

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)
(This in no way reflects a recommendation on behalf of the Mayor.)



THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer



THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning



FROM: Kevin Vonck, Director, Department of Planning and Development Review



RE: To authorize the special use of the property known as 313 West 26th Street for the purpose of allowing a two-family detached dwelling.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the property known as 313 West 26th Street for the purpose of allowing a two-family detached dwelling.

REASON: The subject property is located in the R-6 Single-Family Attached Residential zoning district. Two-family detached dwellings are permitted uses on lots that are at least 50 feet wide and 6,000 square feet in area. The 31 foot wide subject property contains 4,588 square feet in area. Therefore a special use permit is required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its January 3, 2022 meeting.

BACKGROUND: The subject property is located on the eastern side of West 26th Street one parcel removed from its intersection with McDonough Street. The subject property is 31 feet wide with a depth of 148 feet for a total area of 4,588 square feet. The subject property is similar to, and compatible with, other

properties in the neighborhood. The proposed two-family detached dwelling will observe five foot side yard setbacks as required in the R-6 Single-Family Attached Residential District.

The proposed two-family detached dwelling will be a two-story structure that will read as a single-family dwelling from the street.

The proposed project conforms to the recommendations of the Richmond 300 Master Plan which designates the subject property for Residential Uses.

All properties surrounding the subject property are located within the same R-6 Single-Family Attached Zoning District. Within the area of the subject property, properties are developed primarily with two-family detached dwellings.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No.

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: December 13, 2021

CITY COUNCIL PUBLIC HEARING DATE: January 10, 2022

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
January 3, 2022

AFFECTED AGENCIES: Office of Chief Administration Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: David Watson, Senior Planner, Land Use Administration, 804-646-1036



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 313 W 26th Street Date: June 30, 2021
 Tax Map #: S0000699019 Fee: \$300
 Total area of affected site in acres: 0.105 acres

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-6 Single-Family Attached Residential

Existing Use: Vacant land

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Construct one two-family detached dwelling.
 Existing Use: Vacant Land

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: N/A

Applicant/Contact Person: Mark Baker

Company: Baker Development Resources
 Mailing Address: 1519 Summit Avenue, Suite 102
 City: Richmond State: VA Zip Code: 23230
 Telephone: (804) 874-6275 Fax: ()
 Email: markbaker@bakerdevelopmentresources.com

Property Owner: Evolve HLD, LLC

If Business Entity, name and title of authorized signee: Daniil Kleyman

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 3420 Pump Road #169
 City: Richmond State: VA Zip Code: 23233
 Telephone: () Fax: ()
 Email: _____

Property Owner Signature: *Daniil V. Kleyman*

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

APPLICANT'S REPORT

June 30, 2021

*Special Use Permit Request
313 W 26th Street, Richmond, Virginia
Map Reference Number: S000-0699/019*

Submitted to:	City of Richmond Department of Planning and Development Review Land Use Administration 900 East Broad Street, Suite 511 Richmond, Virginia 23219
Submitted by:	Baker Development Resources 1519 Summit Avenue, Suite 102 Richmond, Virginia 23230

Introduction

The property owner is requesting a special use permit (the "SUP") for 313 W 26th Street (the "Property"). The SUP would authorize the construction of one (1) two-family detached dwelling on the Property. While the two-family detached use is permitted by the underlying R-6 Single Family Attached Residential zoning district, the lot width and area requirements cannot be met and therefore, the SUP is required.

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The subject property is located on the east side of W 26th Street between McDonough and Perry Streets. The subject property is referenced by the City Assessor as tax parcel S000-0699/019. The Property is a vacant lot that is 31' wide by 148' in depth and contains approximately 4,588 square feet of lot area. The lot is relatively flat and is afforded access in the rear by means of a north-south alley.



Semmes Avenue exist mixed-use and commercial uses. To the south and west of the Property lies Carter Jones Park which is owned by the City of Richmond.

EXISTING ZONING

The Property is zoned R-6 Single-Family Attached, which permits the proposed two-family detached dwelling use. The surrounding properties are also zoned R-6. Properties further to the west beyond W 27th Street are zoned R-5 Single-Family Residential.

MASTER PLAN DESIGNATION

The Richmond 300 Master Plan (the "Master Plan") suggests "Residential" for the Property. The Master Plan suggests this future land use designation allow for a variety of housing types that are consistent with the scale, density, and design of what exists in the vicinity. This designation also encourages that developments reinforce a gridded street pattern to increase connectivity. Single-family dwellings are the contemplated primary use in the Residential future land use designation (p. 54).

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request. In the High-Quality Places chapter, there are a number of supporting objectives, such as (generally):

- Ensure that building materials are durable, sustainable, and create a lasting addition to the built environment, and provide maximum adaptability for environmental change, change of use, and efficiency.
- Allow and encourage a variety of architectural styles.
- Implement urban design and architecture strategies that maintain and enhance the unique character of Richmond's residential districts.

Proposal

PROJECT SUMMARY

The proposed development includes the construction of one (1) two-family detached dwelling on the Property with two (2) accessory parking spaces.

PURPOSE OF REQUEST

The Property consists of a single lot of record that is of typical size and configuration for the vicinity. The Property was originally platted as Lot 4 in Block 17 of the Woodland Heights Subdivision and has a lot width of 31' and contains approximately 4,588 square feet of lot area. The owner would like to construct a two-family dwelling on the Property. The R-6 district permits the two-family detached dwelling use, however, the lot width and lot area requirements applicable to two-family detached dwellings are not met. The R-6 district would require a lot width of not less than 50' and a lot area of not less than 6,000 square feet for the two-family dwelling use.

Therefore, a SUP is required in order to permit the proposed development. The new two-family detached dwelling would meet all other applicable R-6 district requirements.

As the Property is an original lot from the Woodland Heights Subdivision, the existing lot width and area are compatible with other lots in the vicinity which vary in width from 31 to 62 feet but are all characteristically smaller urban lots. Of the 14 existing lots on the subject block face, 8 lots contain single-family dwellings, 4 contain two-family dwellings, and 2 lots are vacant. Existing dwellings on the block were constructed from 1900 to 2003 and are predominantly of a two-story urban design. The proposed dwelling's full-width porch and gabled roof are designed to be respectful of the housing styles found within the block. The proposed 5-foot side yards for the dwelling are compatible with the requirements and existing setbacks commonly seen in the area.

In exchange for the SUP, the intent of this request is to ensure a high-quality market rate infill development. The overall project would be appropriately dense and efficient. It would be consistent with the use permitted by-right by the underlying zoning. At the same time, it would remain respectful to the historic lot pattern in the vicinity thereby remaining consistent with the predominant character of the area. Finally, the quality assurances conditioned through the SUP would guarantee a higher quality development than might otherwise be developed by right.

PROJECT DETAILS

The two-family detached dwelling would be two stories in height. From the street, the proposed building reads as a single-family dwelling, and is thereby consistent with other residential buildings in the vicinity in terms of scale and character. The building would contain approximately 2,449 square feet of conditioned floor area. The ground floor unit would have approximately 1,175 square feet, while the upper floor unit would have approximately 1,274 square feet. As the Property is an original lot from the Hollands Addition Subdivision, the existing lot width and area are compatible with other lots in the vicinity. Other lots in the vicinity vary in size but are all characteristically smaller urban lots. On the subject block face, 7 of the existing 19 lots are vacant. While dwellings on the block were constructed from 1918 to 2013 and consist of a range of housing styles, they are predominantly of a two-story urban design and average 20.6' in width. The proposed two-family dwelling is designed to be respectful of this form. The proposed 5-foot side yards for the dwelling are compatible with the requirements and existing setbacks commonly seen in the area.

The buildings would be clad in cementitious lap siding to ensure quality. The proposed architectural style is consistent with other dwellings found in the vicinity. A full-width front porch and full width upper rear porch are proposed and would provide ample usable outdoor area. Two parking spaces are proposed for the two dwellings, which would be located to the rear of the dwellings and accessed by the rear alley.

Findings of Fact

The following are factors indicated in Section 17.11 of the Charter and Section 114-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- *Be detrimental to the safety, health, morals and general welfare of the community involved.*

The proposed special use permit for high-quality infill construction will not impact the safety, health, morals and general welfare of the nearby neighborhoods.

- ***Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.***

The proposed special use permit will not result in significant traffic impacts to nearby residential neighborhoods. The negligible traffic generation and two off street parking spaces for the two dwelling units will create no congestion on streets, roads, alleys or any other public right of way.

- ***Create hazards from fire, panic or other dangers.***

The property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- ***Tend to overcrowding of land and cause an undue concentration of population.***

The proposed special use permit will not tend to over crowd the land or create an undue concentration of land.

- ***Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.***

The special use permit would not adversely affect the above referenced City services. To the contrary, the proposal would provide positive fiscal (tax) benefits that would enhance the City's ability to provide these services to the proposed development.

- ***Interfere with adequate light and air.***

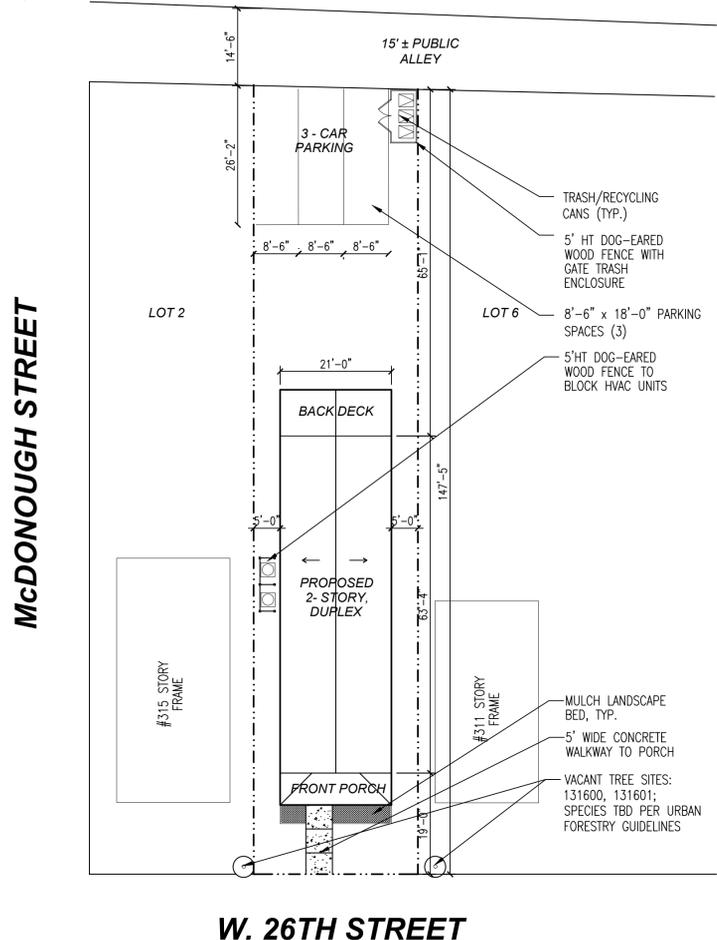
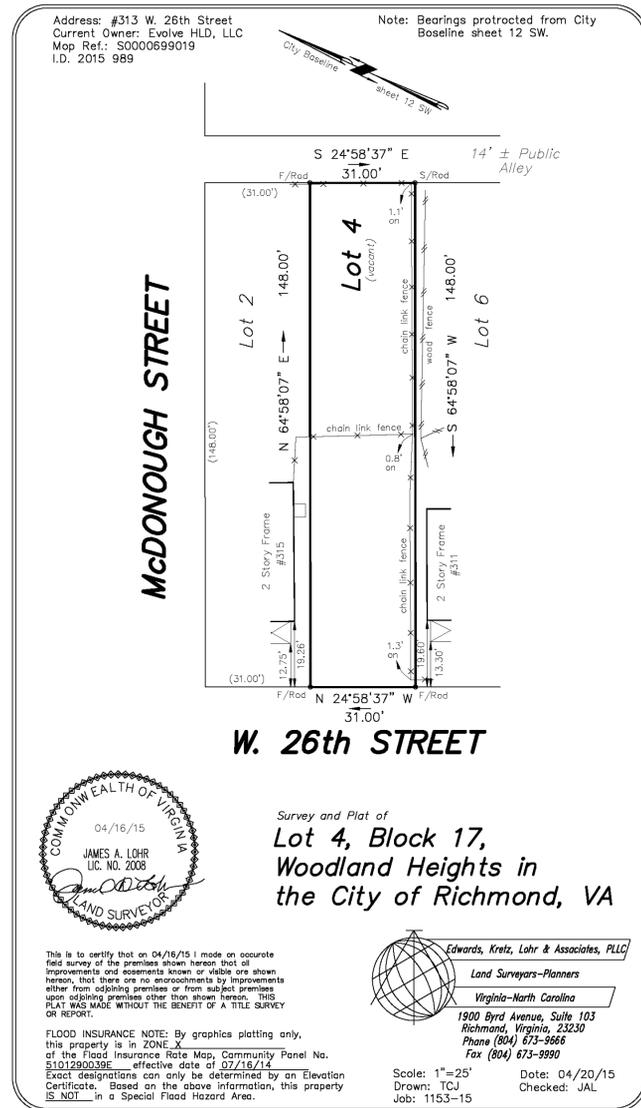
The light and air available to the subject and adjacent properties will not be affected. The proposed buildings are of compatible massing and spacing to the existing in the vicinity. The required R-6 side yard requirements would be met by this request. As a result, this request will not interfere with the provision of adequate light and air to the adjacent buildings.

Summary

In summary, we are enthusiastically seeking approval for the construction of the proposed two-family detached dwelling. The building has been thoughtfully designed in order to provide appropriate, high-quality, market-rate infill development. The request offers compatibility with the City's Master Plan in terms of use. The request would contribute to the ongoing revitalization of the neighborhood, upgrading the Property while maintaining a desirable variation in housing style and density in the vicinity and providing for continued economic diversity in housing options within the neighborhood.

The proposed development would respectfully help restore an appropriate urban fabric in a block face in which many lots are vacant. It would help encourage a pedestrian friendly traditional streetscape in the block and contribute to the vibrancy of the block through the addition of street life in the form of a street-oriented full width front porch. An appropriate building form coupled with the provision of accessory parking to the rear of the property would give the property the much-desired traditional neighborhood design which is appropriate to this area of the City. The provision of off-street parking spaces per zoning standards would help mitigate any impact on parking related to the development. Finally, the quality assurances conditioned through the SUP would guarantee a higher quality development than might otherwise be developed by right.

NEW 2-STORY DUPLEX 313 W 26TH ST RICHMOND, VIRGINIA



SCOPE OF PROJECT

- THE SCOPE OF WORK UNDER THIS PERMIT IS TO CONSTRUCT A NEW TWO-STORY DUPLEX.
- 1HR CONSTRUCTION ACROSS THE ENTIRE CEILING BETWEEN UNITS WILL COMPLY WITH UL - 502
- 1HR. SEPARATION IN WALLS AT ENTRY FOYER PER U-333
- 1 HR. SEPARATION UNDERSIDE OF STAIRS PER UL - 502
- 1 HR. CONSTRUCTION OF WALLS BENEATH STAIRS PER UL - 311
- 1 HR. EXTERIOR WALLS PER U-309
- M, E, P WILL BE PERFORMED DESIGN-BUILD BY THE RESPECTIVE SUBCONTRACTORS AND SUBMITTED SEPARATELY.

BUILDING CODE DATA

JURISDICTION:
RICHMOND, VIRGINIA

APPLICABLE CODES:
2015 INTERNATIONAL RESIDENTIAL CODE

CONSTRUCTION TYPE: VB
FIRE PROTECTION: NON-SPRINKLERED

USE GROUP:
PROPOSED: R-3 - DUPLEX
1ST FLOOR - R-3 APARTMENT
2ND FLOOR - R-3 APARTMENT

SQUARE FOOTAGE: 2,905
TOTAL LOWER UNIT: 1,463 SF
CONDITIONED SPACE: 1175 SF
DECKS: 288 SF
TOTAL UPPER UNIT: 1,442 SF
CONDITIONED SPACE: 1,274 SF
DECK: 168 SF

UNIT COVERAGE

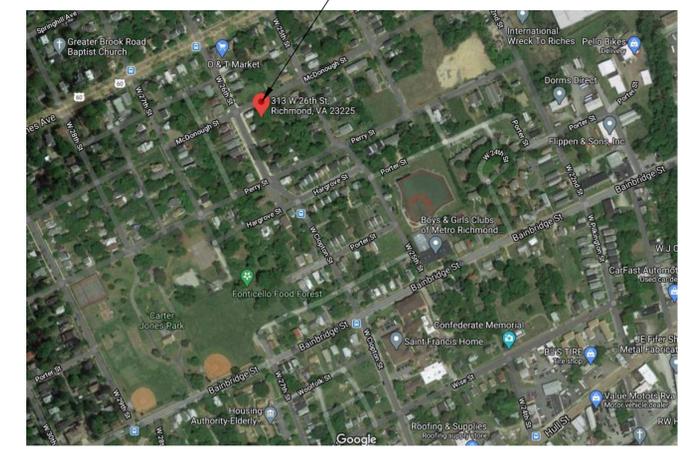
LOT AREA: 4546 SF
UNIT FOOTPRINT: 1638 SF
LOT COVERAGE RATIO: .38

2 AMENITIES PLAN

1/16 = 1'-0"

INDEX OF DRAWINGS

SHEET	DESCRIPTION
CS	COVER SHEET
A1.0	1ST FLOOR PLAN & FOUNDATION PLAN
A1.1	2ND FLOOR & ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	RENDERINGS & STREET VIEWS
A3.0	WALL SECTIONS & DETAILS



1 LOCATION MAP

1/16 = 1'-0"

SYMBOL LEGEND

- WALL TYPE: [Symbol]
- KEYNOTE SYMBOL: [Symbol]
- STANDARD DUPLEX W/ DATA & PHONE: [Symbol]
- 0'-0" FLOOR HEIGHT: [Symbol]
- PATH OF TRAVEL WITH LINEAR FOOT DISTANCE: [Symbol]
- EXISTING WALLS TO REMAIN: [Symbol]
- EXISTING WALLS TO REMOVE: [Symbol]
- NEW WALLS: [Symbol]
- DETAIL SYMBOL: [Symbol]
- EXTERIOR ELEVATION TAG: [Symbol]
- BUILDING SECTION TAG: [Symbol]
- DETAIL/WALL SECTION TAG: [Symbol]

PROJECT:
NEW 2-STORY DUPLEX

COVER SHEET AND CODE DATA

REVISIONS

NO.	DESCRIPTION
1	N/A
2	N/A
3	N/A
4	N/A
5	N/A

CONTACT INFORMATION

OWNER:
DANIEL KLEYMAN
3420 PUMP RD, STE 169
RICHMOND, VIRGINIA 23235

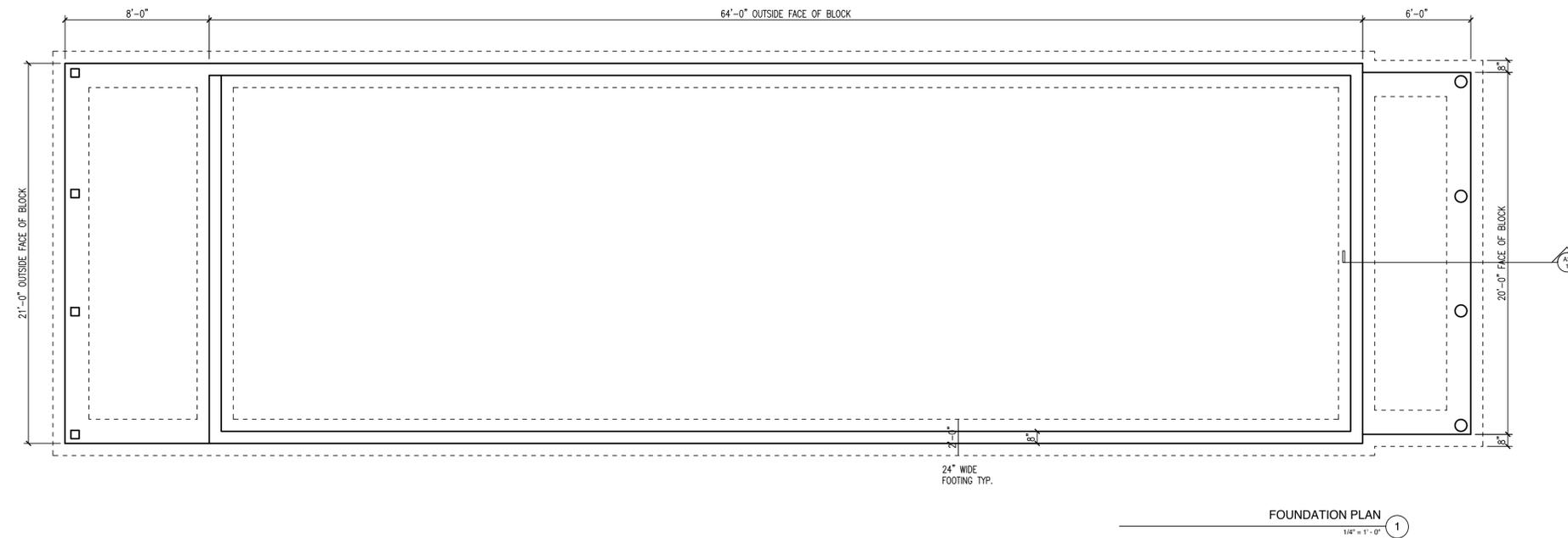
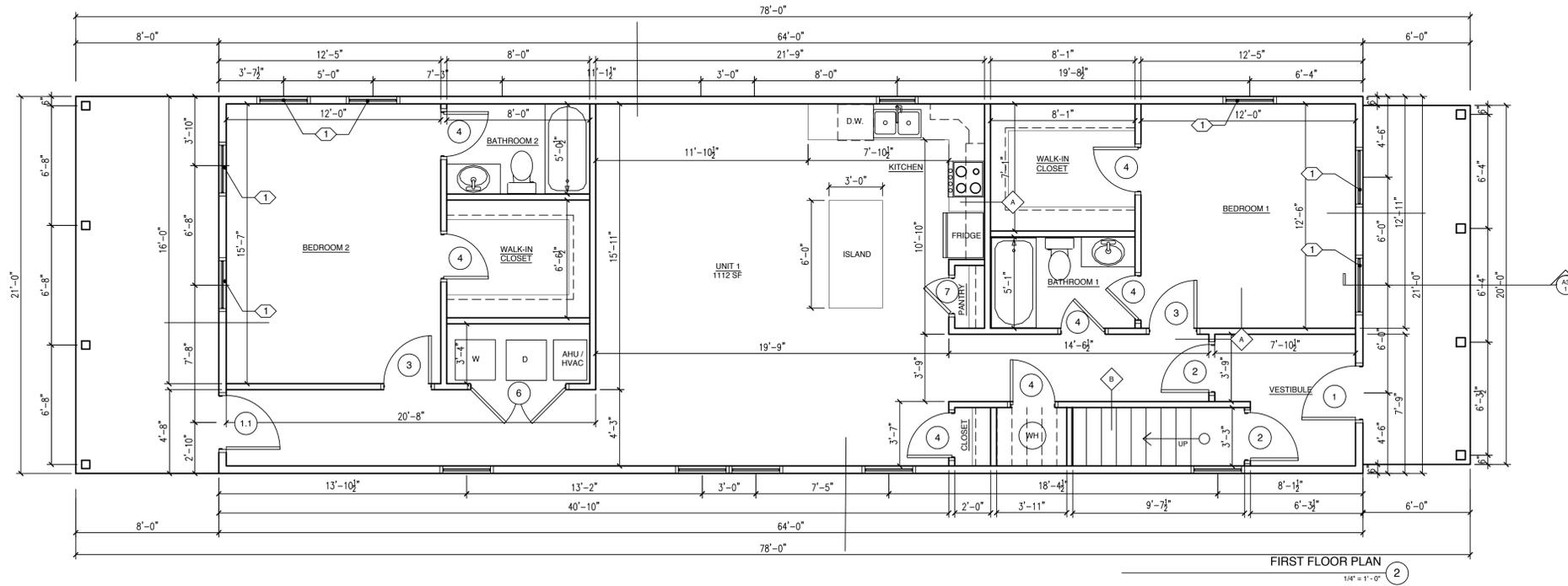
CONTRACTOR:
XXXXXX

ARCHITECT:
MICHAEL PELLIS ARCHITECTURE, PLC
1816 RED QUEEN COURT
N. CHESTERFIELD, VA 23235
CONTACT: MICHAEL PELLIS
michael@michaelpellis.com
804.212.9024

313 W 26TH STREET, RICHMOND VIRGINIA 23225

OWNER:
EVOLVE DEVELOPMENT, LLC
3420 PUMP RD., STE. 169, RICHMOND, VIRGINIA

MICHAEL PELLIS ARCHITECTURE
www.michaelpellis.com
804.212.9024
michael@michaelpellis.com



PROPOSED PLAN KEY NOTES

- ① ALL WINDOWS ON THE 1ST & 2ND FLOOR BEDROOMS MEET EGRESS REQUIREMENTS.

WALL TYPE KEY NOTES

- ④ 1 HR RATED SEPARATION WALL - U333 STC 54
5/8" TYPE 'X' GYP. BD OVER 2 X 4 @ 16" O.C. W/ SOUND BATTS W/ RESILIENT CHANNELS @ 24" O.C VERTICALLY PERPENDICULAR TO STUDS (ONE SIDE ONLY) W/ 5/8" TYPE 'X' GYP. BD.
- ⑤ 1HR STAIRWELL SUPPORT WALLS UL311 - 2 X 4 @ 16" O.C. WOOD STUDS (FLOOR TO UNDERSIDE OF STAIRWELL) W/ BATT INSULATION W/ 5/8" TYPE 'X' GYP. BOTH SIDES. 5/8" (1) LAYER OF 5/8" TYPE 'X' GYP. UNDERSIDE OF STAIRS
- ⑥ TYPICAL EXTERIOR WALL; HARDIE SIDING OVER WEATHERBARRIER OVER 1/2" EXTERIOR SHEATHING OVER 2 X 4 STUDS @ 16" O.C. W/ R-15 INSULATION & 1/2" GYPSUM BOARD INTERIOR FINISH

NOTE:

- UNLESS NOTED OTHERWISE:
ALL WALLS 2 X 4 WOOD STUDS @ 16" O.C. W/ 1/2" DRYWALL BOTH SIDES. SOUND BATTS IN BATHROOM AND BEDROOM WALLS TYP.
- ALUMINUM GUTTER AND DOWNSPOUTS. SEE ELEVATIONS

NOTES:

- 1. EDGE OF SLAB: 4" FROM FACE OF BLOCK
SEE WALL SECTIONS ON SHEET A3.0
- 2. OUTSIDE EDGE OF EXTERIOR WALL SHEATHING TO ALIGN WITH OUTSIDE FACE OF BLOCK STEM WALL. TO ALLOW FOR SELF-ADHERING FLASHING MEMBRANE FLASHING TO RUN CONTINUOUS OVER THE JOINT BETWEEN BLOCK & FRAMING.

DOOR KEY NOTES

- ① 30" X 6'8" FIBERGLASS, 2 PANEL, HALF GLASS ENTRY DOOR AND FRAME W/ 16" TRANSOM, CLOSER, THRESHOLD, ENTRY LOCKSET
- ①.1 30" X 6'8" FIBERGLASS, 2 PANEL, HALF GLASS ENTRY DOOR AND FRAME W/ 16" TRANSOM, THRESHOLD, ENTRY LOCKSET
- ①.2 30" X 6'8" FIBERGLASS, 2 PANEL, HALF GLASS ENTRY DOOR AND FRAME, NO TRANSOM, THRESHOLD, ENTRY LOCKSET
- ② 2'8" X 6'8", THRESHOLD, ENTRY LOCKSET, 45 MIN FIRE RATED INTERIOR DOOR AND FRAME AND CLOSER
- ③ 2'8" X 6'8" INTERIOR DOOR AND FRAME
- ④ 2'6" X 6'8" INTERIOR 45 MIN. DOOR AND FRAME
- ⑤ PAIR OF 2'0" X 6'8" INTERIOR DOORS AND FRAME, LEVER HARDWARE
- ⑥ PAIR OF 2'8" X 6'8" INTERIOR DOORS AND FRAME, LEVER HARDWARE
- ⑦ 2'0" X 6'8" INTERIOR DOOR AND FRAME

- INTERIOR DOORS TO BE HOLLOW CORE, 4 PANEL, PRE-HUNG.
- ALL HARDWARE - BRUSHED NICKEL FINISH, GRADE 2
- PASSAGE HARDWARE TYPICAL EXCEPT PRIVACY LOCKSETS FOR ALL BEDROOMS AND BATHROOMS
- LEVER HARDWARE NOT REQUIRED

PROJECT: **NEW 2-STORY DUPLEX**
313 W 26TH STREET, RICHMOND VIRGINIA 23225

OWNER: **EVOLVE DEVELOPMENT, LLC**
3420 PUMP RD., STE. 169, RICHMOND, VIRGINIA

FOUNDATION & FIRST FLOOR PLANS

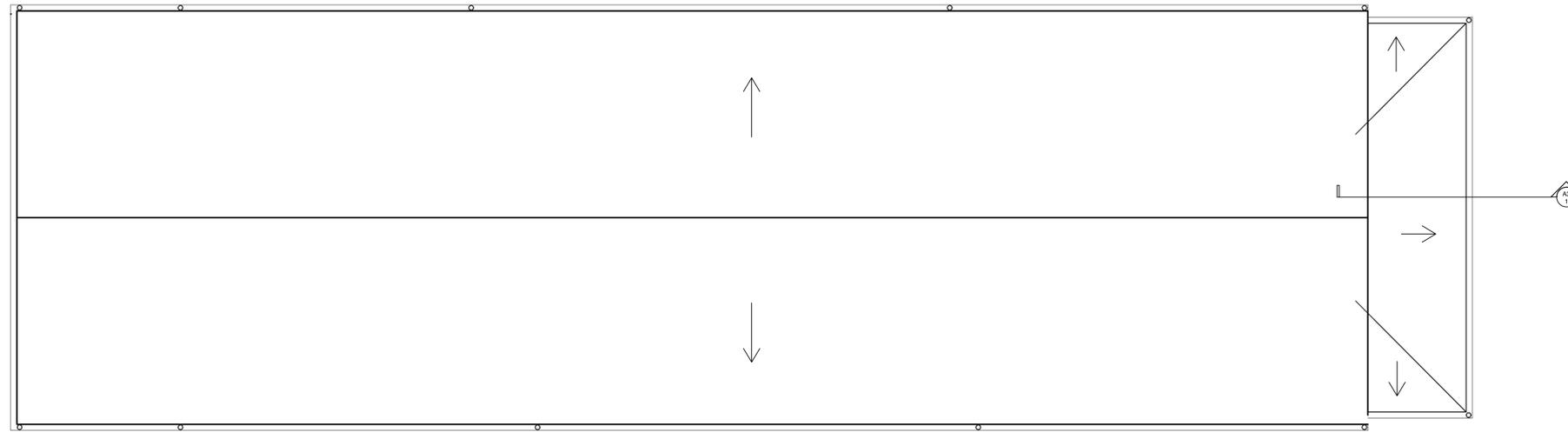
REVISIONS

- N/A
- N/A
- N/A
- N/A
- N/A

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DATE: JUNE 02, 2021

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ROOF PLAN
1/4" = 1'-0" 1

PROPOSED PLAN KEY NOTES

- 1 ALL WINDOWS ON THE 1ST & 2ND FLOOR BEDROOMS MEET EGRESS REQUIREMENTS.

WALL TYPE KEY NOTES

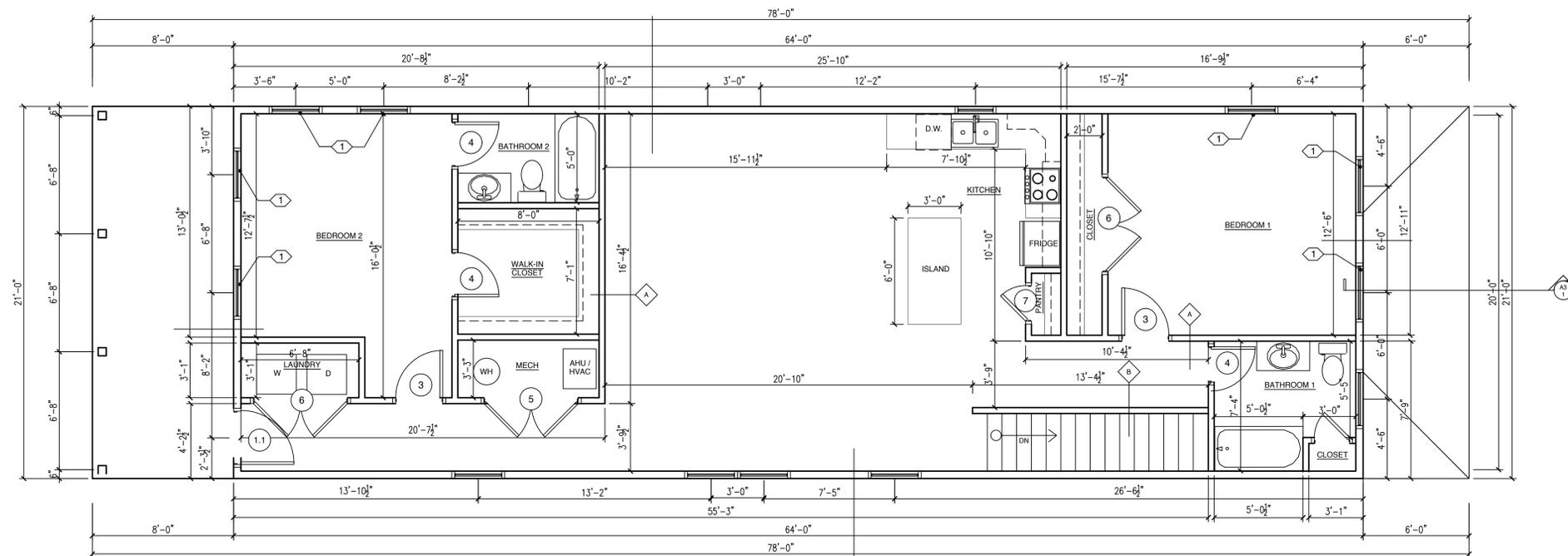
- A 1 HR RATED SEPARATION WALL - U333 STC 54
5/8 TYPE X GYP. BD OVER 2 X 4 @ 16" O.C. W/ SOUND BATTS W/ RESILIENT CHANNELS @ 24" O.C VERTICALLY PERPENDICULAR TO STUDS (ONE SIDE ONLY) W/ 5/8" TYPE X GYP. BD.
- B 1HR STAIRWELL SUPPORT WALLS UL311 - 2 X 4 @ 16" O.C. WOOD STUDS (FLOOR TO UNDERSIDE OF STAIRWELL) W/ BATT INSULATION W/ 5/8" TYPE X GYP. BOTH SIDES. 5/8" (1) LAYER OF 5/8" TYPE X GYP. UNDERSIDE OF STAIRS
- C TYPICAL EXTERIOR WALL; HARDIE SIDING OVER WEATHERBARRIER OVER 1/2" EXTERIOR SHEATHING OVER 2 X 4 STUDS @ 16" O.C. W/ R-15 INSULATION & 1/2" GYPSUM BOARD INTERIOR FINISH

NOTES:

- UNLESS NOTED OTHERWISE:
ALL WALLS 2 X 4 WOOD STUDS @ 16" O.C. W/ 1/2" DRYWALL BOTH SIDES. SOUND BATTS IN BATHROOM AND BEDROOM WALLS TYP.
- ALUMINUM GUTTER AND DOWNSPOUTS. SEE ELEVATIONS

NOTES:

- 1. EDGE OF SLAB: 4" FROM FACE OF BLOCK
SEE WALL SECTIONS ON SHEET A3.0
- 2. OUTSIDE EDGE OF EXTERIOR WALL SHEATHING TO ALIGN WITH OUTSIDE FACE OF BLOCK STEM WALL. TO ALLOW FOR SELF-ADHERING FLASHING MEMBRANE FLASHING TO RUN CONTINUOUS OVER THE JOINT BETWEEN BLOCK & FRAMING.



SECOND FLOOR PLAN
1/4" = 1'-0" 1

DOOR KEY NOTES

- 1 30" X 68" FIBERGLASS, 2 PANEL, HALF GLASS ENTRY DOOR AND FRAME W/ 16" TRANSOM, CLOSER, THRESHOLD, ENTRY LOCKSET
- 1.1 30" X 68" FIBERGLASS, 2 PANEL, HALF GLASS ENTRY DOOR AND FRAME W/ 16" TRANSOM, THRESHOLD, ENTRY LOCKSET
- 1.2 30" X 68" FIBERGLASS, 2 PANEL, HALF GLASS ENTRY DOOR AND FRAME, NO TRANSOM, THRESHOLD, ENTRY LOCKSET
- 2 28" X 68", THRESHOLD, ENTRY LOCKSET, 45 MIN FIRE RATED INTERIOR DOOR AND FRAME AND CLOSER
- 3 28" X 68" INTERIOR DOOR AND FRAME
- 4 26" X 68" INTERIOR 45 MIN. DOOR AND FRAME
- 5 PAIR OF 20" X 68" INTERIOR DOORS AND FRAME, LEVER HARDWARE
- 6 PAIR OF 28" X 68" INTERIOR DOORS AND FRAME, LEVER HARDWARE
- 7 20" X 68" INTERIOR DOOR AND FRAME

INTERIOR DOORS TO BE HOLLOW CORE, 4 PANEL, PRE-HUNG.

ALL HARDWARE - BRUSHED NICKEL FINISH, GRADE 2

PASSAGE HARDWARE TYPICAL EXCEPT PRIVACY LOCKSETS FOR ALL BEDROOMS AND BATHROOMS

LEVER HARDWARE NOT REQUIRED

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FOUNDATION & FIRST FLOOR PLANS

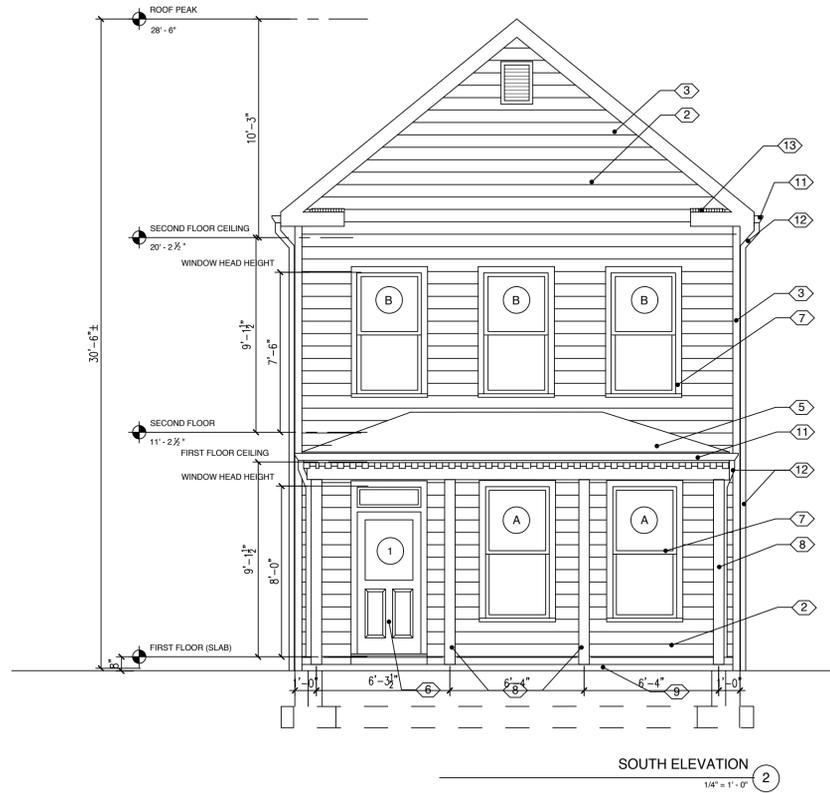
REVISIONS

N/A
N/A
N/A
N/A
N/A

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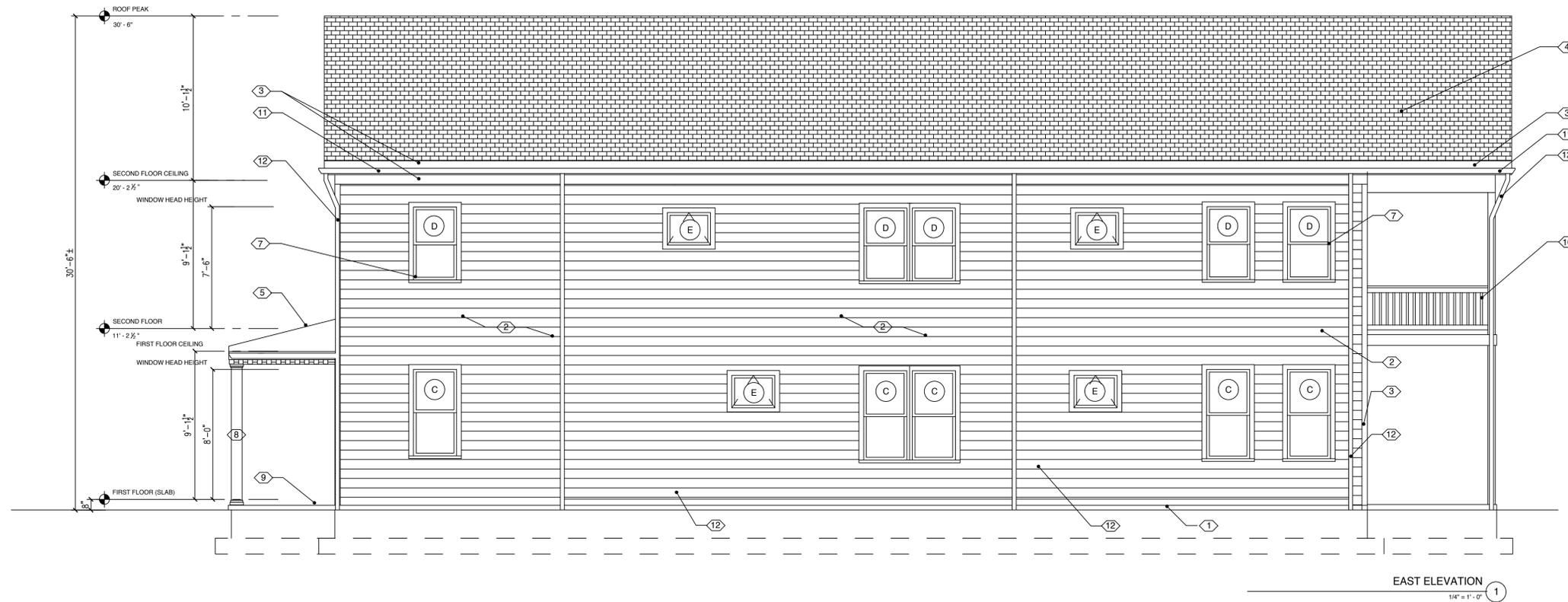
SOUTH ELEVATION
1/4" = 1'-0" 2

EXTERIOR FINISHES

- ① PARGED FOUNDATION; TAN/GRAY
- ② HARDIEPLANK LAP SIDING; COLOR TBD
- ③ HARDIE/COMP. TRIM; WHITE
- ④ MAIN ROOF - SHINGLES
- ⑤ FRONT PORCH ROOF - EPDM; FACTORY BLACK
- ⑥ EXTERIOR DOORS PAINTED; COLOR TBD
- ⑦ WINDOWS - VINYL, TYP.
- ⑧ FRONT PORCH COLUMNS - 8" SQUARE PAINTED WHITE
- ⑨ FRONT PORCH CONCRETE W/ ROWLOCK APRON; NATURAL CONCRETE, ROWLOCK BRICK
- ⑩ WOOD REAR DECK WITH RAILING; NATURAL TREATED WOOD
- ⑪ ALUMINUM GUTTER; PREFINISHED WHITE
- ⑫ ALUMINUM DOWNSPOUTS; PREFINISHED WHITE
- ⑬ FLASHING

EXTERIOR DOOR AND WINDOW KEY NOTES

- ① 30" X 68" FIBERGLASS, 2 PANEL, HALF GLASS ENTRY DOOR W/ 16" TRANSOM, CLOSER, THRESHOLD, ENTRY LOCKSET
- ①.1 30" X 68" FIBERGLASS, 2 PANEL, HALF GLASS ENTRY DOOR W/ 16" TRANSOM, THRESHOLD, ENTRY LOCKSET
- ①.2 30" X 68" FIBERGLASS, 2 PANEL, HALF GLASS ENTRY DOOR NO TRANSOM, THRESHOLD, ENTRY LOCKSET
- A 30" X 62" SINGLE HUNG WINDOW, WHITE TRIM
- B 30" X 58" SINGLE HUNG WINDOW, WHITE TRIM
- C 28" X 54" SINGLE HUNG WINDOW, WHITE TRIM
- D 28" X 46" SINGLE HUNG WINDOW, WHITE TRIM
- E 28" X 20" AWNING WINDOW, WHITE TRIM
- F 28" X 56" SINGLE HUNG WINDOW, WHITE TRIM



EAST ELEVATION
1/4" = 1'-0" 1

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ELEVATIONS

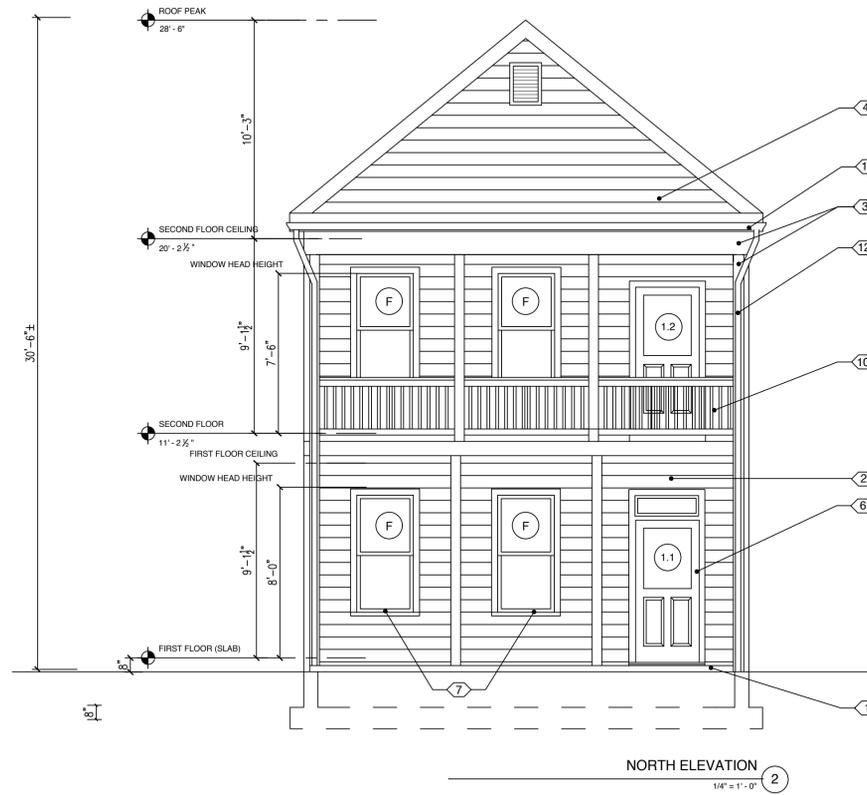
REVISIONS

- N/A
- N/A
- N/A
- N/A
- N/A

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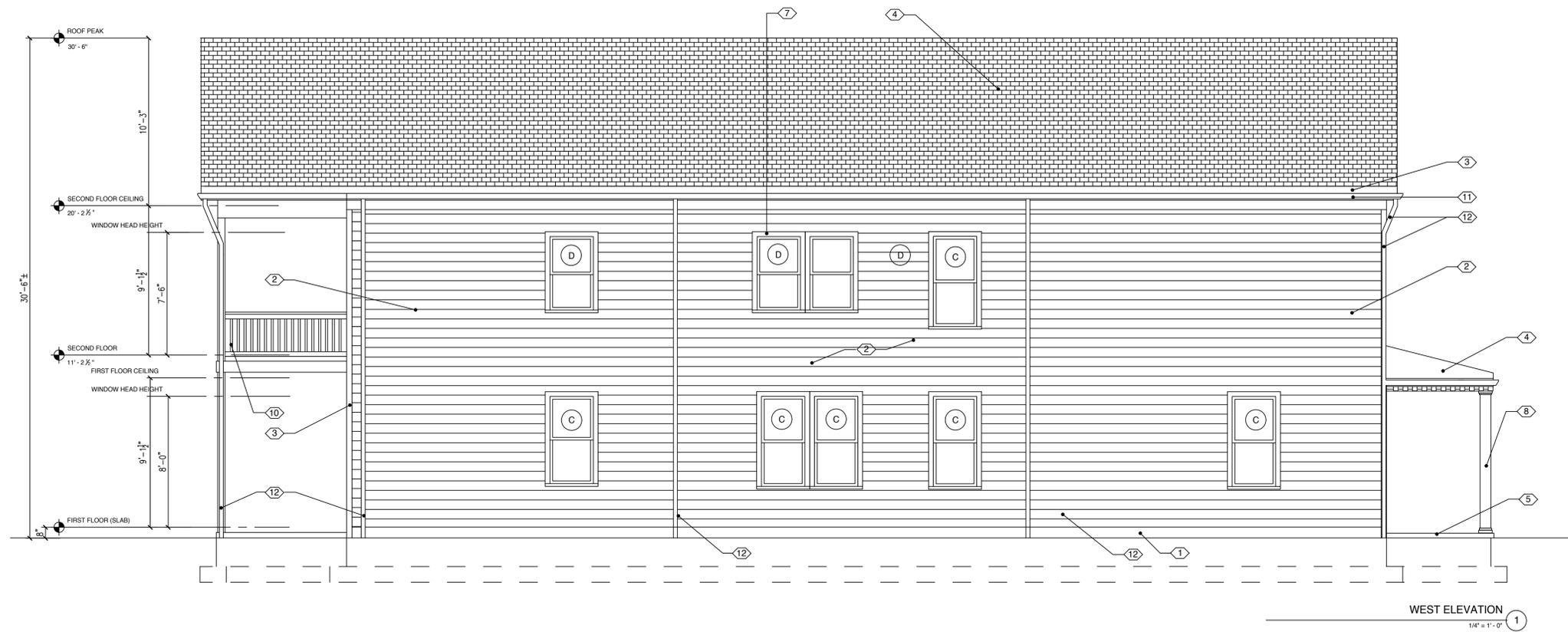


EXTERIOR FINISHES

- ① PARGED FOUNDATION; TAN/GRAY
- ② HARDIEPLANK LAP SIDING; COLOR TBD
- ③ HARDIE/COMP. TRIM; WHITE
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- ⑩ WOOD REAR DECK WITH RAILING; NATURAL TREATED WOOD
- ⑪ ALUMINUM GUTTER; PREFINISHED WHITE
- ⑫ ALUMINUM DOWNSPOUTS; PREFINISHED WHITE
- ⑬ FLASHING

EXTERIOR DOOR AND WINDOW KEY NOTES

- ① 30" X 68" FIBERGLASS, 2 PANEL, HALF GLASS ENTRY DOOR W/ 16" TRANSOM, CLOSER, THRESHOLD, ENTRY LOCKSET
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- ① B 30" X 58" SINGLE HUNG WINDOW, WHITE TRIM
- ① C 28" X 54" SINGLE HUNG WINDOW, WHITE TRIM
- ① D 28" X 46" SINGLE HUNG WINDOW, WHITE TRIM
- ① E 28" X 20" AWNING WINDOW, WHITE TRIM
- ① F 28" X 56" SINGLE HUNG WINDOW, WHITE TRIM



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ELEVATIONS

REVISIONS
N/A

A2.1

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RENDERING VIEW 2

NTS 2



STREETSCAPE VIEW

NTS 1

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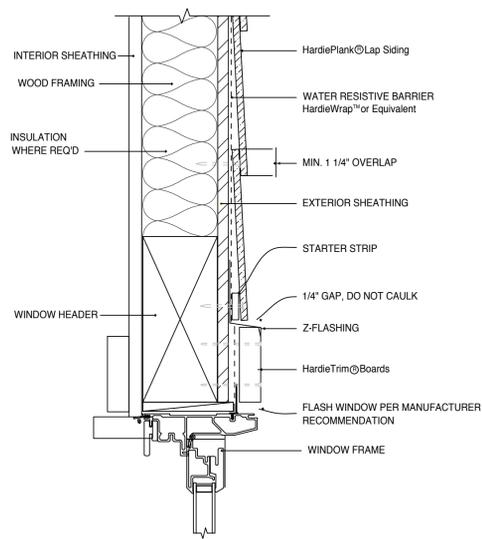
RENDERINGS & STREET VIEWS

REVISIONS
N/A

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JUNE 02, 2021

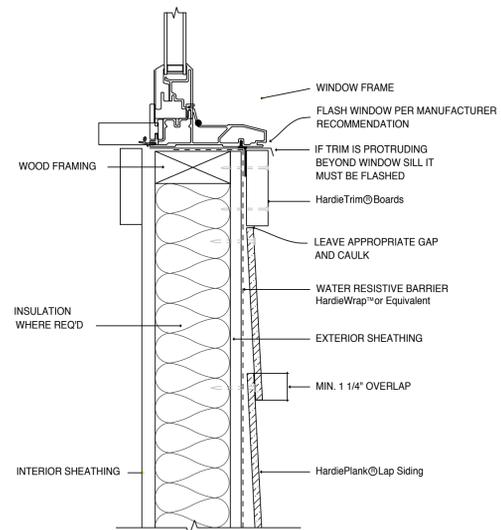
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WINDOW/DOOR HEAD

3" = 1' - 0"

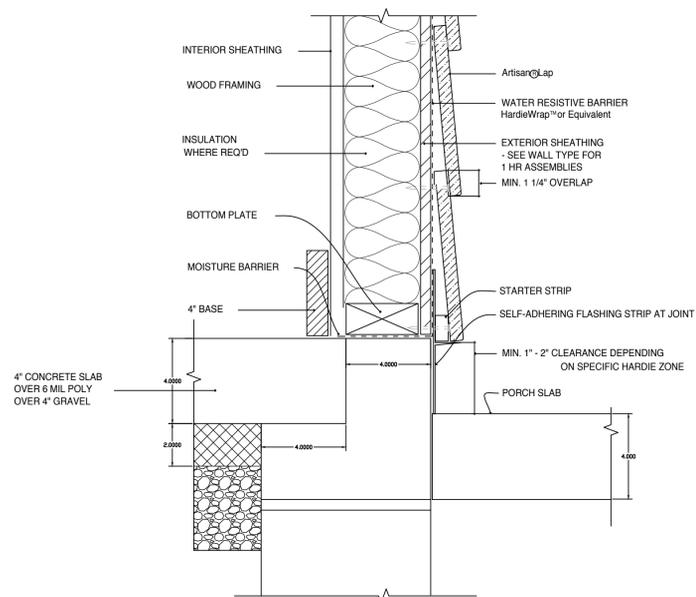
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WINDOW SILL

3" = 1' - 0"

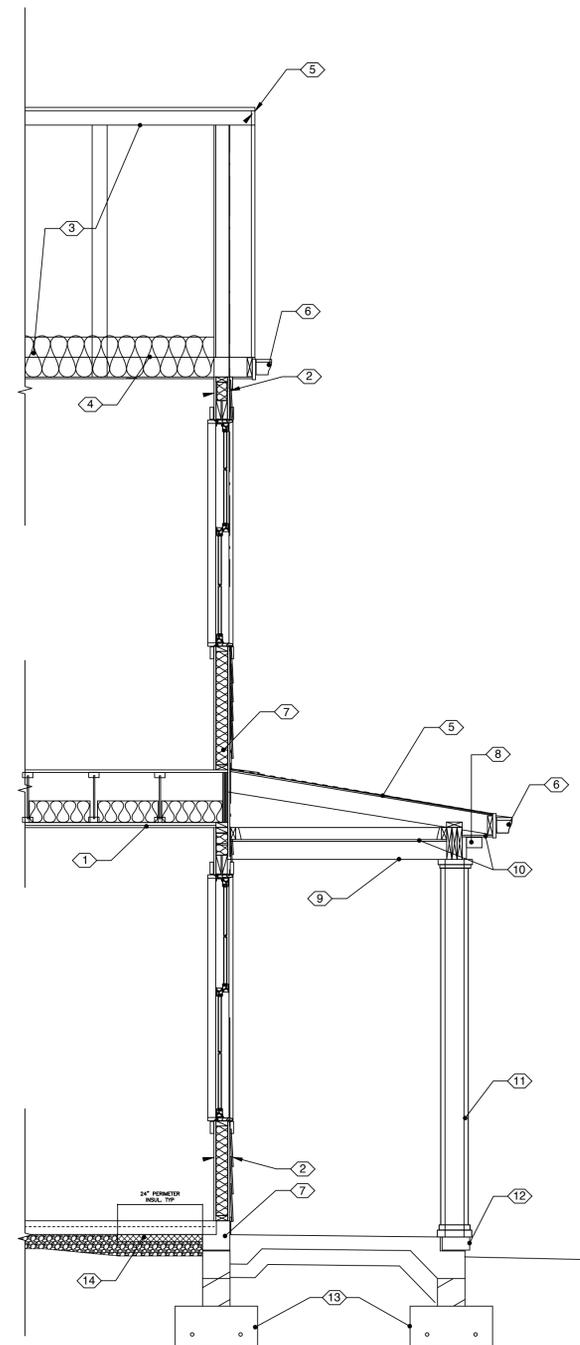
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HARDSCAPE CLEARANCES

3" = 1' - 0"

2



WALL SECTION

1/2" = 1' - 0"

1

KEY NOTES

- ① HR CEILING PER UL - L502 - 5/8" TYPE X GYP BOARD OVER RESILIENT CHANNELS @ 16" O.C. PERPENDICULAR TO JOIS - (SEE TRUSS MFR. INFO FOR SIZES, SPACING & ENGINEERING) W/ SOUND BATT INSULATION
- ② TYPICAL EXTERIOR WALL - SHIP-LAPPED CEMENTITIOUS BOARD SIDING OVER WEATHERBARRIER OVER 1/2" OSB OR PLYWD OVER 2 X 4 WOOD STUDS @ 16" O.C. W/ R-15 HIGH DENSITY BATT INSULATION W/ 1/2 GYP. BOARD INTERIOR FINISH.
- ③ ROOF TRUSSES: SEE TRUSS MFR. INFO. FOR SIZES, SPACING AND ENGINEERING.
- ④ R-38 INSULATION
- ⑤ SHINGLES OVER WATERPROOFING OVER EXTERIOR SHEATHING OVER ENGINEERED TRUSSES.
- ⑥ ALUM. GUTTERS AND DOWNSPOUTS
- ⑦ ALUM OR COPPER FLASHING TYP. AT ALL ROOF TO WALL TRANSITIONS, HEADS AND SILLS OF DOORS AND WINDOWS & ROOF VALLEYS
NOTE: USE SELF-ADHERING STRIP FLASHING AROUND OPENINGS AT ALL WINDOWS, DOORS, THRESHOLDS AND TRANSITIONS AT DECKS.
- ⑧ EXTERIOR GRADE DENTILS & BRACKETS
- ⑨ WRAP ALL PRESSURE TREATED STRUCTURE IN HARDIE TRIM OR EQUAL
- ⑩ VENTED SOFFIT BOARD
- ⑪ COLUMNS -
-FRONT: ROUND FIBERGLASS COLUMN TYP.
-REAR DECKS: 6 X 6 PRESSURE TREATED
- ⑫ ROWLOCK BRICK SILL
- ⑬ FOOTINGS, STEM WALLS & CONC. SLAB ON GRADE PER STANDARDS SET FORTH IN THE: 2015 IRC
- ⑭ PERIMETER INSULATION TYP. - 2" WIDE, R-10, RATED FOR BELOW GRADE APPLICATION

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WALL SECTIONS

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N/A

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