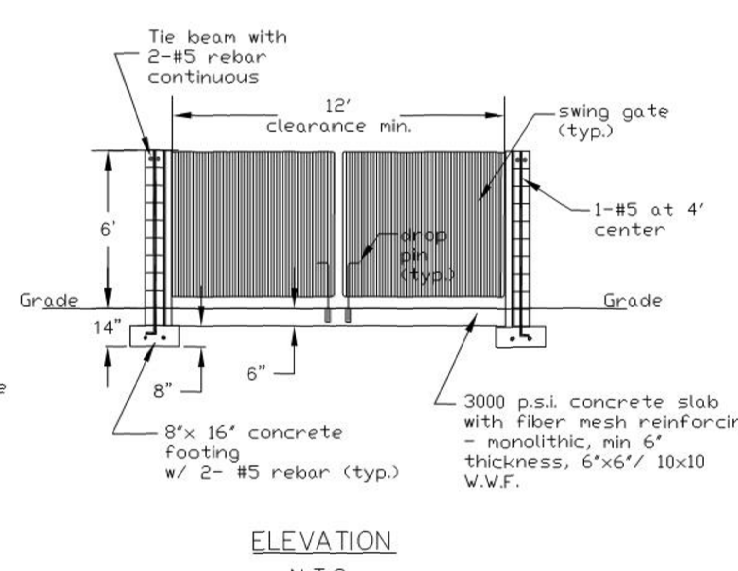
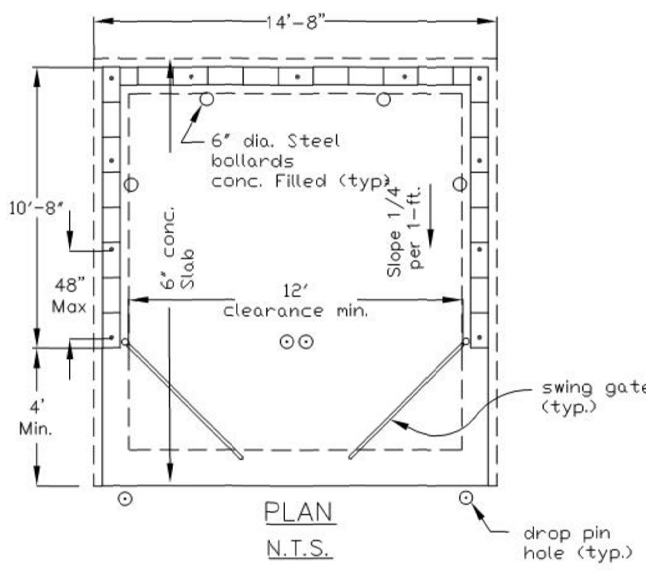
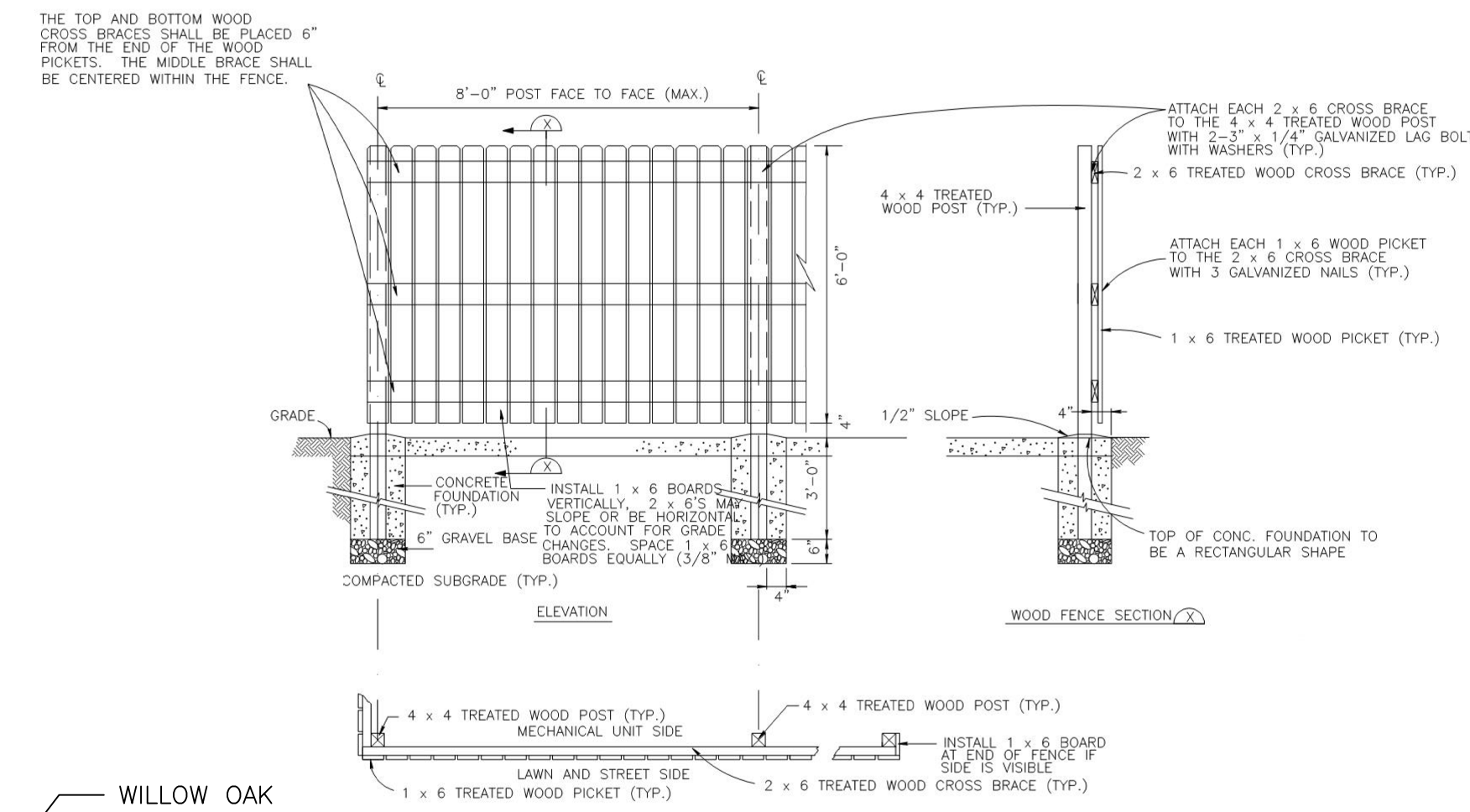


MASONRY DUMPSTER PAD

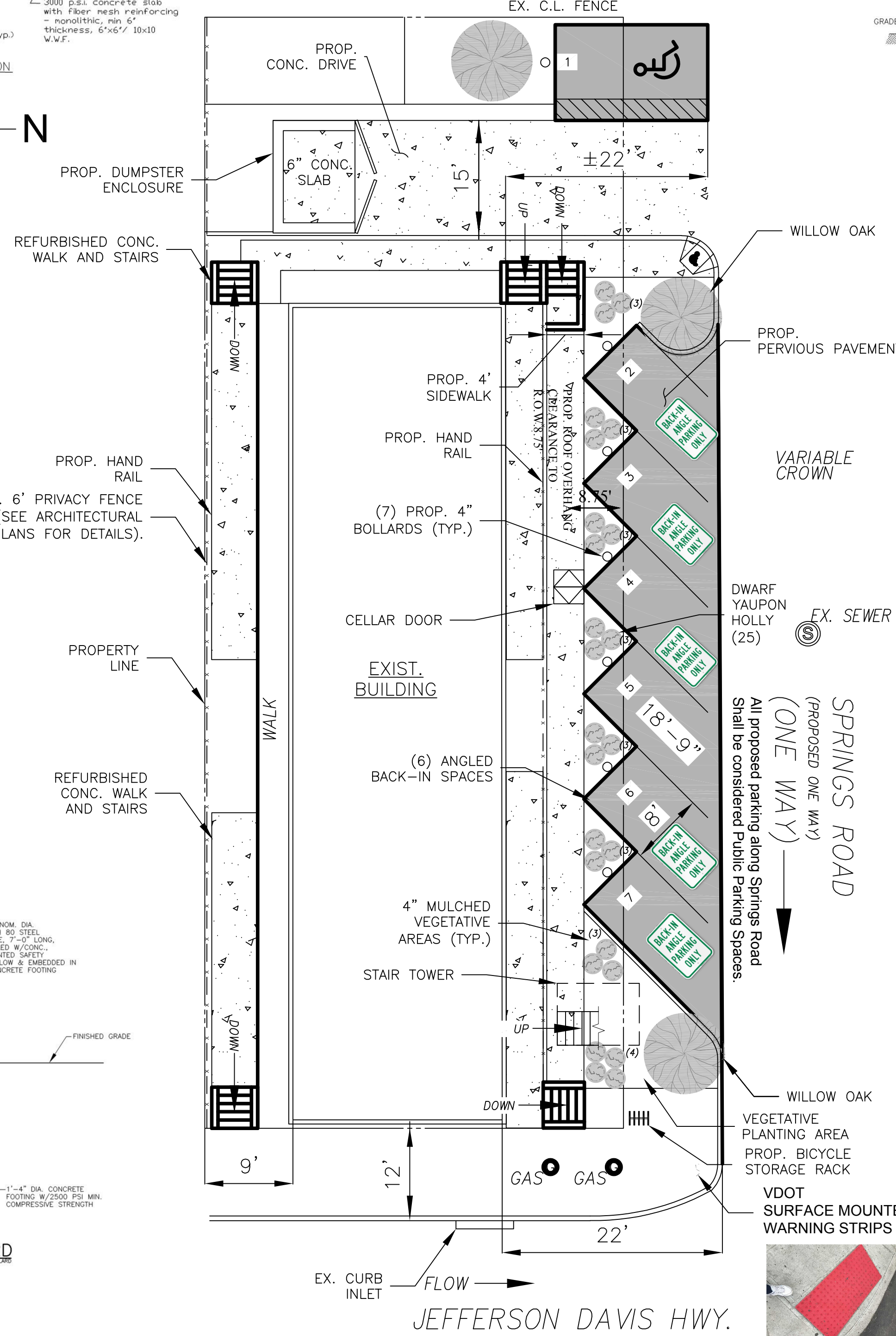
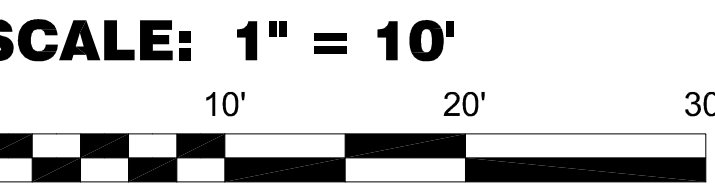
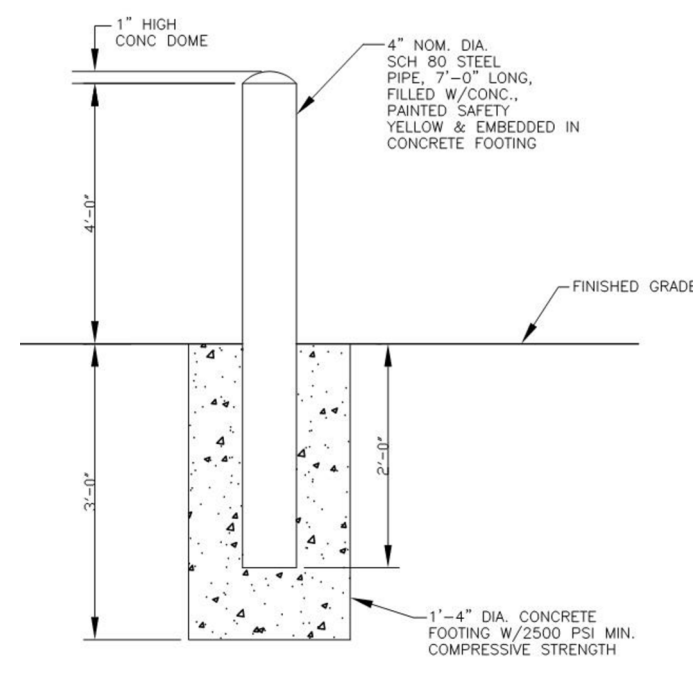


NOTE: MATCH FINISH ON THE EXTERIOR OF THE DUMPSTER ENCLOSURE TO THE BUILDING FINISH. REFER TO ARCHITECTURAL PLANS FOR COLOR AND MATERIALS.



- LEGEND**
- ▲ - MAG NAIL
 - - IRON ROD FOUND
 - ⊕ - EX. CURB INLET
 - ⊙ - EX. WATER METER
 - ⊕ - EX. FIRE HYDRANT
 - ⊕ - EX. WATER VALVE
 - ⊕ - EX. SAN. MANHOLE
 - ⊕ - EX. SAN. CLEANOUT
 - ☆ - EX. LIGHT POLE
 - - EX. PROPERTY LINE
 - - EX. RIGHT OF WAY LINE
 - - EX. ADJOINING LINE
 - - EX. WATER LINE
 - - EX. SEWER LINE
 - - EX. UNDERGROUND ELECTRIC
 - - EX. STORM WATER PIPE
 - - EX. PAVEMENT
 - - PROP. CONCRETE
 - - PROPOSED PAVEMENT
 - ⊕ - PROPOSED CURB INLET
 - - PROPOSED DROP INLET
 - ⊕ - PROPOSED SEWER CLEANOUT
 - - PROPOSED BOLLARD
 - ☆ - PROPOSED LIGHT POLE (TO BE BLACK IN COLOR)
 - ▲ - PROPOSED WALL PACK
 - ▲ - PROPOSED HC SIGN

- LANDSCAPING LEGEND**
- - WILLOW OAK (5) (Quercus phellos)
 - - DWARF YAUPON HOLLY (25) (Ilex vomitoria nana)



NOTES

Owner/Developer: Shiloh Properties.
 Property being rehabilitated as a (10) ten unit apartment building on 6,689 square foot (0.154 Ac.) parcel
 Property Address: 3115 Jefferson Davis Highway, Richmond, VA. 23234
 Current Zoning: B-3 (General Business)
 Property Class: 310-R Apartment 5 - 11 Units
 Property Description: Summerhill Plaza L!PT10 BB

LOT AREA CALCULATIONS

Building: 5,200 Square feet
 Lot Area: 6,689 Square feet
 Lot Frontage (Approx.) 50 Feet
 Lot Side/rear: 133 (Approx.)

PARKING

Existing:
 Proposed: (6) six angled parking spaces; (1) one standard ADA space.
 (5) five unit capable bicycle parking rack.

LANDSCAPE

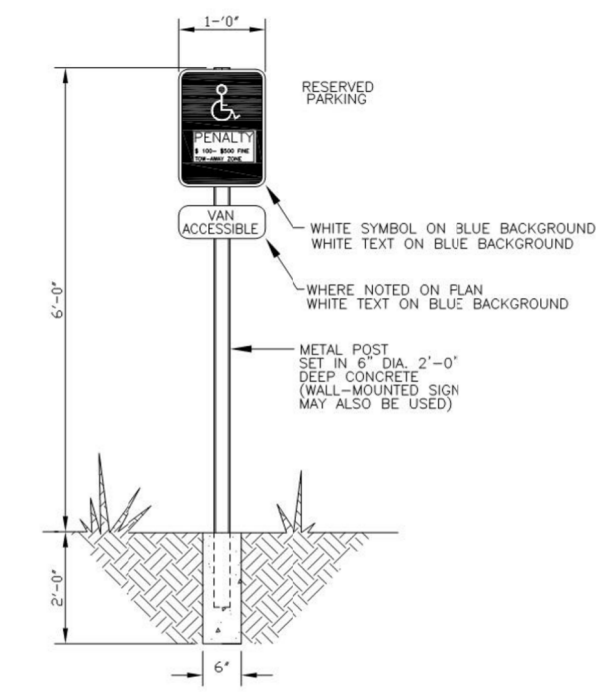
Proposed (3) three Willow Oaks (along Springs Road) by others.
 Proposed (2) two shade trees (along Jefferson Davis Hwy.) by others.
 Proposed (25) twenty-five shrubs (Parking area) by owner.
 (4") of mulch installed in each vegetative bed.

SITE UPGRADES

Privacy fencing along north-side property boundary by owner.
 Proposed dumpster enclosure for screening, by owner.
 Proposed site lighting for parking/entry access areas.

To allow greater circulation and pedestrian movement to the site, the use of Wall-Pack Lighting will be provided to illuminate proposed parking areas, and dumpster drive location.

VDOT surface mounted warning strips to be installed at ADA wipe-down locations on southwest corner of the project site and directly across Springs Road.



HANDICAPPED PARKING SIGN
NOT TO SCALE HCS001

RESIDENTIAL BUILDING AND SITE UPGRADES FOR SHILOH ENTERPRISE PROPERTIES, LLC.		
PARRISH-POINT, LLC.		
1385 FORDHAM DR. SUITE 105 VIRGINIA BEACH, VIRGINIA 23464		
SURVEY BOOK NO.	DRAWN BY:	PROJECT ENGINEER:
SURVEYED BY: -	Z.T.W.	T.M.
PLOTTED BY: -	APPROVED BY:	DATE:
-	J.L.P.	MARCH 28, 2019



DESCRIPTION

The McGraw-Edison Concourse III Pole Fixture Combo features all you need for easy selection and installation of a full site lighting package including the quality die-cast Concourse III area luminaire with 1/4" arm lamp, a square straight steel pole and necessary anchorage. Available in single or dual fixture combinations.

McGRAW-EDISON®

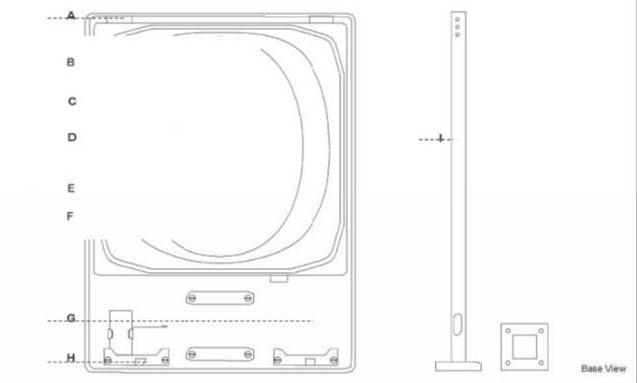
Catalog #	Type
Project	Date
Comments	
Prepared by	

SPECIFICATION FEATURES

- A... Latches**
Two spring-steel quick release latches on housing for toolless entry.
- B... Socket**
For cast-in-place screw shell type lamp socket with spring-loaded center contact.
- C... Housing**
One-piece, die-cast aluminum housing features aesthetically pleasing soft-corner design.
- D... Gasketing**
Closed cell-gas-filled high temperature silicone gasketing completely seals optical system from dirt, bugs or other foreign material.
- E... Lens**
Thermal shock and impact resistant clear tempered glass.
- F... Optics**
High efficiency segmented optical systems constructed of premium 95% reflective anodized sheet aluminum. All reflectors are field rotatable in 90° increments.
- G... Ballast**
Easily removable high power factor HID multi-lap ballast standard for 250V units, 3-lap ballast standard for 400V units.
- H... Hinges**
Integral hinges prevent door rocking and optimize sealing capabilities.
- I... Pole**
Start is one-piece construction ASTM A500 grade 3" steel shot blasted and finished in dark bronze polyester powder coat. Anchor base is fabricated from ASTM grade steel. ASTM 3006 steel top base cover is provided to enclose base plate and anchor bolts. Anchor bolts are pre-ASTM A576 with (2) nuts, (2) flat washers, and (3) lock washers. Hardware and threaded portion of bolt are hot dip galvanized. 3" hook for 3/4" bolt. 4" hook for 1" bolt.
- J... Finish**
Durable polyester powder coat finish. Standard color is bronze.

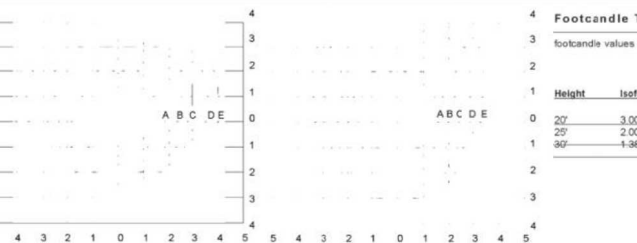
PFC CONCOURSE III AND POLE COMBO

250-400W
Metal Halide
High Pressure Sodium
15'-30'
Square Straight Steel Pole
POLE AND FIXTURE COMBO



Dimensions and Specifications subject to change without notice. Contact your representative for additional information.

PHOTOMETRICS



ORDERING INFORMATION

Product Family	Lamp Voltage	Distribution 3-Type	Lamp Source	Zone	Options
PFC-Concourse III	250-400V	III Segmented 4-Type	High Pressure Sodium	100 MPH	F1 Fuse Specify Voltage (277 or 347V)
No. of Fixtures	1+1	IV Segmented	10-Metal Halide	100 MPH	F2 Fuse Specify Voltage (208 or 240V)
	2+2				INAB No. Anchor Bolts (Used when ordered separately)

Notes: 1) 1/2" hole shown required to designate a heavier gauge plate. 2) Additional field lines apply.

McGRAW-EDISON®

Catalog #	Type
Project	Date
Comments	
Prepared by	

DESCRIPTION

The McGraw-Edison Acura Floodlight utilizes a soft-corner aerodynamic design to provide excellent EPA ratings and an aesthetically pleasing appearance. Black polyester powder coat finish assures corrosion resistance and long-lasting esthetics. U.L. listed for 60° ambient temperature operation. CSA certified.

The Acura features a variety of optical designs which deliver maximum beam control for architectural facade, signage, monuments, airport aprons and building perimeters.

SPECIFICATION FEATURES

- Construction**
LITCHED: Formed aluminum flush draw action latches offer easy access to lamp compartment without tools and maintains integrity of seal when closed.
- HOUSING**
Aerodynamically designed die-cast aluminum housing has low EMI rating. COOR: Die-cast aluminum with integral cast hinges for removal without tools.
- Electrical GASKET**
Door gasket is closed-cell silicone, providing maximum protection of interior components from the elements. BALLAST: Ballast components are hard mounted to fixture housing for maximum heat dissipation and extended component and lamp life.
- Optical LENS**
Heat- and impact-resistant tempered glass. Lens is mounted flush with door surface to reduce wind drag and prevent dirt or moisture from accumulating.
- REFLECTOR**
Computer designed reflector systems deliver superior beam control and efficiency.
- Mounting**
Die-cast aluminum integral slipfitter mounts on 2 3/8" O.D. tenon. A degree-marked quadrant is cast in for easy and accurate aiming.

ASF ACURA SMALL SLIPFITTER

50 - 175W
PulseStart Metal Halide
High Pressure Sodium
Metal Halide
SLIPFITTER MOUNTED FLOODLIGHT



Dimensions and Specifications subject to change without notice. Contact your representative for additional information.

ENERGY DATA

Wattage	Ballast Input Watts
50W HPS (50 Watts)	50W HPS (50 Watts)
70W HPS (70 Watts)	70W HPS (70 Watts)
100W HPS (100 Watts)	100W HPS (100 Watts)
150W HPS (150 Watts)	150W HPS (150 Watts)
175W HPS (175 Watts)	175W HPS (175 Watts)

EPA Effective Projected Area (Sq. Ft.)

50' - 0.5
70' - 0.5
100' - 0.5
150' - 0.5
175' - 0.5

SHIPPING DATA

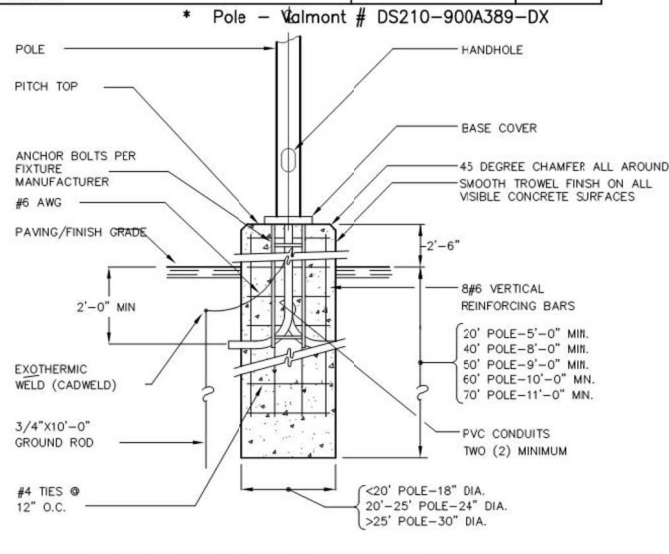
Approximate Weight (Lbs.)	24.5 (11 kg)
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Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description	Mfr.	Mtg. Ht.
● ■	14	L1	SINGLE	40000	1	McGraw Edison Concours III MH Architectural Area Light (400W Clear) PFC1403M309F1	Cooper Lighting McGraw-Edison	30' *
■	8	W1	SINGLE	16000	1	McGraw Edison Acura Slipfitter Mounted FLOODLIGHT (150W E-231/2 CLEAR) ASF150MH	Cooper Lighting McGraw-Edison	30'
■	3	W2	SINGLE	16000	1	McGraw Edison Acura Slipfitter Mounted FLOODLIGHT (150W E-231/2 CLEAR) ASF152X63	Cooper Lighting McGraw-Edison	15'

STANDARD NOTES

- All plant materials shall conform to the standards of the American Association of Nurserymen Plants shall be healthy, vigorous, well rooted and free of defects, decay, disease or infestations. After implementation, all required plant material shall be maintained by the property owner. All dead, dying or diseased plant material shall be replaced by the property owner.
- The planting of materials shall conform to the standardized landscape specifications as identified in the most recent edition of the American Standard for Nursery Stock published by the American Association of Nurserymen, and the "Standardized Landscape Specification for the State of Virginia" by the Virginia Nurserymen's Association;
- Unless other requirements of this ordinance are greater, all new trees shall be mulched within a minimum two and one half (2 1/2) foot radius planting area. All shrubs shall be mulched within a one half foot area of the plant. Mulching shall consist of a minimum depth of two (2) inches and shall be completed within two days of planting or at final inspection;
- All protection areas shall be identified during construction with high visibility fencing and/or chain link fencing. There shall be no encroachment including, but not limited to, earth disturbing activities such as grading and/or stockpiling of soil or materials within this area;
- Any existing vegetation retained for compliance which was removed before, during or after construction shall be replaced with newly planted vegetation which meets the minimum requirements outlined in this ordinance;
- Streetscape Shrubs shall not be pruned to less than twenty-four (24) inches in height. Screening Shrubs shall not be pruned to less than five feet in height;
- Prior to issuance of a temporary Certificate of Occupancy or Certificate of Occupancy, the applicant shall provide a maintenance bond. The maintenance bond shall be in the amount of one-third (1/3) of the value of the required landscaping and shall be held for a period of twelve (12) months to following the date of Certificate of Occupancy;
- All trees shall have tops which display a natural growing shape or condition.

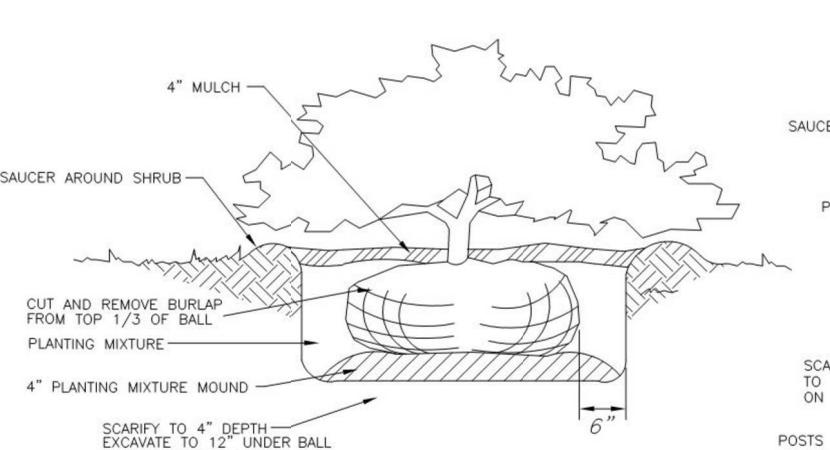


POLE BASE DETAIL (RAISED) N.T.S.

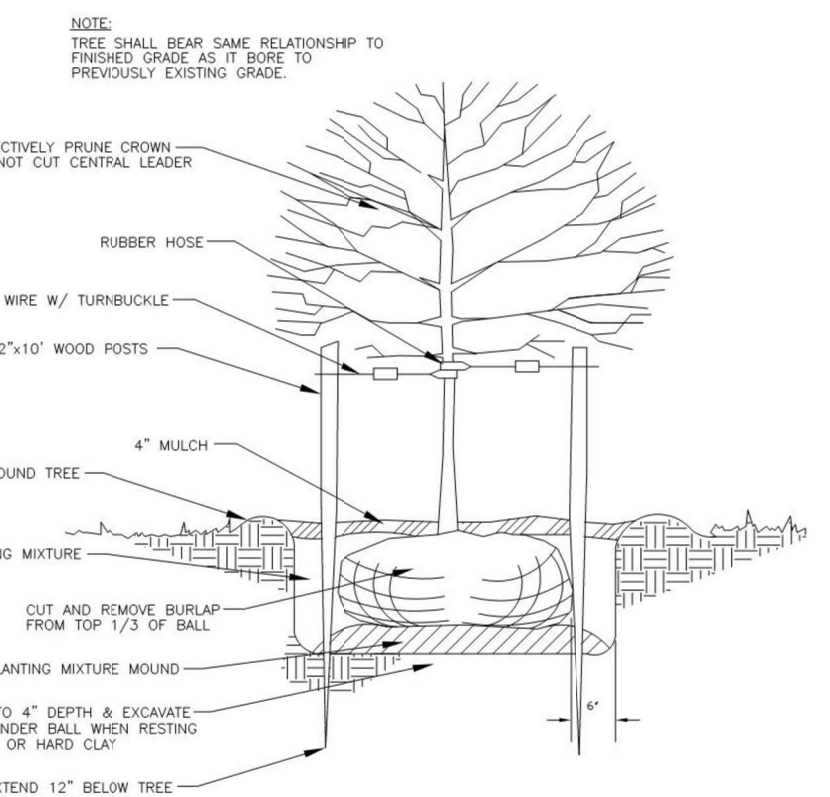
- DETAIL NOTES
- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS.
 - REINFORCING STEEL SHALL BE ASTM A-615 GRADE 60.
 - ALL REINFORCING STEEL SHALL HAVE A MINIMUM COVER OF 3".
 - CONTRACTOR SHALL PROVIDE IN-LINE FUSING IN THE BASE OF EACH POLE. BUSSMAN TYPE HEB FUSE HOLDERS WITH TYPE KTK FUSES

GENERAL PLANTING NOTES

- PLANTING SEASON RESTRICTIONS:
ALL BALLED AND BURLAPPED PLANTS SHALL BE INSTALLED BETWEEN OCTOBER 15 AND MARCH 31 UNLESS OTHERWISE AUTHORIZED BY LANDSCAPE DESIGNER. ALL CONTAINER GROWN PLANTS SHALL BE INSTALLED BETWEEN SEPTEMBER 15 AND MAY 15 UNLESS OTHERWISE AUTHORIZED BY LANDSCAPE DESIGNER.
- FINISHED GRADES ON CIVIL DRAWINGS THAT OCCUR IN SHRUB BEDS SPECIFY TOP OF FINISHED MULCH GRADES. LANDSCAPE CONTRACTOR SHALL NOT EXCEED THESE GRADES WHEN BEDS ARE COMPLETE.
- TOP OF MULCH SHALL FINISH 1" BELOW ADJACENT PAVEMENT OR CONCRETE.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE "PLANT SCHEDULE" SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, THE PLANTING PLAN SHALL GOVERN.
- ALL SOIL EXCAVATED FROM PLANTING PITS SHALL BE REMOVED FROM THE SITE. SOIL SHALL NOT BE DISPERSED OVER THE BED SURFACE.
- NEW PLANTING SHALL BE LOCATED AS SHOWN ON PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL SITE ELEMENTS AND UTILITIES IF DISCREPANCIES OCCUR, OR IF OBSTRUCTIONS BELOW GROUND OR OVERHEAD ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE DESIGNER. NECESSARY ADJUSTMENTS SHALL BE MADE ONLY UPON APPROVAL OF THE DESIGNER.
- ALL PLANTING PITS AND BEDS SHALL BE BACKFILLED WITH PREPARED SOIL MIXTURE TO THE REQUIRED DEPTH AS SPECIFIED IN THE METHODS BELOW. WHERE A SHRUB OR GROUND COVER BED OCCURS AND FOR ALL HEDGES, THE ENTIRE BED SHALL BE PREPARED CONTINUOUSLY WITH SOIL MIXTURE TO THE REQUIRED DEPTH AS SPECIFIED.
- ALL SHRUBS AND GROUND COVERS ARE TO BE MAINTAINED SO AS TO GROW TOGETHER AND FORM A MASS. PRUNING (TRIMMING, SHEARING, ETC.) SHALL BE LIMITED TO THINNING AS NECESSARY. THE NATURAL GROWTH AND FORM OF THE PLANT SHALL BE MAINTAINED WITHOUT DAMAGE TO PRIMARY AND SECONDARY LEADERS.
- ALL TREES SHALL BE SINGLE LEADER SPECIMENS UNLESS OTHERWISE NOTED.



SHRUB PLANTING DETAIL NOT TO SCALE



TREE PLANTING DETAIL NOT TO SCALE

RESIDENTIAL BUILDING AND SITE UPGRADES FOR SHILOH ENTERPRISE PROPERTIES, LLC.

PARRISH-POINT, LLC.
1385 FORDHAM DR.
SUITE 105
VIRGINIA BEACH, VIRGINIA 23464



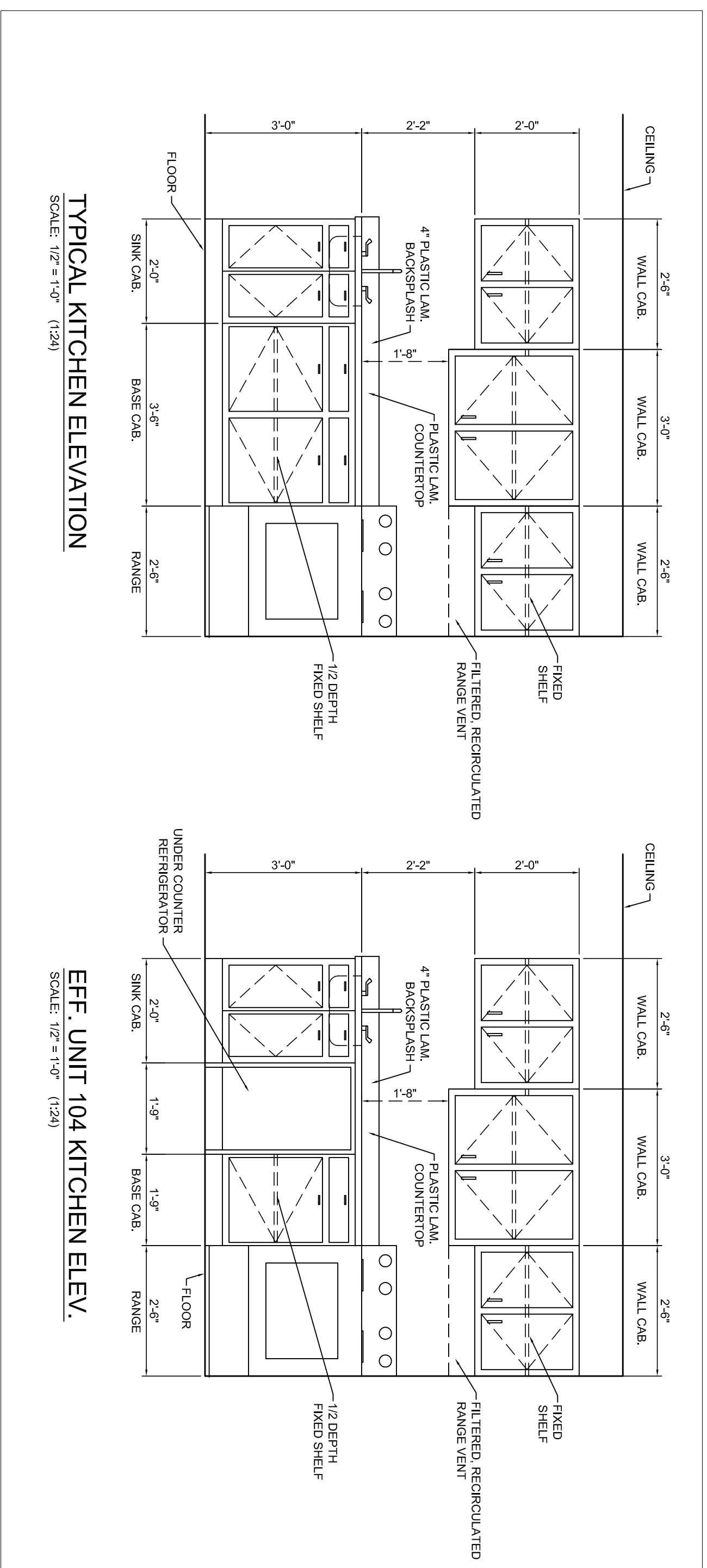
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SURVEYED BY: -	Z.T.W.	T.M.
PLOTTED BY: -	APPROVED BY:	DATE:
	J.L.P.	MARCH 28, 2019

Specifications and Dimensions subject to change without notice.

McGraw-Edison Customer Field Center, 1111 Highway 74 South, Raleigh, NC, 27609. TEL: 770.488.4800 • FAX: 770.488.4801

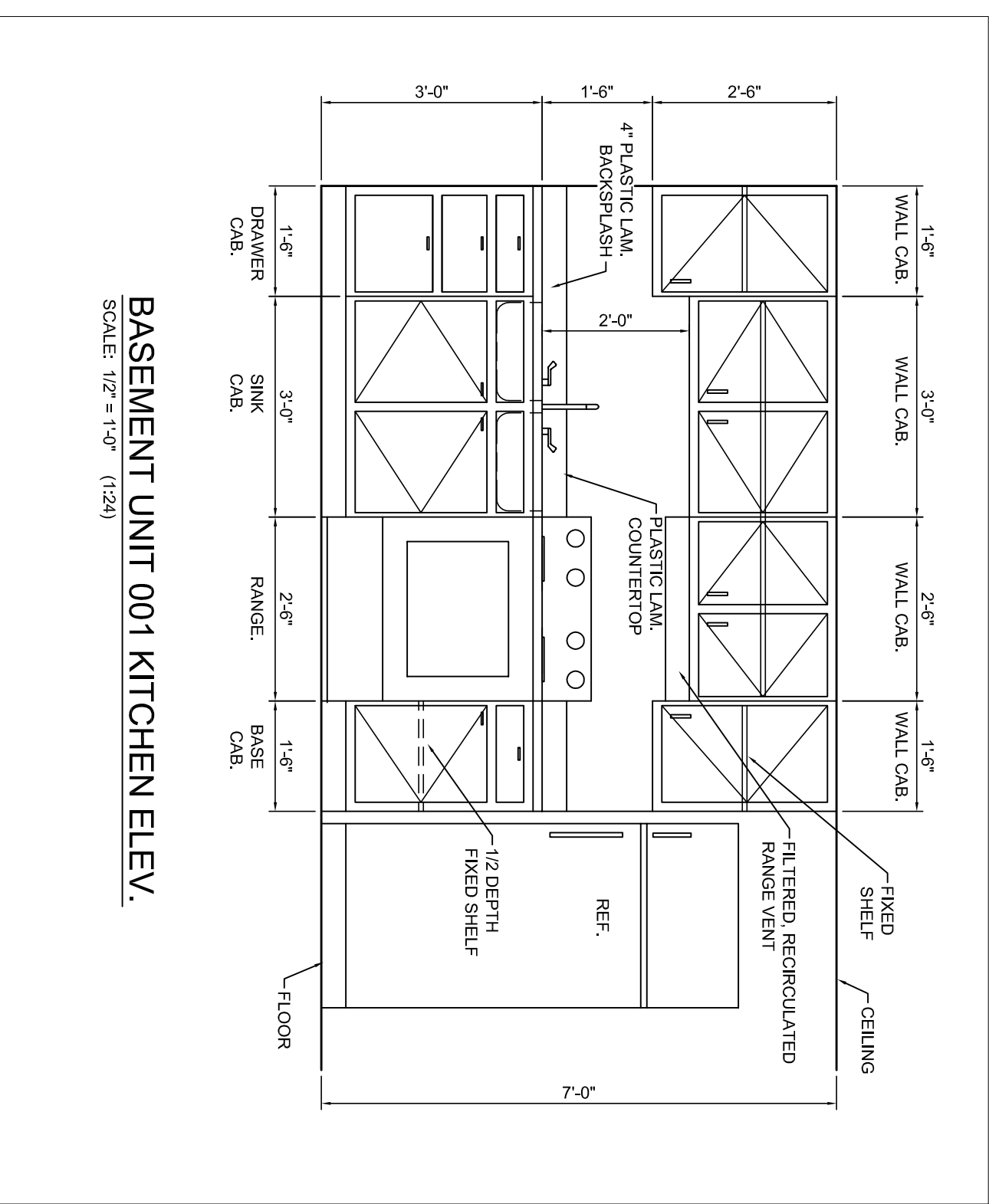
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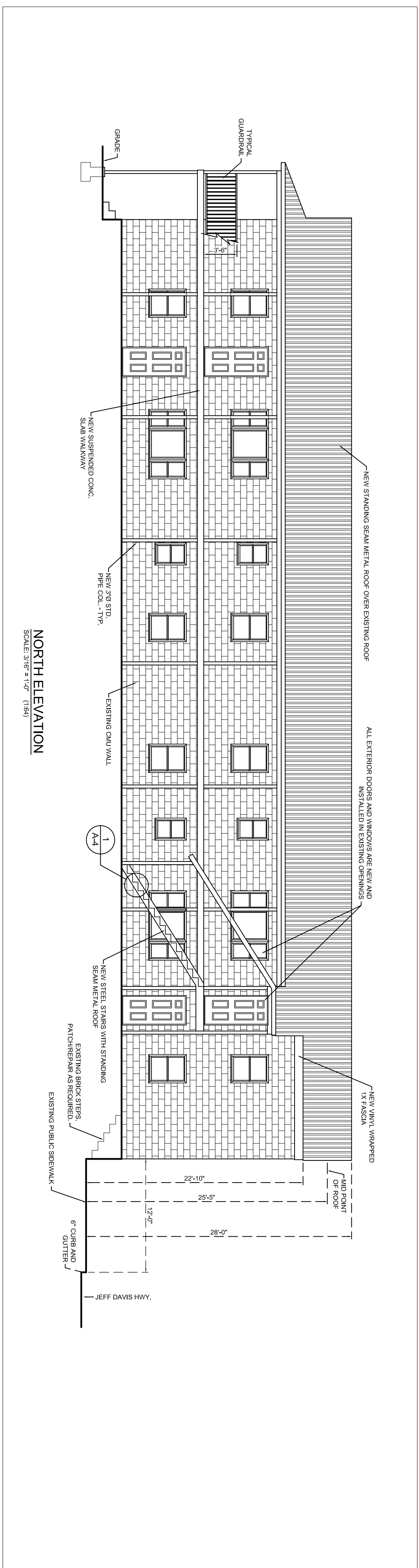


TYPICAL KITCHEN ELEVATION
SCALE: 1/2" = 1'-0" (124)

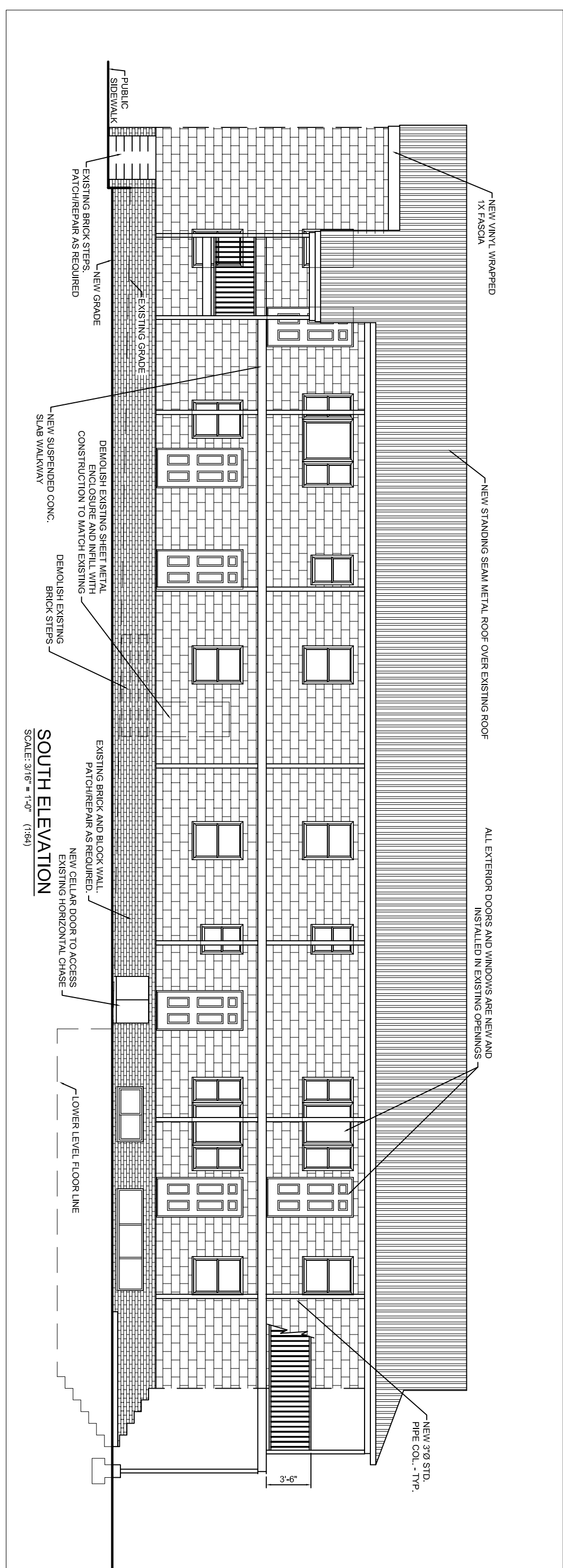
EFF. UNIT 104 KITCHEN ELEV.
SCALE: 1/2" = 1'-0" (124)



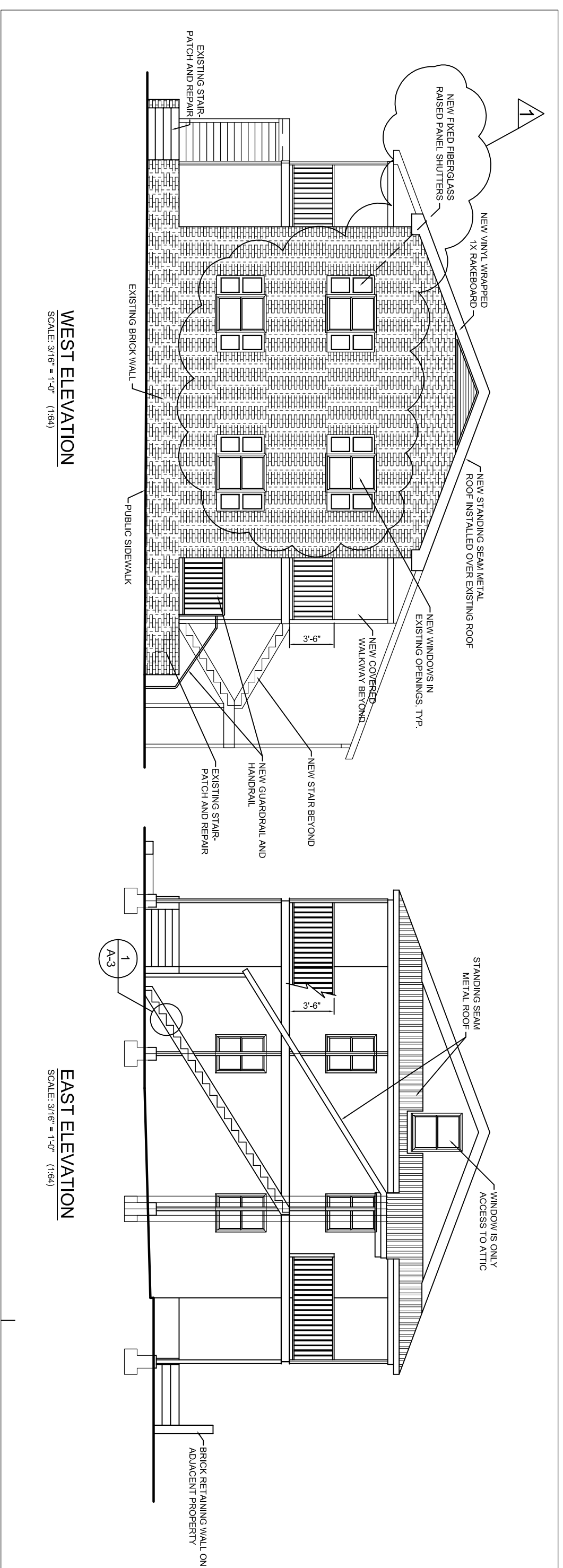
BASEMENT UNIT 001 KITCHEN ELEV.
SCALE: 1/2" = 1'-0" (124)



NORTH ELEVATION
SCALE: 3/8" = 1'-0" (126)



SOUTH ELEVATION
SCALE: 3/8" = 1'-0" (126)

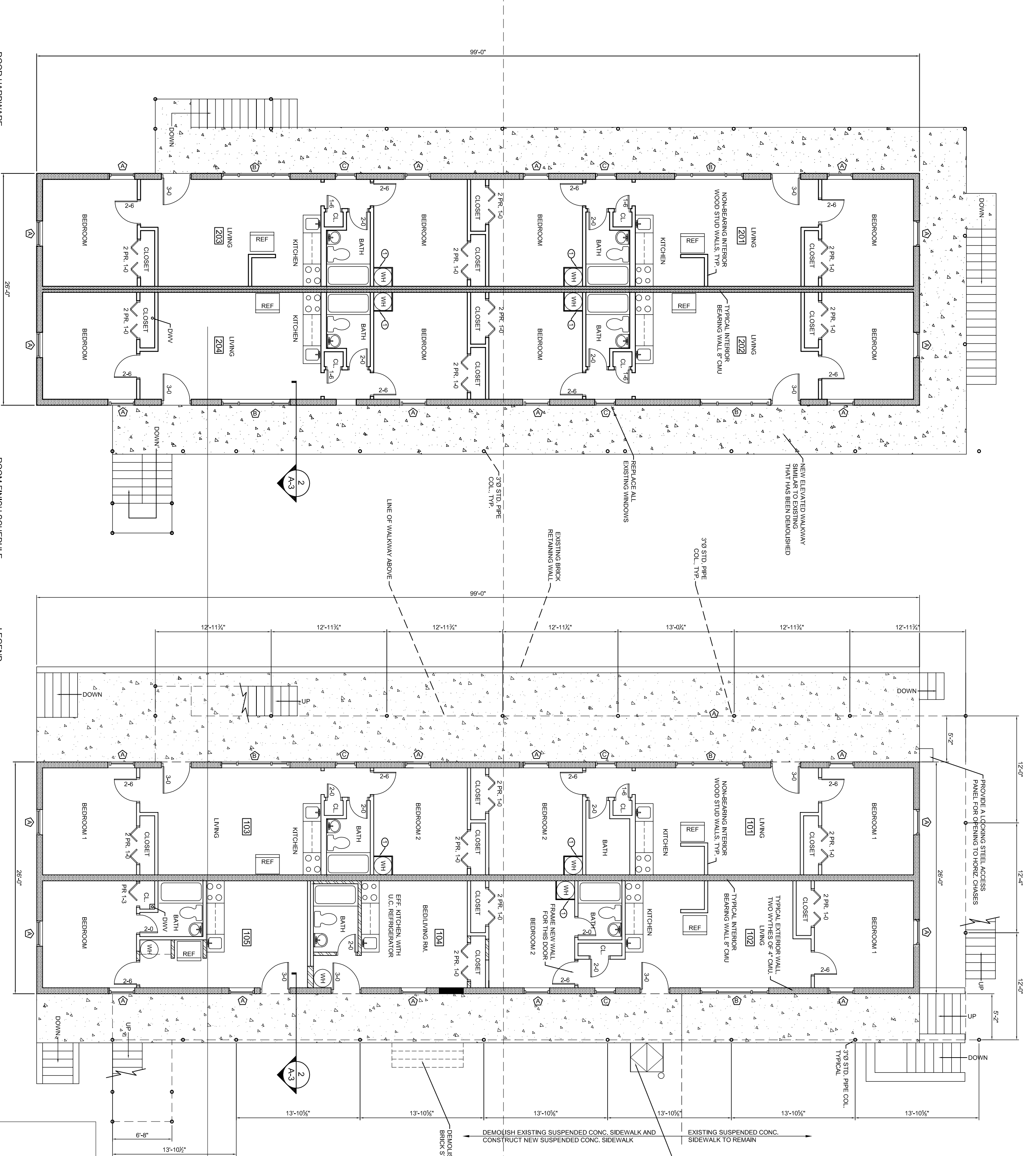


WEST ELEVATION
SCALE: 3/8" = 1'-0" (126)

EAST ELEVATION
SCALE: 3/8" = 1'-0" (126)

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<h1 style="font-size: 2em; margin: 0;">A-2</h1>	<p>2017.017</p>	<p>DATE: January 08, 2018</p> <p>REVISIONS: October 31, 2018</p>	<p>OWNER: SHILOH ENTERPRISES, LLC 3333 WEST MARSHAL ST. RICHMOND, VA 23230</p> <p>PHONE: (804) 402-5641</p>	<p>FRANK FIELDS & ASSOC., P.C. 2703 Pineridge Lane Powhatan, VA 23139</p> <p>phone: (804) 598-5928 cell: (804) 314-3229 e-mail: frankfieldsandassociates@gmail.com</p>
	<p>Renovate Abandoned Apartment Building</p> <h2 style="font-size: 1.5em; margin: 0;">APARTMENT BUILDING</h2> <p>3115 Jefferson Davis Highway Richmond, VA 23234</p>			



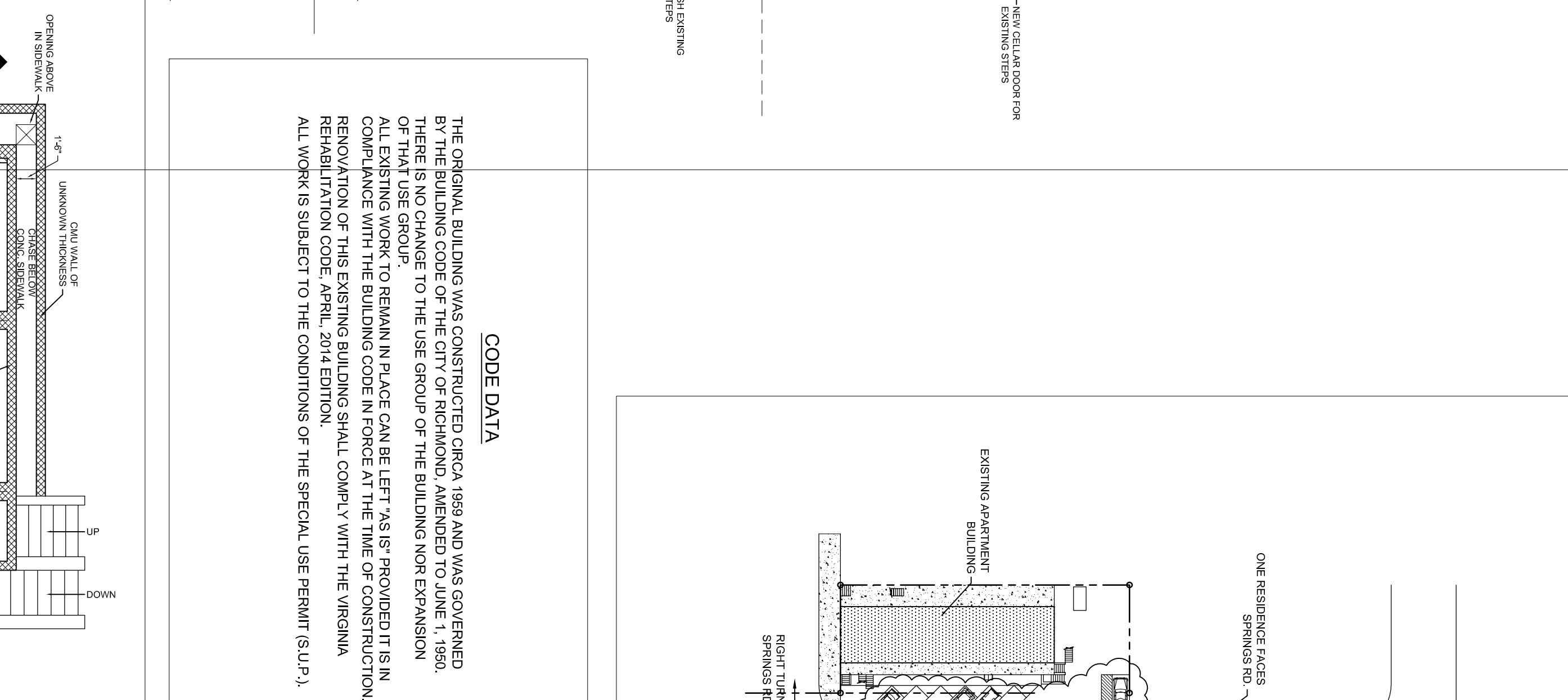
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ROOM FINISH SCHEDULE:
 FLOORS: GERMANY ANGLE PAPERLIN
 WALLS: PAINTED GYPSUM WALLBOARD
 CEILING: PAINTED GYPSUM WALLBOARD
 PARTITION: PAINTED GYPSUM WALLBOARD
 STAIRS: PAINTED GYPSUM WALLBOARD
 WALKWAYS: PAINTED GYPSUM WALLBOARD
 NEW MASONRY INLET TO WINDOW TYPE-SEE SHEET A3

LEGEND:
 EXISTING STUCCO WALL
 NEW STUCCO WALL TO MATCH EXISTING
 EXISTING MASONRY WALL
 NEW MASONRY INLET TO WINDOW TYPE-SEE SHEET A3

KEYNOTES:
 1. REMOVE EXISTING APPROX. 3" HIGH TO SCREEN FOR BEDROOM
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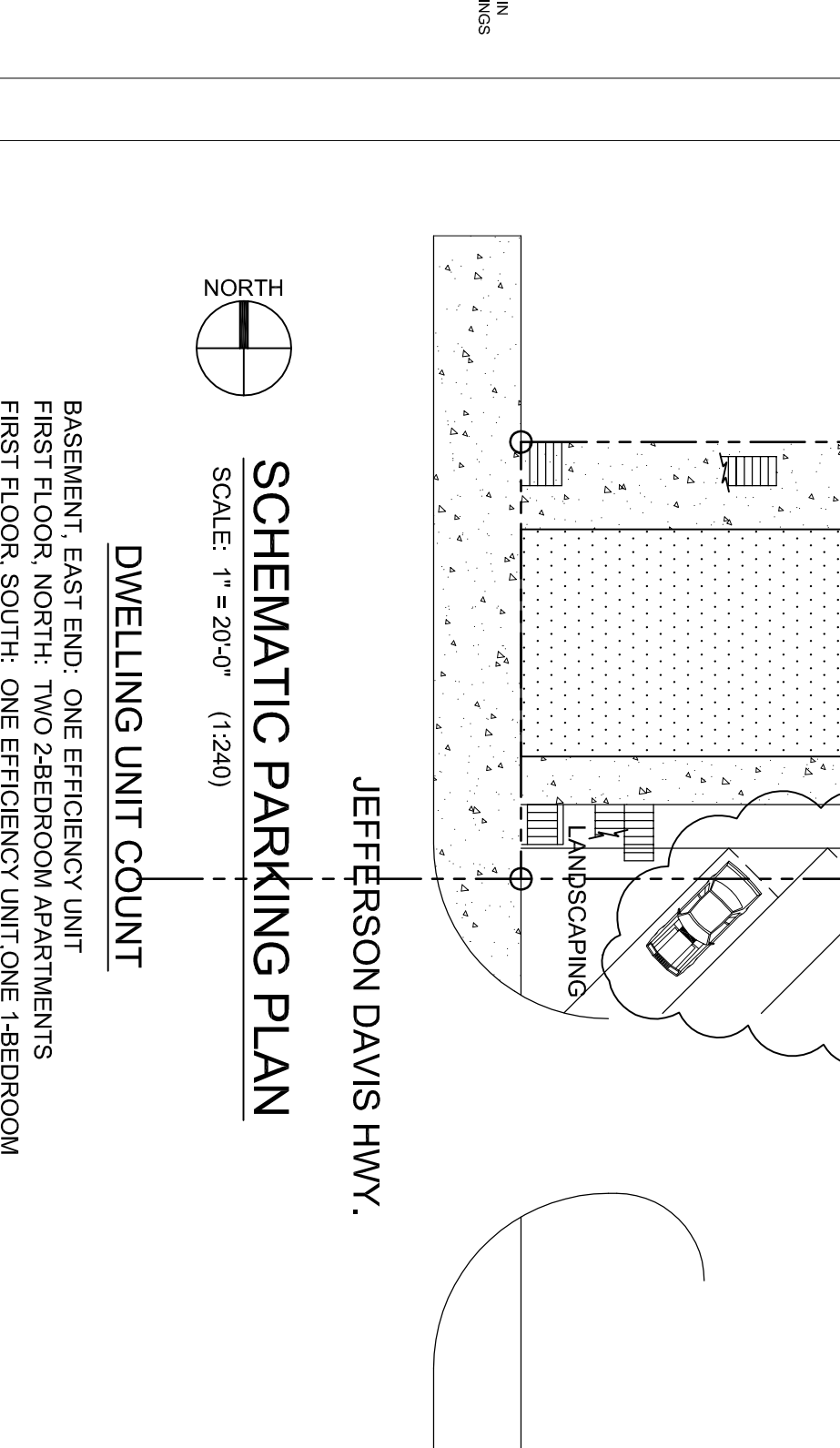
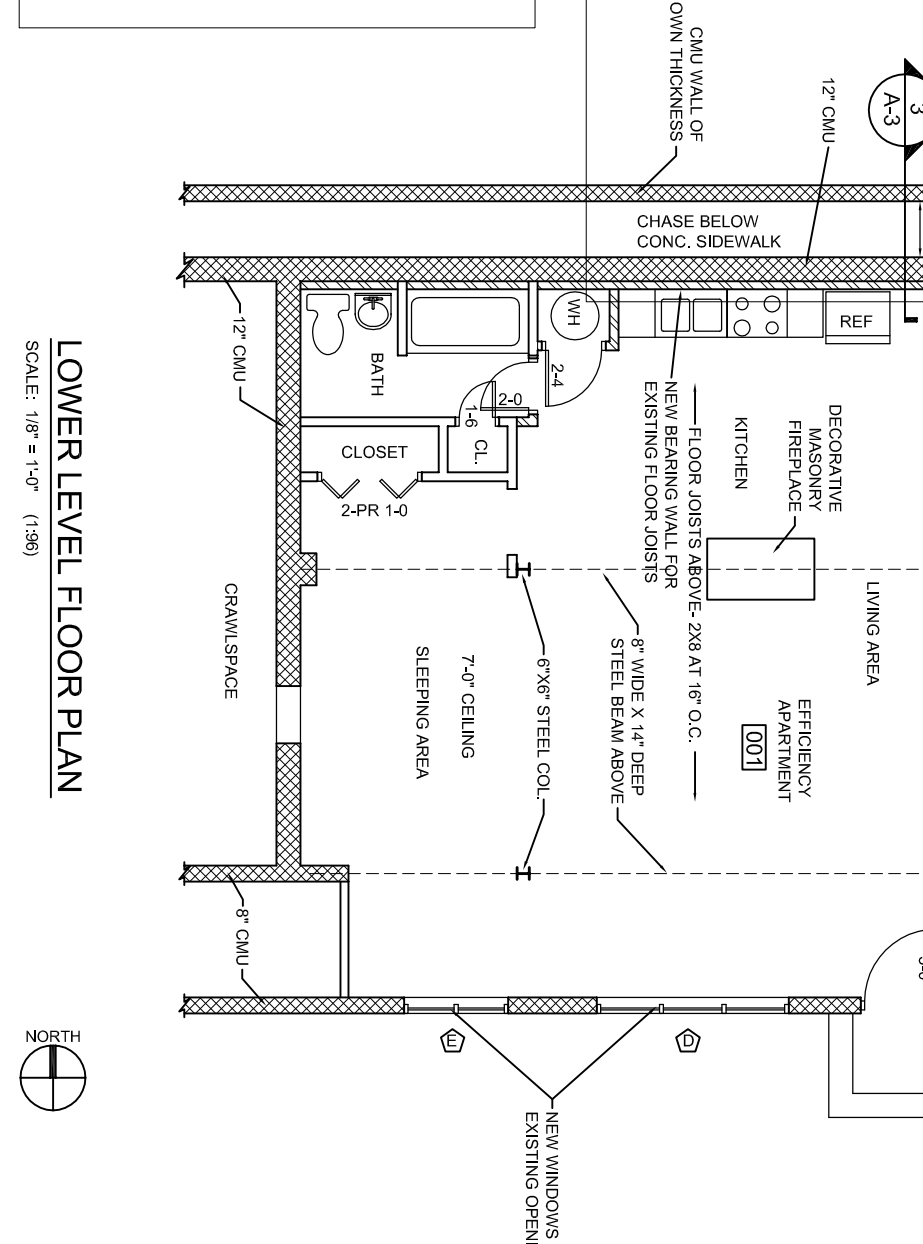
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 WALKWAYS: PAINTED GYPSUM WALLBOARD
 NEW MASONRY INLET TO WINDOW TYPE-SEE SHEET A3

LEGEND:
 EXISTING STUCCO WALL
 NEW STUCCO WALL TO MATCH EXISTING
 EXISTING MASONRY WALL
 NEW MASONRY INLET TO WINDOW TYPE-SEE SHEET A3

KEYNOTES:
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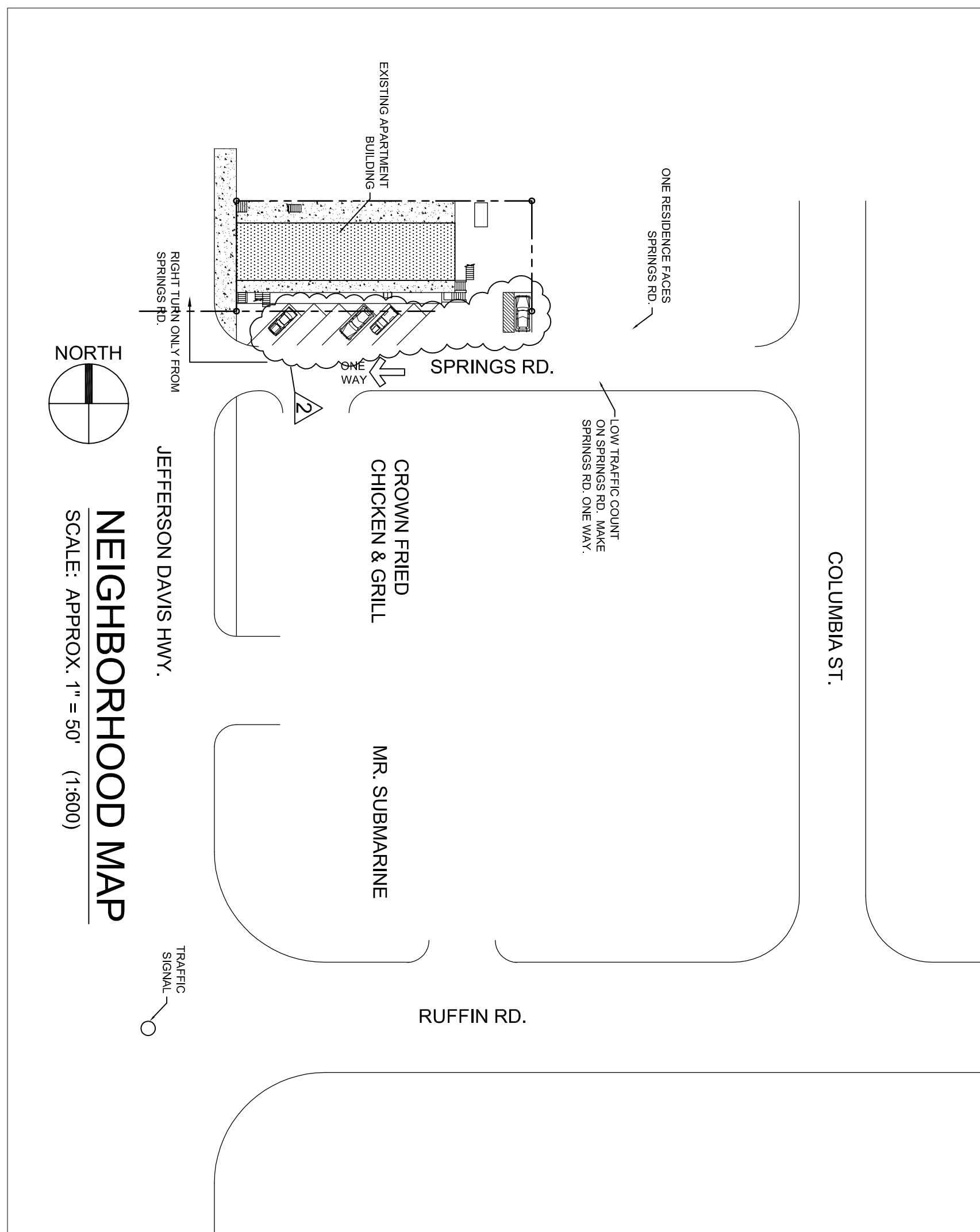
INDEX TO DRAWINGS

A-1	NEIGHBORHOOD MAP
A-2	SCHEMATIC PARKING PLAN
A-3	LOWER LEVEL FLOOR PLAN
A-4	SECOND FLOOR PLAN
A-5	INTERIOR ELEVATIONS
A-6	WALL SECTIONS
A-7	DETAILS
A-8	WINDOW TYPES



CODE DATA

THE ORIGINAL BUILDING WAS CONSTRUCTED CIRCA 1959 AND WAS GOVERNED BY THE BUILDING CODE OF THE CITY OF RICHMOND, AMENDED TO JUNE 1, 1980. THERE IS NO CHANGE TO THE USE GROUP OF THE BUILDING WORK EXPANSION OF THAT USE GROUP. ALL EXISTING WORK TO REMAIN IN PLACE CAN BE LEFT "AS IS" PROVIDED IT IS IN COMPLIANCE WITH THE BUILDING CODE IN FORCE AT THE TIME OF CONSTRUCTION, RENOVATION OF THIS EXISTING BUILDING SHALL COMPLY WITH THE VIRGINIA REHABILITATION CODE, APRIL, 2014 EDITION. ALL WORK IS SUBJECT TO THE CONDITIONS OF THE SPECIAL USE PERMIT (S.U.P.).



<p>A-1</p> <p>SHEET</p>	<p>COMMONWEALTH OF VIRGINIA</p> <p>FRANK FIELDS</p> <p>NO. 9886</p> <p>9/10/18</p> <p>REGISTERED ARCHITECT</p>	<p>Renovate Abandoned Apartment Building</p> <p>2017.017</p>	<p>OWNER:</p> <p>SHILOH ENTERPRISES, LLC</p> <p>3333 WEST MARSHAL ST.</p> <p>RICHMOND, VA 23230</p> <p>PHONE: (804) 402-5641</p>
		<p>APARTMENT BUILDING</p> <p>3115 Jefferson Davis Highway</p> <p>Richmond, VA 23234</p>	<p>DATE:</p> <p>January 08, 2018</p> <p>REVISIONS:</p> <p>January 31, 2019</p>

FRANK FIELDS & ASSOC., P.C.

P.O. Box 632

2703 Pineridge Lane

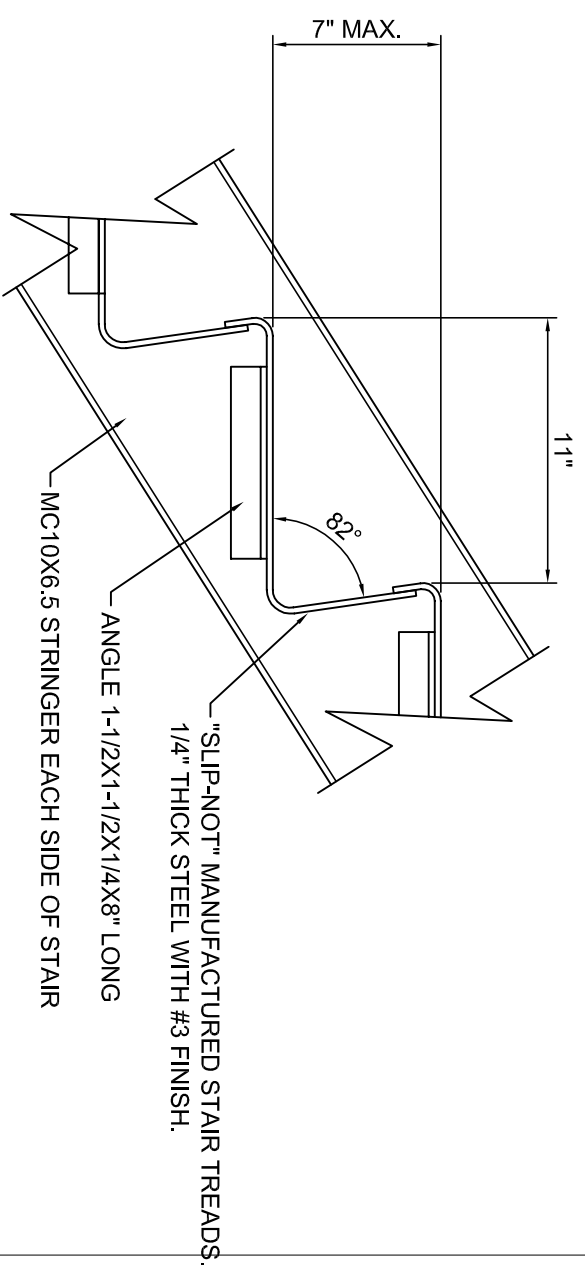
Powhatan, VA 23139

phone: (804) 598-5928

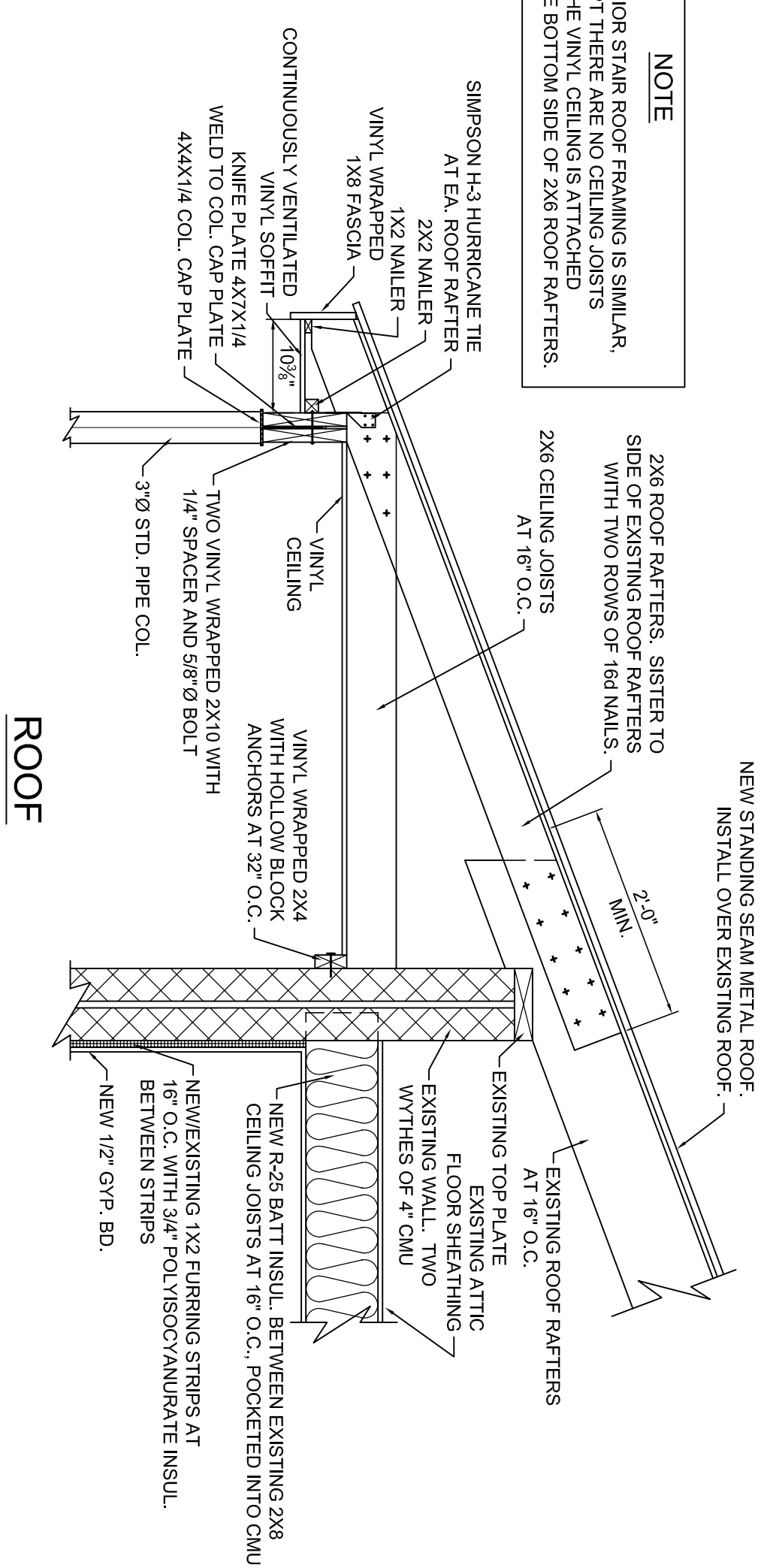
cell: (804) 314-3229

e-mail: frankfieldsandassociates@gmail.com

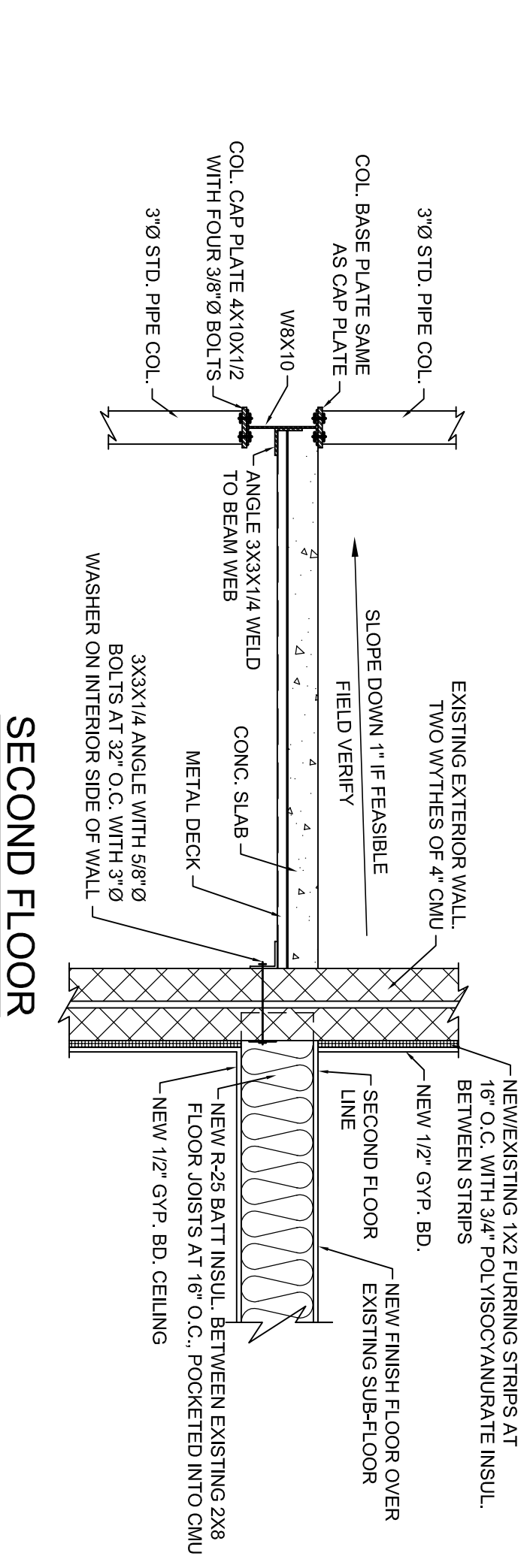
1 TYPICAL STAIR TREAD
SCALE: 1-1/2" = 1'-0" (1:8)



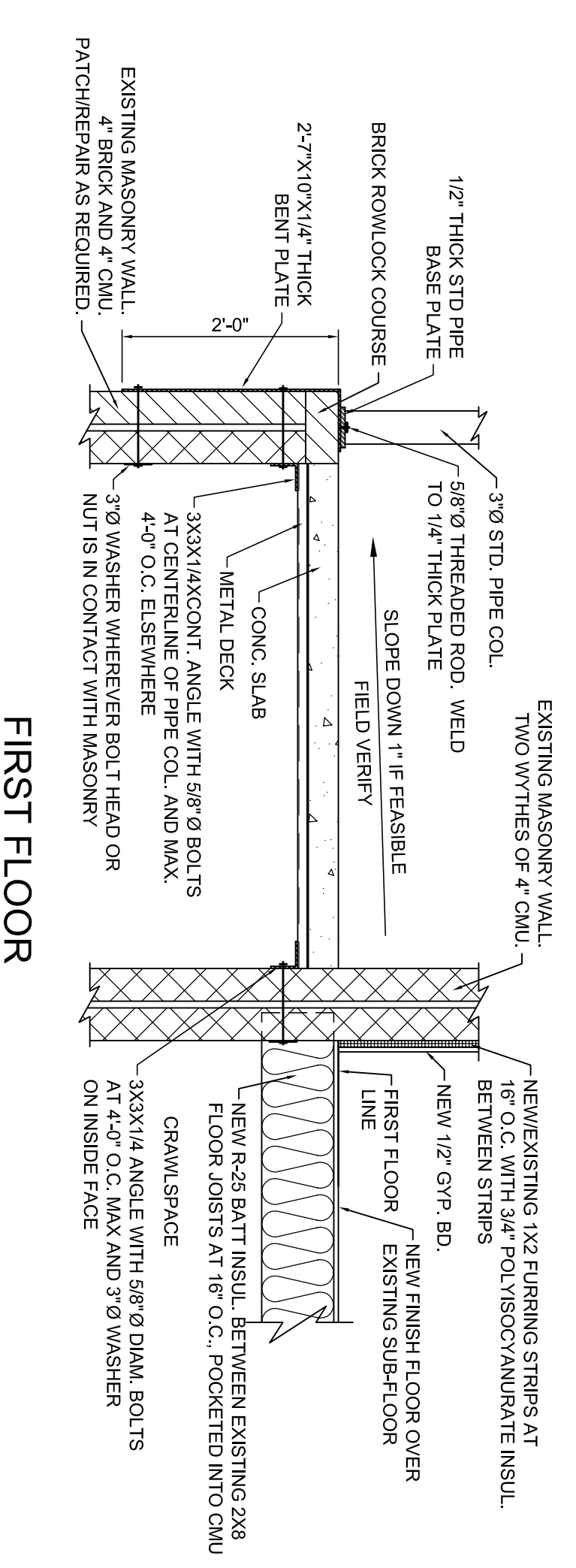
NOTE
EXTERIOR STAIR ROOF FRAMING IS SIMILAR TO EXTERIOR STAIR ROOF FRAMING AND THE VINYL CEILING IS ATTACHED TO THE BOTTOM SIDE OF 2X6 ROOF RAFTERS.



ROOF

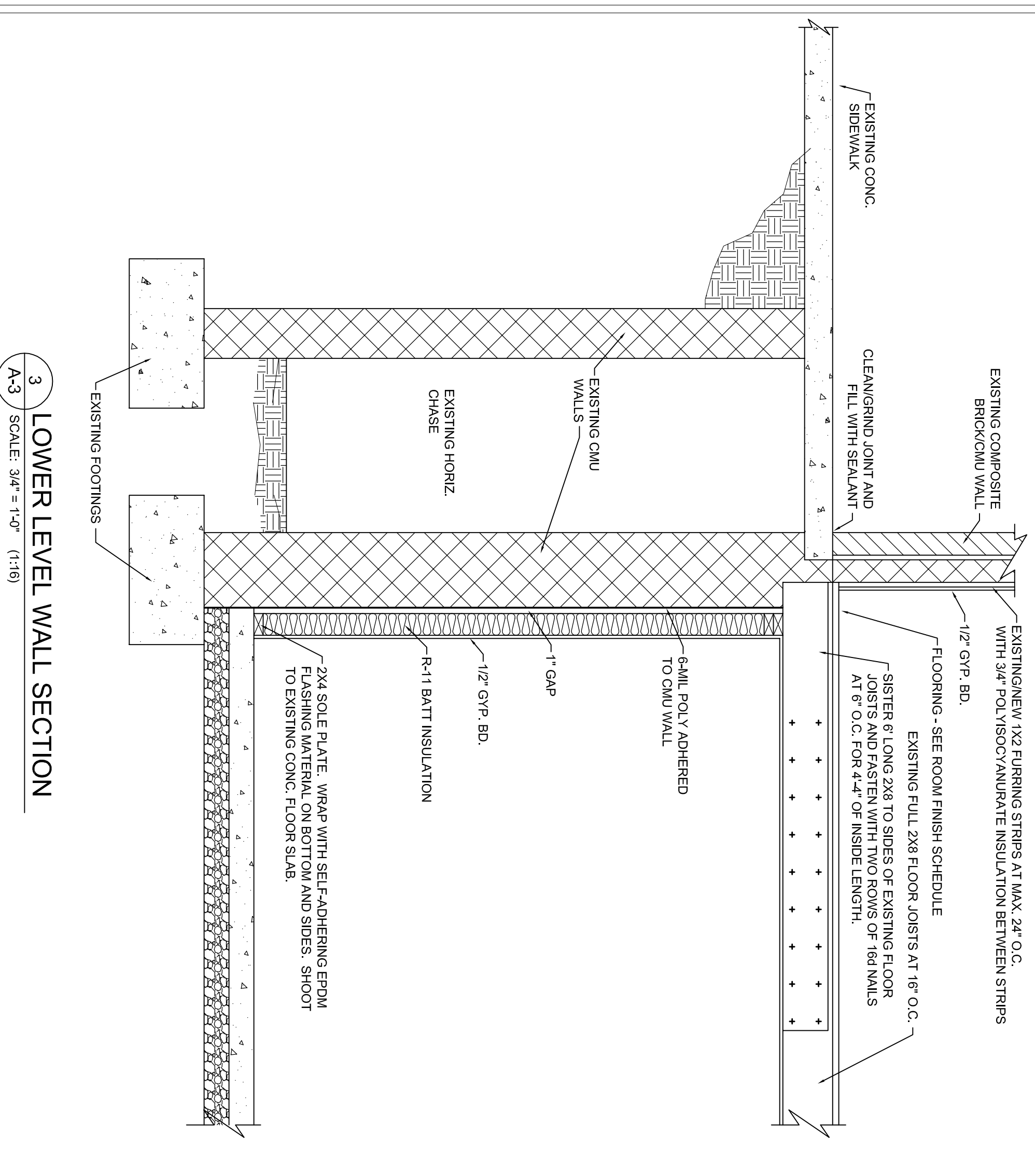


SECOND FLOOR

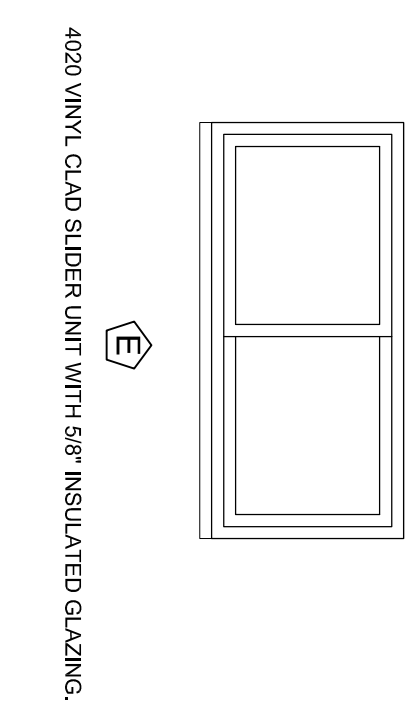
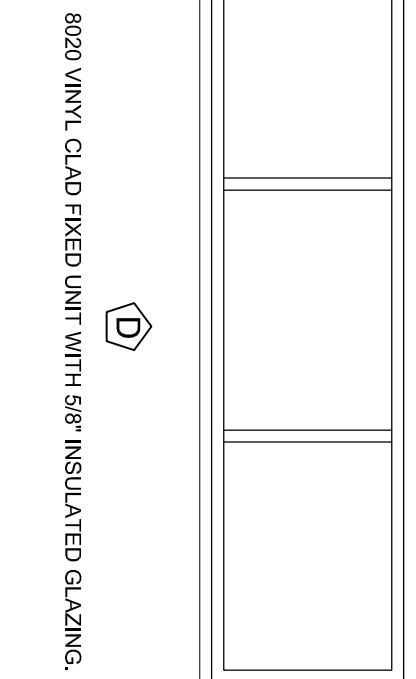
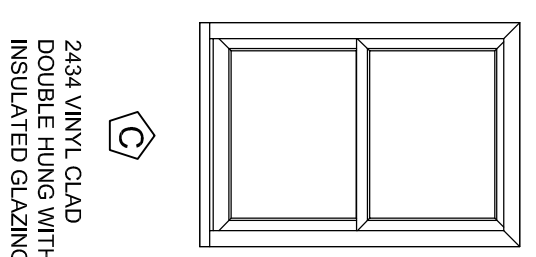
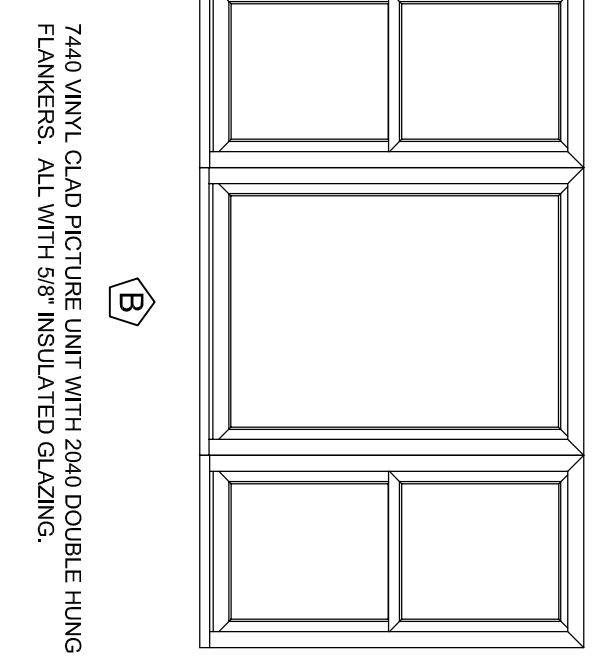
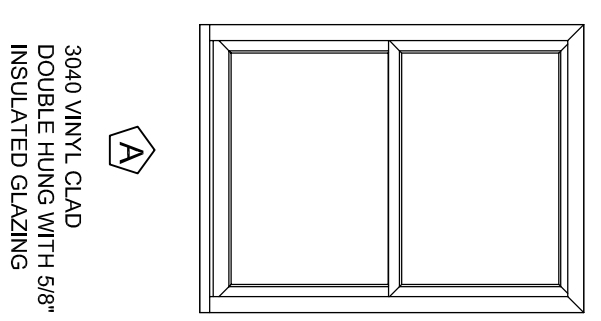


FIRST FLOOR

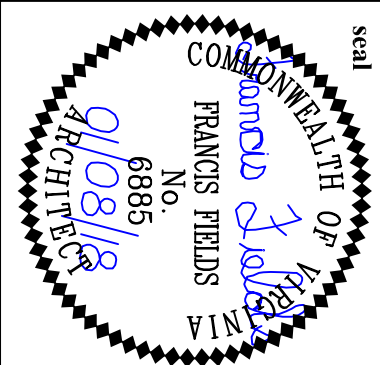
2 SOUTH SIDEWALK SECTION
SCALE: 3/4" = 1'-0" (1:16)



3 LOWER LEVEL WALL SECTION
SCALE: 3/4" = 1'-0" (1:16)

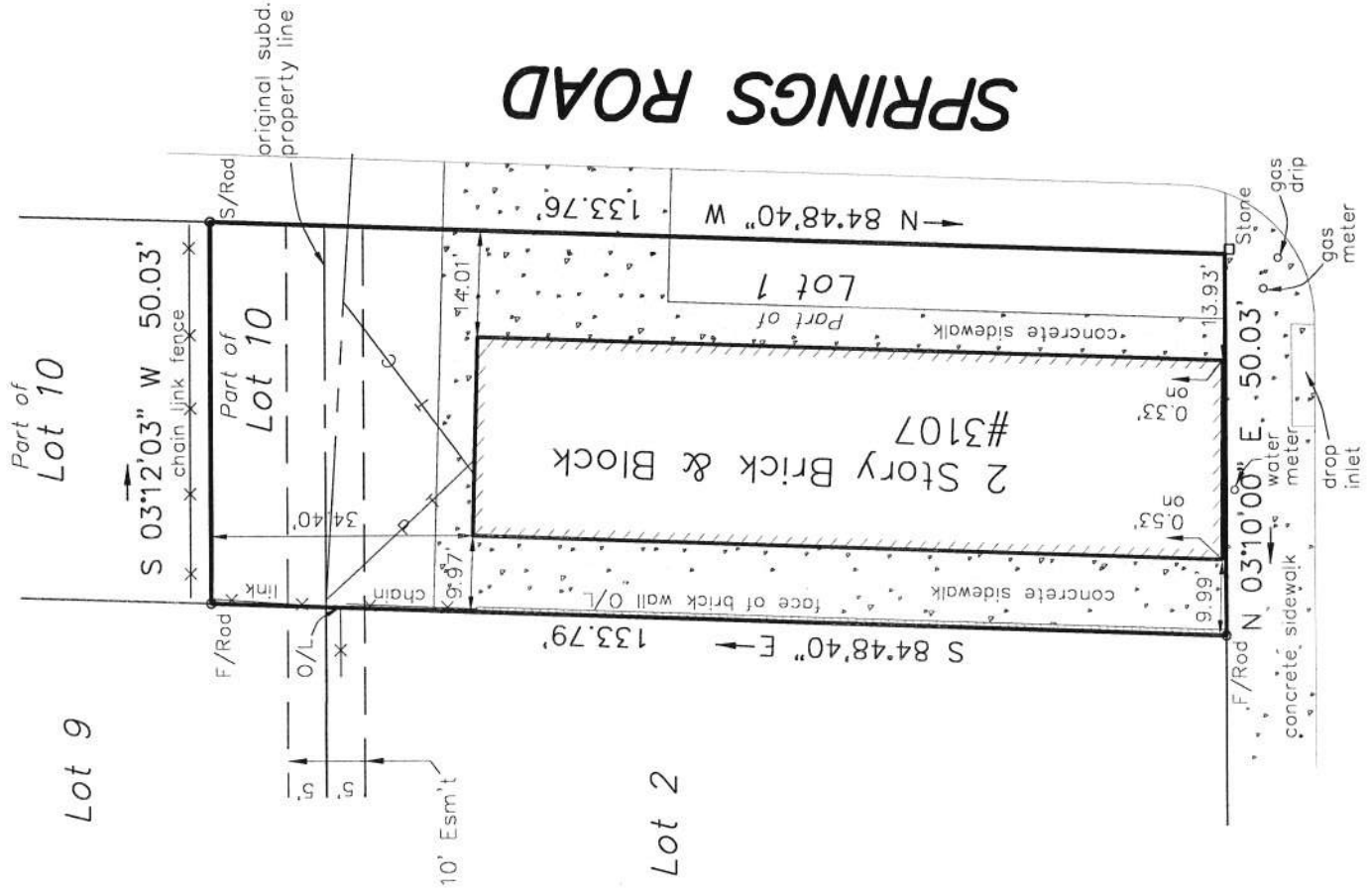


WINDOW TYPES
SCALE: 1/2" = 1'-0" (1:24)
FIELD VERIFY ALL EXISTING WINDOW OPENINGS



Purchaser: Shiloh Enterprise Properties, LLC
 Current Owner: L and R, LLC
 Parcel ID: S0080631001
 I.D. 2003 11946

Summer Hill Plaza
 P.B. 4, Pgs. 144 & 145



JEFFERSON DAVIS HIGHWAY

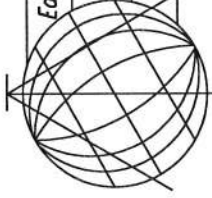
(as widened)

Part of Lots 1 & 10,
 Block B,
 Summer Hill Plaza
 in the City of Richmond, VA



This is to certify that on 04/10/17 I made an accurate field survey of the premises shown hereon that all improvements and easements known or visible are shown hereon, that there are no encroachments by improvements either from adjoining premises or from subject premises upon adjoining premises other than shown hereon. THIS PLAT WAS MADE WITHOUT THE BENEFIT OF A TITLE SURVEY OR REPORT.

FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE X of the Flood Insurance Rate Map, Community Panel No. 5101290077D effective date of 04/02/09. Exact designations can only be determined by an Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.



Edwards, Kretz, Lohr & Associates, PLLC

Land Surveyors-Planners

Virginia-North Carolina

1900 Byrd Avenue, Suite 103
 Richmond, Virginia, 23230
 Phone (804) 673-9666
 Fax (804) 673-9990

Scale: 1"=25'
 Drawn: TCJ
 Job: 1175-17
 Date: 04/17/17
 Checked: JAL