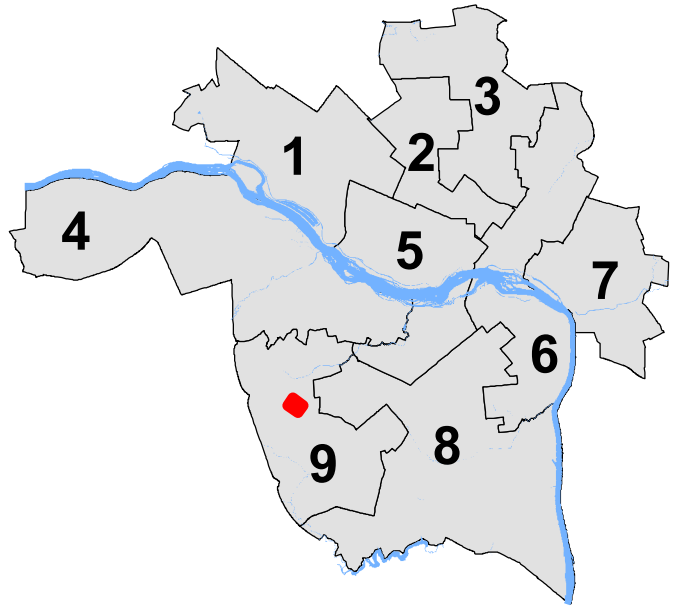




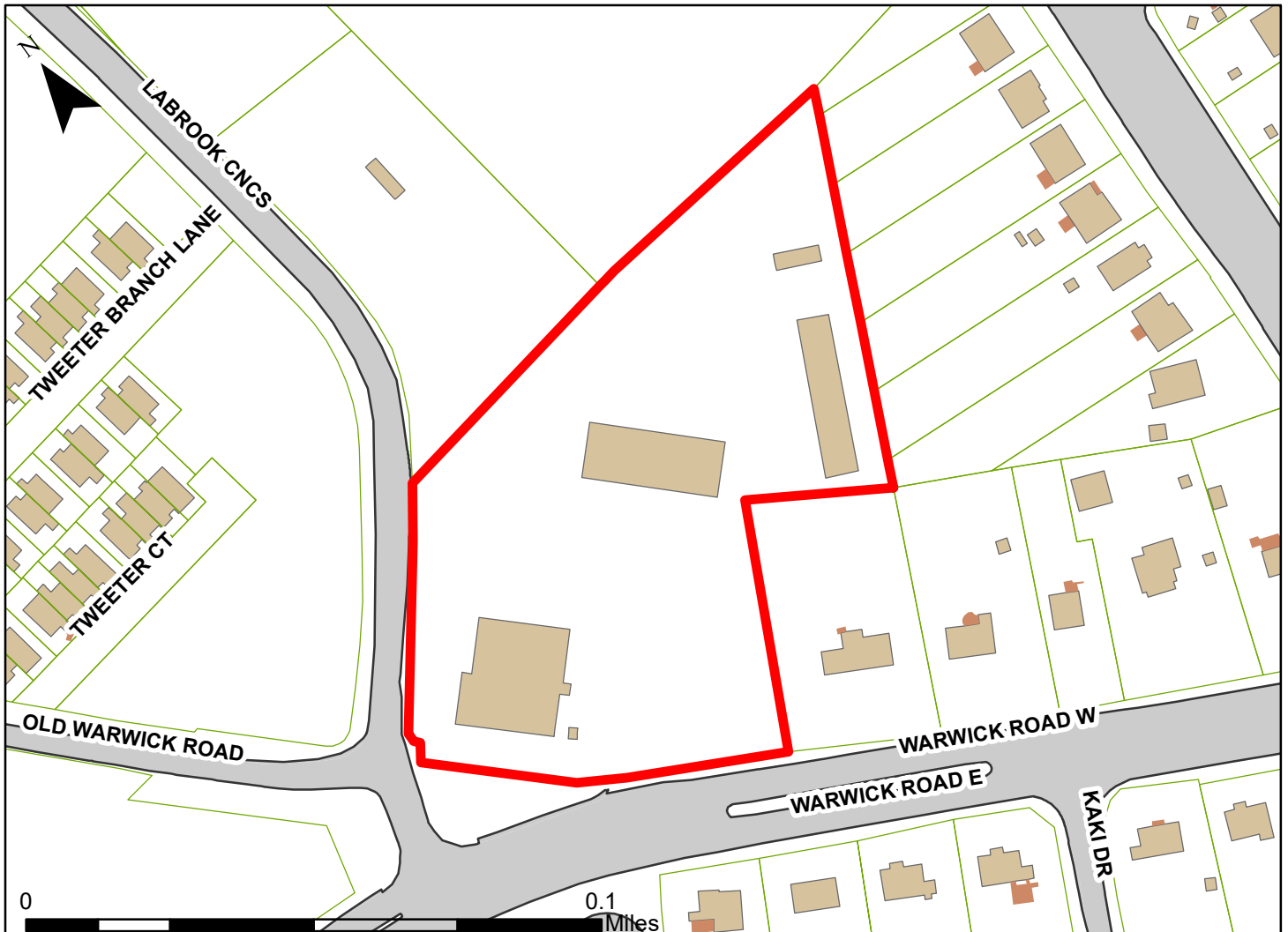
City of Richmond Department of Planning & Development Review

Location, Character, and Extent

LOCATION: 6120 Warwick Road
COUNCIL DISTRICT: 9
PROPOSAL: Final Review of Warwick
Road Maintenance Facility
Improvements



*For questions, please contact Alex Dandridge
at 646-6569 or alex.dandridge@richmondgov.com*





Application for Urban Design Committee Review

Department of Planning and Development Review
Planning & Preservation Division
900 E. Broad Street, Room 510
Richmond, Virginia 23219 | (804) 646-6335
www.richmondgov.com/CommitteeUrbanDesign



Application Type (select one)

Location, Character, & Extent
Section 17.05
Other:

Encroachment
Design Overlay District

Review Type (select one)

Conceptual
Final

Project Information

Submission Date: 9/29/2020

Project Name: Warwick Road Maintenance Facility Improvements

Project Address: 6120 Warwick Road

Brief Project Description (this is not a replacement for the required detailed narrative):

Due to a proposed telecommunications tower being constructed in the existing maintenance facility's lay-down yard, this project consists of constructing a new parking lot, a secured lay-down yard for facility equipment, and improving entrance driveways.

Applicant Information (a City representative must be the applicant, with an exception for encroachments)

Name: Louis Dexter Goode Email: Louis.Goode@richmond.gov

City Agency: Special Capital Projects Group Phone: 804-646-7531

Main Contact (if different from Applicant): _____

Company: _____ Phone: _____

Email: _____

Submittal Deadlines

All applications and support materials must be filed no later than 21 days prior to the scheduled meeting of the Urban Design Committee (UDC). Please see the schedule on page 3 as actual deadlines are adjusted due to City holidays. **Late or incomplete submissions will be deferred to the next meeting.**

Filing

Applications can be mailed or delivered to the attention of "Urban Design Committee" at the address listed at the top of this page. **It is important that the applicant discuss the proposal with appropriate City agencies, Zoning Administration staff, and area civic associations and residents prior to filing the application with the UDC.**

Submittal Deadlines

The UDC is a ten member committee created by City Council in 1968 whose purpose is to advise the City Planning Commission (CPC) on the design of projects on City property or right-of-way. The UDC provides advice of an aesthetic nature in connection with the performance of the duties of the Commission under Sections 17.05, 17.06, and 17.07 of the City Charter. The UDC also advises the Department of Public Works in regards to private encroachments in the public right-of-way.



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Submission Requirements

- An electronic copy (PDF preferred) of all application materials, which can be emailed, or delivered by FTP or USB.
- Three (3) copies of the application cover sheet and all support materials (see below).
- Plan sheets should be 11" x 17", folded to 8 1/2" x 11". If it is not possible to scale plans to these dimensions, please provide one set of larger, scaled plans.
- All applications must include the attached cover sheet and the following support materials, as applicable to the project, based on Review Type:

Conceptual Review:

- A detailed project narrative which includes the following: purpose of the project, project background, project budget and funding sources, description of construction program and estimated construction start date (description should also provide information on the surrounding area to provide context).
- A site plan for the project indicating site characteristics which include: building footprints, parking areas, pedestrian routes, recreation areas, open areas, and areas of future expansion.
- A set of floor plans and elevations, as detailed as possible.
- A landscaping plan which shows the general location and character of plant materials and notes any existing tree to be removed.

Final Review:

- A detailed project narrative which includes the following: purpose of the project, project background, project budget and funding sources, description of construction program, and estimated construction start date (description should also provide information on the surrounding area to provide context).
- A site plan for the project indicating site characteristics which include: building footprints, parking areas, pedestrian routes, recreation areas, open areas, and areas of future expansion.
- A set of floor plans and elevations, as detailed as possible.
- A landscaping plan that includes a complete plant schedule, the precise location of all plant materials, and a landscape maintenance analysis. The plant schedule must show number, size and type of each planting proposed. If existing trees are to be removed, their size, type, and location must be noted on the landscape plan.
- The location of all lighting units should be noted on a site plan, including wall-mounted, site, and parking lot lighting. Other site details such as benches, trash containers, and special paving materials should also be located. Include specification sheets for each item.
- Samples of all proposed exterior building materials, including but not limited to brick, mortar, shingles, siding, glass, paint, and stain colors. When an actual sample cannot be provided, a product information sheet that shows the item or a photo of an existing item may be substituted.

Review and Processing

- Once an application is received, it is reviewed by Staff, who compiles a report that is sent to the UDC.
- A copy of the report and the meeting agenda will be sent to the applicant prior to the meeting.
- At the UDC meeting, the applicant or a representative should be present or the application may be deferred to the next regularly scheduled meeting. It is also strongly suggested that a representative of the City Agency which will have final responsibility for the item be present at the meeting (if the applicant and the representative are not the same).
- Once the UDC recommends action on the application, it is automatically placed on the agenda for the next City Planning Commission (CPC) meeting. Exceptions to this are encroachment applications, recommendations for which are forwarded to the Department of Public Works.
- At the CPC meeting, the applicant or a representative should be present, or the application may be deferred to the next regularly scheduled meeting.



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Regular meetings are scheduled on the Thursday after the first Monday of each month at **10:00 a.m. in the 5th floor conference room of City Hall, 900 E. Broad Street**. Special meetings are scheduled as needed.

Meeting Schedule 2020

UDC Meetings	UDC Submission Deadlines	Anticipated Date of Planning Commission Following the UDC Meeting
December 5, 2019	November 14, 2019	December 16, 2019
January 9, 2020	December 12, 2019	January 21, 2020 ¹
February 6, 2020	January 16, 2020	February 18, 2020 ²
March 5, 2020	February 13, 2020	March 16, 2020
April 9, 2020	March 12, 2020	April 20, 2020
May 7, 2020	April 16, 2020	May 18, 2020
June 4, 2020	May 14, 2020	June 15, 2020
July 9, 2020	June 11, 2020	July 20, 2020
August 6, 2020	July 16, 2020	August 17, 2020 ³
September 10, 2020	August 13, 2020	September 21, 2020
October 8, 2020	September 17, 2020	October 19, 2020
November 5, 2020	October 15, 2020	November 16, 2020
December 10, 2020	November 12, 2020	December 21, 2020 ⁴

¹ Monday, January 20, 2020 is a City of Richmond Holiday.

² Monday, February 17, 2020 is a City of Richmond Holiday.

³ This August CPC Meeting may be canceled. If so, Planning Commission hearing would be Tuesday, September 8, 2020.

⁴ This December CPC Meeting may be canceled.

The Richmond Urban Design Committee is a ten member advisory committee created by City Council in 1968. Its purpose is to advise the City Planning Commission on the design of City projects. The Urban Design Committee reviews projects for appropriateness in "location, character, and extent" and for consistency with the City's Master Plan and forwards recommendations to the City Planning Commission. The Urban Design Committee also advises the Department of Public Works in regards to private encroachments in the public right-of-way.

For more information, please contact the Planning and Preservation Division staff at (804) 646-6335 or Alex Dandridge at (804) 646-6569 or at alex.dandridge@richmondgov.com.



Warwick Road Maintenance Facility Improvements – UDC Narrative

UDC Conceptual Review Date: August 6, 2020

Anticipated UDC Final Review Date: November 5th, 2020

CONCEPTUAL REVIEW NARRATIVE

Purpose of the Project:

As the City of Richmond continues to grow in population and size, so does its infrastructure and related communications framework. Therefore, a new telecommunications tower is being constructed in the existing maintenance facility's laydown yard located at the corner of Warwick Road and Labrook Concourse, behind fire station #23. This tower is one of several that is part of a regional initiative to improve the communications and connectivity between the citizens and the localities emergency systems. Consequently, the current maintenance facility's lay-down yard is losing prime real estate that houses and stores a majority of the City's maintenance vehicles and equipment. The site improvements proposed with this project would create a secured laydown yard in currently unused space, which would take the place of the vacated area that will be used for the tower.

Project Background:

The City of Richmond has contracted with Timmons Group through the City's on call contract for A/E services to handle the design and construction oversight of the maintenance facilities' improvements. Due to the proposed telecommunications tower being constructed in the existing maintenance facility's laydown yard, this project consists of constructing a new parking lot, a secured laydown yard for facility equipment and vehicles, and improving entrance driveways. We have performed a tree survey and condition assessment to document the overall integrity of the on-site trees. The maintenance staff have reviewed the project in detail and support the improvements being proposed with this project.

Project Budget and Funding Sources:

Funding to be appropriated through capital improvement sources in the near future. The anticipated budget for construction of this project is between \$650,000 and \$800,000.

Description of Construction Program:

Demolition and removal of the existing driveways (Lanexa) will be done at the outset. Minimal tree clearing will be necessary with this project and only five trees are planned for removal with strict preservation measures in place for the remaining trees to be preserved in proximity of construction activity. To offset removal of these five trees, the landscape plan proposes a

replacement ratio of at least 1:1 for diameter at breast height of removed tree and diameter at breast height of replacement trees. Power will be routed to all site lighting and the controller for the 2 proposed slide gates. The plan calls for the construction of a canopy structure that will suspend, house, and protect truck mounted spreaders from the elements. The structure's frame and roof will be constructed out of galvanized steel, with a black paint finish. The laydown yard will be surrounded by fencing of sufficient height and landscaping per City ordinances to provide enough screening from the adjacent thoroughfare, Warwick Road. The specific equipment / vehicles proposed to be stored in the new laydown yard are:

- Four (4) crew cab trucks,
- Three (3) 12' trailers,
- One (1) 18' trailer,
- One (1) 12' tractor with batwings,
- Two (2) 18' tractors with batwings,
- One (1) tractor with frontend bucket, and
- Five to six (5-6) snow plows and spreaders.

Stormwater management will be handled via underground detention within the gravel sub-base of the proposed TrueGrid permeable paver section. There are 3 areas on-site that the TrueGrid permeable pavement is being proposed: laydown yard, angled parking spaces to the east, and the parking spaces closest to the fire station parking lot. The site parking program, fifty (50) total spaces, will provide the adequate number of spaces necessary to accommodate the number of employees (44 employee spaces, 3 ADA spaces, 3 visitor spaces) on a given shift.

Estimated Construction Start Date:

Construction could start as early as January of next year for the facility if funding is awarded.

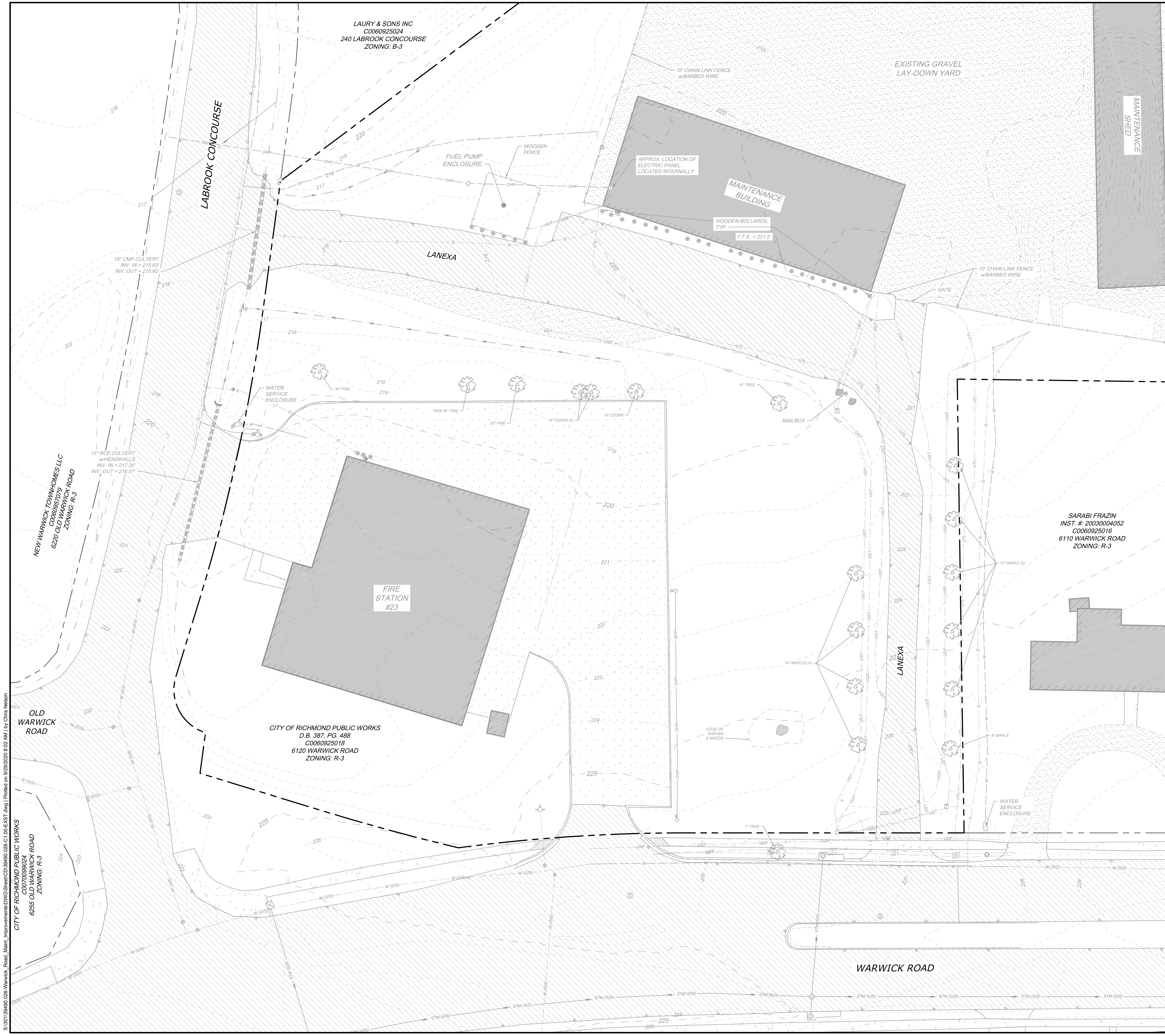
FINAL REVIEW NARRATIVE

The project was conceptually reviewed by the Urban Design Committee at the August 6th UDC meeting and was “recommended for approval with conditions”.

UDC Recommendations for Final Design:

The Committee’s recommended conditions are stated below with a response to each:

- Applicant consider pervious paving materials for the parking spaces in front of the maintenance building.
 - ✓ ***TrueGrid permeable pavement is now being proposed in 3 specific areas of the site: laydown yard, angled parking spaces to the east, and the parking spaces closest to the fire station parking lot.***
- The new fencing installed as screening around the new lay-down yard be wooden and stained a neutral color.
 - ✓ ***Due to the nature of the proposed use within the laydown yard, and in an effort to keep overall project costs down, a more secure and cheaper fence type will be used. The project is proposing to use black vinyl coated chain-link fence.***
- Larger shade trees proposed in the landscape plan be prioritized on the west and south side of the new lay-down yard to further enhance screening from Warwick Road.
 - ✓ ***This recommendation was adhered to and is reflected in our current landscape plan.***
- For gravel parking spaces, if grade allows, applicant consider setting first layer of gravel in a stabilizing grid to further protect the gravel from being washed away.
 - ✓ ***The top of the TrueGrid permeable pavement is installed with a rigid system to enhance stabilization of aggregate fill material.***
- Applicant consider the feasibility of locating the new canopy structure to the northeastern portion of the lay-down yard, away from Warwick Road, so that it may be less visible from the main road.
 - ✓ ***The proposed canopy structure has been relocated within the laydown yard in an effort to reduce its visibility from Warwick Road.***



- SYMBOL LEGEND**
- ⊙ STORM DRAINAGE MANHOLE
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ CLEANOUT
 - ⊙ FIRE HYDRANT
 - ⊙ WATER VALVE
 - ◇ WATER METER
 - ⊙ GAS VALVE
 - ◆ GAS METER
 - ⊙ LIGHT / POWER POLE
 - ⊙ POWER POLE
 - ⊙ GUY WIRE ANCHOR
 - ⊙ TELECOMMUNICATIONS PEDESTAL
 - ⊙ TREE
 - ⊙ SHRUB
 - ⊙ BOLLARD
 - ⊙ ROCK

- LINETYPE LEGEND**
- STORM PIPE
 - DITCH / SWALE
 - WATERLINE
 - GAS LINE
 - UGP OVERGROUND POWER
 - OHP OVERHEAD POWER
 - UGT UNDERGROUND TELECOM. LINE
 - UTK UNDERGROUND UNKNOWN UTILITY
 - FENCE

- HATCH LEGEND**
- [Hatched] BUILDING
 - [Hatched] ASPHALT
 - [Hatched] CONCRETE
 - [Hatched] SIDEWALK
 - [Hatched] GRAVEL

SURVEY NOTES:
 THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF WILLARD T. SIGLER, FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE ORIGINAL DATA WAS OBTAINED ON THE FOLLOWING DATES: 03-25-2020 THROUGH 07-10-2020. THIS PLAT, MAP AND DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

HORIZONTAL DATUM: NAD83
 VERTICAL DATUM: NAVD88

DATUM ESTABLISHED BY GPS OBSERVATIONS.

PAINTED UTILITIES LOCATED FROM MARKING BY OTHERS.

FIELDWORK COMPLETED ON 07-10-2020.

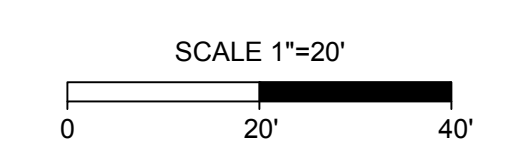
U/G UTILITY DESIGNATION NOTES:

- PAINTED UTILITIES LOCATED FROM MARKINGS BY OTHERS.
- UTILITY STATEMENT: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ANY UNDERGROUND UTILITIES.

EOI - END OF INFORMATION FOR CONDUCTIVE UTILITY FIELD SIGNALS.

UG UTILITY OWNERS:

- DOMINION POWER
- CITY OF RICHMOND WATERLINE
- CITY OF RICHMOND NATURAL GAS
- CITY OF RICHMOND POWER
- VERIZON / AT&T



UDC FINAL REVIEW SUBMITTAL

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CORPORATE OFFICE
 1001 Builders Parkway, Suite 300 | Richmond, VA 23225
 TEL 804.200.0500 FAX 804.580.1016 www.timmons.com

DATE	REVISION DESCRIPTION
09/29/2020 <td></td>	

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 09/29/2020
 DRAWN BY: C. JOHNSON
 DESIGNED BY: C. NELSON
 CHECKED BY: C. NELSON
 SCALE: 1" = 20'

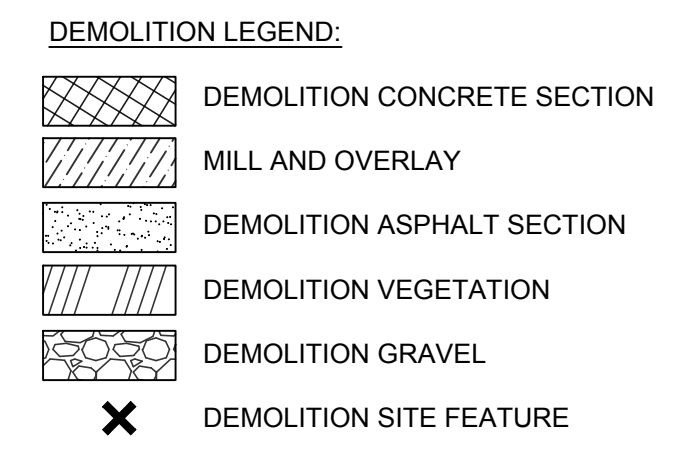
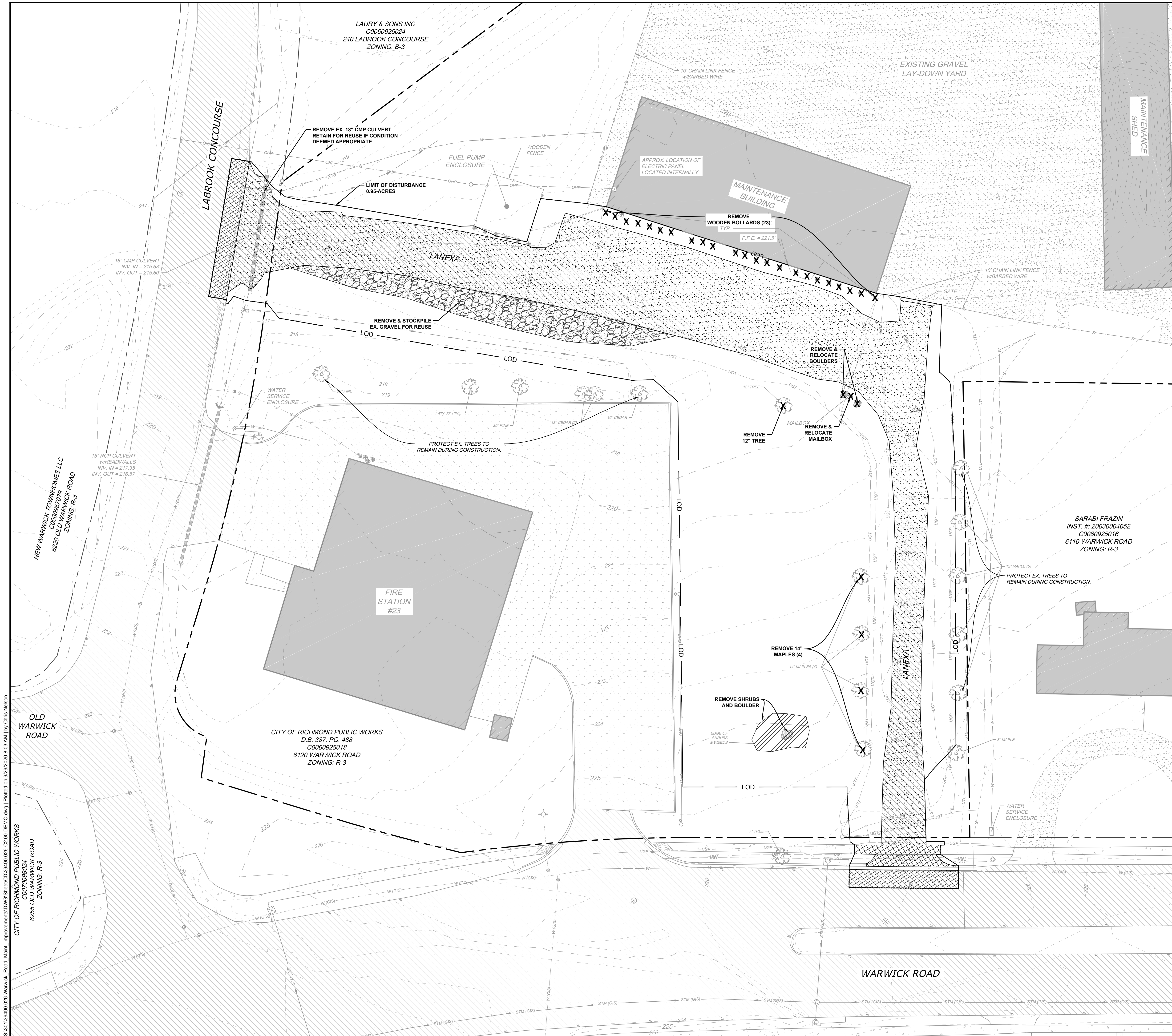
TIMMONS GROUP

WARWICK ROAD MAINTENANCE FACILITY IMPROVEMENTS
 6120 WARWICK ROAD - MIDLOTHIAN DISTRICT - CITY OF RICHMOND - VIRGINIA
 EXISTING CONDITIONS PLAN

JOB NO. 39490.026
 SHEET NO. C1.00

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- DEMOLITION PLAN NOTES:**
1. A PRECONSTRUCTION MEETING IS MANDATORY BEFORE ANY WORK IS DONE AT THE SITE. CONTACT THE CITY OF RICHMOND ENGINEER AND INSPECTOR, AS WELL AS THE PROJECT ENGINEER. COORDINATE WITH EROSION CONTROL ACTIVITIES.
 2. PERIMETER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION AND LAND DISTURBANCE ON-SITE.
 3. THE CONTRACTOR MUST VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. NOTIFY "MISS UTILITY" AT 1-800-552-7001 AT LEAST 48 HOURS PRIOR TO CONSTRUCTION ACTIVITIES. ALSO NOTIFY THE ENGINEER IF THERE IS A CONFLICT.
 4. CONTRACTOR TO COORDINATE WORK AROUND EXISTING UTILITIES WITH THE CORRESPONDING UTILITY COMPANIES.
 5. ANY EXISTING GAS, SANITARY SEWER, AND WATER LATERALS TO BE ABANDONED SHALL BE DONE IN ACCORDANCE WITH CITY'S STANDARD SPECIFICATIONS.
 6. COORDINATE WITH THE EROSION AND SEDIMENT CONTROL PLAN FOR INSTALLATION OF CONSTRUCTION SAFETY FENCING, STONE FOR STAGING AREAS, SILT FENCING, TREE PROTECTION FENCING, AND INLET PROTECTION AS SHOWN ON THE E&S PLAN.
 7. NO LAND DISTURBANCE OUTSIDE THE LIMITS OF DISTURBANCE IS TO TAKE PLACE UNTIL AUTHORIZED BY THE CITY OF RICHMOND INSPECTOR.
 8. EXISTING FEATURES TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE RESTORED / REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 9. CONTRACTOR SHALL TAKE SPECIAL CARE WHEN WORKING AROUND SEWERS THAT ARE TO REMAIN TO AVOID DAMAGING THE UTILITY. IF ANY UTILITIES ARE DISCOVERED THAT ARE NOT SHOWN ON THE DRAWINGS, CONFIRM THE UTILITY IS NOT ACTIVE PRIOR TO ABANDONMENT/REMOVAL, AND NOTIFY THE ENGINEER IF THERE IS A CONFLICT.

**UDC FINAL REVIEW
SUBMITTAL**

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REVISION DESCRIPTION	DATE

DATE
09/29/2020

DRAWN BY
C. JOHNSON

DESIGNED BY
C. NELSON

CHECKED BY
C. NELSON

SCALE
1" = 20'

TIMMONS GROUP

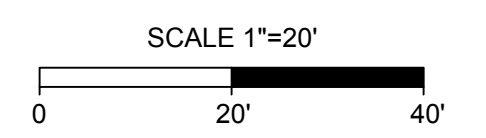
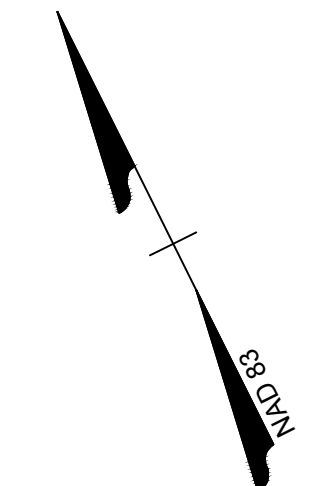
WARWICK ROAD MAINTENANCE FACILITY IMPROVEMENTS
6120 WARWICK ROAD - MIDLOTHIAN DISTRICT - CITY OF RICHMOND - VIRGINIA

DEMOLITION PLAN

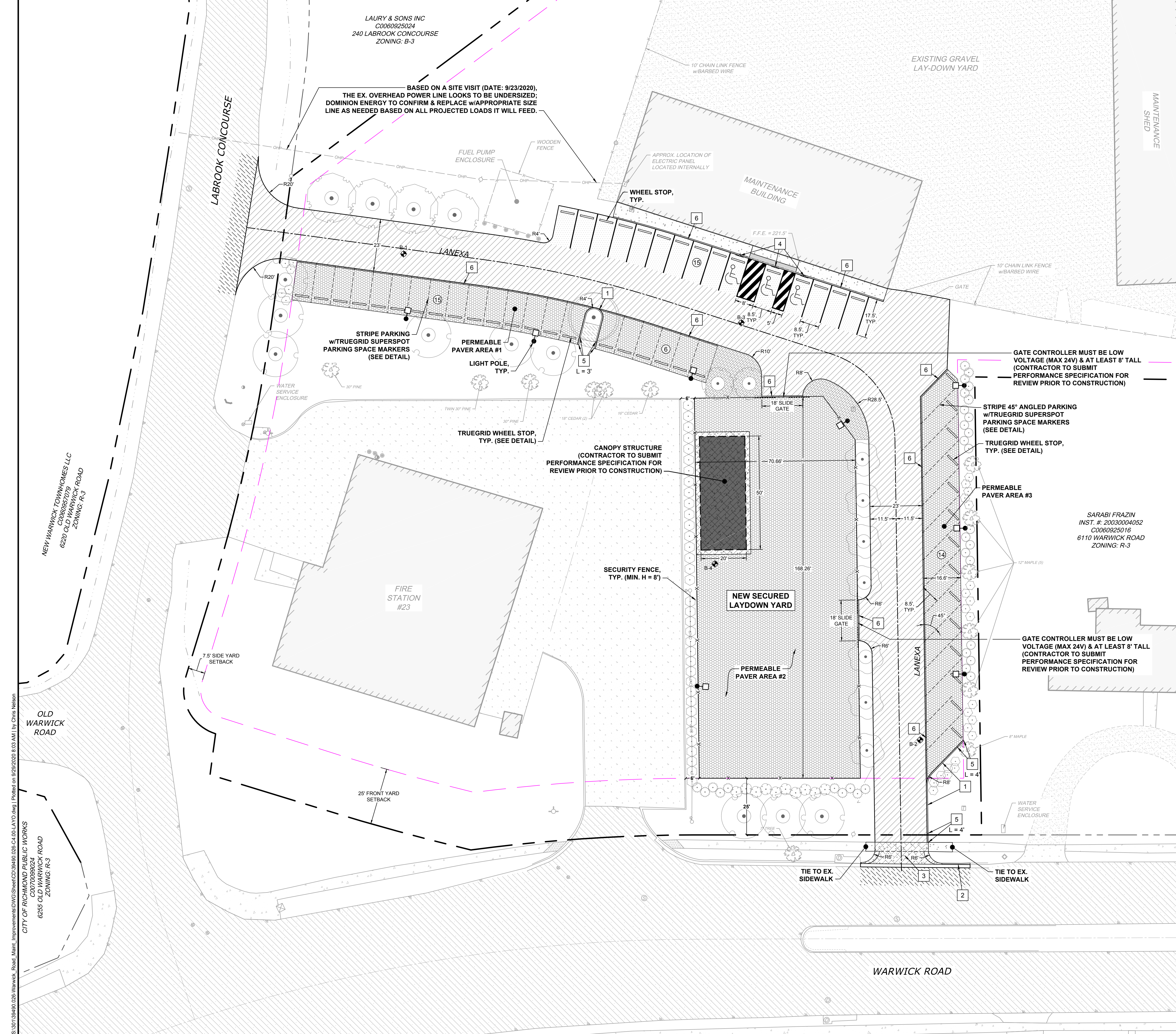
JOB NO.
39490.026

SHEET NO.
C2.00

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- SITE LAYOUT NOTES:**
- REFER TO LANDSCAPE SHEETS FOR LANDSCAPING & LIGHTING PLANS & DETAILS.
 - ALL DIMENSIONS ARE FROM THE FACE OF CURB, UNLESS NOTED OTHERWISE.
- PAVEMENT MARKING NOTES:**
- ALL PERMANENT MARKINGS SHALL BE TYPE B, CLASS I UNLESS OTHERWISE DIRECTED BY VDOT TRAFFIC ENGINEERING.
 - ALL PAVEMENT MARKINGS MUST HAVE A PERSON w/A PAVEMENT MARKING CERTIFICATION, ISSUED BY THE VDOT MATERIALS DIVISION, ON SITE DURING PAVEMENT MARKING OPERATIONS. A COMPLETED CERTIFIED DELIVERY TICKET & A C-85 MUST BE SUBMITTED TO THE VDOT RESIDENCY PERMIT INSPECTOR.

SITE LAYOUT NOTE KEY

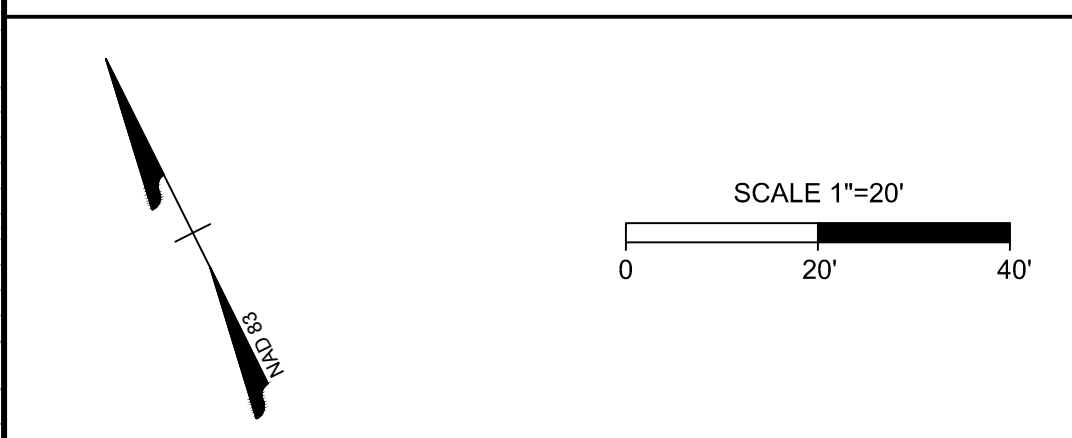
1	6" CURB (VDOT STD. CG-2)
2	6" CURB & GUTTER (VDOT STD. CG-6)
3	ENTRANCE APRON (VDOT STD. CG-9D)
4	ACCESSIBLE PARKING SIGN (MUTCD R7-8 & R7-8a)
5	CURB WIPE-DOWN ("L" REPRESENTS LENGTH OF CURB TRANSITION)
6	6" CONCRETE FLUSH CURB

LAYOUT HATCH LEGEND

[Hatch Pattern]	EXTENTS OF BUILDING CANOPY
[Hatch Pattern]	HEAVY DUTY ASPHALT SECTION
[Hatch Pattern]	LIGHT DUTY ASPHALT SECTION
[Hatch Pattern]	HEAVY DUTY CONCRETE SECTION
[Hatch Pattern]	MILL & OVERLAY SECTION
[Hatch Pattern]	CONCRETE SIDEWALK SECTION
[Hatch Pattern]	TRUEGRID PRO-PLUS GRAVEL GRAVEL PARKING SECTION WITH UNDERGROUND STORMWATER INFILTRATION

PARKING SUMMARY:

SITE PARKING LOCATION	TYPE	PROVIDED
SITE	FULL	47
	ADA SPACES*	3
TOTAL SPACES = 50		
* ADA/STATE/LOCAL REQUIREMENTS		



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YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
	09/29/2020

DRAWN BY
C. JOHNSON

DESIGNED BY
C. NELSON

CHECKED BY
C. NELSON

SCALE
1" = 20'

TIMMONS GROUP

WARWICK ROAD MAINTENANCE FACILITY IMPROVEMENTS
6120 WARWICK ROAD - MIDLOTHIAN DISTRICT - CITY OF RICHMOND - VIRGINIA

SITE LAYOUT PLAN

JOB NO.
39490.026

SHEET NO.
C4.00

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CITY OF RICHMOND PUBLIC WORKS
C070099024
6255 OLD WARWICK ROAD
ZONING: R-3

NEW WARWICK TOWNHOMES LLC
C090857079
6220 OLD WARWICK ROAD
ZONING: R-3

GEOTECHNICAL NOTES:

1. ALL CONTROLLED FILL ZONES ARE TO BE MONITORED BY A FULL TIME GEOTECHNICAL ENGINEERING SERVICE FIRM.
2. ENGINEERED FILLS SHALL BE PROPERLY PLACED ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
3. ALL SUMMARY REPORTS FROM THE GEOTECHNICAL ENGINEER REPRESENTING THE PROJECT MUST STATE HIS PROFESSIONAL OPINION ON THE SATISFACTORILY COMPLETED PHASES OF CONSTRUCTION, SUCH AS: SLOPE CUTS, SUB-DRAINAGE SYSTEMS, PREPARATION OF SUB-GRADES, AND COMPACTION OF EARTH FILLS.
4. NO FILLS SHALL HAVE ZONES THAT EXCEED TWO (2) FEET IN ELEVATION WITHOUT CONDUCTING COMPACTION TEST AND OBTAINING RESULTS 95% OR GREATER.
5. THE GEOTECHNICAL ENGINEER MUST SUBMIT A DETAILED ANALYSIS, ITEMIZING THE FIELD DENSITY TEST RESULTS. THIS REPORT SHALL BE ACCOMPANIED WITH A COPY OF THE SITE PLAN SHEET AND INDICATE THE TEST LOCATIONS & ELEVATIONS. THE GEOTECHNICAL ENGINEER MUST PROVIDE ENOUGH DESIGNATED TESTING IN ALL FILL ZONES TO ADEQUATELY EXAMINE & CERTIFY THE INTEGRITY OF THE FILL.
6. THE GEOTECHNICAL ENGINEER MUST SUBMIT A CERTIFIED BUILDING PAD REPORT FOR EACH FILL PAD LOCATION. THIS REPORT SHALL PROFILE THE FILL MATERIAL PLACEMENT AND PROVIDE THE COMPACTION TEST RESULTS. ALL REPORTS WILL BE ACCOMPANIED BY THE SITE PLAN, INDICATING THE TEST LOCATIONS & ELEVATIONS.
7. NO BUILDING PADS IN FILL ZONES WILL HAVE A STRATUM EXCEEDING TWO (2) FEET IN ELEVATION WITHOUT TEST VERIFYING DENSITY.

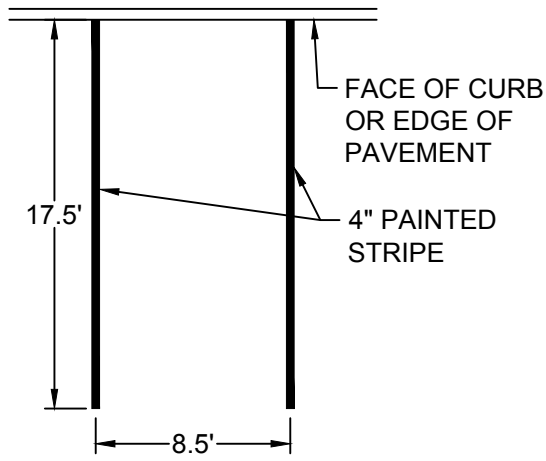
***LIMITATION NOTE:** THESE GEOTECHNICAL NOTES SHALL IN NO WAY LESSEN THE REQUIREMENTS OF THE SUBMITTED GEOTECHNICAL REPORT.

PAVEMENT SECTION NOTES:

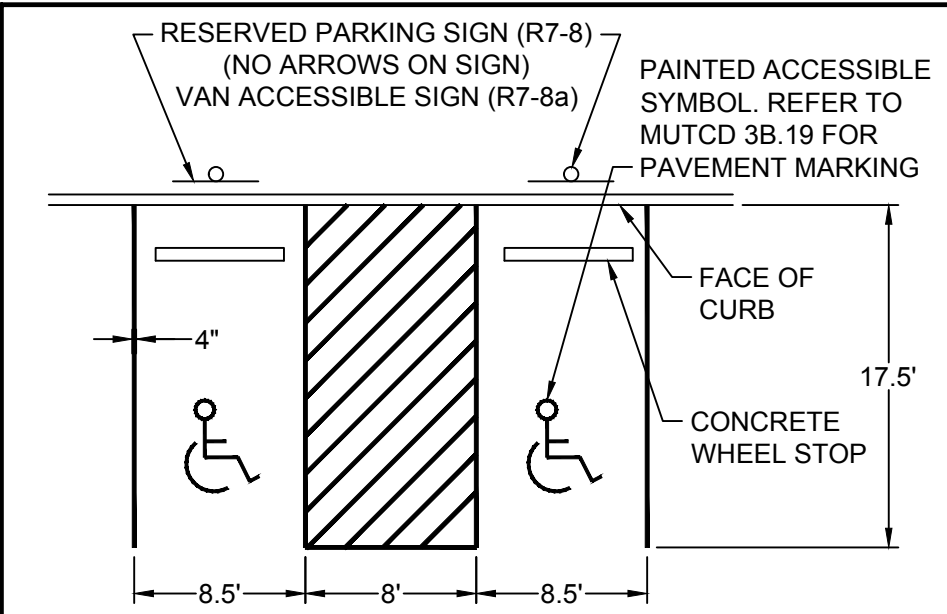
1. ALTERNATE EQUIVALENT PAVEMENT SECTIONS MAY BE SUBSTITUTED FOR THE PAVEMENT DESIGN WHEN PROPER METHODS OF SUB-GRADE SOIL ANALYSIS ARE CONDUCTED AND WITH THE APPROVAL OF THE ON-SITE GEOTECHNICAL ENGINEER.
2. C.B.R. SAMPLING OF THE SUB-GRADE SOILS FOR THE FINAL PAVEMENT DESIGN MUST BE COORDINATED BY THE OWNER, THROUGH THE GEOTECHNICAL ENGINEER AND VERIFIED BY THE ASSIGNED SITE INSPECTOR DURING THE CONSTRUCTION PHASE.
3. TEST FOR THE FINAL PAVEMENT DESIGN SHALL BE CONDUCTED ON AN APPROVED REVEAL OF THE SUB-GRADE. THESE TESTS SHALL BE MADE AT EACH INTERSECTION, CHANGES IN SUB-GRADE SOILS, AND AT A MAXIMUM SPACING OF 500'. A MINIMUM OF TWO (2) C.B.R. SAMPLES WILL BE REQUIRED FOR ANY CUL-DE-SAC OR DEAD END STREET LESS THAN 500' IN LENGTH.
4. TEST SPACING AND METHODS MUST FOLLOW THE APPROVED GUIDELINES SET FORTH AND/OR AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
5. THE FINAL ALTERNATIVE EQUIVALENT PAVEMENT DESIGN MUST BE SUBMITTED FOR APPROVAL TO THE CITY OF RICHMOND DPW DIRECTOR. THE SUBMISSION WILL BE ACCOMPANIED BY THE GEOTECHNICAL REPORT AND DESIGNED BY A LICENSED PROFESSIONAL ENGINEER.

CONSTRUCTION NOTES:

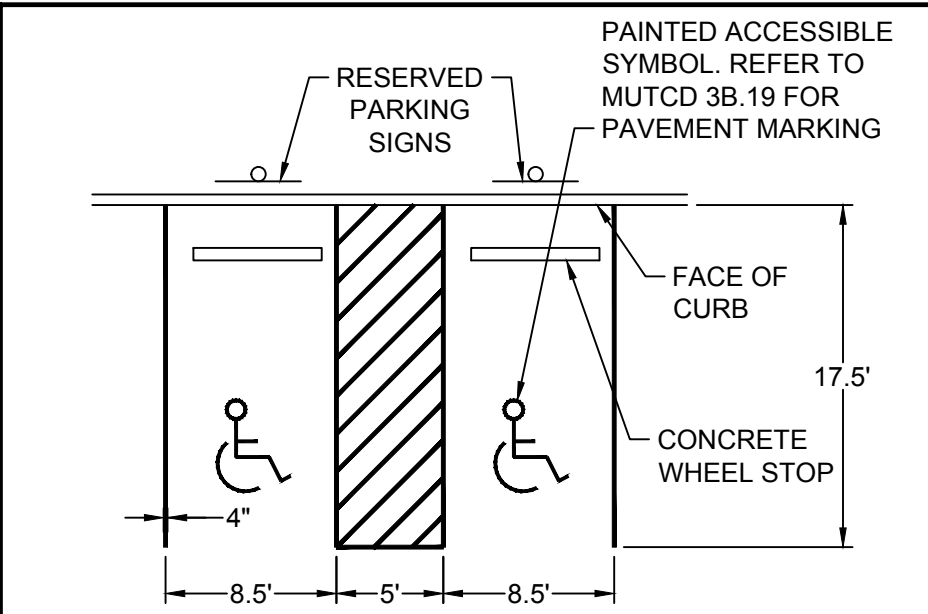
1. THIS PROJECT TO BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT CITY OF RICHMOND RIGHT-OF-WAY EXCAVATION & RESTORATION MANUAL AND THE 2016 VDOT ROAD & BRIDGE SPECIFICATIONS AND THE 2016 VDOT ROAD & BRIDGE STANDARDS, INCLUDING ALL SUBSEQUENT REVISIONS TO THESE MANUALS.
2. CONTRACTOR SHALL CALL "MISS UTILITY" 48 HOURS PRIOR TO THE START OF EXCAVATION ("MISS UTILITY" OF CENTRAL VIRGINIA: 1-800-552-7001). CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT THE PROJECT DESIGN ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLAN, IF THERE APPEARS TO BE A CONFLICT, AND UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON PLAN.
3. CONTRACTOR SHALL ACQUIRE ANY AND ALL NECESSARY CONSTRUCTION PERMITS, AND FURNISH COPIES TO THE CITY.
4. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
5. IN ACCORDANCE WITH HANDICAP ACCESSIBILITY REQUIREMENTS, ALL APPLICABLE CODES AND REQUIREMENTS FOR ACCESSIBILITY FOR DISABLED PERSONS SHALL BE STRICTLY ADHERED TO.



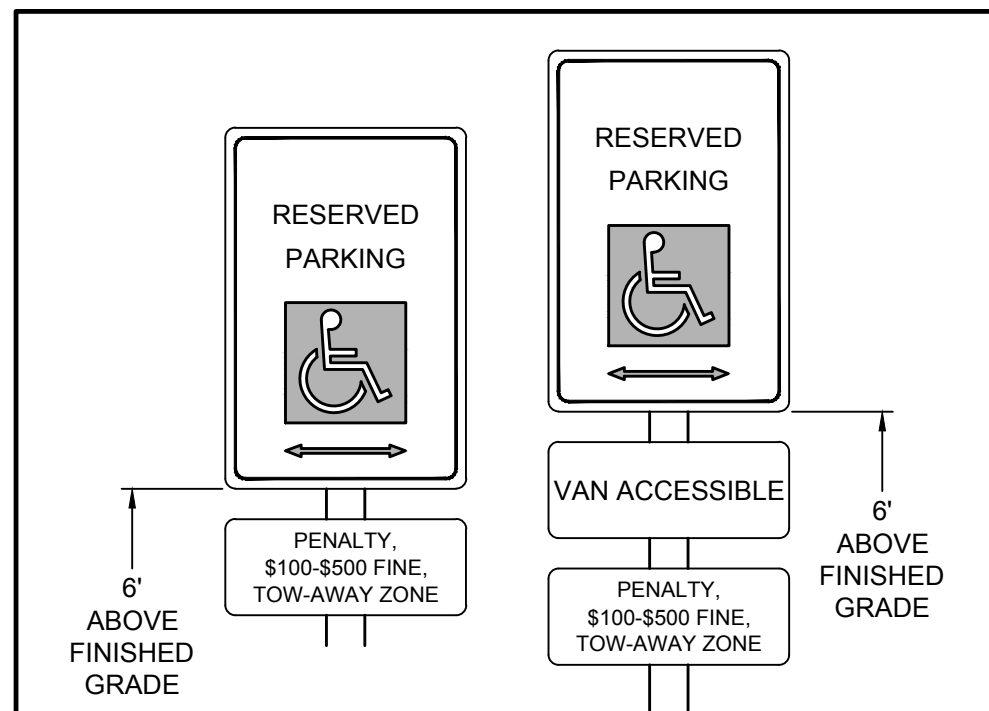
TYPICAL PARKING SPACE LAYOUT
NO SCALE



TYPICAL VAN ACCESSIBLE SPACE LAYOUT
NO SCALE

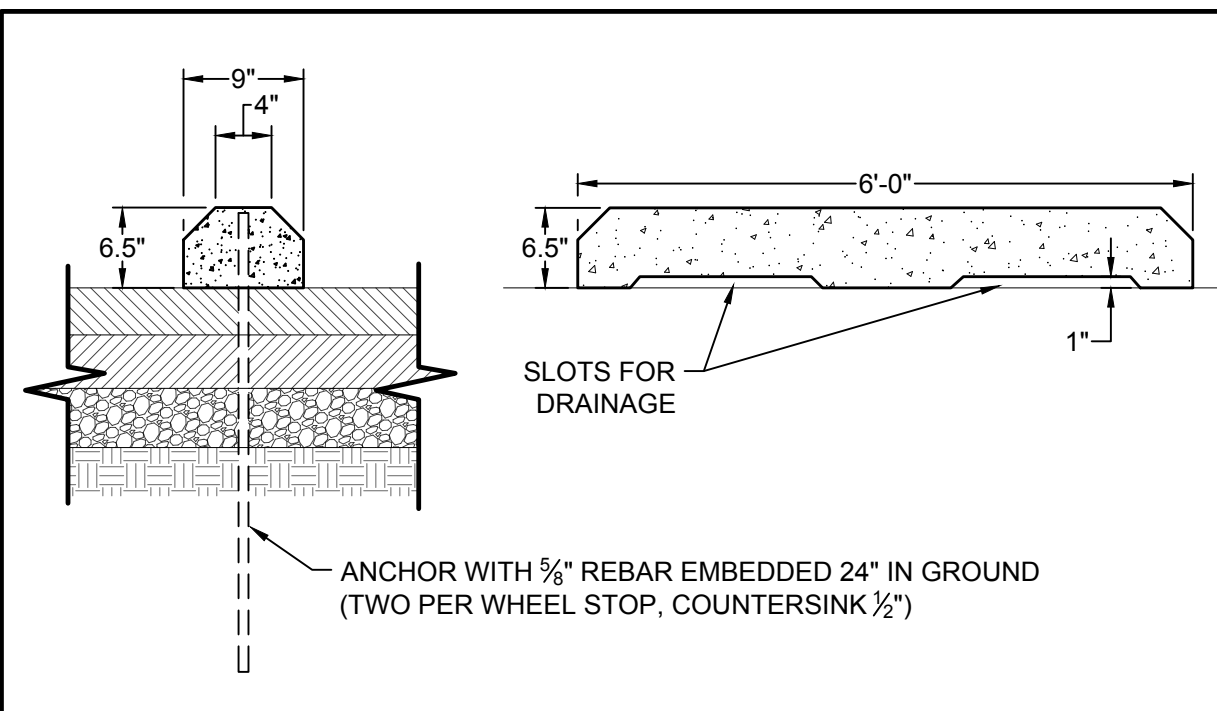


TYPICAL ADA SPACE LAYOUT
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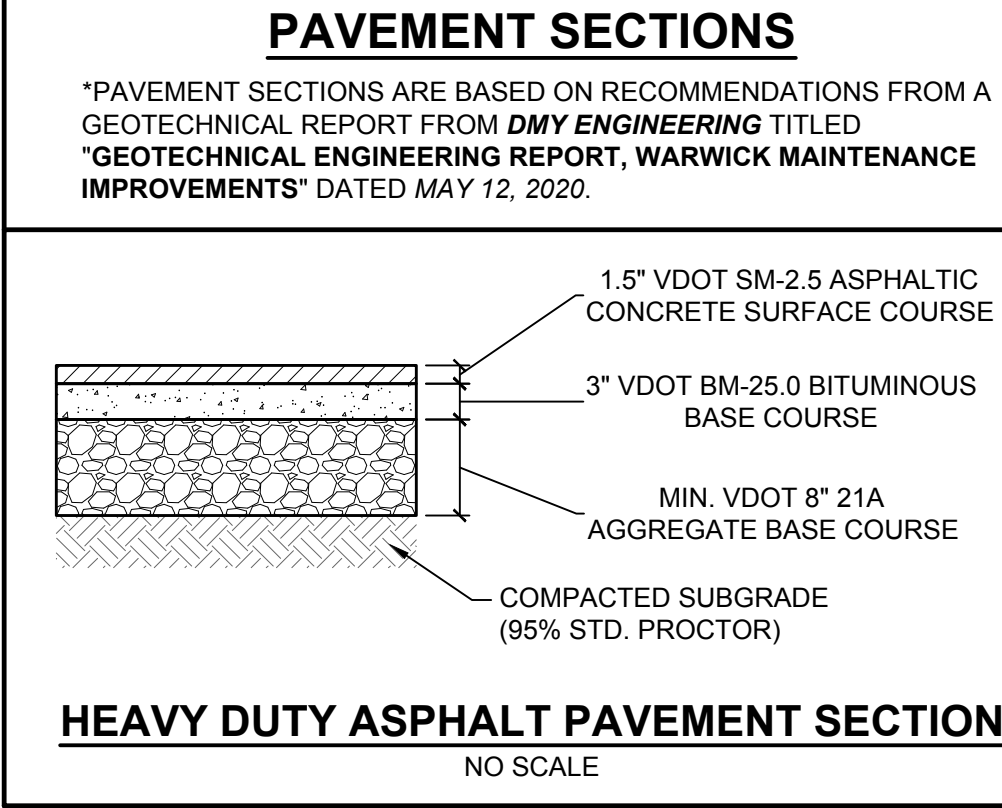


PARKING SIGN FOR THE DISABLED
NO SCALE

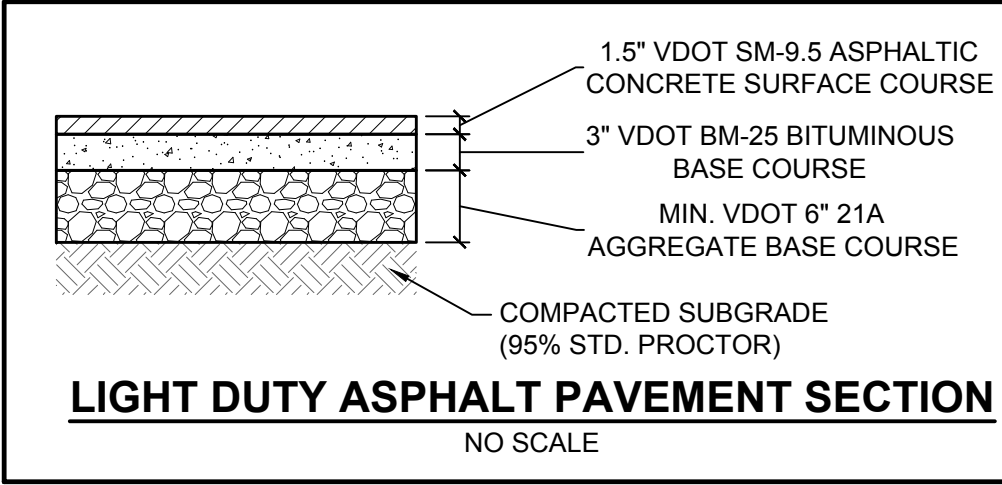
ADA NOTES: ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE GRADE SIGNS AS RESERVED FOR PHYSICALLY DISABLED PERSONS. PROVIDE ONE (1) R-7-8 SIGN AT EACH ACCESSIBLE PARKING SPACE INDICATED ON SITE PLAN. THE SIGN WILL BE ALUMINUM (PAINTED WHITE) WITH GREEN LETTERS AND THE INTERNATIONAL WHEELCHAIR SYMBOL. THE SIGN WILL INCLUDE THE LANGUAGE "PENALTY, \$100-500 FINE, TOW-AWAY ZONE". THE CENTER OF SIGN SHALL BE AT LEAST FIVE (5) FEET ABOVE GRADE, BUT NO HIGHER THAN SEVEN (7) FEET ABOVE GRADE. THE SIGN SHALL BE PLACED ON A 1-1/2" DIAMETER STEEL POST, PAINTED BLACK, AND SET IN 12" OF CONCRETE. TYPICAL ACCESSIBLE SIGNS SHALL CONFORM TO ADA REQUIREMENTS.



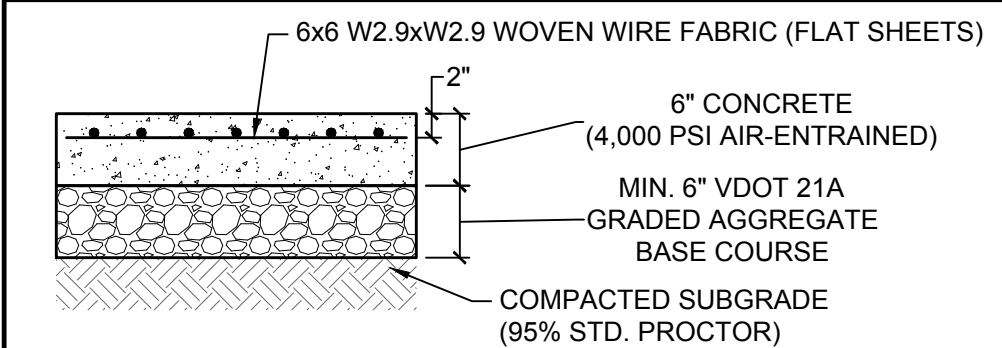
CONCRETE WHEEL STOP DETAIL
NO SCALE



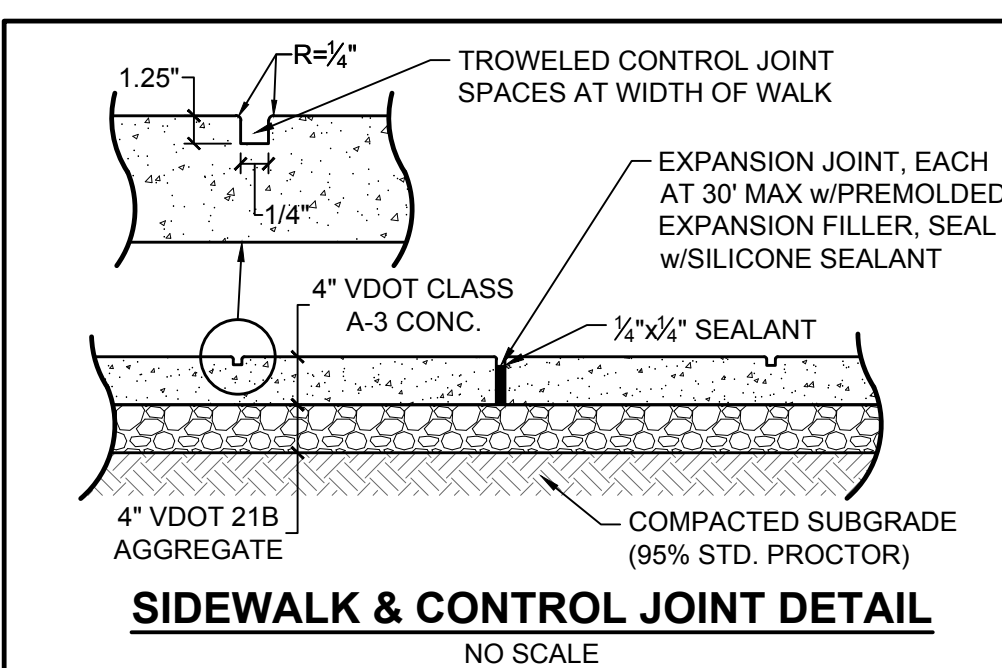
HEAVY DUTY ASPHALT PAVEMENT SECTION
NO SCALE



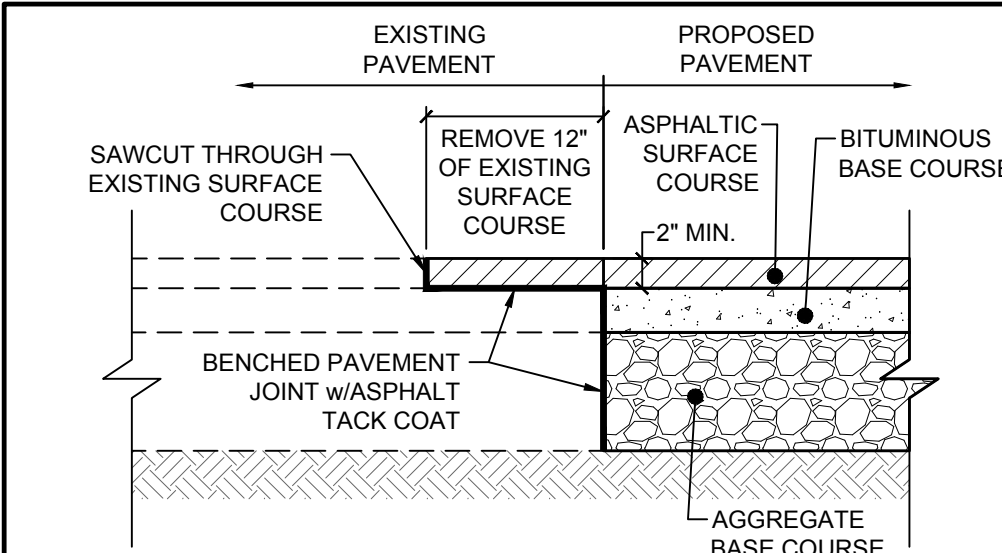
LIGHT DUTY ASPHALT PAVEMENT SECTION
NO SCALE



HEAVY DUTY CONCRETE PAVEMENT SECTION
NO SCALE



SIDEWALK & CONTROL JOINT DETAIL
NO SCALE



PAVEMENT JOINT / MILL & OVERLAY DETAIL
NO SCALE

- NOTES:**
1. PROPOSED PAVEMENT MUST TIE IN w/EXISTING PAVEMENT.
 2. MILL & OVERLAY REQUIRES MILLING OF TOP 2" OF EXISTING PAVEMENT. OVERLAY A MINIMUM OF 2" AND INCREASE OVERLAY DEPTH AS NEEDED TO SHIFT THE CROWN OF THE ROAD TO NEW DOUBLE YELLOW LINE LOCATION PER THE GRADING PLAN.

TRUEGRID DETAILS NOTE:
FOR MORE INFORMATION ON TRUEGRID SITE ELEMENTS, REFER TO DETAILS ON SHEET C5.10.

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CHECKED BY	C. NELSON
SCALE	N.T.S.

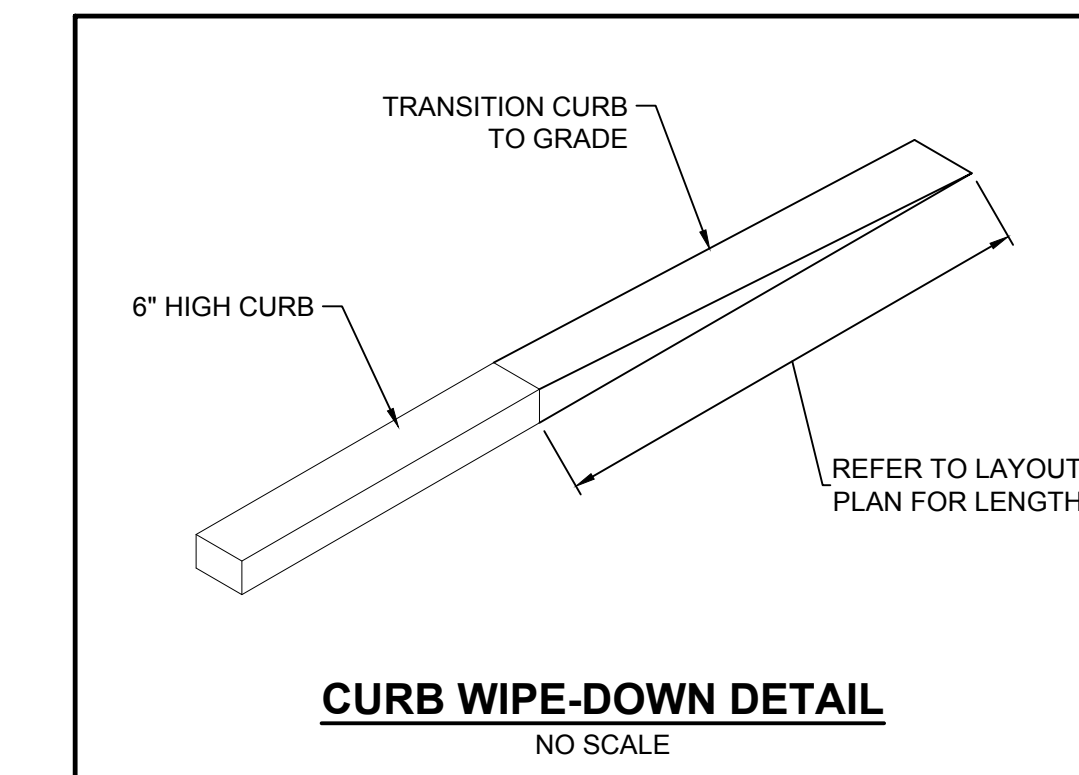
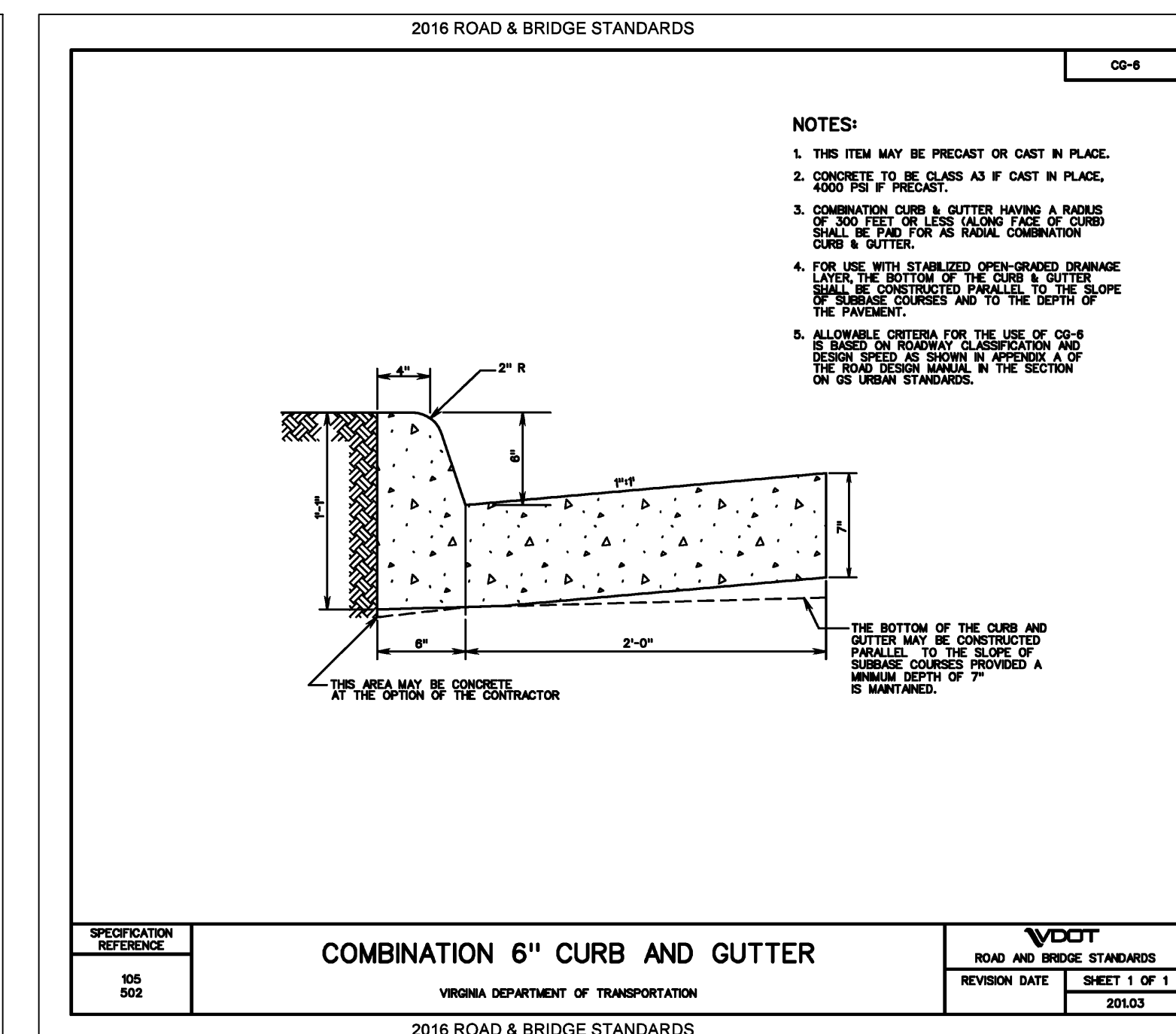
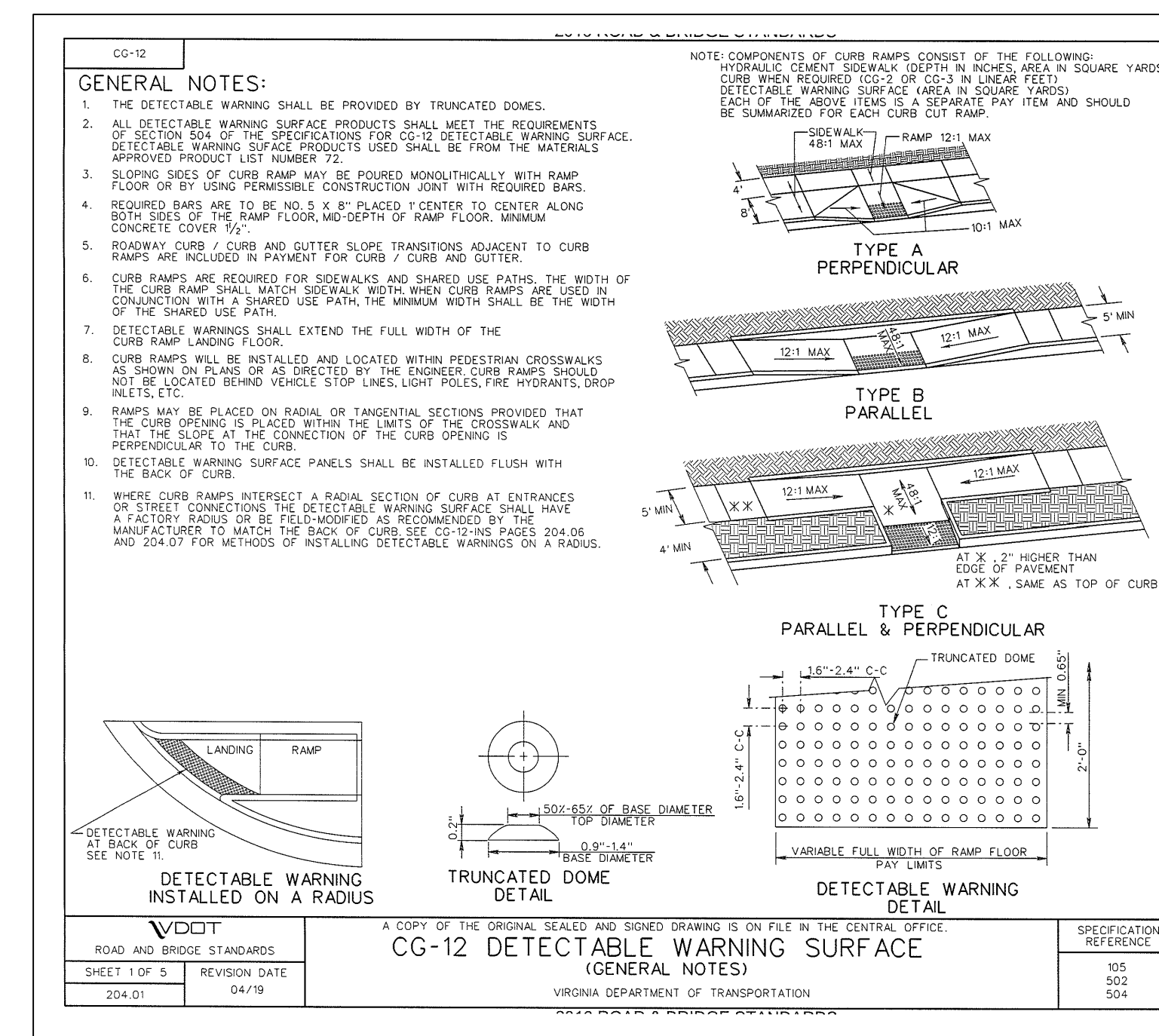
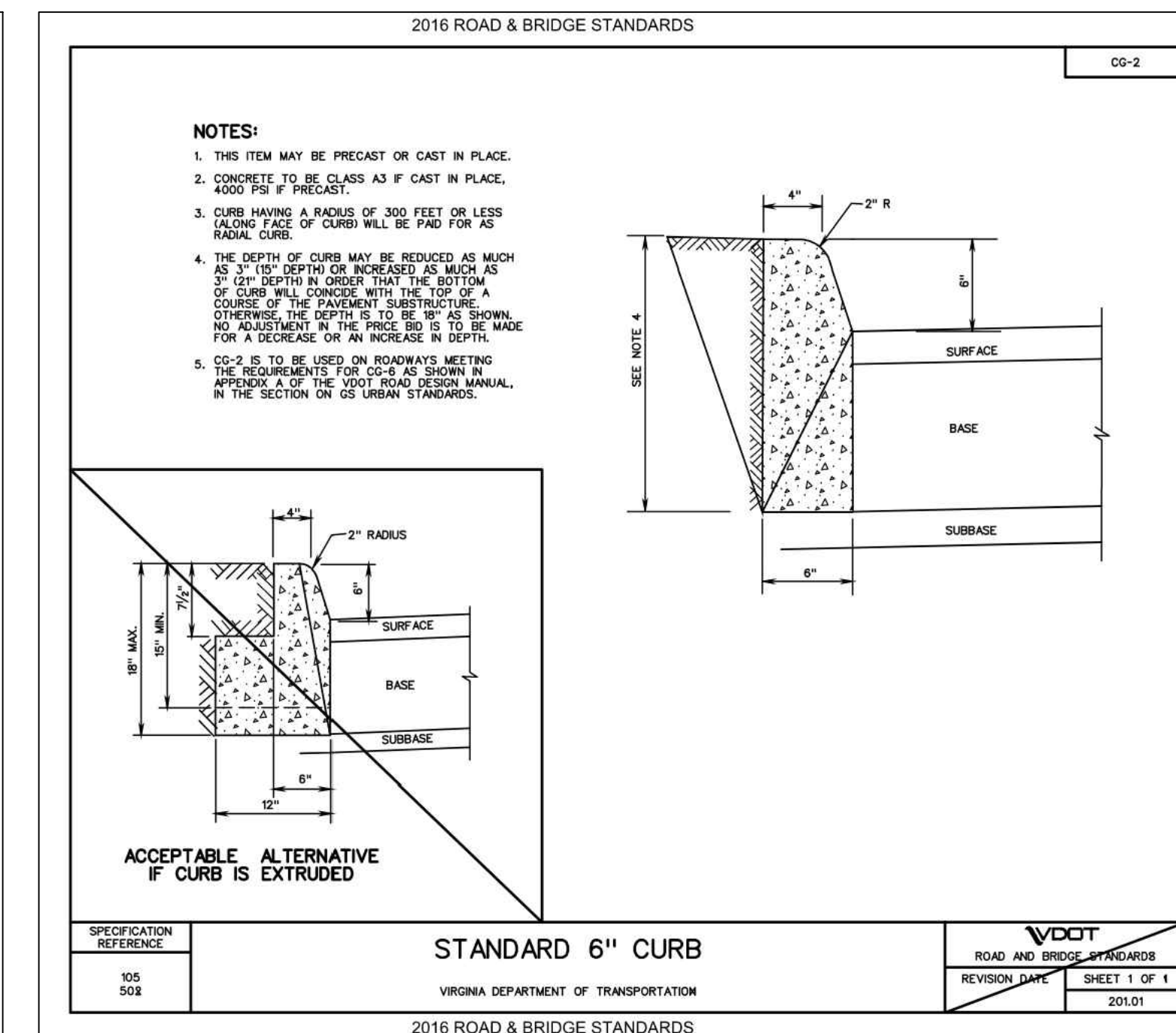
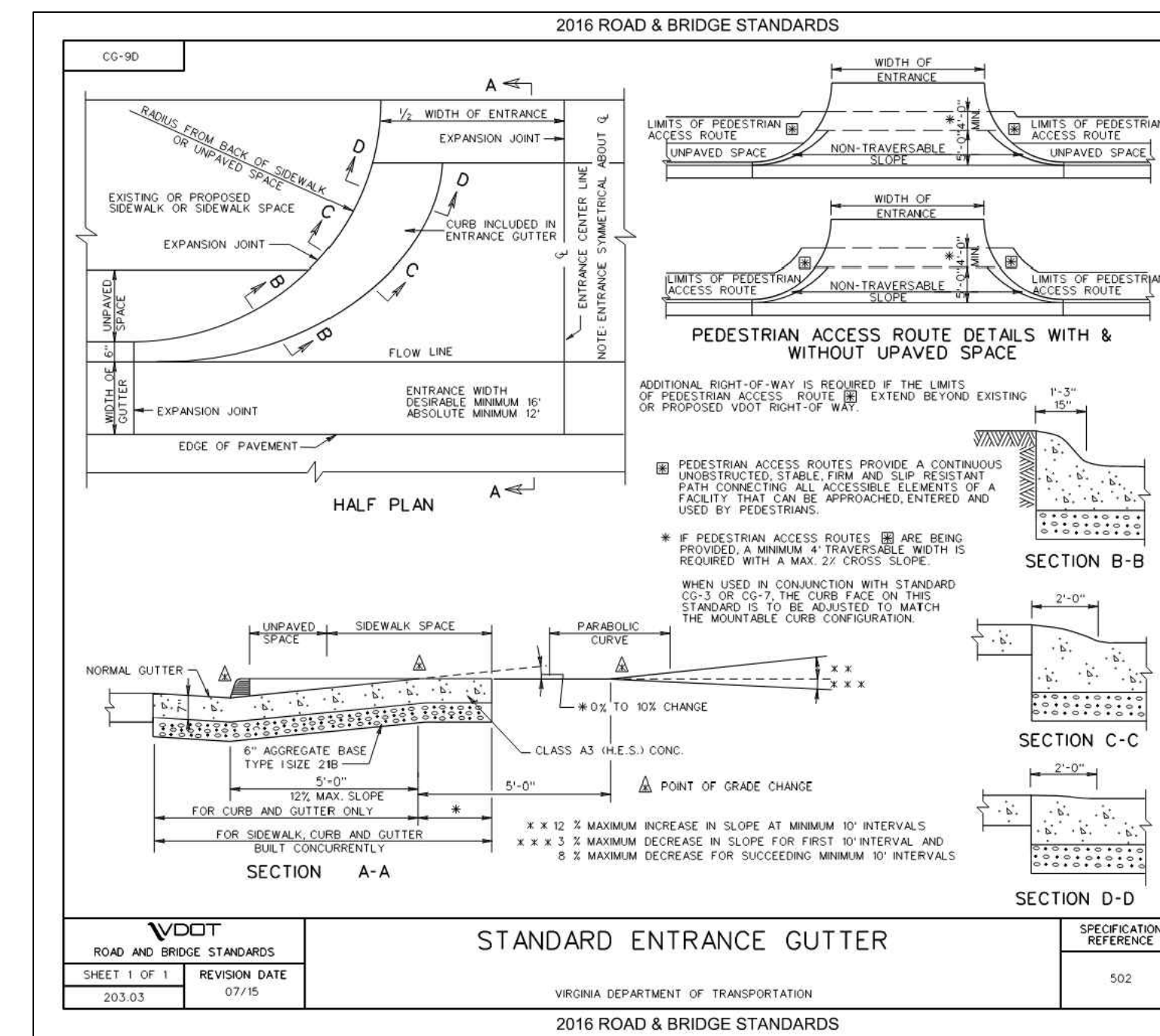
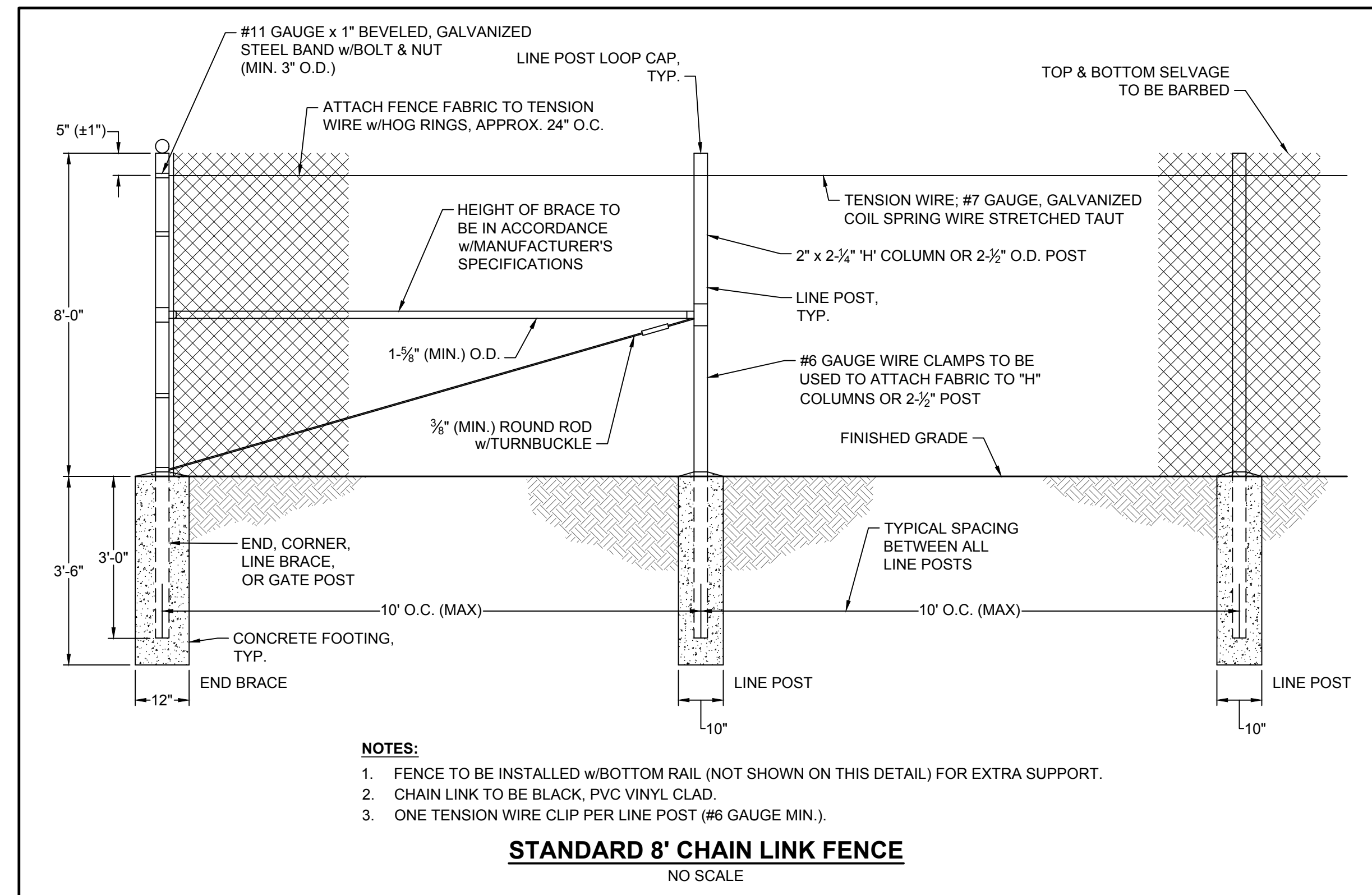
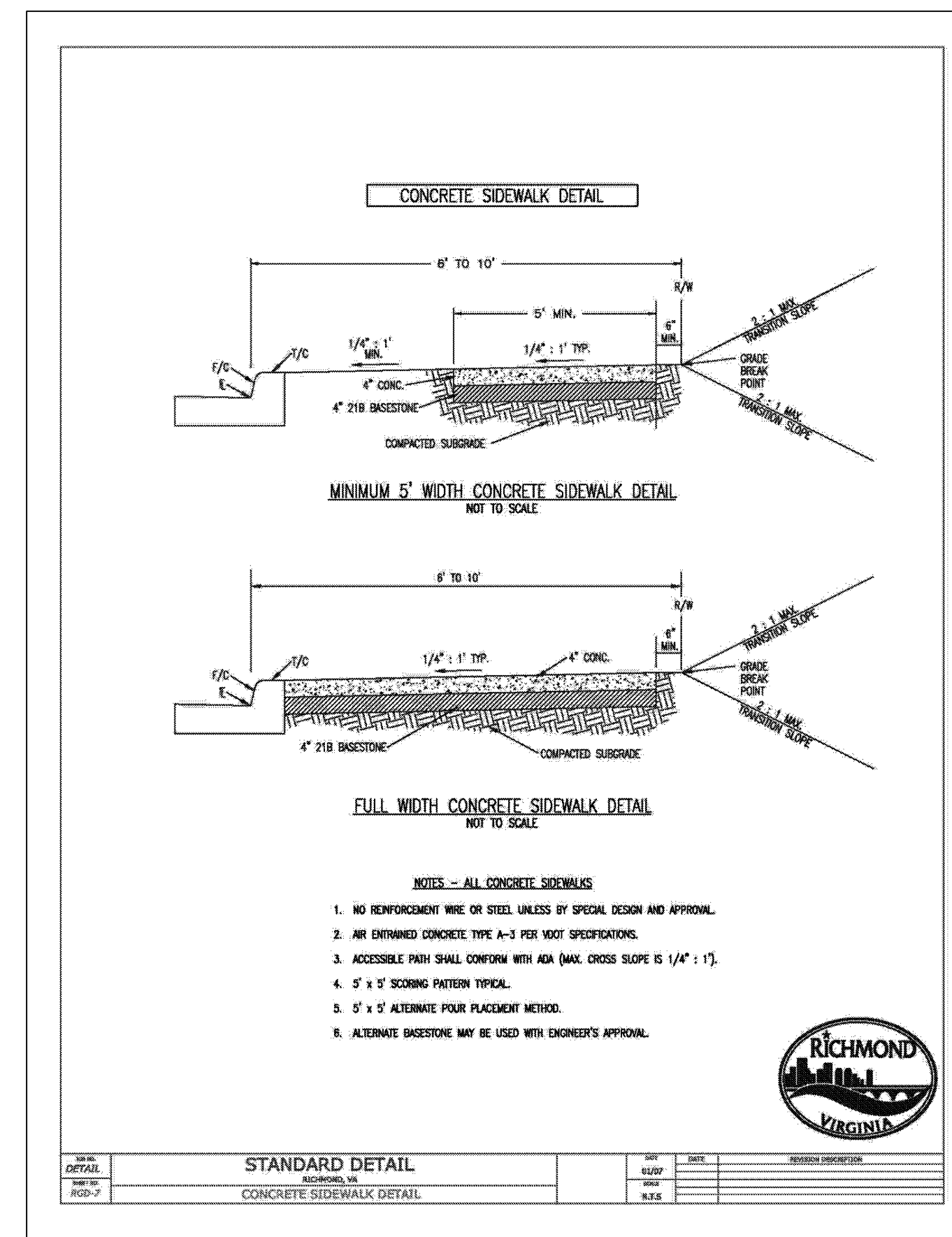
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WARWICK ROAD MAINTENANCE FACILITY IMPROVEMENTS
6120 WARWICK ROAD - MIDLOTHIAN DISTRICT - CITY OF RICHMOND - VIRGINIA

SITE LAYOUT NOTES & DETAILS

JOB NO. 39490.026
SHEET NO. C4.10

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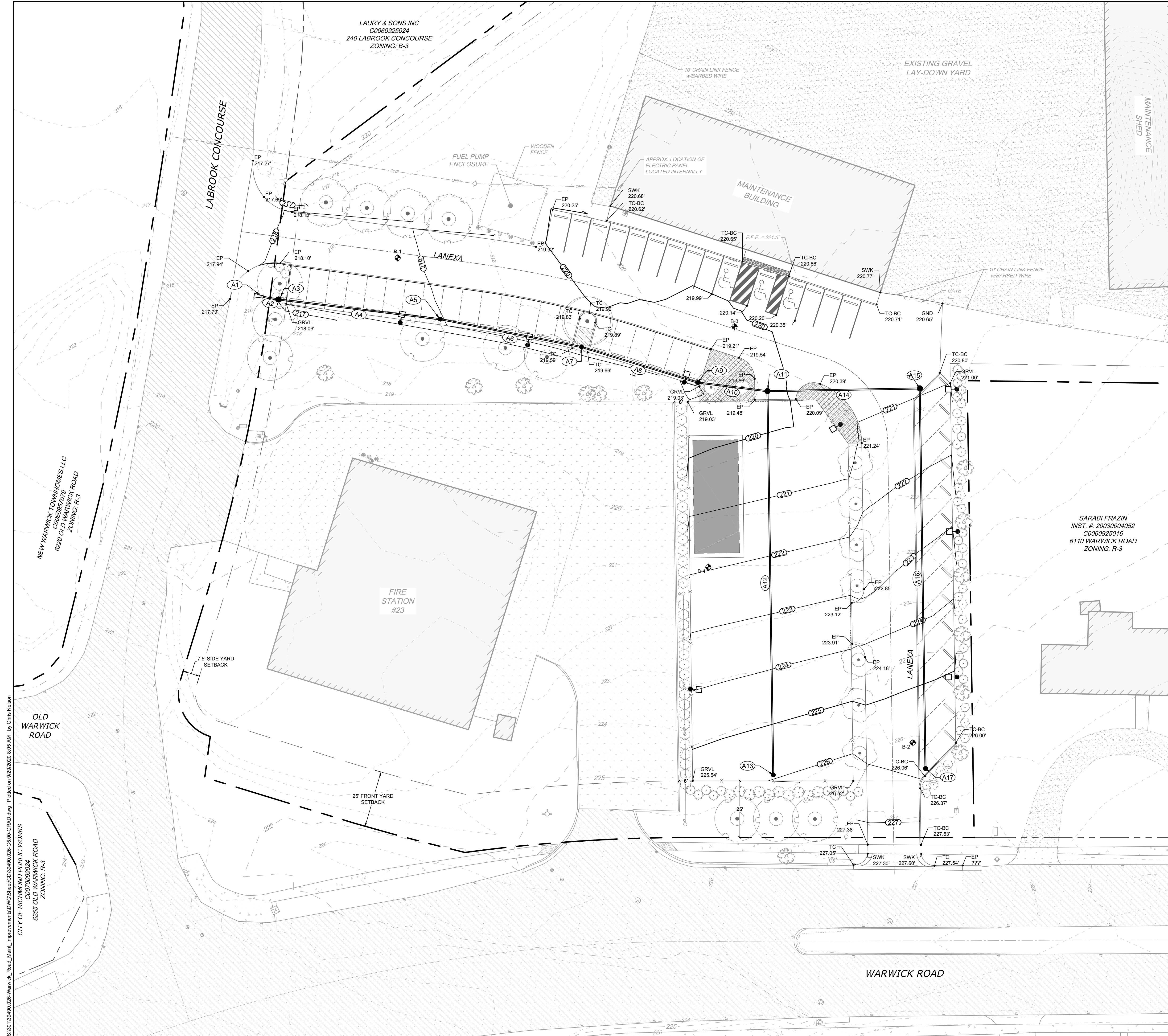
WARWICK ROAD MAINTENANCE FACILITY IMPROVEMENTS
6120 WARWICK ROAD - MIDLOTHIAN DISTRICT - CITY OF RICHMOND - VIRGINIA

SITE LAYOUT NOTES & DETAILS

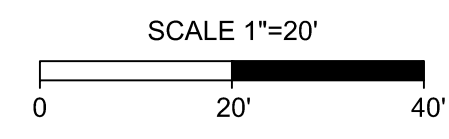
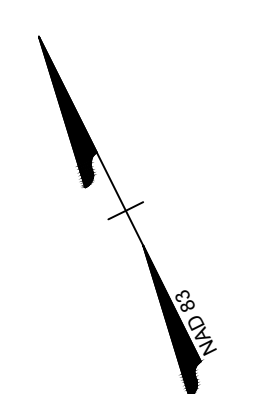
JOB NO.
39490.026

SHEET NO.
C4.11

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GRADING LEGEND	
- - - 220 - - -	EXISTING CONTOURS
— 220 —	PROPOSED CONTOURS
+ EX ±220.25'	EXISTING SPOT GRADE
+ 220.25'	PROPOSED SPOT GRADE
+ TC 220.25'	PROPOSED TOP OF CURB
+ EP 220.25'	PROPOSED EDGE OF PAVEMENT



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 C. NELSON
 SCALE
 1" = 20'

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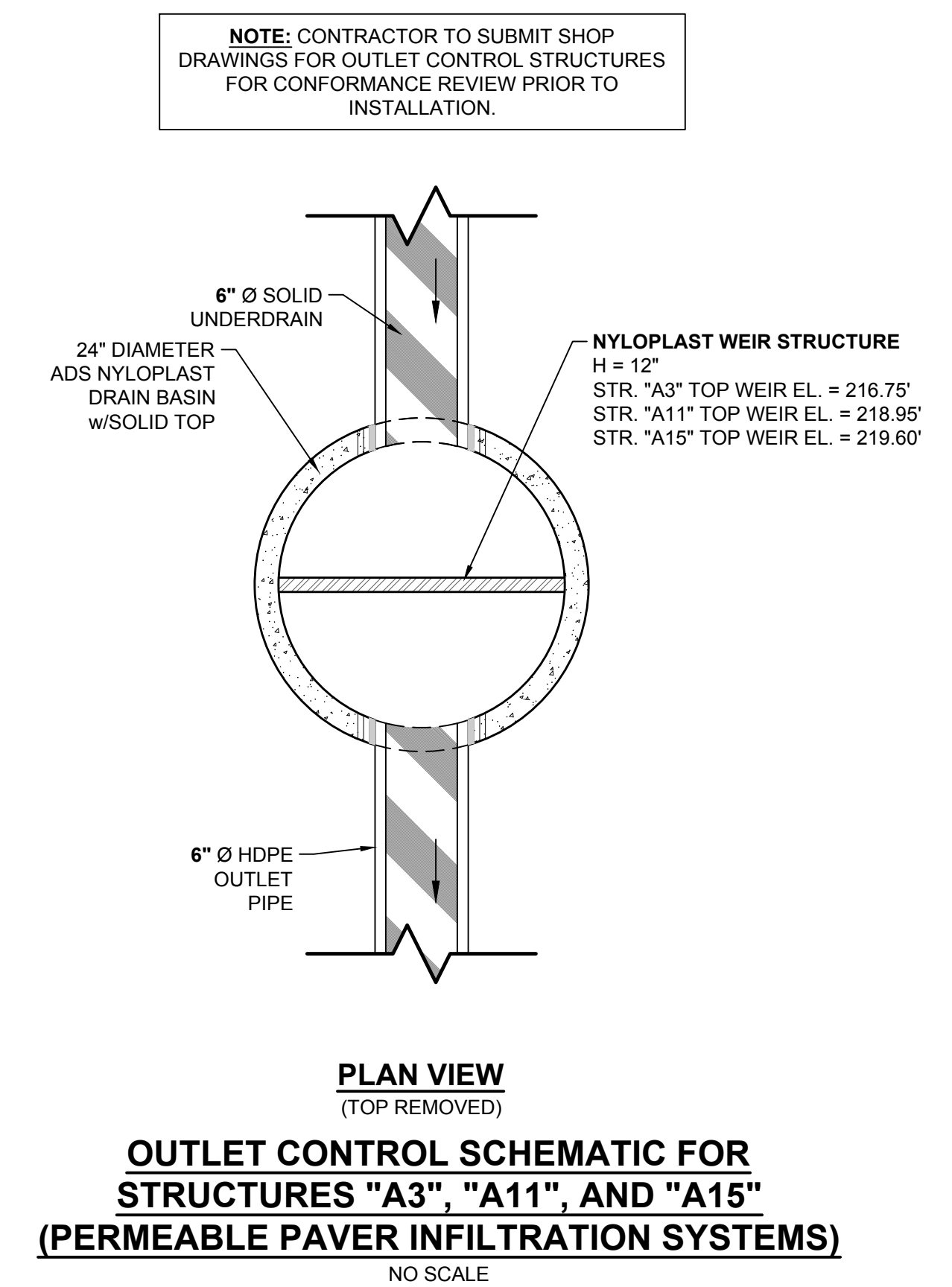
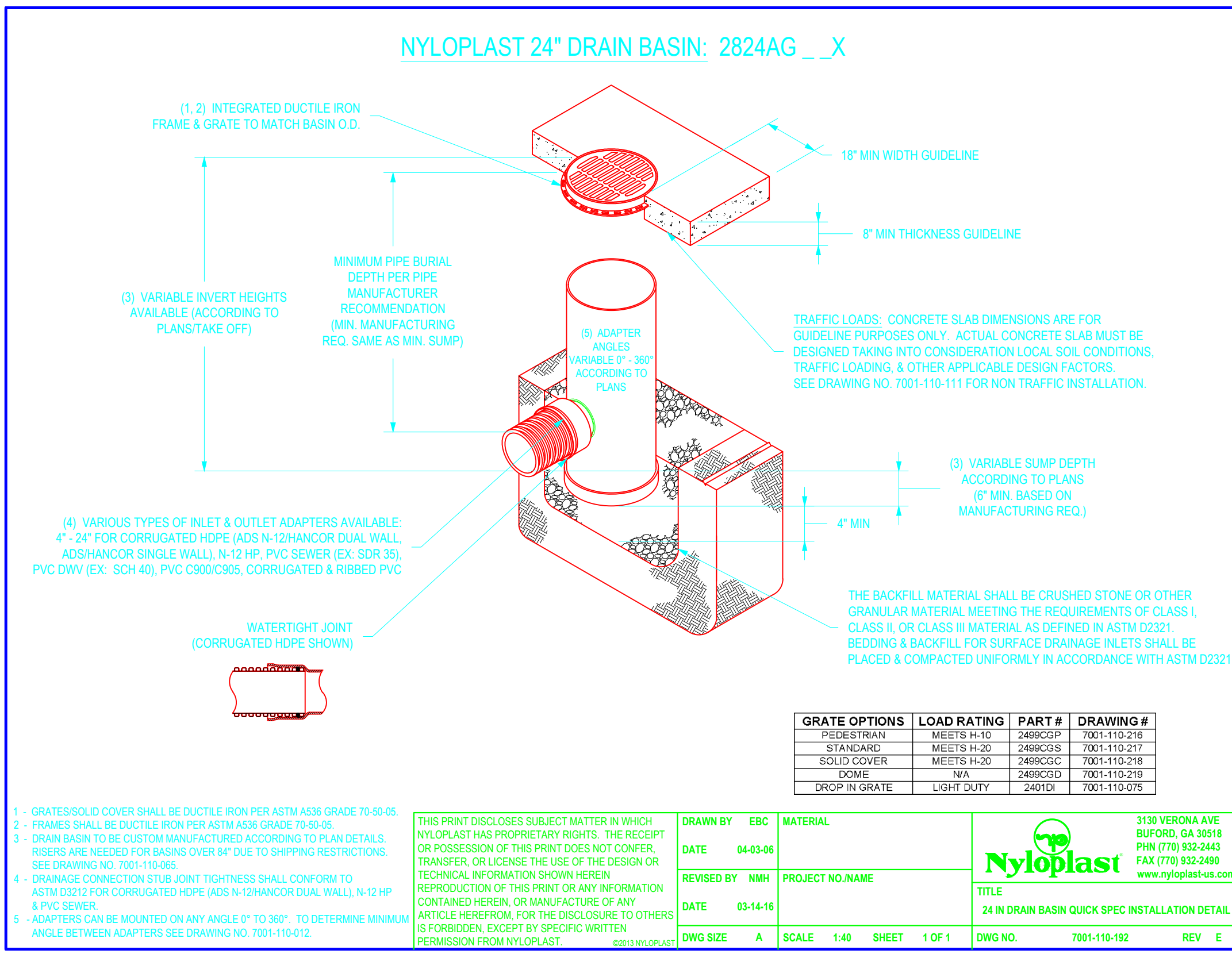
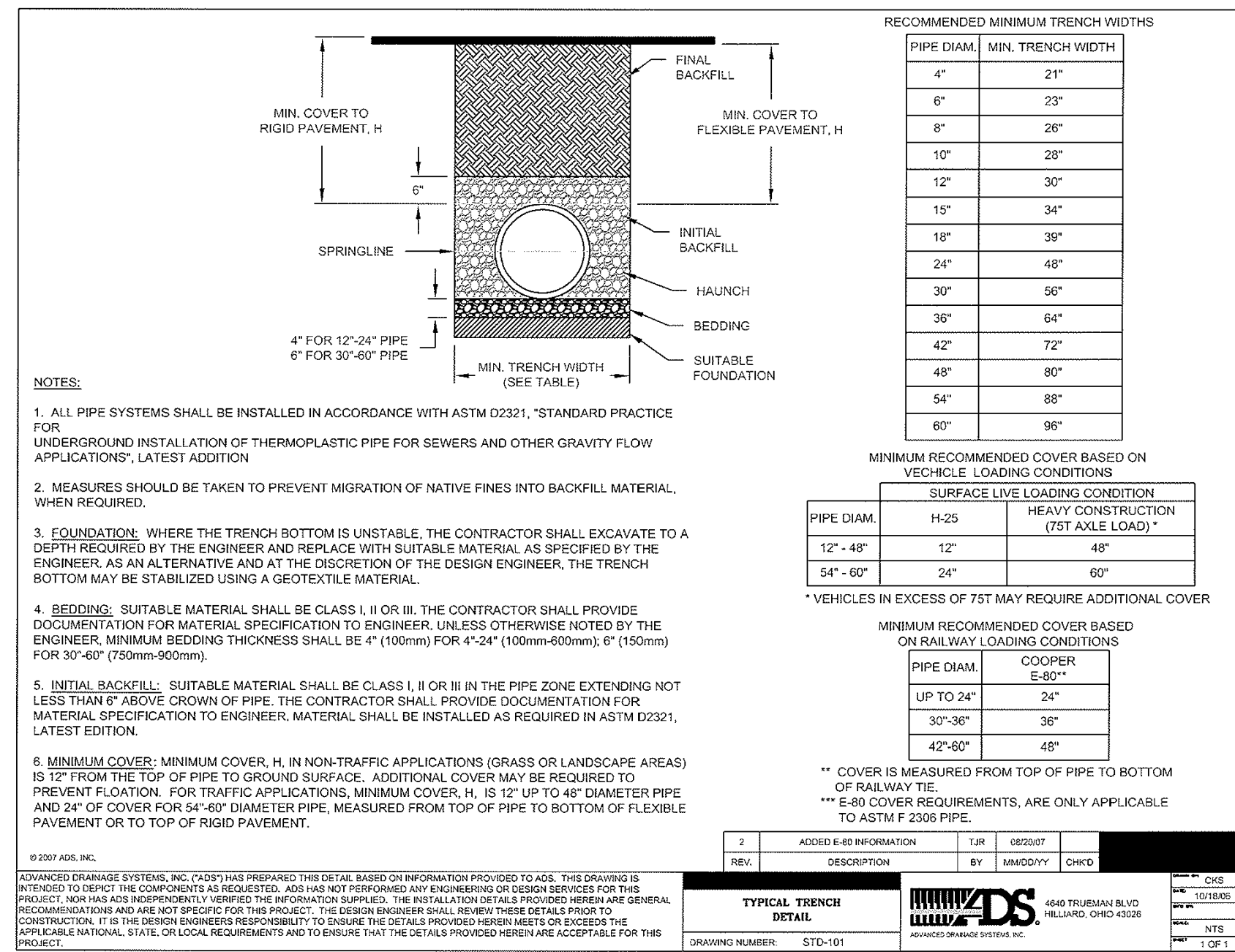
WARWICK ROAD MAINTENANCE FACILITY IMPROVEMENTS
 6120 WARWICK ROAD - MIDLOTHIAN DISTRICT - CITY OF RICHMOND - VIRGINIA

GRADING AND DRAINAGE PLAN

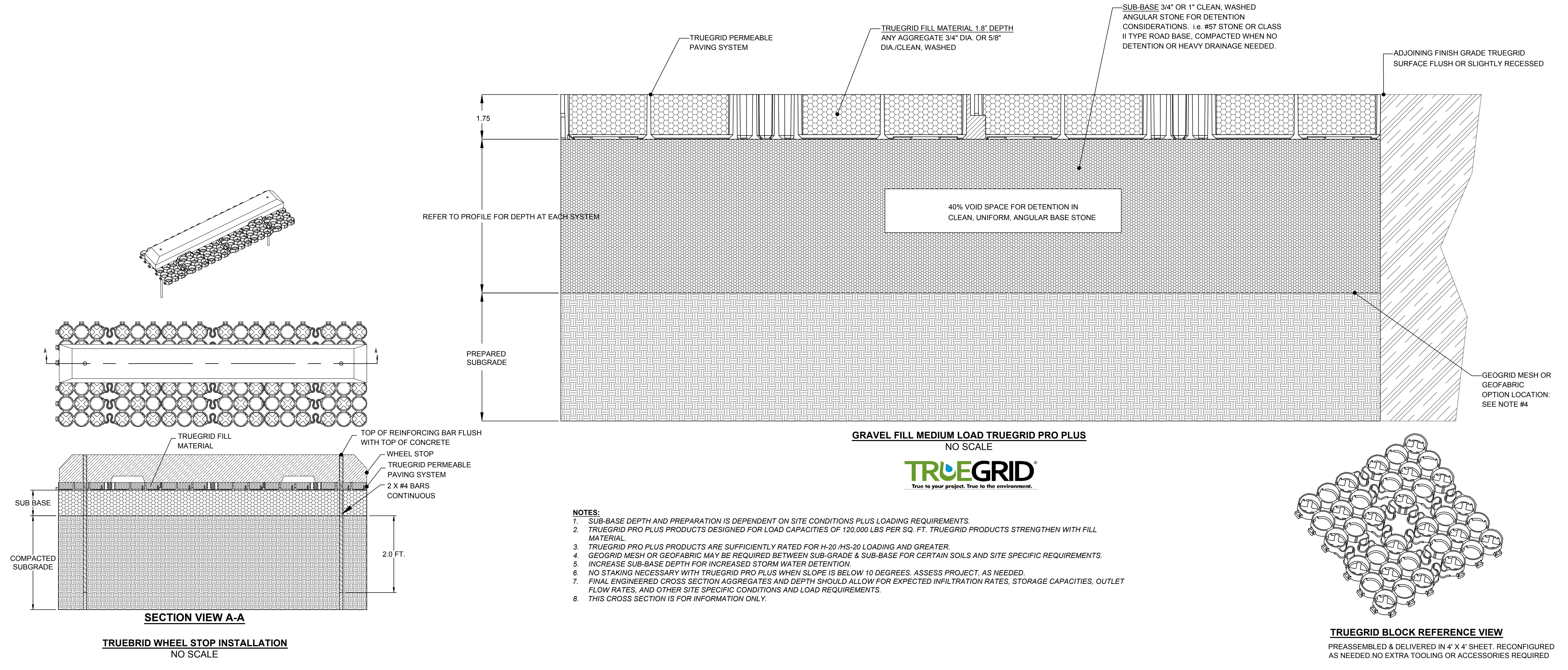
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 CITY OF RICHMOND PUBLIC WORKS
 C0070096024
 6255 OLD WARWICK ROAD
 ZONING: R-3



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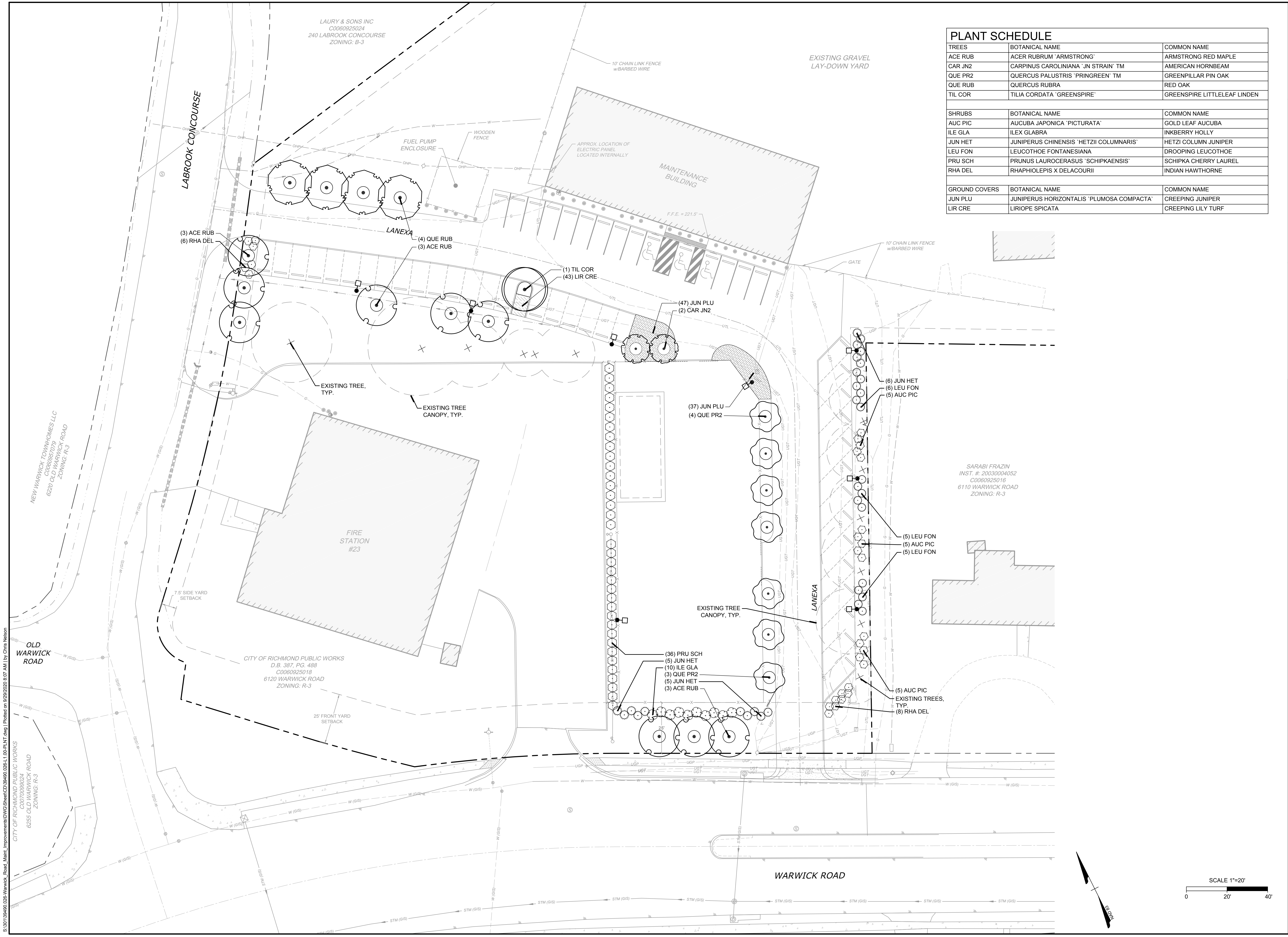
WARWICK ROAD MAINTENANCE FACILITY IMPROVEMENTS
 6120 WARWICK ROAD - MIDLOTHIAN DISTRICT - CITY OF RICHMOND - VIRGINIA

STORM DRAINAGE DETAILS

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 SHEET NO.: C5.10

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PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME
ACE RUB	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE
CAR JN2	CARPINUS CAROLINIANA 'JN STRAIN' TM	AMERICAN HORNBEAM
QUE PR2	QUERCUS PALUSTRIS 'PRINGREEN' TM	GREENPILLAR PIN OAK
QUE RUB	QUERCUS RUBRA	RED OAK
TIL COR	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN
SHRUBS	BOTANICAL NAME	COMMON NAME
AUC PIC	AUCUBA JAPONICA 'PICTURATA'	GOLD LEAF AUCUBA
ILE GLA	ILEX GLABRA	INKBERRY HOLLY
JUN HET	JUNIPERUS CHINENSIS 'HETZII COLUMNARIS'	HETZI COLUMN JUNIPER
LEU FON	LEUCOTHOE FONTANESIANA	DROOPING LEUCOTHOE
PRU SCH	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	SCHIPKA CHERRY LAUREL
RHA DEL	RHAPHIOLEPIS X DELACOURII	INDIAN HAWTHORNE
GROUND COVERS	BOTANICAL NAME	COMMON NAME
JUN PLU	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'	CREEPING JUNIPER
LIR CRE	LIRIOPE SPICATA	CREEPING LILY TURF

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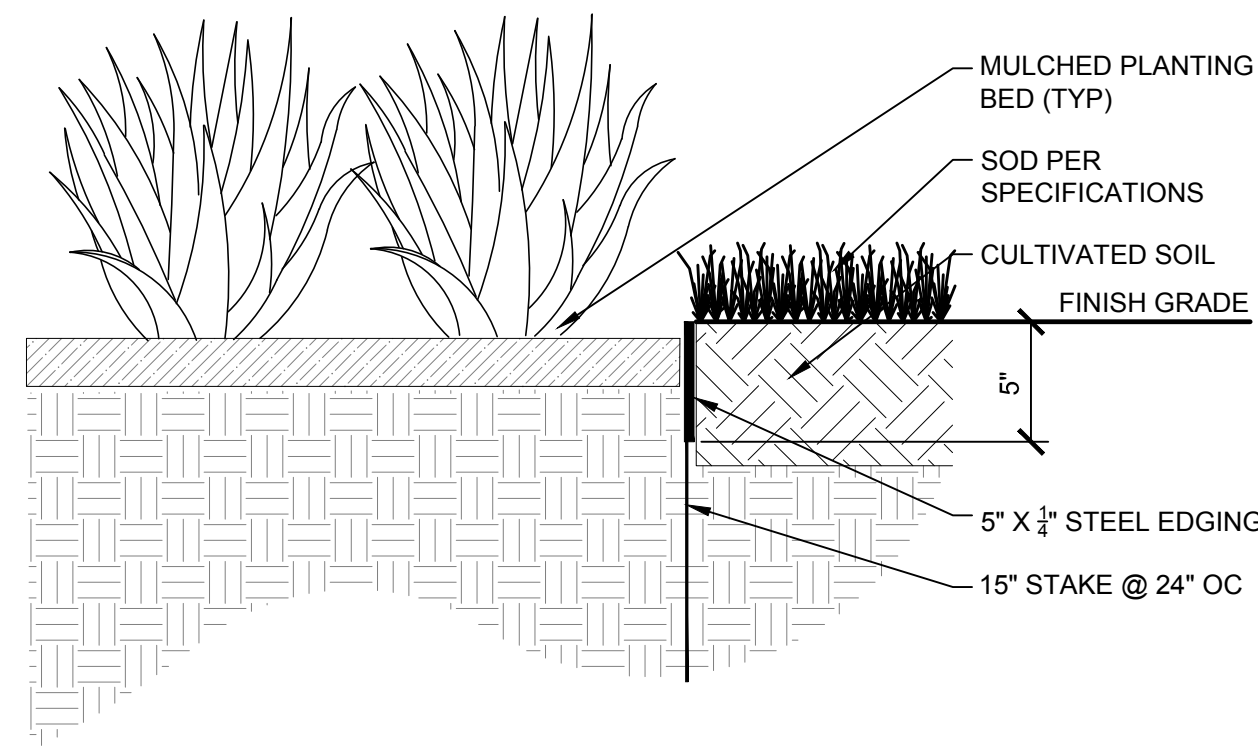
DATE: 09/29/2020
DRAWN BY: J. MURPHY
DESIGNED BY: J. MURPHY
CHECKED BY: S. WILEY
SCALE: 1" = 20'

WARWICK ROAD MAINTENANCE FACILITY IMPROVEMENTS
MIDLOTHIAN DISTRICT - CITY OF RICHMOND - VIRGINIA
LANDSCAPE PLAN

JOB NO. 39490.026
SHEET NO. L1.00

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6 TYPICAL STEEL EDGING
1 1/2" = 1'-0"

APPLICABLE LOCAL CODES:

Sec. 30-710.13: PERIMETER BUFFERS LANDSCAPE REQUIREMENT ZONE: R-3
BUFFER REQUIREMENT MET VIA BUFFER ALTERNATIVE "A".
BUFFER "A" SHALL HAVE A DEPTH OF NOT LESS THAN THE MINIMUM YARD REQUIREMENT APPLICABLE ALONG EACH STREET FRONTAGE OF THE PROPERTY, BUT IN NO CASE LESS THAN FIVE FEET, AND SHALL INCLUDE AN EVERGREEN VEGETATIVE SCREEN NOT LESS THAN THREE AND ONE-HALF FEET IN HEIGHT AT THE TIME OF INSTALLATION PLACED ALONG THE SETBACK LINE OF THE PARKING AREA. EVERGREEN VEGETATIVE MATERIAL INTENDED TO SATISFY THIS REQUIREMENT SHALL BE PLANTED AT SUCH INTERVALS THAT WILL RESULT IN A CONTINUOUS VISUAL SCREEN WITHIN ONE YEAR OF PLANTING

Sec. 30-710.14: INTERNAL LANDSCAPING REQUIREMENTS
WITHIN PARKING AREAS CONTAINING 30 OR MORE PARKING SPACES SERVING USES OTHER THAN USES WITH DRIVE-UP FACILITIES OR FACILITIES FOR DISPENSING MOTOR FUELS AND WITHIN PARKING LOTS CONTAINING 30 OR MORE PARKING SPACES, ONE LANDSCAPED ISLAND FOR EVERY 15 PARKING SPACES, OR MAJOR FRACTION THEREOF, FOR THE FIRST 100 PARKING SPACES, PLUS ONE LANDSCAPED ISLAND FOR EVERY ADDITIONAL 20 PARKING SPACES, OR MAJOR FRACTION THEREOF;
50 SPACES = 4 ISLANDS. 5 LANDSCAPED ISLANDS ARE PROVIDED.

SEC. 30-710.15: TREE CANOPY REQUIREMENTS
MINIMUM PROJECTED TREE COVERAGE. TREES SHALL BE PLANTED OR EXISTING TREES SHALL BE RETAINED SO AS TO PROVIDE A PROJECTED TREE COVERAGE AT TEN YEARS FROM THE DATE OF PLAN APPROVAL AS DETERMINED BY THE FOLLOWING FORMULAS
A PARKING AREA SERVING A USE OTHER THAN A USE WITH DRIVE-UP FACILITIES OR FACILITIES FOR DISPENSING MOTOR FUELS, OR A PARKING LOT, SHALL HAVE A PROJECTED TREE COVERAGE AREA EQUIVALENT TO NOT LESS THAN 30 SQUARE FEET FOR EACH PARKING SPACE CONTAINED IN THE PARKING AREA OR PARKING LOT.

30SF X 50 SPACES = 1,500SF OF CANOPY PROJECTED AT 10 YEARS AFTER INSTALLATION.

EXISTING CANOPY AREA TO BE RETAINED: 7,700 SF
PROPOSED TREE CANOPY AREA CREDIT: 5,600 SF

TREE REMOVAL REPLACEMENT POLICY:
RICHMOND CITY REQUIRES THAT A PROJECT REPLACE ANY EXISTING TREES REMOVED ON A 1:1 INCH DBH BASIS, OR PAY INTO THE CITY TREE FUND.

5 TREES REMOVED, TOTAL DBH: 68"
TOTAL DBH OF PROPOSED TREES: (26 TREES X 2.5" CAL.) + (2 TREES X 1.5" CAL.) = 68"

GENERAL NOTES

PRE-CONSTRUCTION

- CONTRACTOR IS RESPONSIBLE FOR CONTACTING "MISS UTILITY" AT 1.800.552.7001 FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- VERIFY ALL PLANT MATERIAL QUANTITIES ON THE PLAN PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.
- PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON PLANS. ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". IF SPECIFIED PLANT MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON AVAILABILITY TO THE LANDSCAPE ARCHITECT, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
- PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS.
- SOIL TESTS SHALL BE PERFORMED TO DETERMINE SOIL CHARACTER AND QUALITY. NECESSARY SOIL AMENDMENTS SHALL BE PERFORMED PER TEST RESULTS TO ENSURE PLANT HEALTH.

CONSTRUCTION/INSTALLATION

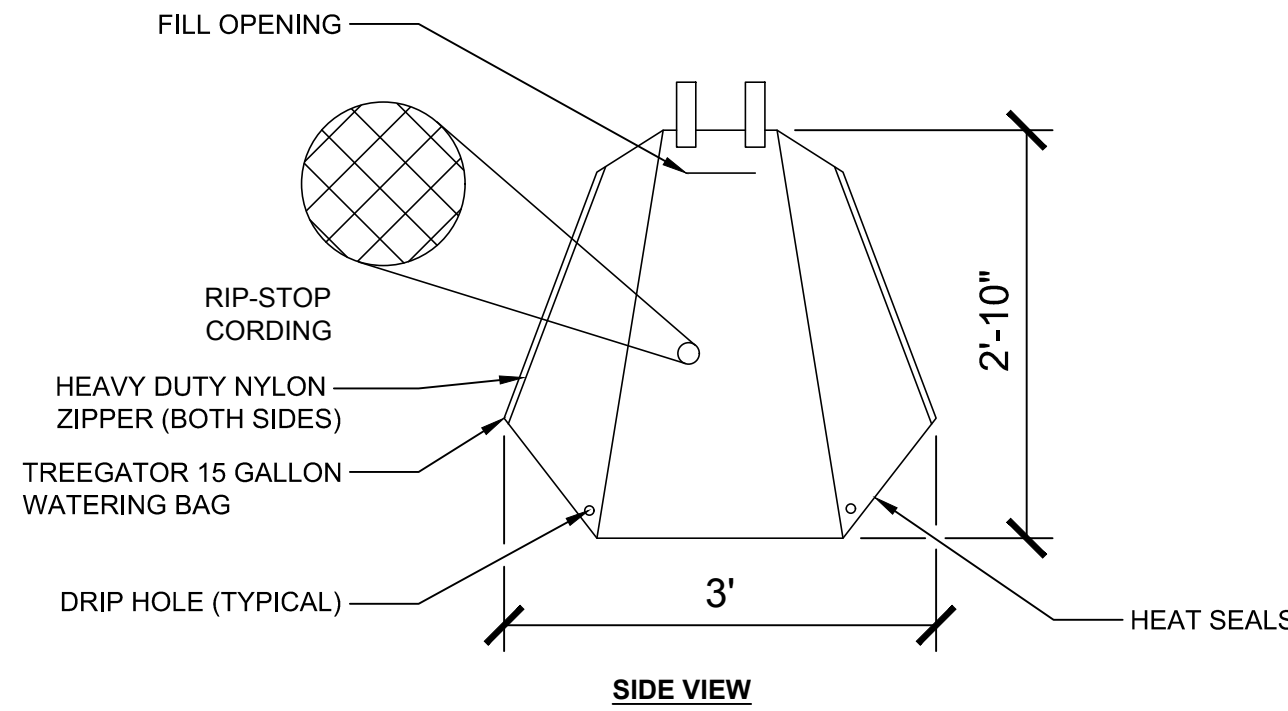
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING THE DESIGNATION OF BOTANICAL AND COMMON NAME.
- INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO THAT MATERIALS WILL NOT INTERFERE WITH SIGHT DISTANCES.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE.

INSPECTIONS/GUARANTEE

- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE LANDSCAPE ARCHITECT.
- ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR.
- PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- REMOVE ALL GUY WIRES AND STAKES 12 MONTHS AFTER INSTALLATION.

5 GENERAL NOTES AND DETAILS
NTS

TREES	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	
ACE RUB	9	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	3" CAL.	B&B	
CAR JN2	2	CARPINUS CAROLINIANA 'JN STRAIN' TM	AMERICAN HORNBEAM	1.5" CAL.	B&B	
QUE PR2	7	QUERCUS PALUSTRIS 'PRINGREEN' TM	GREENPILLAR PIN OAK	3" CAL.	B&B	
QUE RUB	4	QUERCUS RUBRA	RED OAK	3" CAL.	B&B	
TIL COR	1	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	3" CAL.	B&B	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	SPACING
AUC PIC	15	AUCUBA JAPONICA 'PICTURATA'	GOLD LEAF AUCUBA	42" HT.		48" o.c.
ILE GLA	10	ILEX GLABRA	INKBERRY HOLLY	42" HT.		60" o.c.
JUN HET	16	JUNIPERUS CHINENSIS 'HETZII COLUMNARIS'	HETZI COLUMN JUNIPER	42" HT.		54" o.c.
LEU FON	16	LEUCOTHOE FONTANESIANA	DROOPING LEUCOTHOE	42" HT.		48" o.c.
PRU SCH	36	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	SCHIPKA CHERRY LAUREL	42" HT.		60" o.c.
RHA DEL	14	RHAPHIOLEPIS X DELACOURII	INDIAN HAWTHORNE	42" HT.		48" o.c.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	SPACING
JUN PLU	84	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'	CREEPING JUNIPER	1 GAL.		36" o.c.
LIR CRE	43	LIRIOPE SPICATA	CREEPING LILY TURF	1 QT.		16" o.c.



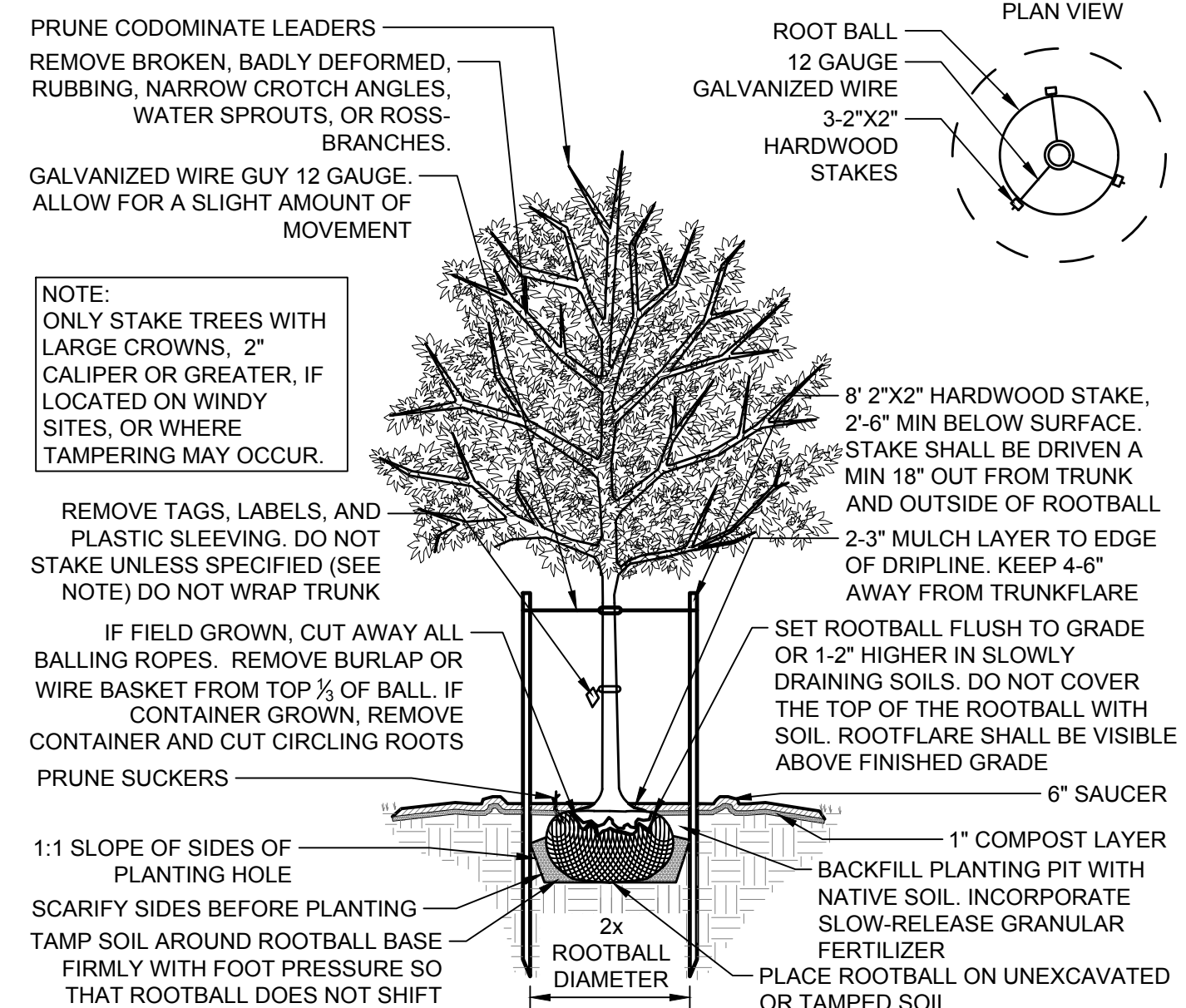
- NOTES:**
- 10 MM POLYETHYLENE - UV TREATED AND REINFORCED.
 - FILL OPENING ACCEPTS HOSES UP TO 3" IN DIAMETER.
 - INSTALL TREGATOR IN CUP-SHAPED MULCHED TREE SAUCER PER MANUFACTURER'S RECOMMENDATIONS.

DRIP TIMES:

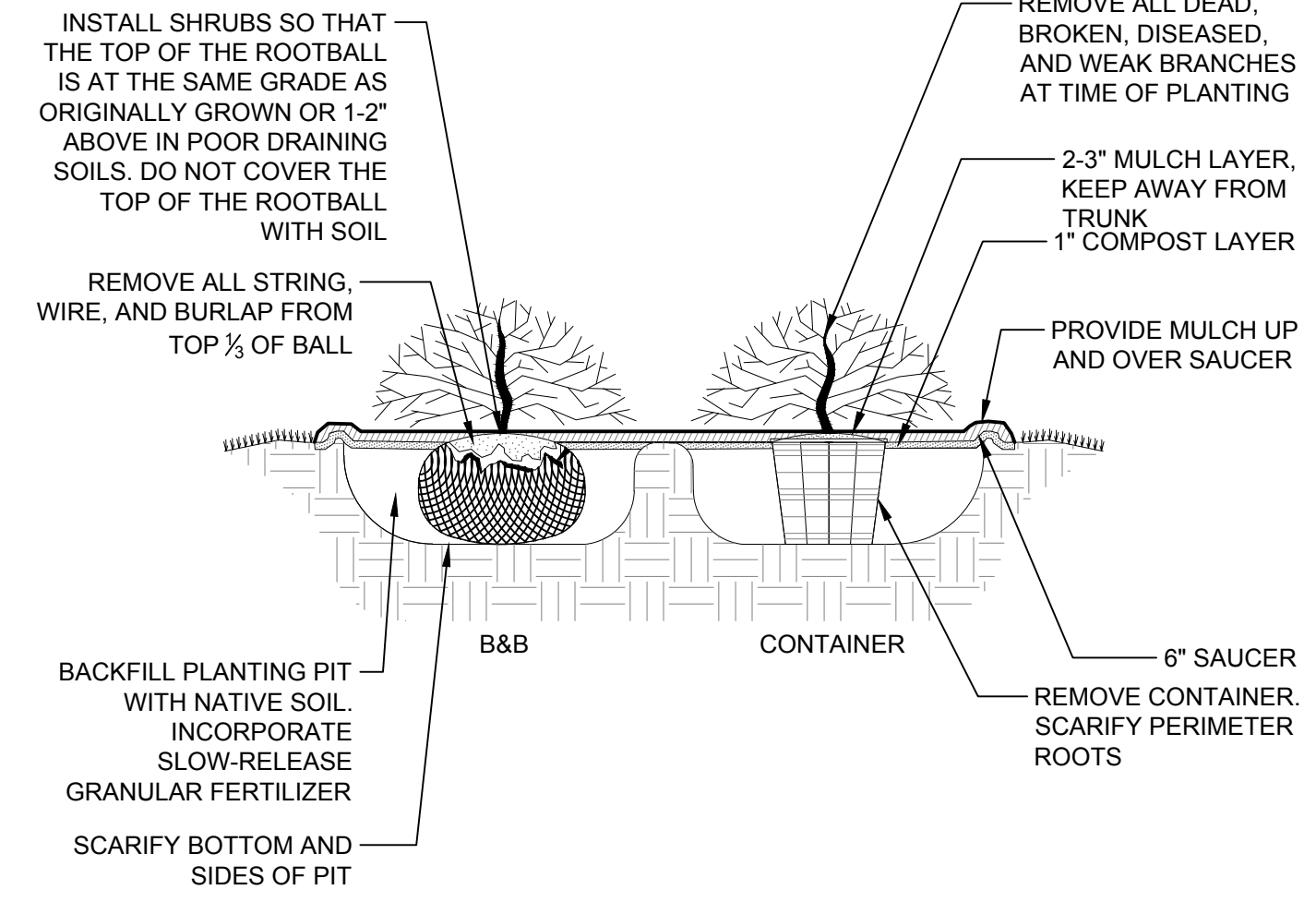
2 HOLES	6-10 HOURS
3 HOLES	2-6 HOURS
4 HOLES	1-2 HOURS

- TREE WATERING NOTES:**
- WATER ALL TREES AT INSTALLATION AND DURING THE MAINTENANCE AND WARRANTY PERIOD TO ENSURE A SUCCESSFUL ESTABLISHMENT PERIOD AND LANDSCAPE MATERIAL WARRANTY. WATERING BAGS SHALL BE UTILIZED FOR TREE WATERING AND UTILIZED ACCORDING TO THE REQUIREMENTS OF THE WATERING BAG MANUFACTURER, AND AS FIELD VERIFIED.
 - WATER FOR TREES SHALL BE DISPENSED BY "TREGATOR SLOW RELEASE WATERING BAGS", OR AS APPROVED EQUAL. PROVIDE ONE 20 GALLON BAG FOR 1" TO 4" CALIPER TREES AND PROVIDE TWO 20 GALLON BAGS (2 UNITS ZIPPED TOGETHER BACK TO BACK 50 GALLON SETUP) FOR 5" TO 8" CALIPER TREES.
 - FILL WATERING BAG ONCE OR TWICE A WEEK, DEPENDING ON TREE SIZE, SEASON AND CLIMATIC CONDITIONS; OR AS OTHERWISE FIELD VERIFIED, AND AS DIRECTED BY THE WATERING BAG MANUFACTURER. ONE SUGGESTED WATERING RULE IS 10 GALLONS OF WATER PER WEEK FOR EVERY INCH OF TREE CALIPER. FOR ESTIMATED WATERING SCHEDULE OF TYPICAL SEASONAL ADJUSTMENTS FROM MAXIMUM SUMMER WATERING INCLUDE THE FOLLOWING: JUNE-AUGUST-100%, SEPTEMBER-80%, OCTOBER-50%, NOVEMBER-25%, DECEMBER-FEBRUARY-17%, MARCH-25%, APRIL-40% AND MAY 64%.
 - WATERING SCHEDULE INFORMATION HERewith IS FOR WATERING ESTIMATING PURPOSES. THE CONTRACTOR SHALL FIELD VERIFY THE APPROPRIATE WATERING AMOUNTS AND INTERVALS BASED ON OBSERVANCE OF TREE HEALTH, FIELD CONDITIONS, WATERING BAG EQUIPMENT AND SEASONAL AND CLIMATIC ADJUSTMENTS.

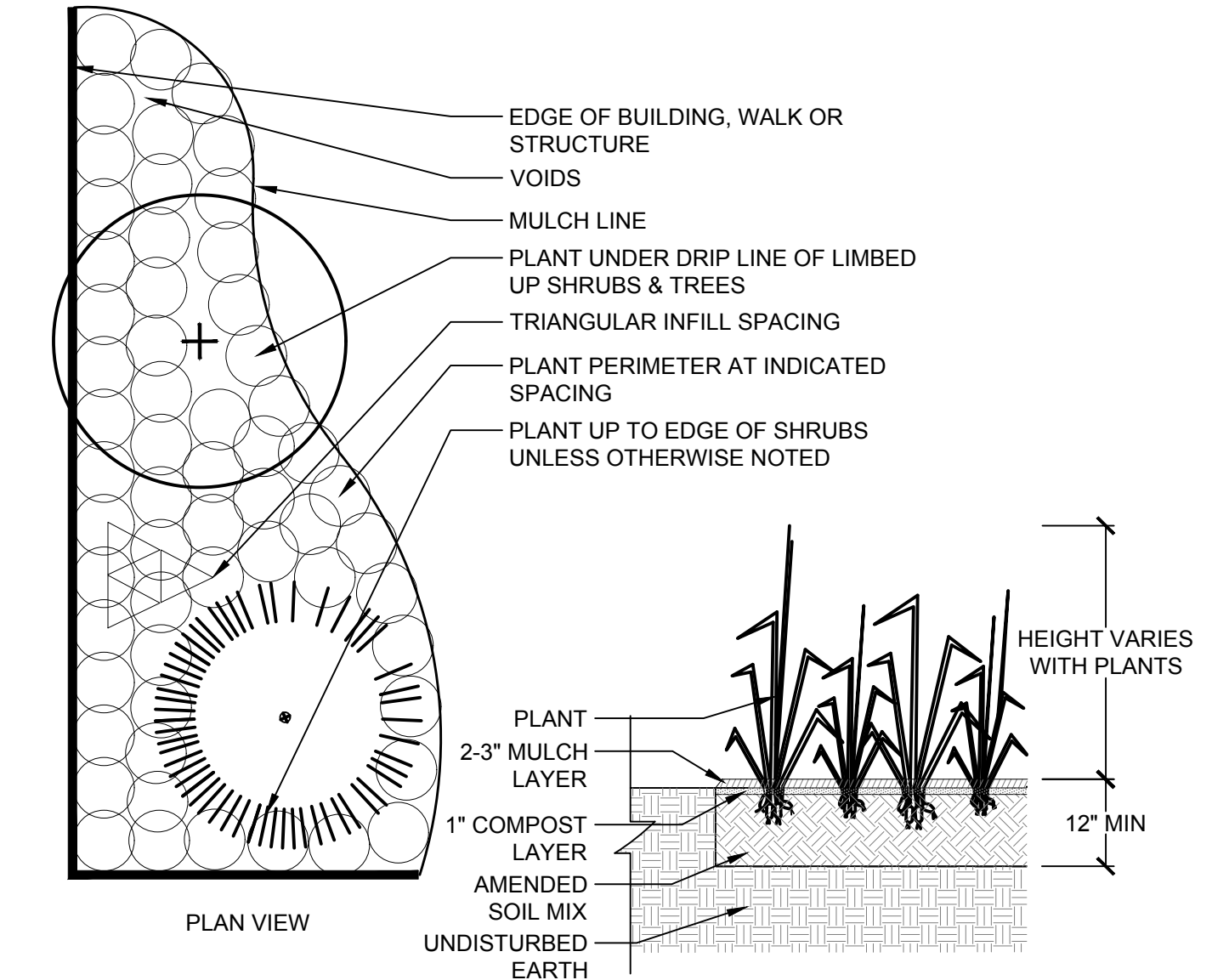
4 GATOR BAG WATERING DETAIL
3/4" = 1'-0"



1 DECIDUOUS TREE PLANTING DETAIL
NTS



2 SHRUB PLANTING DETAIL
NTS



3 GROUND COVER PLANTING DETAIL
NTS

UDC FINAL REVIEW SUBMITTAL

NOT FOR CONSTRUCTION

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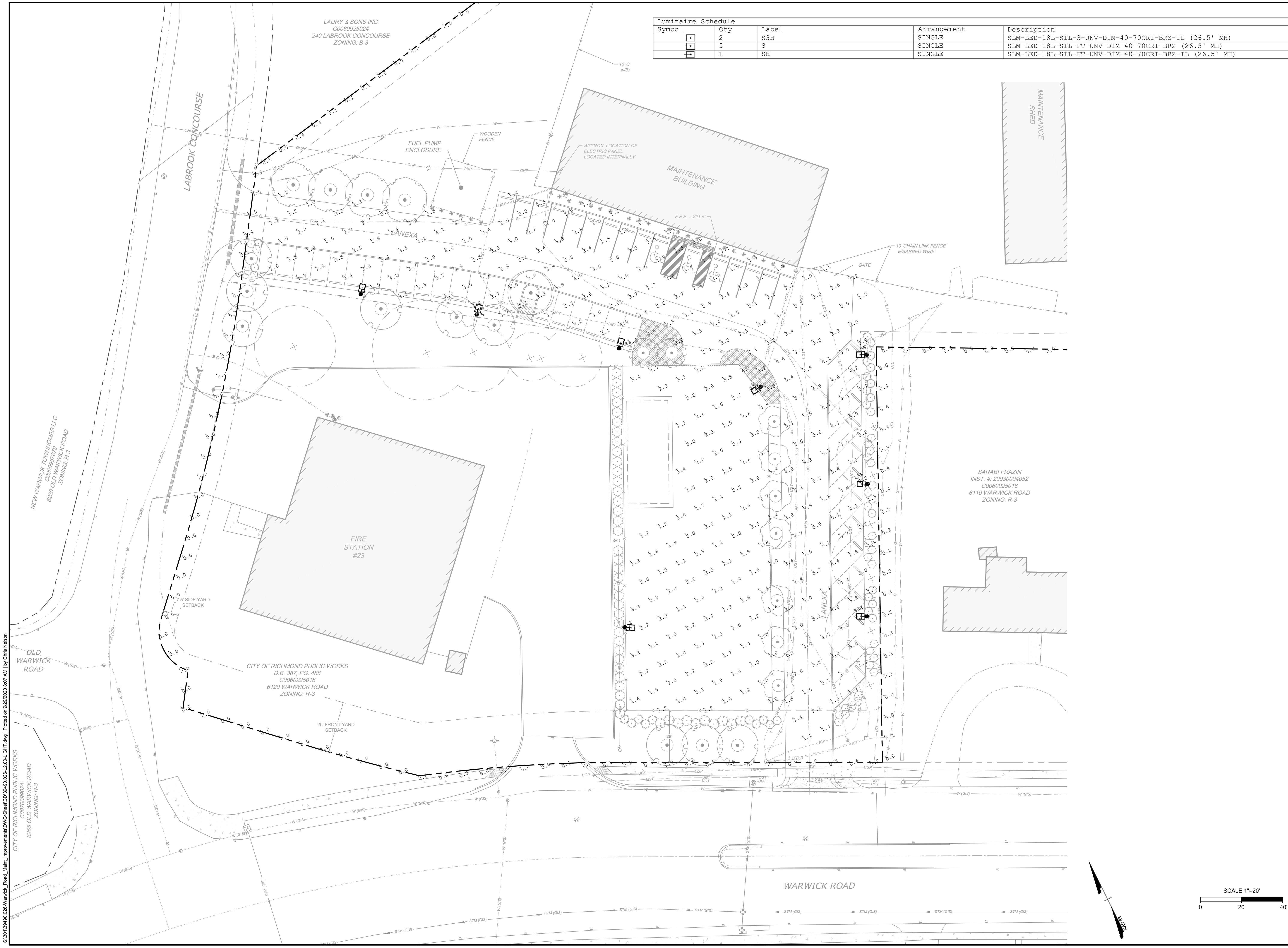
DATE: 09/29/2020
DRAWN BY: J. MURPHY
DESIGNED BY: J. MURPHY
CHECKED BY: S. WILEY
SCALE: 1" = 20'

TIMMONS GROUP

WARWICK ROAD MAINTENANCE FACILITY IMPROVEMENTS
MIDLOTHIAN DISTRICT - CITY OF RICHMOND - VIRGINIA
LANDSCAPE NOTES AND DETAILS

JOB NO. 39490.026
SHEET NO. L1.10

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Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
□	2	S3H	SINGLE	SLM-LED-18L-SIL-3-UNV-DIM-40-70CRI-BRZ-IL (26.5' MH)
□	5	S	SINGLE	SLM-LED-18L-SIL-FT-UNV-DIM-40-70CRI-BRZ (26.5' MH)
□	1	SH	SINGLE	SLM-LED-18L-SIL-FT-UNV-DIM-40-70CRI-BRZ-IL (26.5' MH)

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DATE	REVISION DESCRIPTION

DATE: 09/29/2020
 DRAWN BY: B. REECE
 DESIGNED BY: B. REECE
 CHECKED BY: B. REECE
 SCALE: 1" = 20'

TIMMONS GROUP

WARWICK ROAD MAINTENANCE FACILITY IMPROVEMENTS
 MIDLOTHIAN DISTRICT - CITY OF RICHMOND - VIRGINIA
 LIGHTING PLAN

JOB NO. 39490.026
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