

SINGLE FAMILY RESIDENCE at

2808.5 E LEIGH STREET RICHMOND, VA 23223

BUILDING INFORMATION:

CONSTRUCTION CODE: VCC 2012, IRC 2012 - CONSTRUCTION TYPE: V-FH
 BUILDING AREA (INCLUDING THE EXTERIOR WALL): 1ST FLOOR: 850 SF
 2ND FLOOR: 900 SF
 TOTAL: 1,750 SF

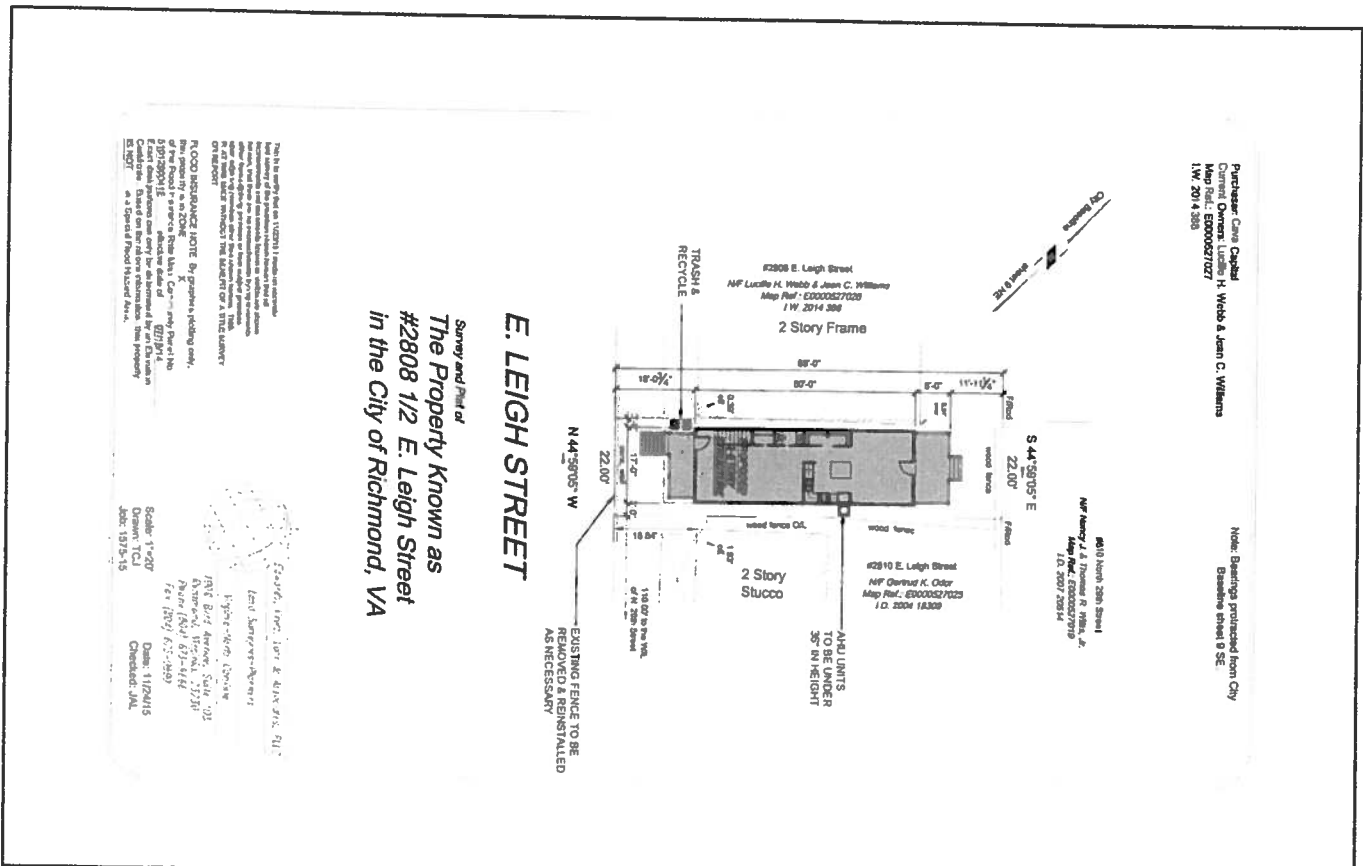
STORIES ABOVE GRADE: 2 HEIGHT ABOVE GRADE: 27'-4"
 USE GROUP: SINGLE-FAMILY SPRINKLER SYSTEM: NO
 FIRE DETECTION: YES, HARD WIRED SMOKE DETECTION SYSTEM
 INSULATION VALUES: CEILINGS: R-38 BATT INSUL
 WALLS: R-15 BATT INSUL
 FLOORS: R-30 BATT INSUL

DRAWING INDEX:

T-1 TITLE SHEET, SITE SURVEY & BUILDING INFO
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 WALL SECTION & PORCH DETAIL
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 A-4 EXTERIOR ELEVATIONS

GENERAL STRUCTURAL NOTE: STRUCTURAL ITEMS ARE SHOWN FOR REFERENCE. ALL STRUCTURAL ELEMENTS ARE TO BE SPECIFIED/APPROVED BY A STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

PROPOSED SURVEY PLAN



Quality Control

Complete all construction and install materials per manufacturer's specifications and instructions and in a manner consistent with industry standards of workmanship and the practice selected.

Material Acquisition
 Inspect products during all stages of handling to prevent damage. Notify with all requirements of specified product and manufacturer's instructions to ensure optimum condition of that included product.

Work Conditions
 Create appropriate environmental conditions for installing or applying finishes to the products specified.

Protect to protect installation, evaluate all existing surfaces to receive product per product manufacturer's recommendation. Installation shall ensure adequate substrate and shall not be grounds for claims against improper performance of installed materials.

Keep roofs, and highways, for protection and life-safety devices operational during construction. Keep means of egress clear of all tools, materials, and debris.

Warranty

Warrant all materials, finishes and equipment supplied under the contract shall be work, unless otherwise specified, and that all work shall be of good quality, free from defects and in compliance with the contract documents, for one year beginning at the date of substantial completion, contractor will promptly remedy work found not to be in compliance with the contract documents. Contractor shall assume all costs for corrections.

Transfer: All manufacturer warranties, product literature, maintenance requirements and schedules to the owner at completion of the project.

Products:
 Contractor to provide products specified in the following specifications or in the other contract documents. If no product is specified, contractor shall provide a match in quality and appearance to typical materials used in other similar buildings.

Construction Detail

Dimensions to be verified in the field. If dimension can not be verified or the verification would cause a delay in the progress of work, contractor shall guarantee dimensions to the subcontractor for completion. Drawings may be scaled for reference only.

Wall partitions, unless noted otherwise, shall be located as dimensioned and shown on the construction plan, and details. Dimensions are to faces of finished partitions. Actual partition thicknesses are used. Contractor shall verify dimensions. All vertical dimensions are given from top of finished flooring unless otherwise noted.

Contractor shall prepare concrete floors, if applicable, to be a smooth uniform surface. All floor sections and penetrations shall be guaranteed by contractor as part of the floor preparation.

Clean all surfaces and equipment 24 hours prior to occupancy. Vacuum or mop as required, all floors and clean windows and glazing.

The date when the project is analyzed for owner occupancy will be known as substantial completion. Additional touch-up or minor installation work may be necessary.

Construction of all parts being accurately and neatly fitted and securely fastened together.

General Construction

Contractor to carefully review the contract documents and existing conditions of the job site to achieve full comprehension of the project requirements and specifications. Contractor to include cost for all work described and required to satisfy the intent of the contract documents as requested by existing conditions. Architect to be notified of conflicts between existing conditions and new work conditions or omissions in the drawings and any limitations related to the execution of the work. In the case of conflicts within the contract documents, the architect's interpretation or requirement is to be included in the cost and scope of work. Contractor shall not proceed with the work, except in such cases, omissions, or design errors until written instructions are given by the Architect. The Contractor shall be responsible to correct all work extensively indicated prior to receiving said instructions.

All work shall be in accordance with the Virginia Statewide Uniform Building Code and International Residential Code, unless otherwise noted. The satisfaction of all codes having jurisdiction. All manufactured products shall be used per manufacturer's written specifications. Contractor to apply for, pay for, and obtain all permits, fees and inspections by attending to building production over the work. Copies of all laws, rules and regulations shall be made available to the contractor by the architect of any variance with current codes. Contractor shall be responsible for compliance with public authorities regarding the performance of work.

Contractor to make available to the owner a construction schedule along with a schedule of values prior to commencement of work.

Contractor shall supply all labor, materials, equipment, tools, handling, transportation, labor removal, and all related costs and reserves necessary for the execution of the work.

Work to be executed by the general contractor unless otherwise stated. References to "contractor" are to include general contractor and subcontractors. The contractor shall be solely responsible for and have control over all construction means and methods required by the contract documents including construction of work. The contractor is to be responsible for acts and omissions of the contractor's employees, subcontractors and their and employees, and any other persons performing any of the work under contract with the contractor. The architect will not be responsible for errors, omissions or delays caused by the contractor.

Field Verifications: Verify all dimensions in the field before performing the work. The Contractor will be responsible to correct any work that is done in error because of failure to verify or clarify dimensions.

Substantial changes to the drawings or actual work are to be issued by the architect with the owner's approval.
Construction Coordination:
 Contractor is to coordinate and protect all new and existing work in place when exposed to potential damage by work of other trades. The Contractor shall coordinate construction of all required mechanical, electrical and plumbing.
 All work and improvements shall be in strict accordance with the current codes adopted by the local jurisdiction and approved by the local building inspection office. All work is to comply with applicable provisions of the International Building Code and health and safety act (OSHA).

The contractor is to keep the premises free from excessive accumulation of waste materials or rubbish caused by construction and will remove it from the site in a timely fashion or as directed by the owner. Upon completion of the project, the contractor shall remove all remaining materials, waste or otherwise, as well as all construction equipment. The work and support areas shall be left broom clean.

Product information and samples:

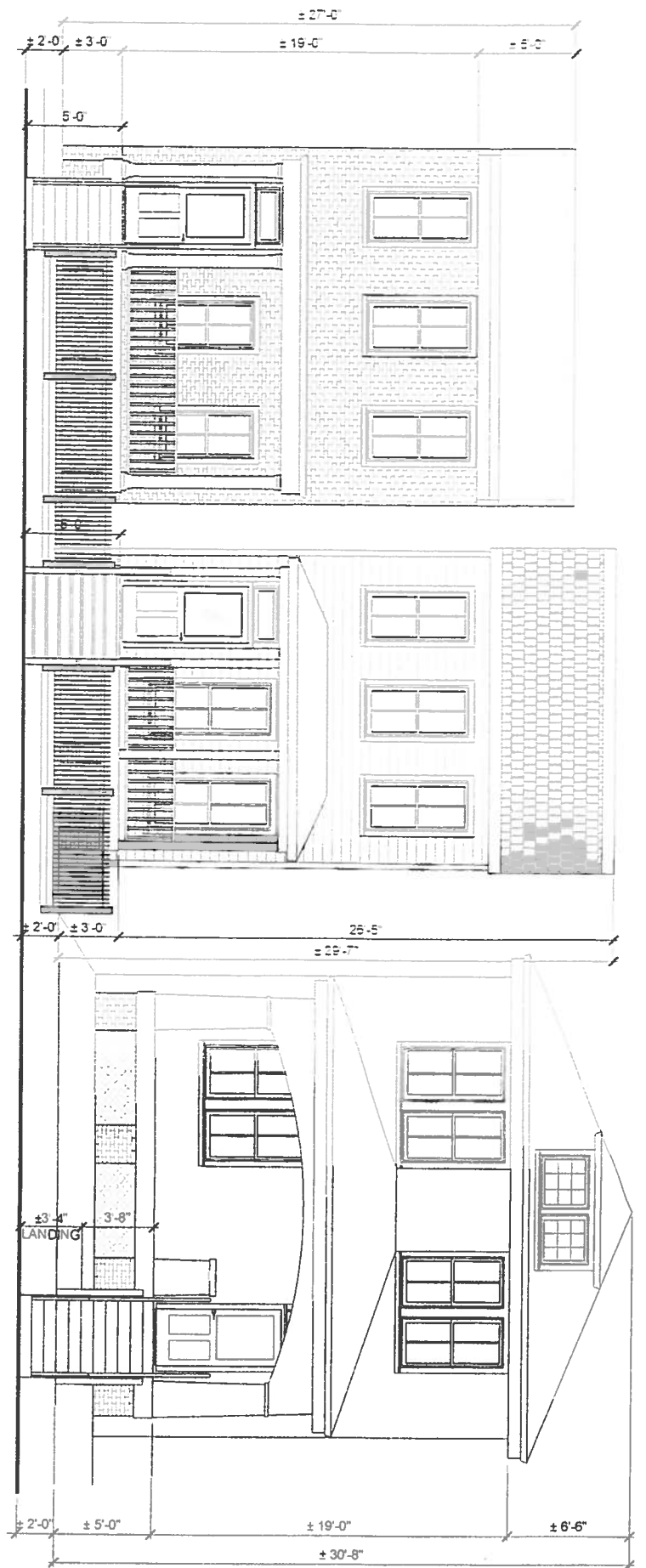
Shop drawings and all other submittals are to be examined by the general contractor and checked for compliance with contract requirements.

OFFICE: 804.510.0333
 5310 MARKEL RD. SUITE 104
 RICHMOND, VA 23230



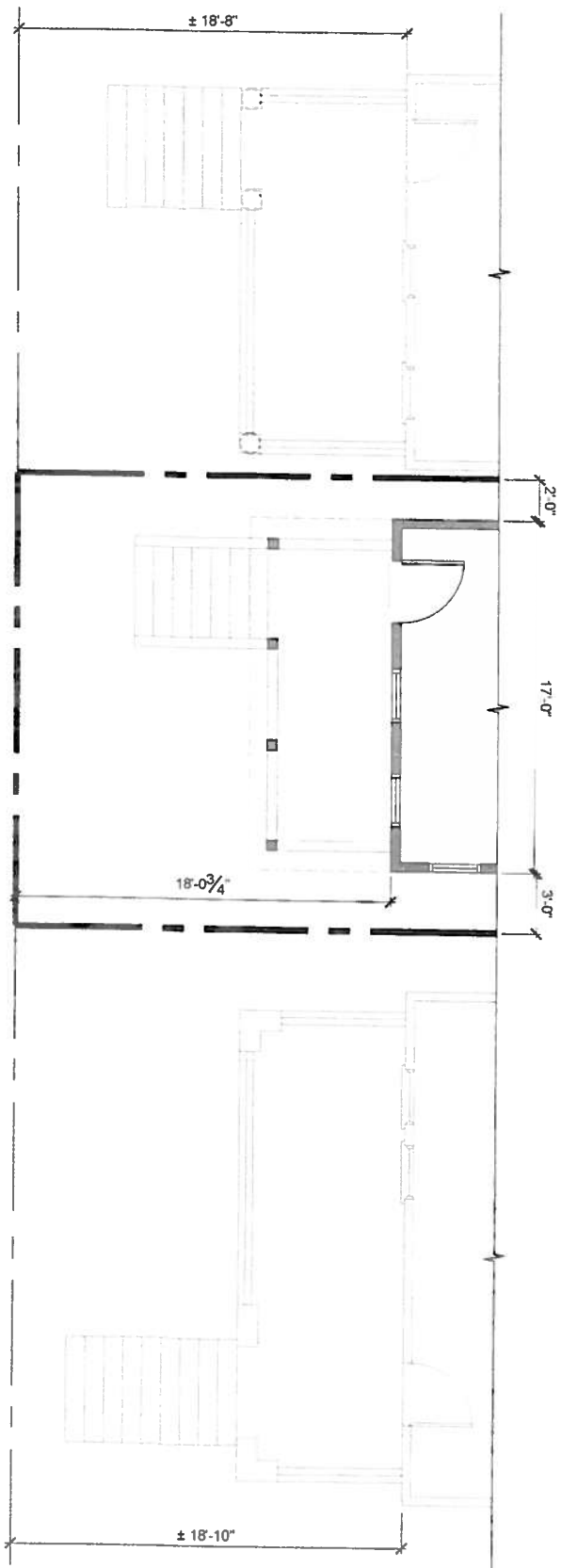
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DATE: 05-24-16
T-1



CONTEXT ELEVATIONS

SCALE 1/4"=1'-0"



CONTEXT SETBACK PLANS

SCALE 1/4"=1'-0"

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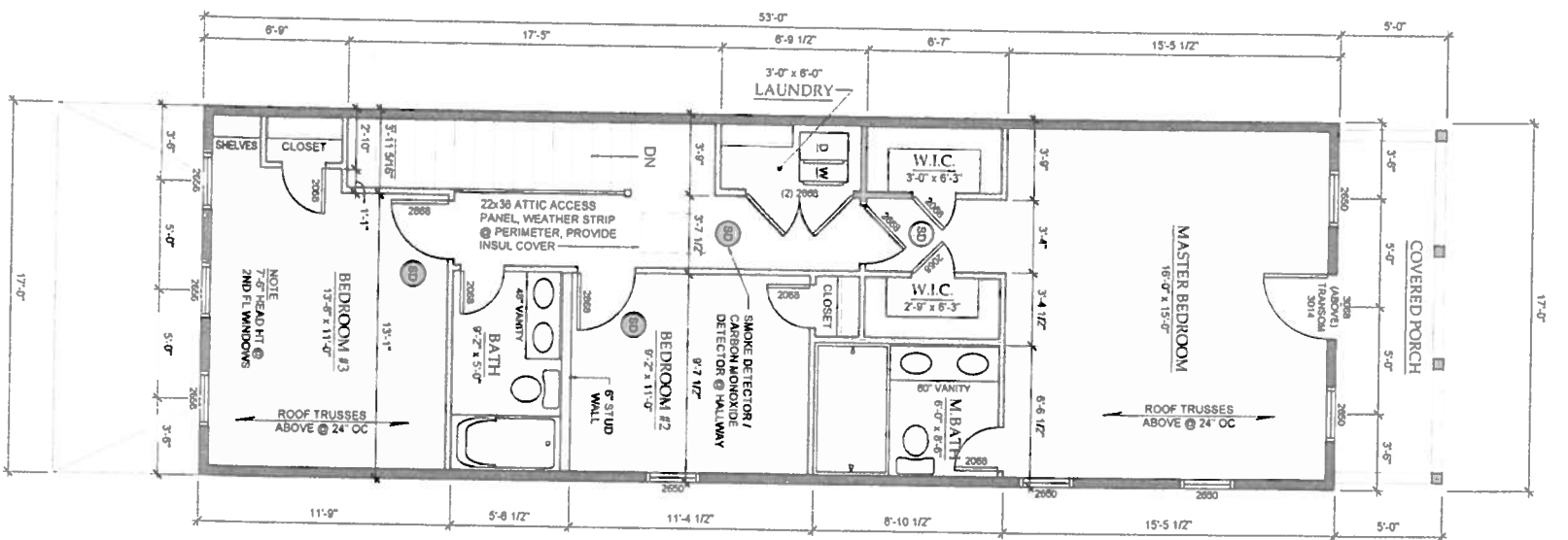
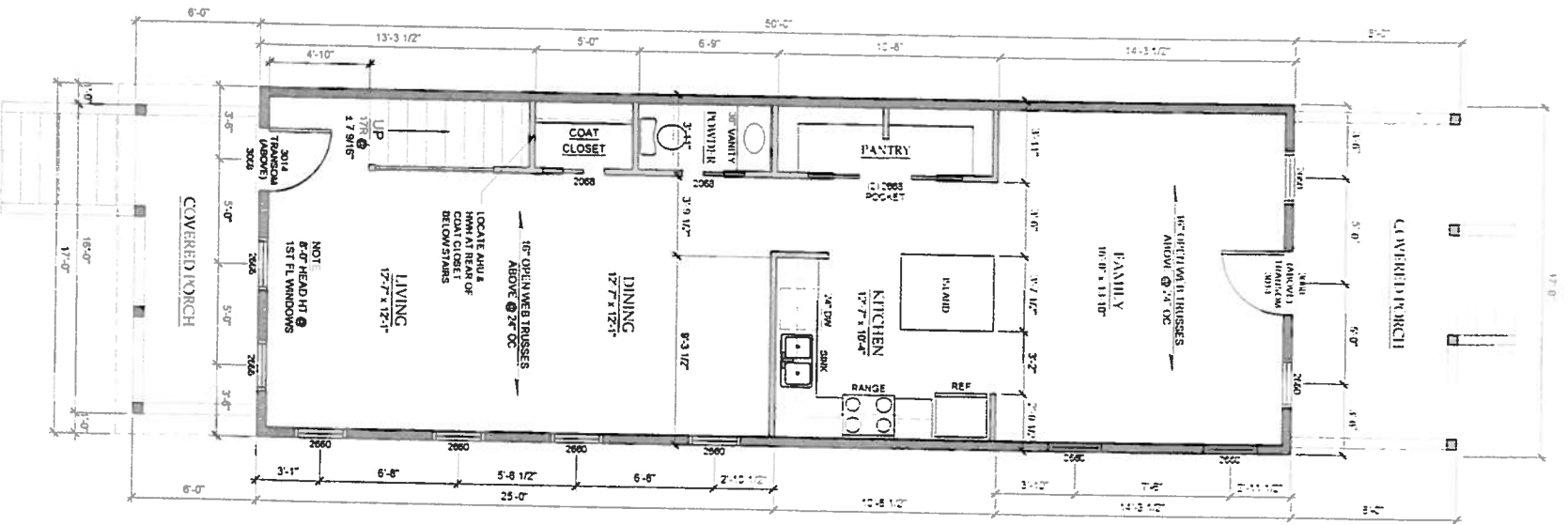


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DATE: 05-24-16

C-1

ARCHITECTURAL NOTES	1
GENERAL NOTE	
2 CONTINUOUS SHEATHING FOR ALL WALL BRACING, INCLUDING CORNERS BY DOORS AND WINDOWS	
1	FOUNDATION: CALCULATED WITH BRACING SET FOUNDATION PER AISI A 1
2	FLOOR FLOORING AND TRIM: TRIMBLE AND GOOD DRUM
3	PAINTS: RICHMOND PAINT, PAINTED
4	TRIM: FLOOR COLUMNS, PAINTED WOOD, 6X6 DOOR COLUMNS
5	FLOORING: MARRIAGE BLACK GRAY
6	WALLS: MATT W. JEFFERSON STAIN, 2 OVER, 2 WITH MILLIONS ON CHAIRS OF CAUSE
7	DOORS: SET FOR 5FT
8	SKINS AND TRIM: FIBERGLASS PLASTER, MATTE, (R. TOUJAN)
9	FASCIA BOARDS: FIBERGLASS PLASTER, MATTE, (R. TOUJAN)
10	WOOD STUDS: 4 PAINTS: RICHMOND STAIN
11	A: HEAVY ROOF ARCHITECTURAL SHINGLES
12	HEAVY ROOF: MARRIAGE: SILE ROOF
13	PLATE FOR ON STUDS: TRUSS: 1/2" X 1/2" X 1/2" VERTICAL 6X6 POSTS
14	ROOF: 12" X 12" BRICK TILE, 24" X 24" X 12" CONCRETE FOOTING, (S) # 4
15	WOOD LATH: PAINT
16	5" X 16" FOUNDATION VENTS
17	15" X 24" ATTIC VENT
18	CRAM: SHEET ACCESS PANEL



A-3

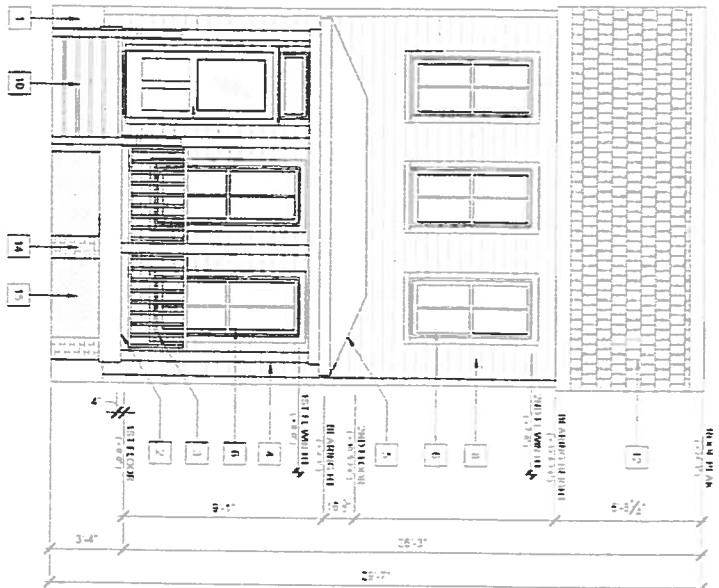
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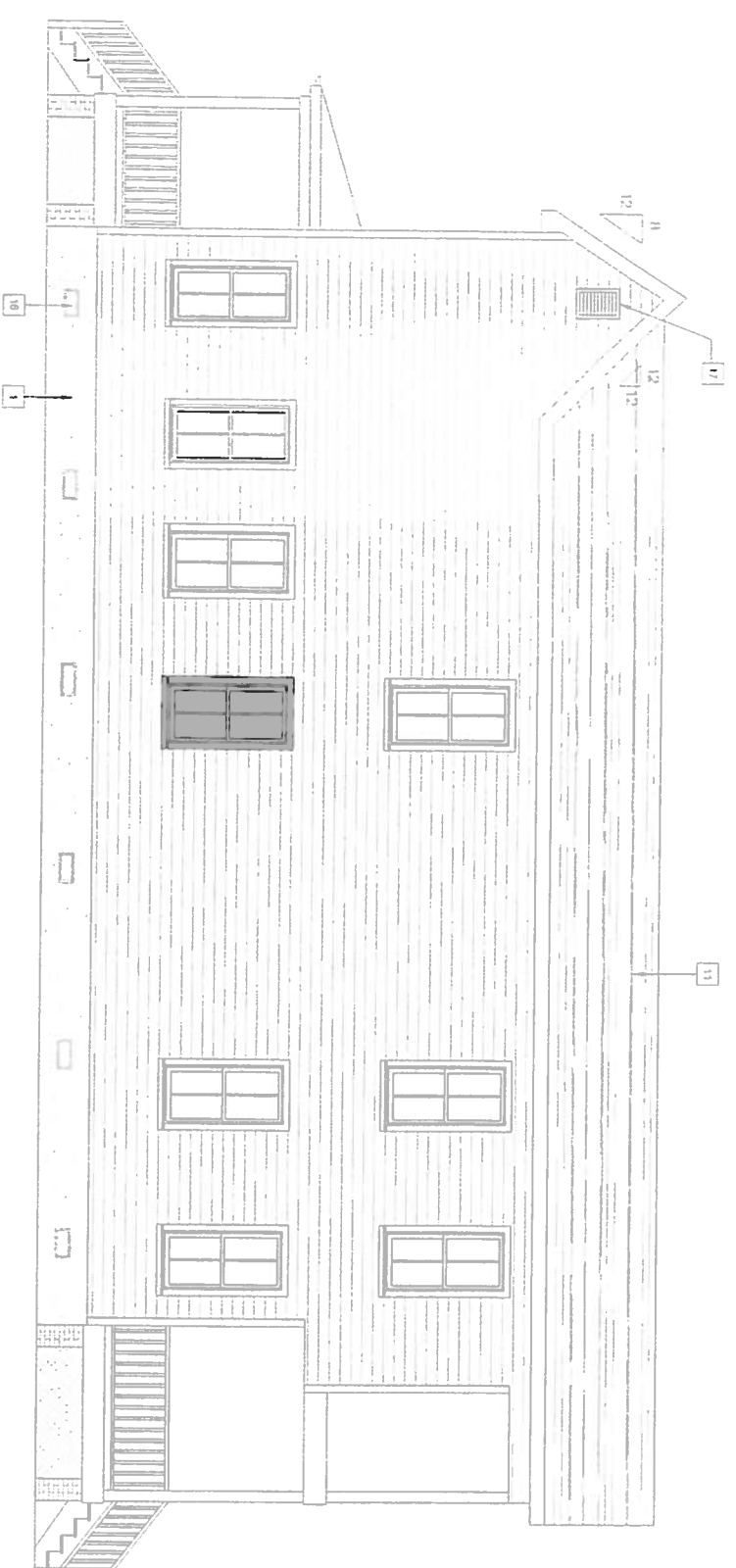


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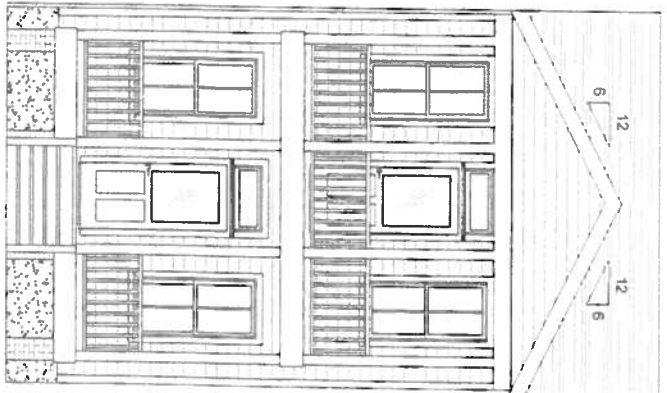
NO.	DESCRIPTION
1	FOUNDATION
2	FLOOR JOIST
3	CEILING JOIST
4	ROOF JOIST
5	ROOF TRUSS
6	ROOF SHEATHING
7	ROOF GUTTER
8	ROOF FLASHING
9	ROOF DRAIN
10	ROOF VENT
11	ROOF BRACE
12	ROOF HANGING
13	ROOF TRUSS BRACE
14	ROOF TRUSS BRACE
15	ROOF TRUSS BRACE
16	ROOF TRUSS BRACE
17	ROOF TRUSS BRACE
18	ROOF TRUSS BRACE
19	ROOF TRUSS BRACE
20	ROOF TRUSS BRACE



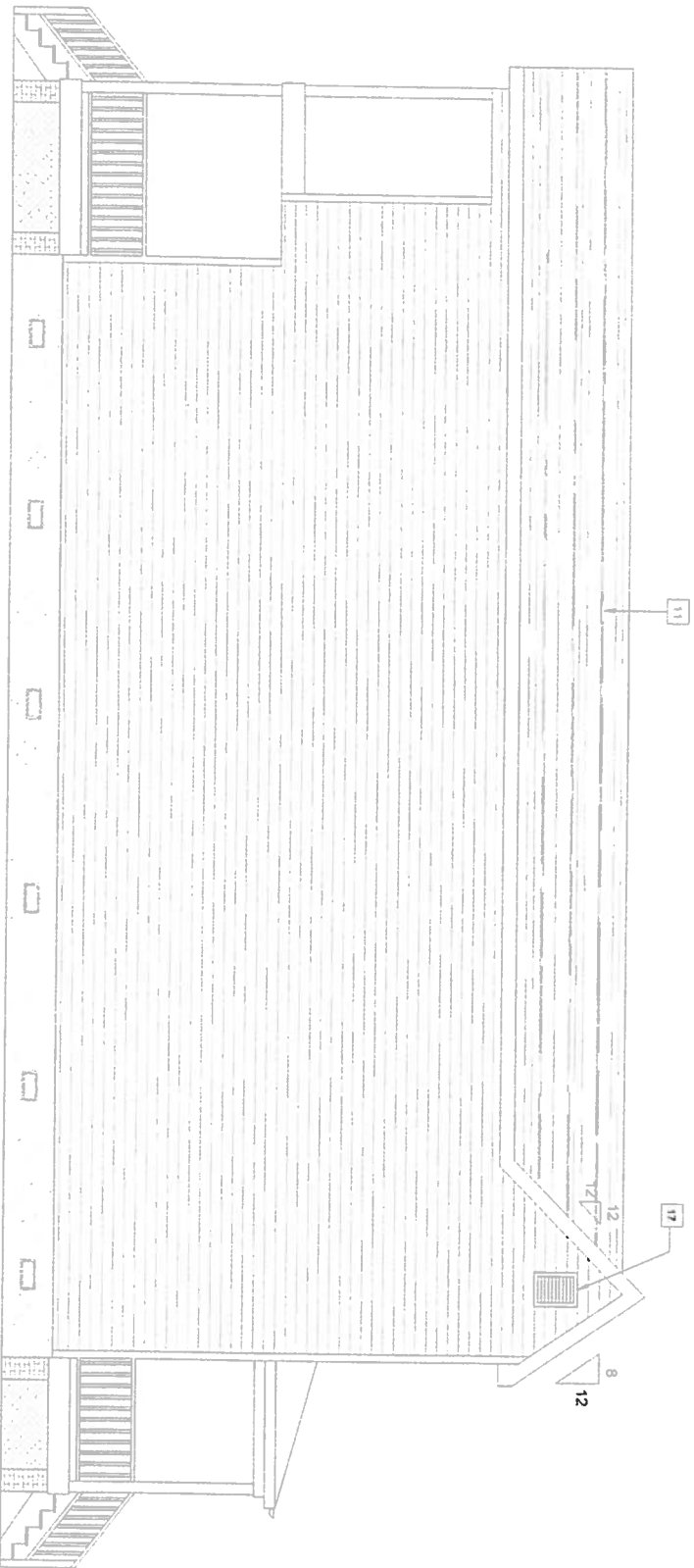
FRONT ELEVATION
SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

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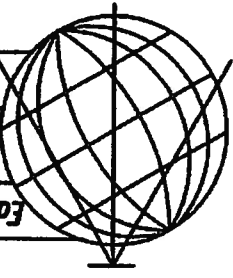
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DATE: 05-24-16
A-4

Scale: 1"=20'
 Date: 11/24/15
 Drawn: TCJ
 Job: 1575-15
 Revised: 04/05/16
 Checked: JAL

1900 Byrd Avenue, Suite 103
 Richmond, Virginia, 23230
 Phone (804) 673-9666
 Fax (804) 673-9990

Edwards, Kreitz, Lohr & Associates, PLLC
 Land Surveyors-Planners
 Virginia-North Carolina



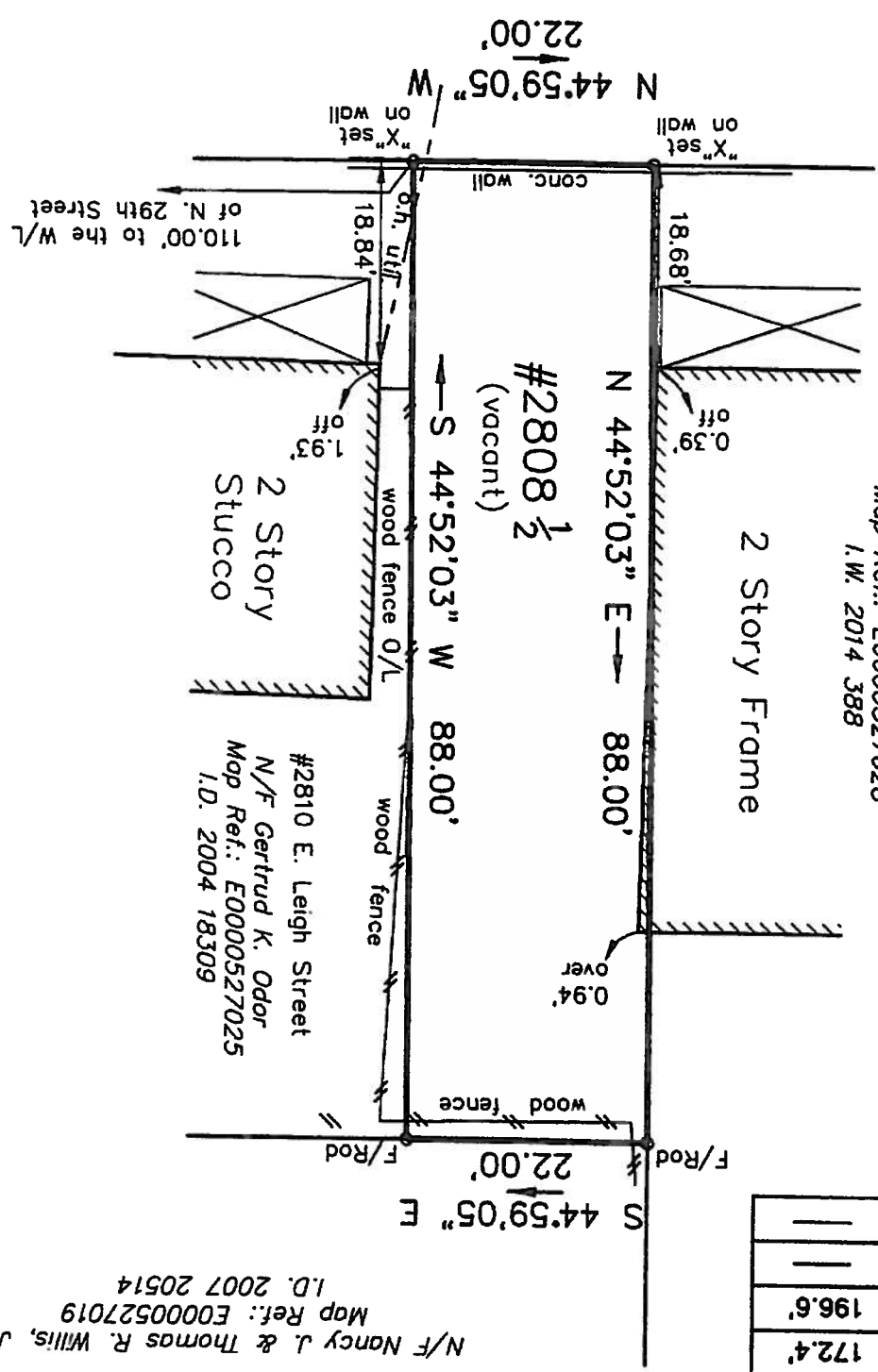
FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE X of the Flood Insurance Rate Map, Community Panel No. 5101290041E effective date of 07/16/14. Exact designations can only be determined by an Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.

This is to certify that on 04/01/16 I made an accurate field survey of the premises shown hereon that all improvements and easements known or visible are shown hereon, that there are no encroachments by improvements either from adjoining premises or from subject premises upon adjoining premises other than shown hereon. THIS PLAT WAS MADE WITHOUT THE BENEFIT OF A TITLE SURVEY OR REPORT.

Survey and Plat of
 The Property known as
 #2808 1/2 E. Leigh Street
 in the City of Richmond, VA



E. LEIGH STREET



2810	2808	2808 1/2	2810
GROUND	163.2'	165.4'	168.1'
FINISHED FLOOR	167.6'	168.9'	172.4'
ROOF	193.9'	192.4'	196.6'
WINDOW (low)	169.7'	169.5'	—
WINDOW (high)	180.2'	180.0'	—

Note: Vertical datum per Dept. of Public Works Sewer Utility Map.

#610 North 29th Street
 N/F Nancy J. & Thomas R. Willis, Jr.
 Map Ref.: E0000527019
 I.D. 2007 20514

Purchaser: Cava Capital
 Current Owners: Lucille H. Webb & Jean C. Williams
 Map Ref.: E0000527027
 I.W. 2014 388
 Note: Bearings protracted from City Baseline sheet 9 SE.