

INTRODUCED: February 14, 2022

A RESOLUTION No. 2022-R012

To designate the properties known as 6 East 9th Street, 811 Decatur Street, 813 Decatur Street, and 812 Hull Street as a revitalization area pursuant to Va. Code § 36-55.30:2.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: FEB 28 2022 AT 6 P.M.

WHEREAS, pursuant to section 36-55.30:2 of the Virginia Housing Development Authority Act (the “Act”), as set forth in sections 36-55.24 through 36-55.52 of the Code of Virginia (1950), as amended, the governing bodies of localities may by resolution designate an area within such locality as a revitalization area for the purpose of facilitating financing by the Virginia Housing Development Authority to assist private entities with the development of mixed use and mixed income projects; and

WHEREAS, pursuant to the Act, in order to designate an area as a revitalization area, the local governing body must determine that, with respect to such area, (i) the industrial, commercial or other economic development of such area will benefit the city but such area lacks the housing needed to induce manufacturing, industrial, commercial, governmental, educational,

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: FEB 28 2022 REJECTED: _____ STRICKEN: _____

entertainment, community development, healthcare or nonprofit enterprises or undertakings to locate or remain in such area, and (ii) private enterprise and investment are not reasonably expected, without assistance, to produce the construction or rehabilitation of decent, safe and sanitary housing and supporting facilities that will meet the needs of low and moderate income persons and families in such area and will induce other persons and families to live within such area and thereby create a desirable economic mix of residents in such area; and

WHEREAS, the Council believes that the properties known as 6 East 9th Street, 811 Decatur Street, 813 Decatur Street, and 812 Hull Street, identified as Tax Parcel Nos. S000-0080/023, S000-0080/010, S000-0080/011, S000-0080/001 in the 2022 records of the City Assessor and as shown on the survey entitled “‘ALTA/NSPS Land Title Survey’ Showing Four Parcel Totaling 0.846 Acres of Land Bounded by Hull Street, Commerce Road, Decatur Street, and 9th Street,” prepared by Timmons Group, and dated May 7, 2021, a copy of which is attached to this resolution, is an area (i) for which the industrial, commercial or other economic development of such area will benefit the city but such area lacks the housing needed to induce manufacturing, industrial, commercial, governmental, educational, entertainment, community development, healthcare or nonprofit enterprises or undertakings to locate or remain in such area, and (ii) in which private enterprise and investment are not reasonably expected, without assistance, to produce the construction or rehabilitation of decent, safe and sanitary housing and supporting facilities that will meet the needs of low and moderate income persons and families in such area and will induce other persons and families to live within such area and thereby create a desirable economic mix of residents in such area; and

WHEREAS, the Council believes that it is in the best interests of the citizens of the City of Richmond that the Council designate the aforementioned properties as a revitalization area pursuant to section 36-55.30:2 of the Code of Virginia (1950), as amended;

NOW, THEREFORE,

BE IT RESOLVED BY THE COUNCIL OF THE CITY OF RICHMOND:

That the Council hereby designates the properties known as 6 East 9th Street, 811 Decatur Street, 813 Decatur Street, and 812 Hull Street, identified as Tax Parcel Nos. S000-0080/023, S000-0080/010, S000-0080/011, S000-0080/001 in the 2022 records of the City Assessor and as shown on the survey entitled “‘ALTA/NSPS Land Title Survey’ Showing Four Parcel Totaling 0.846 Acres of Land Bounded by Hull Street, Commerce Road, Decatur Street, and 9th Street,” prepared by Timmons Group, and dated May 7, 2021, a copy of which is attached to this resolution, as a revitalization area pursuant to section 36-55.30:2 of the Code of Virginia (1950), as amended.

BE IT FURTHER RESOLVED:

That the Council hereby determines that the industrial, commercial or other economic development of the area consisting of the aforementioned properties will benefit the city, but that such area lacks the housing needed to induce manufacturing, industrial, commercial, governmental, educational, entertainment, community development, healthcare or nonprofit enterprises or undertakings to locate or remain in such area.

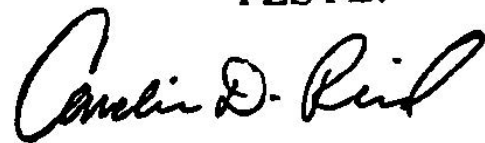
BE IT FURTHER RESOLVED:

That the Council hereby determines that the aforementioned properties consist of an area in which private enterprise and investment are not reasonably expected, without assistance, to produce the construction or rehabilitation of decent, safe and sanitary housing and supporting facilities that will meet the needs of low and moderate income persons and families in such area

and will induce other persons and families to live within such area and thereby create a desirable economic mix of residents in such area.

A TRUE COPY:

TESTE:

A handwritten signature in black ink, reading "Camille D. Reed". The signature is written in a cursive style with a large initial 'C' and a distinct 'D'.

City Clerk



CITY OF RICHMOND

INTRACITY CORRESPONDENCE

O&R REQUEST

DATE: January 27, 2022 **EDITION:** 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer, Economic Development and Planning

FROM: Sherrill Hampton, Director 
Department of Housing and Community Development

RE: Designating the 0.846-acre site at 812 Hull Street, 811 and 813 Decatur Street, and 6 East 9th Street, as a Revitalization Area pursuant to Virginia Code §36-55.30:2.A to secure Virginia Housing (formerly VHDA) financing for the 116 unit multi-family development serving low-income individuals and families.

ORD. OR RES. No. _____

PURPOSE: To request a resolution from City Council designating the 0.846-acre site at 812 Hull Street, 811 and 813 Decatur Street, and 6 East 9th Street as a Revitalization Area pursuant to Virginia Code §36-55.30:2.A to secure Virginia Housing (formerly VHDA) financing for the development of a 116 unit multi-family development serving low-income individuals and families.

REASON: The Lawson Companies is seeking 4% housing tax credits to finance this development project.

RECOMMENDATION: Approval is recommended, contingent upon the approval of the Plan of Development (POD).

BACKGROUND: The proposed development at 812 Hull Street includes the consolidation of four parcels into one parcel to develop a four-story building with a basement. The development will provide 116 income-based units serving up to 60% Area Median Income (AMI) renters. The units will be constructed in an L-shaped building designed by TS3 Architects. The architectural façade of the building will be brick veneer, fiber cement lap siding, and fiber cement panel with wire mesh screening of the first-floor parking garage along Commerce Road. The Timmons Group

is overseeing the landscape and site design of the property. The development named, The View at Belle Isle, will include meeting space for the residents, club, fitness, and game rooms throughout the building for the enjoyment of residents and their guests. Accessory covered parking and short and long-term bicycle storage will also be provided. The building's main entrance will be accessed at the corner of Hull Street and Commerce Road.

This by-right project is subject to a Plan of Development (POD), which is currently under review. Senior Planner, Richard Saunders has provided an initial comment letter with requirements that must be complied with before the POD is approved. HCD concurs with the comments outlined in the letter (attached) from Land Use Administration, specifically as it relates to the following:

1. The coordination of streetscape improvements along Hull Street to be consistent with the Hull Street Streetscape Improvement Project.
2. Accommodation in the development for the Fall Line Trail that is planned along the Commerce Road side of the project.
3. Balconies for each unit, as appropriate, to allow for outdoor access. If this is not feasible then shared useable outdoor space for the residents should be provided.

The estimated project cost is \$25 million and will be financed with 4% tax credits (116 units). An in-house management company, Lawson Realty Corporation, will provide professional property management and maintenance services. This will be a 30-year affordable development with all of the units set aside for renters earning 60% or less of the area median income (AMI). The development will provide the following unit mix:

Unit Mix

<u>Bedrooms</u>	<u># of Units</u>	<u>% of total units</u>
1	84	72.41%
2	32	27.59%
Total	116	100%

This development includes one (1) residential building with interior accessory uses interspersed throughout the building. No non-residential buildings are proposed for this development.

The planned development at 812 Hull Street, 811 and 813 Decatur Street, and 6 East 9th Street will be located in a Revitalization Area in the City of Richmond, Virginia. The revitalization area currently meets the following condition of (i) (2) the industrial, commercial, or other economic development of such area will benefit the city but such area lacks the housing needed to induce manufacturing, industrial, commercial, governmental, educational, entertainment, community development, healthcare or nonprofit enterprises or undertakings to locate or remain in such area; and (ii) private enterprise and investment are not reasonably expected, without assistance, to produce the construction or rehabilitation of decent, safe and sanitary housing and supporting facilities that will meet the needs of low and moderate income individuals and families in such area and will induce other persons and families to live within such area and thereby create a desirable economic mix of residents in such area.

FISCAL IMPACT/COST: None

FISCAL IMPLICATIONS: None

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: Real Estate Taxes Upon Project Completion

DESIRED EFFECTIVE DATE: Upon Adoption

REQUESTED INTRODUCTION DATE: February 14, 2022

CITY COUNCIL PUBLIC HEARING DATE: February 28, 2022

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: Land Use, Housing and Transportation

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: None

AFFECTED AGENCIES: Housing and Community Development and Planning and Development Review

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Alta Land Title Survey, POD submitted plans dated August 27, 2021, PDR Comment Letter #1 dated October 1, 2021, with a Typical T section attachment, Real Estate Assessor Property Record, and the Virginia Housing Revitalization Fact Sheet

STAFF: Michelle B. Peters, Deputy Director II – 646-3975

GENERAL NOTES:

OWNER INFORMATION:

PARCEL I
THE J. M. FRY COMPANY
D.B. 350, PG. 135
PARCEL ID: S0000080001
812 HULL STREET
ZONED:B-6 BUSINESS (MIXED USE)
0.501 AC. OR 21,823 SQ. FT.

PARCEL II
THE J. M. FRY COMPANY
D.B. 350, PG. 135
PARCEL ID: S0000080023
6 E. 9TH STREET
ZONED:B-6 BUSINESS (MIXED USE)
0.099 AC. OR 4,332 SQ. FT.

PARCEL III
THE J. M. FRY COMPANY
D.B. 350, PG. 135
PARCEL ID: S0000080010
811 DECATUR STREET
ZONED:B-6 BUSINESS (MIXED USE)
0.081 AC. OR 3,528 SQ. FT.

PARCEL IV
THE J. M. FRY COMPANY
D.B. 350, PG. 140
PARCEL ID: S0000080011
813 DECATUR STREET
ZONED:B-6 BUSINESS (MIXED USE)
0.165 AC. OR 7,178 SQ. FT.

TOTAL AREA SURVEYED- 0.846 AC. OR 36,861 SQ. FT.

- 1. THIS PLAT IS BASED ON A CURRENT TIMMONS GROUP FIELD SURVEY. FIELD WORK COMPLETED MAY 5-7, 2021.
- 2. THIS PLAT WAS PREPARED WITH THE BENEFIT OF A TITLE BINDER, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, FILE NO.:VAC000249, WITH A COMMITMENT DATE OF APRIL 28, 2021 AT 8:00 A.M.
- 3. NO BUILDINGS OBSERVED ON THE SURVEYED PREMISE.
- 4. THE PROPERTY LIES WITHIN ZONE "X" PER FLOOD INSURANCE MAP 5101290039E, EFFECTIVE DATE OF JULY 16, 2014.
- 5. THE PREMISES HAS NO MARKED PARKING SPACES.
- 6. ZONED B-6 BUSINESS (MIXED USE) PER CITY ZONING MAP. SEE CITY OF RICHMOND DIVISION 24, SECTION 30-444.1 THROUGH SECTION 30-444.8 FOR SETBACK REQUIREMENTS, THE HEIGHT AND FLOOR SPACE RESTRICTIONS, AND PARKING REQUIREMENTS.

LEGAL DESCRIPTION (PER COMMITMENT):

EXHIBIT "A"

812 HULL STREET

PARCEL ONE: ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND LYING AND BEING IN THE CITY OF RICHMOND, VIRGINIA, IN THAT PART OF SUCH CITY KNOWN AS SOUTH RICHMOND, TOGETHER WITH ALL IMPROVEMENTS THEREON, KNOWN AS NOS. 812 AND 820 HULL STREET, AND ALL APPURTENANCES THEREUNTO BELONGING, AND MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS, TO-WIT:

BEGINNING AT THE INTERSECTION OF THE EASTERN LINE OF NINTH STREET WITH THE SOUTHERN LINE OF HULL STREET, THENCE RUNNING EASTWARDLY ALONG AND FRONTING ON THE SOUTH LINE OF HULL STREET 218 FEET, MORE OR LESS, TO A POINT 44 FEET WEST OF ITS INTERSECTION WITH THE WESTERN LINE OF EIGHTH STREET, THENCE SOUTHWARDLY 165 FEET, THENCE WESTWARDLY 88.42 FEET, MORE OR LESS, THENCE NORTHWARDLY AT AN ANGLE OF 90° 2' A DISTANCE OF 46.50 FEET, THENCE EXTENDING WESTWARDLY ALONG A LINE PARALLEL, OR NEARLY PARALLEL, TO THE SOUTHERN LINE OF HULL STREET, A DISTANCE OF 41.58 FEET, THENCE EXTENDING NORTHWARDLY ALONG A LINE PARALLEL, OR NEARLY PARALLEL, TO THE EASTERN LINE OF NINTH STREET, A DISTANCE OF 48.90 FEET; THENCE EXTENDING WESTWARDLY AT AN ANGLE OF 90° 2' A DISTANCE OF 88 FEET TO THE EASTERN LINE OF NINTH STREET, THENCE IN A NORTHERLY DIRECTION ALONG SAID EASTERN LINE OF NINTH STREET, A DISTANCE OF 70 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT, ALL THAT CERTAIN LOT, PIECE OR PARCEL OF LAND LYING AND BEING IN THE CITY OF RICHMOND, VIRGINIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF HULL STREET DISTANT THEREON 44 FEET WEST OF ITS INTERSECTION WITH THE WESTERN LINE OF EIGHTH STREET, THENCE RUNNING WESTWARDLY ALONG AND FRONTING ON THE SAID SOUTHERN LINE OF HULL STREET 23.06 FEET TO A POINT; THENCE BACK IN A SOUTHERLY DIRECTION, BETWEEN LINES NEARLY PARALLEL, 165 FEET.

6 EAST 9TH STREET

PARCEL TWO: ALL THAT CERTAIN LOT OR PARCEL OF LAND, ON EAST NINTH STREET, IN THE CITY OF RICHMOND, VIRGINIA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST SIDE OF NINTH STREET 70 FEET SOUTH FROM THE SOUTH LINE OF HULL STREET; THENCE RUNNING AND FRONTING 50 FEET ON SAID EAST LINE OF NINTH STREET TOWARD DECATUR STREET, AND RUNNING BACK BETWEEN PARALLEL LINES 88 FEET, AS SHOWN ON MAP OF SURVEY MADE FEBRUARY 27, 1935, BY W.W. LAPRADE & BROS., A BLUE PRINT OF WHICH IS RECORDED IN DEED BOOK 75-B, PAGE 312, CLERK'S OFFICE, HUSTINGS COURT, PART TWO, RICHMOND, VIRGINIA.

811 DECATUR STREET

PARCEL THREE: ALL THAT CERTAIN PARCEL OR LOT OF LAND TOGETHER WITH THE IMPROVEMENTS THEREON AND APPURTENANCES THERETO BELONGING, LYING AND BEING IN THE CITY OF RICHMOND, VIRGINIA, AND DESCRIBED AS FOLLOWS, TO-WIT:

BEGINNING AT A POINT ON THE NORTHERN LINE OF DECATUR STREET 66.95 FEET WEST OF EIGHTH STREET, WHICH POINT MARKS THE NEW WESTERN LINE OF EIGHTH STREET, THENCE IN A WESTERLY DIRECTION ALONG THE NORTHERN LINE OF DECATUR STREET, 26.05 FEET TO THE WESTERN LINE OF A PARCEL OF LAND FORMERLY OWNED BY M. H. OMOHUNDRO (AND BY DEED IS 88.5 FEET FROM EIGHTH STREET), THENCE IN A NORTHERLY DIRECTION ALONG THE WESTERN LINE OF A PARCEL OF LAND FORMERLY OWNED BY M. H. OMOHUNDRO 165 FEET, MORE OR LESS, TO A POINT, IN THE NORTHERN LINE OF SAID PARCEL, THENCE IN AN EASTERLY DIRECTION 26.00 FEET TO A POINT IN THE NEW WESTERN LINE OF EIGHTH STREET, THENCE IN A SOUTHERLY DIRECTION ALONG THE NEW WESTERN LINE OF EIGHTH STREET 165 FEET, MORE OR LESS, TO THE NORTHERN LINE OF DECATUR STREET, AT THE POINT OF BEGINNING.

PARCEL ONE, TWO AND THREE: IT BEING THE SAME PROPERTY CONVEYED TO THE J.M. FRY COMPANY, A VIRGINIA CORPORATION BY DEED FROM E. LYNN, INC., FORMERLY LYNN PONTIAC, INCORPORATED, A VIRGINIA CORPORATION, DATED AUGUST 14, 1969 AND RECORDED AUGUST 22, 1969 IN DEED BOOK 350 AT PAGE 135.

813 DECATUR STREET

PARCEL FOUR: ALL THAT CERTAIN PARCEL OR PIECE OF LAND LYING AND BEING IN THE CITY OF RICHMOND, STATE OF VIRGINIA, AND ALL THE IMPROVEMENTS THEREON AND THEREUNTO BELONGING, ON DECATUR STREET AND DESCRIBED AS FOLLOWS, TO-WIT:

COMMENCING AT A POINT 88 FEET AND 6 INCHES (88' 6") DISTANT FROM THE CORNER FORMED BY THE INTERSECTION OF THE WESTERN LINE OF EIGHTH STREET WITH THE NORTHERN LINE OF DECATUR STREET; THENCE RUNNING AND FRONTING ALONG THE SAID NORTHERN LINE OF DECATUR STREET 43 FEET 6 INCHES TOWARDS NINTH STREET, AND RUNNING BACK FROM SAID FRONT BETWEEN PARALLEL LINES 165 FEET.

IT BEING THE SAME PROPERTY CONVEYED TO THE J.M. FRY COMPANY, A VIRGINIA CORPORATION BY DEED FROM ERNEST LYNN, SR. AND BERTA W. LYNN, HIS WIFE, DATED AUGUST 14, 1969 AND RECORDED AUGUST 22, 1969 IN DEED BOOK 350 AT PAGE 140.

DESCRIPTION OF PARCELS (PER SURVEY):

PARCEL I

0.501 ACRE PARCEL BEING MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND CONCRETE MONUMENT AT THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF HULL STREET AND THE NORTH RIGHT-OF-WAY LINE OF EAST 9TH STREET AND LABELED P.O.B. "A" HEREON.

THENCE, ALONG THE EAST RIGHT-OF-WAY LINE OF HULL STREET, N 50°48'14" E, 194.52 FEET TO A FOUND BRICK NAIL ON THE SOUTH RIGHT-OF-WAY LINE OF EAST COMMERCE ROAD;

THENCE, ALONG THE SOUTH RIGHT-OF-WAY LINE OF EAST COMMERCE ROAD, S 39°12'45" E, 165.00 FEET TO A POINT;

THENCE, LEAVING THE SOUTH RIGHT-OF-WAY LINE OF EAST COMMERCE ROAD, S 50°47'07" W, 21.38 FEET TO A POINT;

THENCE, S 50°47'07" W, 43.50 FEET TO A POINT;

THENCE, N 39°19'02" W, 45.89 FEET TO A FOUND 5/8" IRON ROD;

THENCE, S 50°45'46" W, 41.50 FEET TO A POINT;

THENCE, N 39°14'14" W, 49.22 FEET TO A POINT;

THENCE, S 50°45'46" W, 88.00 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF EAST 9TH STREET ;

THENCE, ALONG THE NORTH RIGHT-OF-WAY LINE OF EAST 9TH STREET, N 39°14'14" W, 70.00 FEET TO THE TRUE AND ACTUAL POINT OF BEGINNING AND CONTAINING 0.501 ACRES OR 21,823 SQUARE FEET OF LAND, MORE OR LESS.

PARCEL II

SAID 0.099 ACRE PARCEL BEING MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND 5/8" IRON ROD 210.84 FEET FROM THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF DECATUR STREET AND THE NORTH RIGHT-OF-WAY LINE OF EAST 9TH STREET AND LABELED P.O.B. "B" HEREON.

THENCE, ALONG THE NORTH RIGHT-OF-WAY LINE OF EAST 9TH STREET, N 39°14'14" W, 49.22 FEET TO A POINT;

THENCE, LEAVING THE NORTH RIGHT-OF-WAY LINE OF EAST 9TH STREET, N 50°45'46" E, 88.00 FEET TO A POINT;

THENCE, S 39°14'14" E, 49.22 FEET TO A POINT;

THENCE, S 50°45'46" W, 88.00 FEET TO THE TRUE AND ACTUAL POINT OF BEGINNING AND CONTAINING 0.099 ACRES OR 4,332 SQUARE FEET OF LAND, MORE OR LESS.

PARCEL III

SAID 0.081 ACRE PARCEL BEING MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND CONCRETE MONUMENT AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF DECATUR STREET AND THE SOUTH RIGHT-OF-WAY LINE OF EAST COMMERCE STREET AND LABELED P.O.B. "C" HEREON.

THENCE, ALONG THE WEST RIGHT-OF-WAY LINE OF DECATUR STREET, S 50°47'07" W, 21.38 FEET TO A POINT;

THENCE, LEAVING THE WEST RIGHT-OF-WAY LINE OF DECATUR STREET, N 39°12'53" W, 165.00 FEET TO A POINT;

THENCE, N 50°47'07" E, 21.38 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF EAST COMMERCE STREET;

THENCE, ALONG THE SOUTH RIGHT-OF-WAY LINE OF EAST COMMERCE STREET, S 39°12'45" E, 165.00 FEET TO THE TRUE AND ACTUAL POINT OF BEGINNING AND CONTAINING 0.081 ACRES OR 3,528 SQUARE FEET OF LAND, MORE OR LESS.



VICINITY MAP
SCALE: 1"=500'

PARCEL IV

SAID 0.165 ACRE PARCEL BEING MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND CONCRETE MONUMENT AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF DECATUR STREET AND THE SOUTH RIGHT-OF-WAY LINE OF EAST COMMERCE STREET AND LABELED P.O.B. "C" HEREON.

THENCE, ALONG THE WEST RIGHT-OF-WAY LINE OF DECATUR STREET, S 50°47'07" W, 21.38 FEET TO THE POINT OF BEGINNING;

THENCE, ALONG THE WEST RIGHT-OF-WAY LINE OF DECATUR STREET, S 50°47'07" W, 43.50 FEET TO A POINT;

THENCE, LEAVING THE WEST RIGHT-OF-WAY LINE OF DECATUR STREET, N 39°12'53" W, 165.00 FEET TO A POINT;

THENCE, N 50°47'07" E, 43.50 FEET TO A POINT;

THENCE, S 39°12'53" E, 165.00 FEET TO THE TRUE AND ACTUAL POINT OF BEGINNING AND CONTAINING 0.165 ACRES OR 7,178 SQUARE FEET OF LAND, MORE OR LESS.

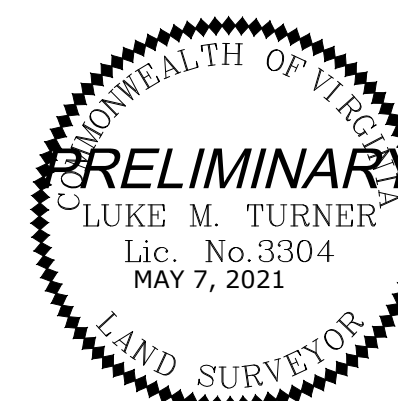
SURVEY CERTIFICATION:

FIDELITY NATIONAL TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 8, 9, 13 AND 14 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 7, 2021.

DATE: _____

SURVEYOR: _____ LICENSE NUMBER: VA # 003304



"ALTA/NSPS LAND TITLE SURVEY"
SHOWING FOUR PARCEL TOTALING 0.846
ACRES OF LAND BOUNDED BY HULL
STREET, COMMERCE ROAD, DECATUR
STREET, AND 9TH STREET

CITY OF RICHMOND, VA	
DATE: MAY 7, 2021	SCALE: 1"=30'
SHEET 1 OF 2	J.N.:48253
DRAWN BY: LMT	CHECK BY: GFD
SURVEYOR'S EMAIL: LUKE.TURNER@TIMMONS.COM	

THIS DRAWING PREPARED AT THE
CORPORATE OFFICE
1001 Boulders Parkway, Suite 300 | Richmond, VA 23225
TEL 804.200.6500 FAX 804.560.1016 www.timmons.com

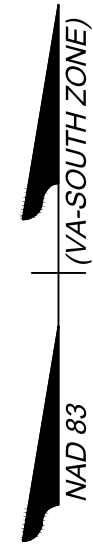
YOUR VISION ACHIEVED THROUGH OURS.

Technology
Infrastructure
Residential
Site Development

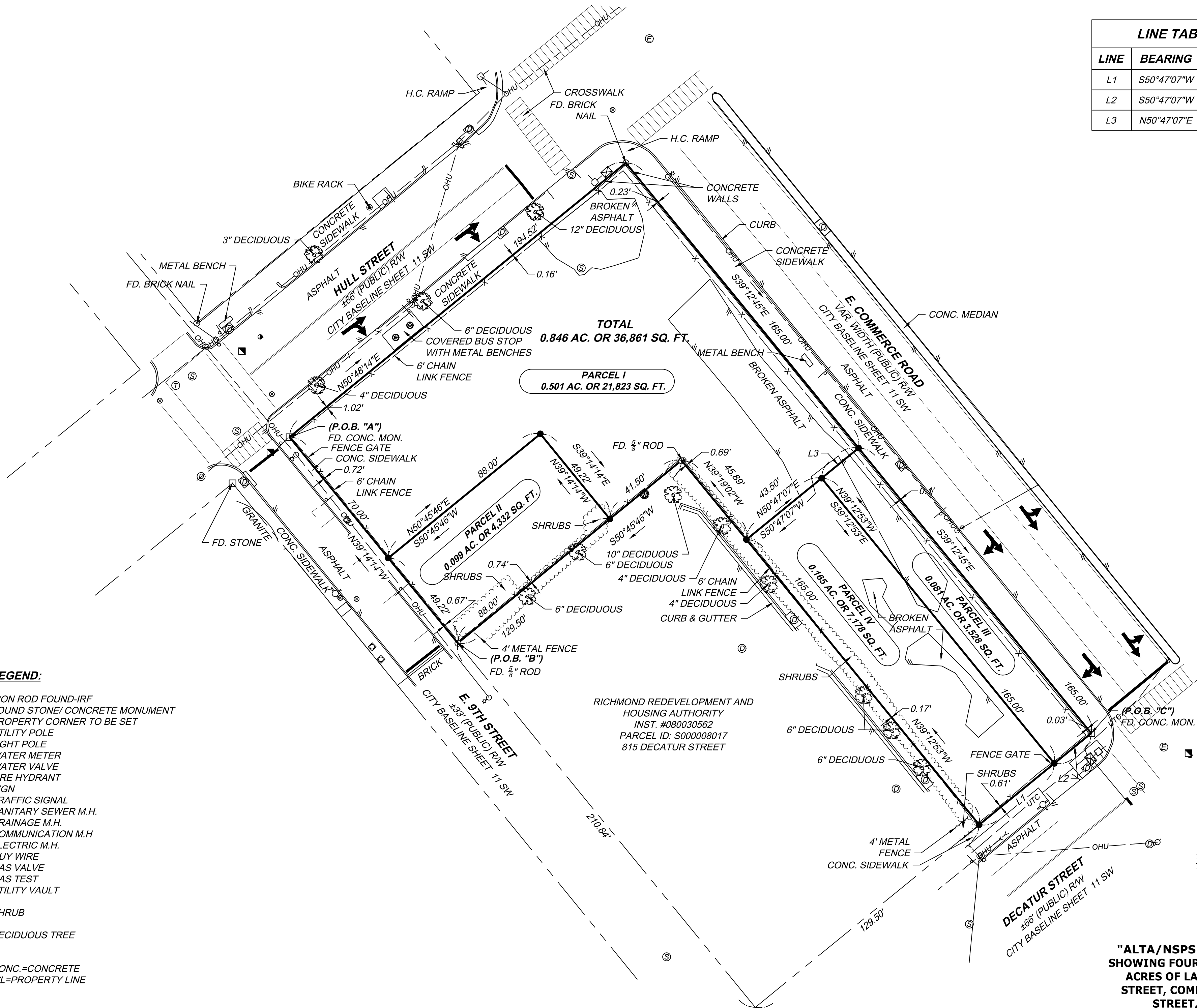
TIMMONS GROUP

Y:\90148253-812_Hull_St_ALTA_Design\DWG\48253_VXPSURV.dwg | Plotted on 5/12/2021 10:20 AM | by Luke Turner

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LINE TABLE		
LINE	BEARING	LENGTH
L1	S50°47'07"W	43.50'
L2	S50°47'07"W	21.38'
L3	N50°47'07"E	21.38'

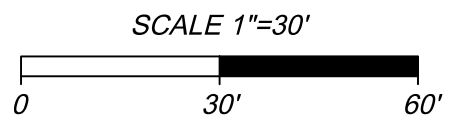


RICHMOND REDEVELOPMENT AND HOUSING AUTHORITY
 INST. #080030562
 PARCEL ID: S000008017
 815 DECATUR STREET

LEGEND:

- IRON ROD FOUND-IRF
- FOUND STONE/ CONCRETE MONUMENT
- PROPERTY CORNER TO BE SET
- UTILITY POLE
- LIGHT POLE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- SIGN
- TRAFFIC SIGNAL
- SANITARY SEWER M.H.
- DRAINAGE M.H.
- COMMUNICATION M.H.
- ELECTRIC M.H.
- GUY WIRE
- GAS VALVE
- GAS TEST
- UTILITY VAULT
- SHRUB
- DECIDUOUS TREE

CONC.=CONCRETE
 P/L=PROPERTY LINE



"ALTA/NSPS LAND TITLE SURVEY"
 SHOWING FOUR PARCEL TOTALING 0.846
 ACRES OF LAND BOUNDED BY HULL
 STREET, COMMERCE ROAD, DECATUR
 STREET, AND 9TH STREET

CITY OF RICHMOND, VA	
DATE: MAY 7, 2021	SCALE: 1"=30'
SHEET 2 OF 2	J.N.:48253
DRAWN BY: LMT	CHECK BY: GFD
SURVEYOR'S EMAIL: LUKE.TURNER@TIMMONS.COM	

TIMMONS GROUP

YOUR VISION ACHIEVED THROUGH OURS.
 THIS DRAWING PREPARED AT THE
CORPORATE OFFICE
 1001 Boulders Parkway, Suite 300 | Richmond, VA 23225
 TEL 804.200.6500 FAX 804.560.1016 www.timmons.com

Site Development Residential Infrastructure Technology

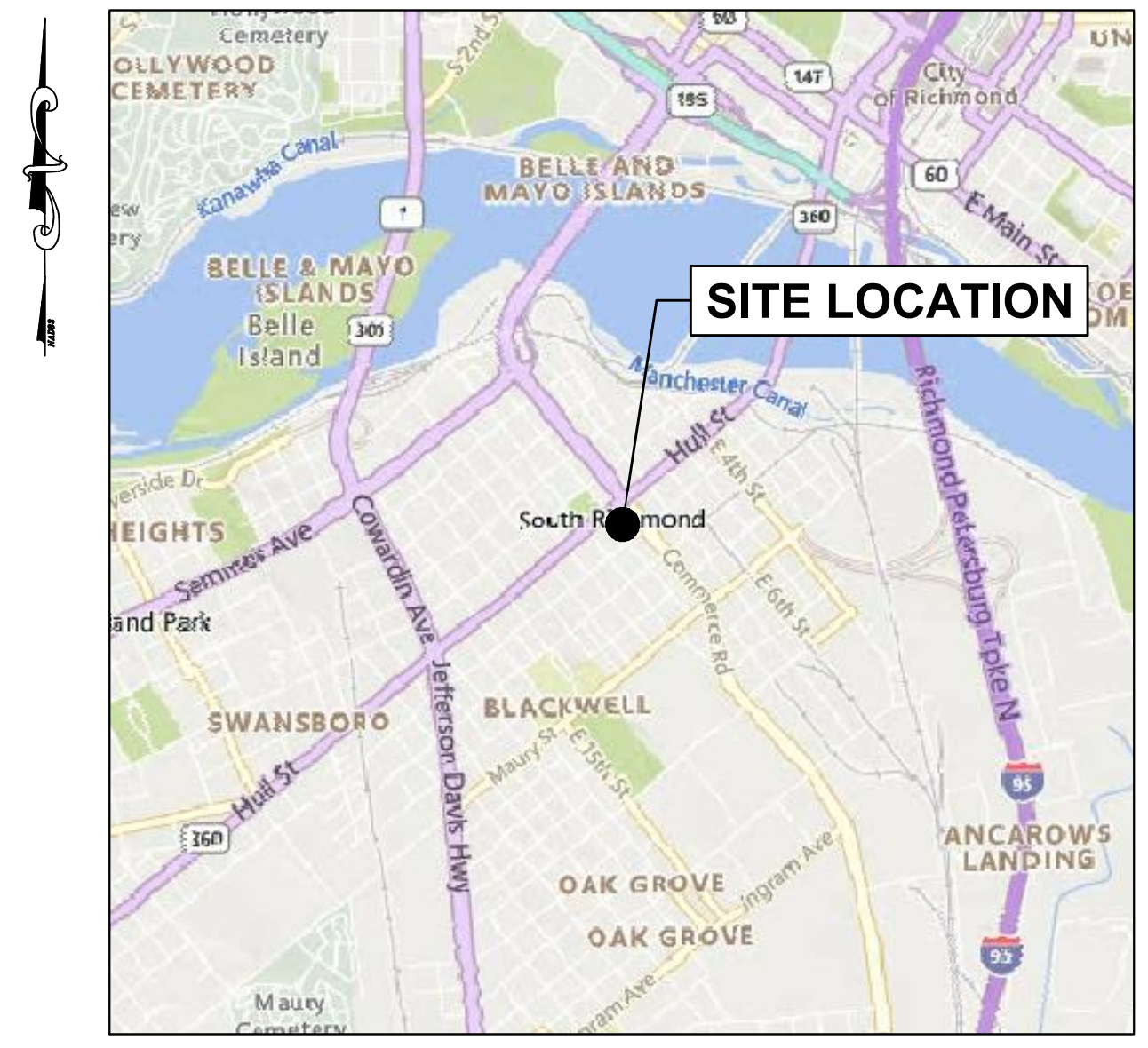


POD SUBMITTAL
NOT FOR CONSTRUCTION

REVISIONS		
TAG	DATE	COMMENTS
1	10/29/2021	REVISED PER CoR COMMENTS 2nd POD SUBMITTAL

PLAN OF DEVELOPMENT FOR 812 HULL STREET RICHMOND, VIRGINIA

SHEET LIST INDEX	
SHEET ID	SHEET TITLE
C0.00	COVER
C0.01	PROJECT DESIGN & CONSTRUCTION GUIDELINES
C1.00	EXISTING CONDITIONS PLAN
C1.10	EXISTING PROPERTY INFORMATION PLAN
C2.00	SITE DEMOLITION PLAN
C2.10	UTILITY DEMOLITION PLAN
C3.00	EROSION & SEDIMENT CONTROL PLAN - PHASE I
C3.10	EROSION & SEDIMENT CONTROL PLAN - PHASE II
C3.20	EROSION & SEDIMENT CONTROL NOTES & DETAILS
C3.21	EROSION & SEDIMENT CONTROL NOTES & DETAILS
C4.00	SITE LAYOUT PLAN
C4.10	SITE NOTES & DETAILS
C5.00	GRADING & DRAINAGE PLAN
C5.10	STORM DRAINAGE PROFILES
C5.11	STORM STRUCTURE & PIPE SCHEDULES
C5.20	STORM DRAINAGE NOTES & DETAILS
C5.21	STORM DRAINAGE NOTES & DETAILS
C5.22	STORM DRAINAGE NOTES & DETAILS
C5.30	PROPOSED DRAINAGE AREA MAP
C5.31	STORM DRAINAGE CALCULATIONS
C5.32	STORM DRAINAGE CALCULATIONS
C6.00	STORMWATER QUANTITY - SITE ANALYSIS (EXISTING & PROPOSED)
C6.10	STORMWATER QUANTITY COMPUTATIONS
C7.00	UTILITY PLAN
C7.10	UTILITY PROFILES
C7.20	UTILITY NOTES & DETAILS
C7.21	UTILITY NOTES & DETAILS
C7.30	EXISTING SAN. SEWER HYDRAULIC ANALYSIS & RESULTS
C7.40	PROPOSED SAN. SEWER HYDRAULIC ANALYSIS & RESULTS
WM1.0	WATER SYSTEM HYDRAULIC ANALYSIS
L1.00	LANDSCAPE PLAN
ARCHITECTURAL SHEETS	
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	THIRD FLOOR PLAN
A104	FOURTH FLOOR PLAN
A105	FIFTH FLOOR PLAN
A106	ROOF PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS



VICINITY MAP
SCALE: 1" = 2,000'

PLAN OF DEVELOPMENT SUBMITTAL FIRST SUBMITTAL DATE: AUGUST 27, 2021

PROJECT SUMMARY

STREET ADDRESS: 812 HULL STREET, 6 E 9TH STREET, 811 DECATUR STREET, 813 DECATUR STREET

PARCEL ID: S0000080001, S0000080023, S0000080010, S0000080011

ZONING: B-6 (MIXED-USE BUSINESS DISTRICT)

DISTRICT: OLD SOUTH

SITE ACREAGE: 0.846 ACRES (36,861 SQ. FT.)

EXISTING USE: VACANT LAND

EXISTING CONDITIONS: CITY OF RICHMOND UTILITY MAPS, CITY OF RICHMOND GIS, TOPOGRAPHIC SURVEY OF 812 HULL STREET BY TIMMONS GROUP, DATED 5/5/2021 - 5/7/2021.

DATUM: HORIZONTAL DATUM: (NAD83) VIRGINIA STATE PLANE COORDINATE SYSTEM SOUTH ZONE
VERTICAL DATUM: NAVD88

PROPOSED USE: MULTI-FAMILY RESIDENTIAL

AREA TO BE DISTURBED: 1.13 ACRE (449,295 SQ. FT.)

BUILDING HEIGHT & TOTAL GROSS FLOOR AREA:

[# OF FLOORS, HEIGHT]		[GROSS FLOOR AREA]
4 FLOORS, 50'-2" IN HEIGHT		±115,166 SQ. FT.
BASEMENT LEVEL		±35,157 SQ. FT.
TOTAL GROSS FLOOR AREA = ±149,323 SQ. FT.		

UNIT SCHEDULE: 116 UNITS (REFER TO ARCH. PLANS FOR FURTHER INFORMATION)

BICYCLE REQUIREMENTS:

SHORT TERM: (2 SPACES/50 UNITS)¹ x (116 UNITS) = 6 SPACES
TOTAL SHORT TERM SPACES = 6 SPACES
¹BASED ON CITY OF RICHMOND ZONING ORDINANCE Sec. 30-730.2.(1)

LONG TERM: (1 SPACE/4 UNITS)² x (116 UNITS) = 29 SPACES
TOTAL LONG TERM SPACES = 29 SPACES
²BASED ON CITY OF RICHMOND ZONING ORDINANCE Sec. 30-730.2.(1)

BICYCLE SPACE DESIGN:

SHORT TERM: 6 SPACES PROVIDED
LONG TERM: 29 SPACES PROVIDED

PARKING REQUIREMENTS: (1 SPACE/1 UNITS)³ x (116 UNITS) = 116 SPACES
TOTAL REQUIRED PARKING SPACES = 116 SPACES
³BASED ON CITY OF RICHMOND ZONING ORDINANCE Sec. 30-710.1.(4)a.

PARKING SPACE DESIGN: 111 SPACES PROVIDED IN THE GARAGE
5 SPACES CAN BE ACCOUNTED FOR THROUGH ON-STREET PARKING
116 SPACES PROVIDED

REQUIRED PERMITS: LAND DISTURBANCE PERMIT, WORK IN STREETS PERMIT, PLUMBING, WATER, SEWER AND STORM PERMITS, TRADE PERMITS

E & S QUANTITIES:		
E&S MEASURE	QUANTITY	SPEC #
SAFETY FENCE	1,150 LF	3.01
CONSTRUCTION ENTRANCE	1 EA.	3.02
SILT FENCE	750 LF	3.05
INLET PROTECTION	11 EA.	3.07

STORM DRAINAGE QUANTITIES:	
STORM SEWER TYPE: DESCRIPTION	QUANTITY
PIPE: 15" CLASS III RCP	105 LF
PIPE: 15" SCH. 40 PVC	22 LF
PIPE: 10" SCH. 40 PVC	167 LF
PIPE: 10" N-12 HDPE	109 LF
PIPE: 8" SCH. 40 PVC	95 LF
PIPE: 6" N-12 HDPE	64 LF
STR: VDOT STD. D-3A (TRAP INLET)	2 EA.
STR: VDOT STD. DI-2B	1 EA.
STR: VDOT STD. MH-1	1 EA.
STR: VDOT MOD. MH-2 w/ORIFICE & WEIR	1 EA.
STR: 24" CIRCULAR ADS DRAIN BASIN w/ DOME TOP	3 EA.
STR: 24" CIRCULAR ADS DRAIN BASIN w/ H-20 RATED GRATE TOP	3 EA.
STR: 18" CIRCULAR ADS DRAIN BASIN w/ H-20 RATED GRATE TOP	1 EA.
STR: 18" CIRCULAR ADS DRAIN BASIN w/ SOLID TOP	1 EA.
STR: 12" CIRCULAR ADS DRAIN BASIN w/ PEDESTRIAN GRATE TOP	3 EA.

OWNER/DEVELOPER
THE LAWSON COMPANIES
373 Edwin Drive
Virginia Beach, VA 23462
CONTACT: Frederick P. Fletcher, III
TELEPHONE: 757.499.6161
EMAIL: ffletcher@lawsoncompanies.com

ENGINEER
TIMMONS GROUP
1001 Boulders Parkway, Suite 300
Richmond, VA 23225
CONTACT: Amelia Wehunt, PE
TELEPHONE: 804.200.6544
EMAIL: amelia.wehunt@timmons.com

LANDSCAPE ARCHITECT
TIMMONS GROUP
1001 Boulders Parkway, Suite 300
Richmond, VA 23225
CONTACT: Julie Murphy, PLA
TELEPHONE: 804.200.6594
EMAIL: julie.murphy@timmons.com

ARCHITECT
TS3 ARCHITECTS PC
1228 Perimeter Parkway, Suite 101
Virginia Beach, VA 23454
CONTACT: Jordan Smith, Assoc. AIA
TELEPHONE: 757.589.2699
EMAIL: jordan.smith@ts3architects.com

THIS DRAWING PREPARED AT THE
CORPORATE OFFICE
1001 Boulders Parkway, Suite 300 | Richmond, VA 23225
TEL 804.200.6500 FAX 804.560.1016 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 08/27/2021
DRAWN BY: C. JOHNSON
DESIGNED BY: C. NELSON
CHECKED BY: A. WEHUNT
SCALE: 1" = 2,000'

TIMMONS GROUP

812 HULL STREET
OLD SOUTH DISTRICT - CITY OF RICHMOND - VIRGINIA

COVER

JOB NO.: 48253
SHEET NO.: C0.00

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SITE LAYOUT NOTES:

- REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING & LIGHTING PLANS & DETAILS.
- ALL DIMENSIONS ARE FROM THE FACE OF CURB, UNLESS NOTED OTHERWISE.
- REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF LONG-TERM BIKE STORAGE FOR 29 BIKES.

ARCHITECTURAL BUILDING BACKGROUND DATE: 08/23/2021

PAVEMENT MARKING NOTES:

- ALL PERMANENT MARKINGS SHALL BE TYPE B, CLASS I UNLESS OTHERWISE DIRECTED BY VDOT TRAFFIC ENGINEERING.
- ALL PAVEMENT MARKINGS MUST HAVE A PERSON W/PAVEMENT MARKING CERTIFICATION, ISSUED BY THE VDOT MATERIALS DIVISION, ON SITE DURING PAVEMENT MARKING OPERATIONS. A COMPLETED CERTIFIED DELIVERY TICKET & A C-85 MUST BE SUBMITTED TO THE VDOT RESIDENCY PERMIT INSPECTOR.

PAVEMENT MARKING KEY

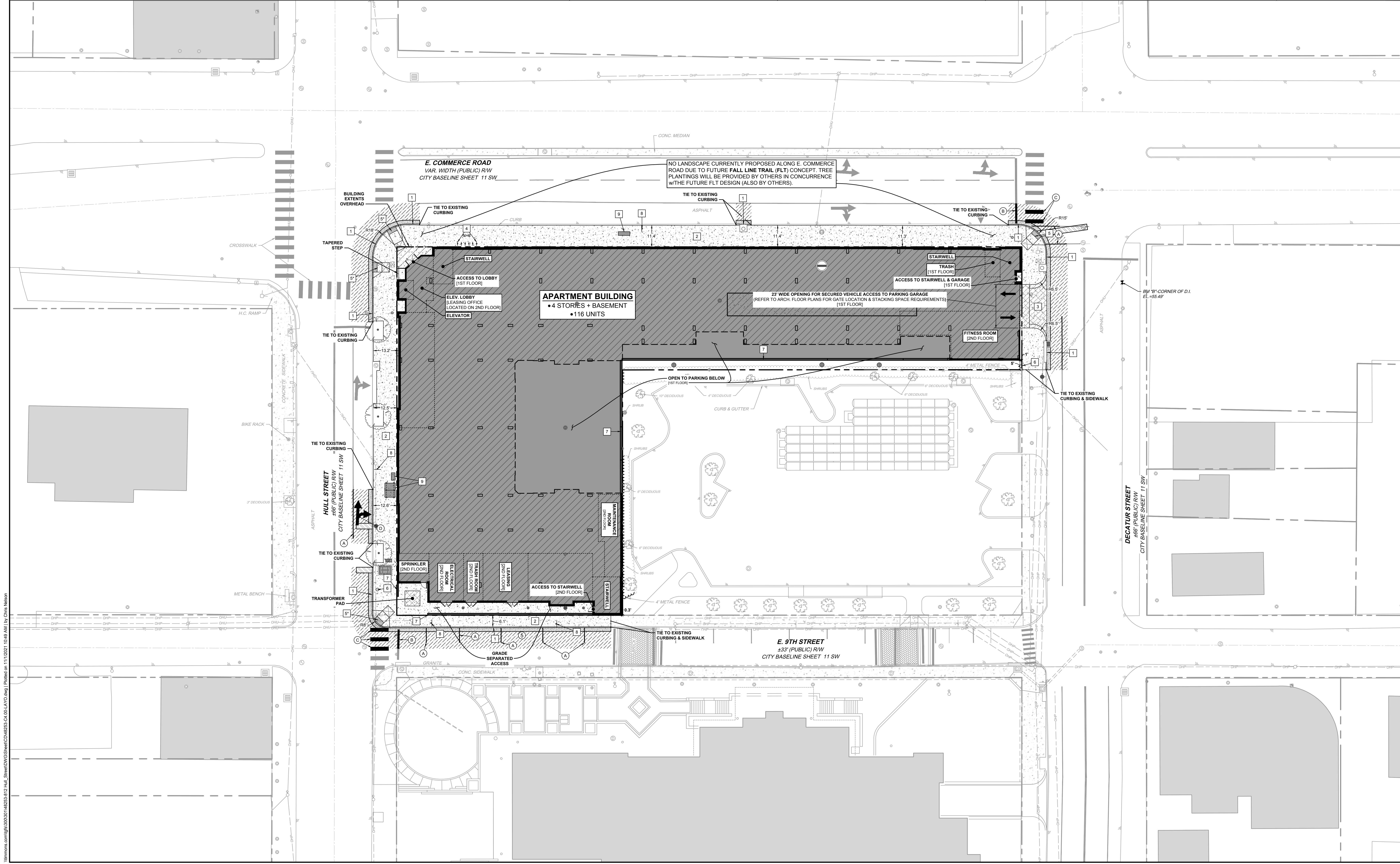
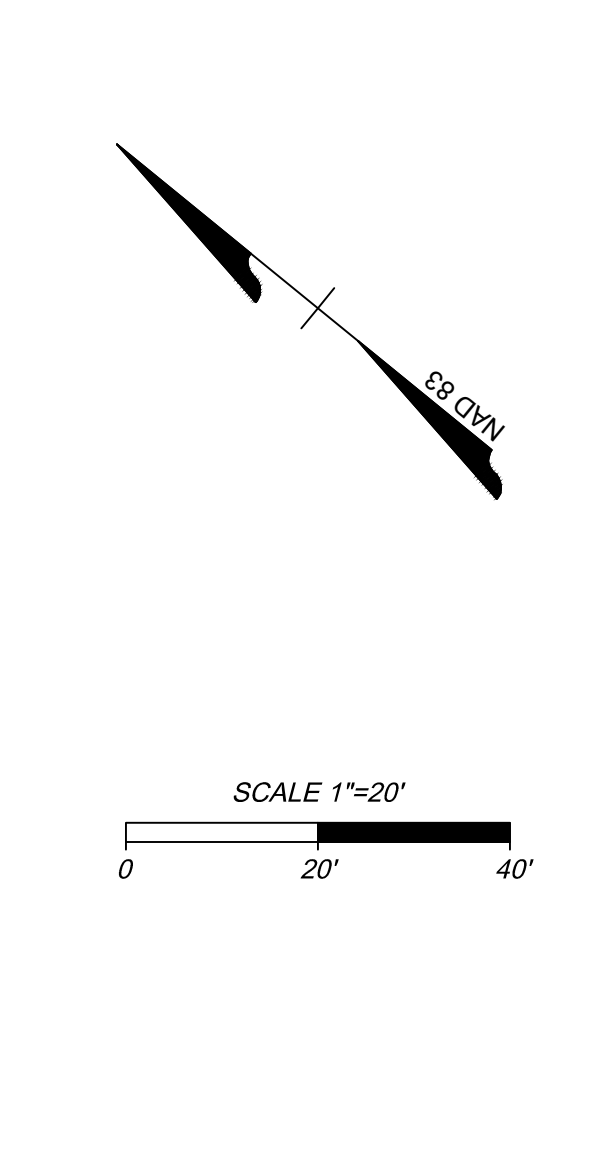
(A)	4" SINGLE WHITE LINE
(B)	1" SINGLE WHITE LINE
(C)	2' CROSSWALK STRIPING (5" LINE, 4" SPACING, ON CENTER)
(D)	WHITE "THROUGH / RIGHT TURN" ARROW

SITE LAYOUT NOTE KEY

1	6" CONCRETE CURB (COR STD. RGM-CD-01)
2	COR CONCRETE SIDEWALK (COR STD. RGM-CD-04)
3	OVER-THE-SIDEWALK URBAN STYLE ENTRANCE APRON (VDOT MOD. CG-9D)
4	BIKE RACK FOR SHORT TERM BICYCLE STORAGE (N = # OF RACKS)
5	ADA ACCESS RAMP W/TRUNCATED DOME WARNING SURFACE (VDOT CG-12, TYPE "A")
6	ADA ACCESS RAMP W/TRUNCATED DOME WARNING SURFACE (VDOT CG-12, TYPE "A") (PART OF THE "HULL STREET STREETScape IMPROVEMENTS" PROJECT)
7	PET WASTE STATION
8	STRUCTURAL RETAINING WALL (REFER TO STRUCTURAL PLANS)
9	RELOCATED ROAD SIGNS
9	RELOCATED BUS STOP SHELTER / BENCH

LAYOUT HATCH LEGEND

[Hatched Pattern]	EXTENTS OF BUILDING AT GRADE (REFER TO ARCH. PLANS)	[Hatched Pattern]	CONCRETE SIDEWALK PAVEMENT SECTION
[Hatched Pattern]	EXTENTS OF BUILDING OVERHEAD (REFER TO ARCH. PLANS)	[Hatched Pattern]	HEAVY DUTY CONCRETE PAVEMENT SECTION
[Hatched Pattern]	HEAVY DUTY ASPHALT PAVEMENT SECTION	[Hatched Pattern]	MILL & OVERLAY PAVEMENT SECTION
[Hatched Pattern]		[Hatched Pattern]	TRENCH CUT RESTORATION FOR GENERAL UTILITY STREET WORK SECTION



PROFESSIONAL ENGINEER
 AMELIA C. WEHUNT
 Lic. No. 049325
 10-29-2021

POD SUBMITTAL
 NOT FOR CONSTRUCTION

THIS DRAWING PREPARED AT THE
CORPORATE OFFICE
 1001 Boulders Parkway, Suite 300 | Richmond, VA 23225
 TEL 804-200-6500 FAX 804-560-1016 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
10/29/2021	REVISED PER COR COMMENTS 2nd POD SUBMITTAL
08/27/2021	

DESIGNED BY
C. NELSON

CHECKED BY
A. WEHUNT

SCALE
1" = 20'

TIMMONS GROUP

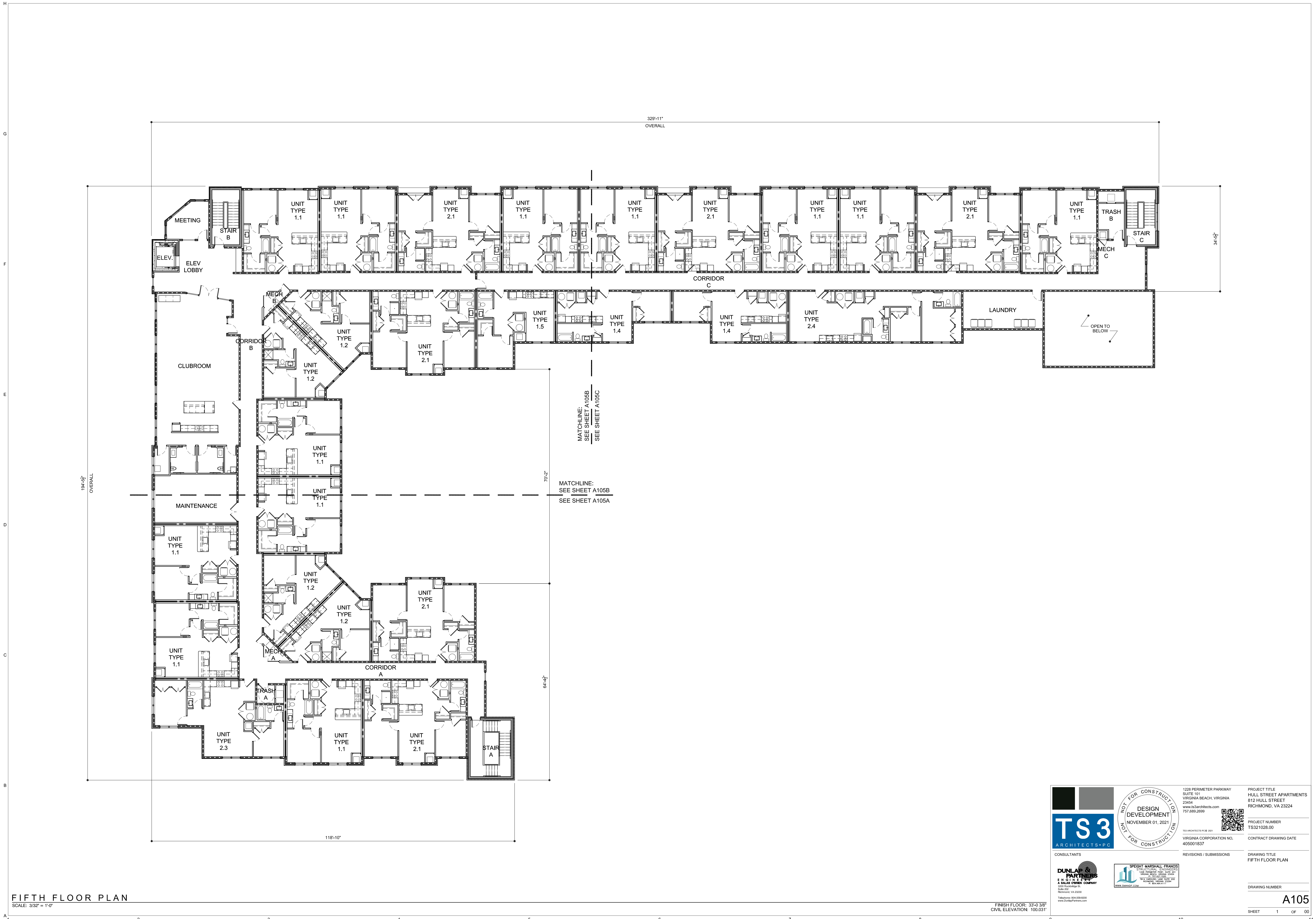
812 HULL STREET
 OLD SOUTH DISTRICT - CITY OF RICHMOND - VIRGINIA

SITE LAYOUT PLAN

JOB NO.
48253

SHEET NO.
C4.00

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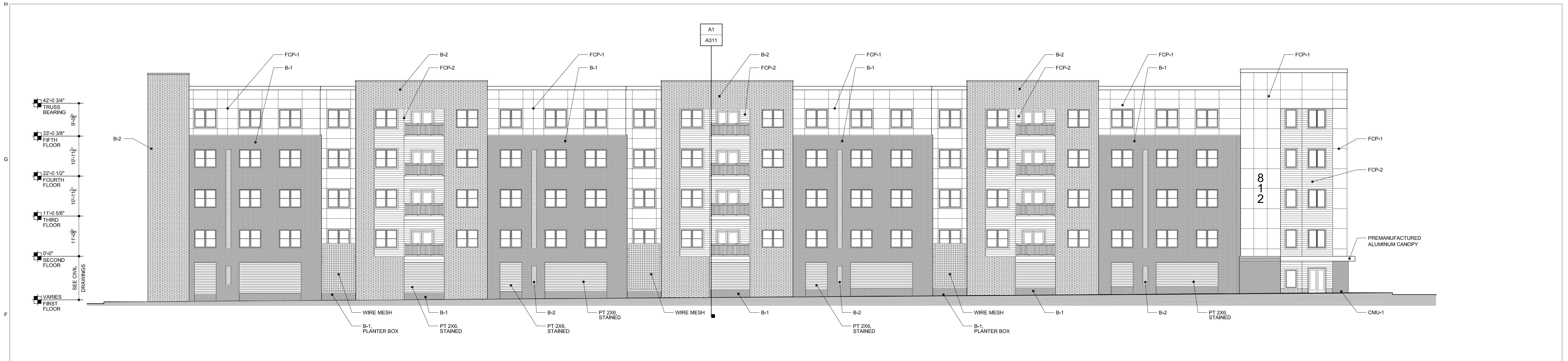


FIFTH FLOOR PLAN

SCALE: 3/32" = 1'-0"

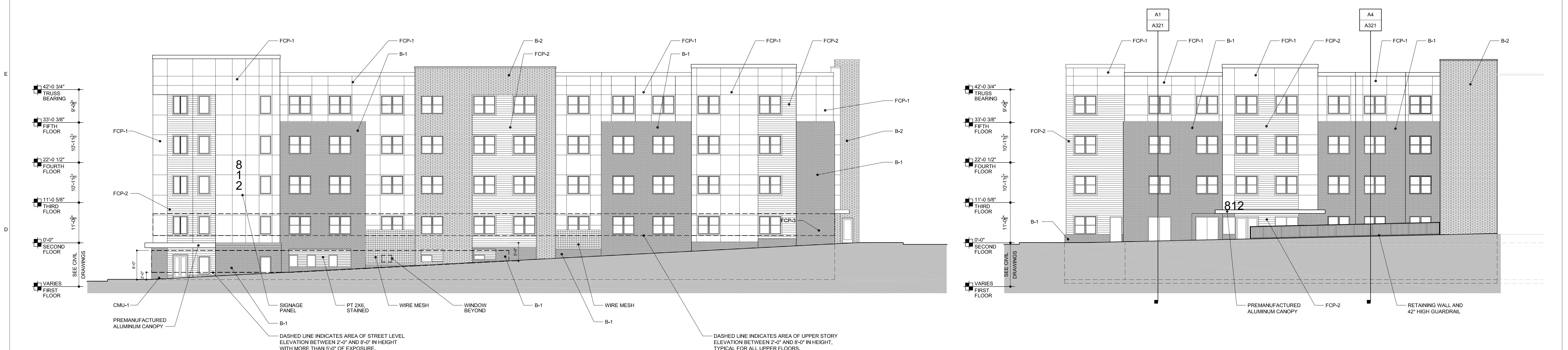
FINISH FLOOR: 33'-0 3/8"
CIVIL ELEVATION: 100.031'

		1228 PERIMETER PARKWAY SUITE 101 VIRGINIA BEACH, VIRGINIA 23454 www.ts3architects.com 757.689.2899	PROJECT TITLE HULL STREET APARTMENTS 512 HULL STREET RICHMOND, VA 23224
		100 AREA 101010 P10-B-300 VIRGINIA CORPORATION NO. 405001837	PROJECT NUMBER TS321028.00 CONTRACT DRAWING DATE
CONSULTANTS 	REVISIONS / SUBMISSIONS	DRAWING TITLE FIFTH FLOOR PLAN	DRAWING NUMBER A105
		SHEET 1 OF 00	



F1 NORTH ELEVATION
A201 SCALE: 3/32" = 1'-0"

NORTHEAST ELEVATION ALONG E. COMMERCE ROAD



C1 WEST ELEVATION
A201 SCALE: 3/32" = 1'-0"

C7 SOUTH ELEVATION
A201 SCALE: 3/32" = 1'-0"

NORTHWEST ELEVATION ALONG HULL STREET

SOUTHWEST ELEVATION ALONG E. 9TH STREET

EXTERIOR FINISH LEGEND:

ITEM	DESCRIPTION	ITEM	DESCRIPTION	ITEM	DESCRIPTION	ITEM	DESCRIPTION				
UNIT MASONRY : 04 20 00				FIBER CEMENT SIDING : 07 46 26							
B-1	BRICK VENEER COLOR: 318 BURGUNDY SIZE: MODULAR MORTAR COLOR: RIVERSTONE WR2380 JOINT: CONCAVE	FCP-1	FIBER CEMENT PANEL TEXTURE - SMOOTH SIZE: 4' X 8' X 5/16" COLOR: ARCTIC WHITE	MANUFACTURED GUTTERS AND DOWNSPOUTS : 07 71 23							
B-2	BRICK VENEER COLOR: WIS665 DUSTY GREY SIZE: 4"X4"X16" MORTAR COLOR: RIVERSTONE WR2380 JOINT: CONCAVE	FCP-2	FIBER CEMENT LAP SIDING TEXTURE - CEDARMILL SIZE: 5 1/4" WIDTH, 4" EXPOSURE COLOR: CEDAR	ROOF SPECIALTIES : 07 71 00							
METAL FABRICATIONS : 05 50 00				FCP-3	FIBER CEMENT LAP SIDING TEXTURE - SMOOTH SIZE: 5 1/4" WIDTH, 7" EXPOSURE COLOR: KHAKI BROWN	PREMANUFACTURED ALUMINUM CANOPY : 10 73 16					
EXPOSED GALVANIZED STEEL LINTELS PAINT TO MATCH BRICK				INSIDE AND OUTSIDE CORNERS: FRY REGLET REVEALS TYPICAL ALL FIBER CEMENT SIDING COLOR: TO MATCH SIDING				JOINT SEALANTS : 07 92 00			
WOOD DECKING : 06 15 00				SUPER LUMIDECK COLOR: WHITE EDGE PROFILE: 8" C-CHANNEL				FIBERGLASS DOORS : 08 16 13			
SPECIES: SOUTHERN YELLOW PINE (PT) SIZE: 2 X 6 SEALER/STAIN: TWP-100 - 101 CEDARTONE LOCATION: PARKING GARAGE SCREENS				BRICK VENEER MATCH MORTAR WINDOW SYSTEM MATCH WINDOW SYSTEM				UNIT ENTRY DOORS PRODUCT: BELLEVILLE - 2 PANEL - SQUARE SMOOTH - 20 MINUTE RATED ENTRY DOOR COLOR: WHITE ELEC. / SPRINKLER / MECHANICAL ROOM DOORS PRODUCT: BELLEVILLE - FLUSH SMOOTH COLOR: PAINTED TO MATCH SIDING			
				VINYL WINDOWS : 08 53 13				GATES AND FENCES : 32 31 00			
				SINGLE HUNG, 4300 SERIES COLOR: WHITE ENERGY STAR LABELED				3" X 3" WELDED GALVANIZED SQUARE MESH			

BUILDING FACADE FENESTRATION		SEC. 30-444.8
HULL STREET:		
STREET LEVEL STORY DWELLING USE		
REQUIRED	496 SF x 15% = 74.4 SF	
PROVIDED	112 SF	
UPPER STORY DWELLING USE		
REQUIRED	1124 SF x 30% = 337 SF	
PROVIDED	801 SF	

CONSULTANTS

E N O I A R C H I T E C T S

STRUCTURAL ENGINEERS

DESIGN DEVELOPMENT
NOVEMBER 01, 2021

1228 PERIMETER PARKWAY
SUITE 101
VIRGINIA BEACH, VIRGINIA
23454
757.689.2899

PROJECT TITLE
HULL STREET APARTMENTS
312 HULL STREET
RICHMOND, VA 23224

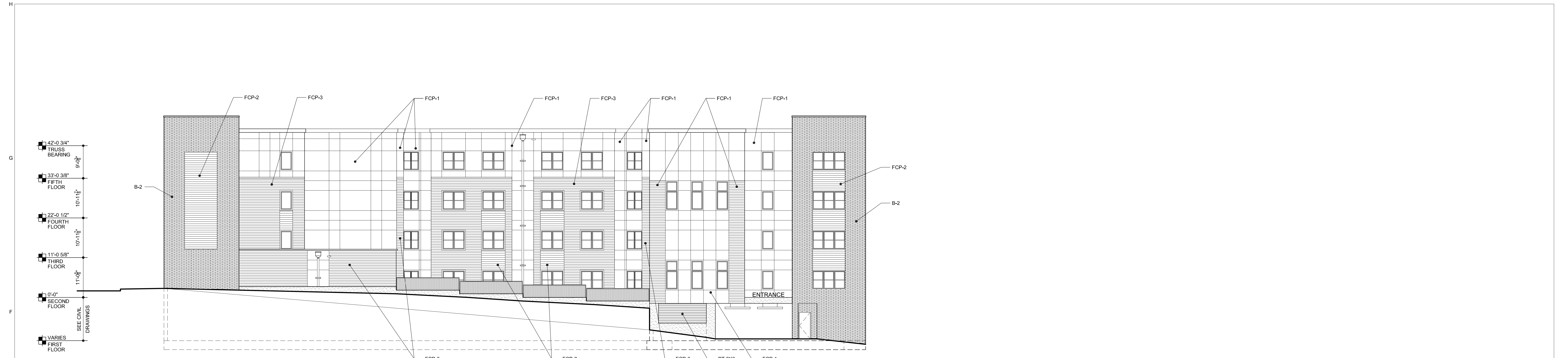
PROJECT NUMBER
TS321028.00

CONTRACT DRAWING DATE

REVISIONS / SUBMISSIONS

DRAWING TITLE
EXTERIOR ELEVATIONS

DRAWING NUMBER
A201



F1 EAST ELEVATION
A202 SCALE: 3/32" = 1'-0"

SOUTHEAST ELEVATION ALONG DECATUR STREET



C1 SOUTH ELEVATION
A202 SCALE: 3/32" = 1'-0"

SOUTHWEST ELEVATION AT INTERIOR COURT

C3 ELEVATION
A202 SCALE: 3/32" = 1'-0"

AT INTERIOR COURT

C5 NORTH ELEVATION
A202 SCALE: 3/32" = 1'-0"

NORTHEAST ELEVATION AT ADJACENT PARKING LOT

		1228 PERIMETER PARKWAY SUITE 101 VIRGINIA BEACH, VIRGINIA 23454 www.ts3architects.com 757.689.2899	PROJECT TITLE HULL STREET APARTMENTS 312 HULL STREET RICHMOND, VA 23224
		VIRGINIA CORPORATION NO. 405001837	PROJECT NUMBER TS321028.00 CONTRACT DRAWING DATE
CONSULTANTS 	REVISIONS / SUBMISSIONS	DRAWING TITLE EXTERIOR ELEVATIONS DRAWING NUMBER A202 SHEET 1 OF 00	



COMMENT LETTER #1

DATE: 10/1/21	APPLICATION INFORMATION
APPLICANT:	Amelia Wehunt
APPLICANT ADDRESS:	1001 Boulders Pkwy, Suite 300
APPLICATION TYPE:	POD
PROPERTY ADDRESS:	812 Hull Street
PARCEL ID #:	S000-0080/001,023, 010, 011
CASE #:	POD-098045-2021

PROPERTY INFORMATION:	
CURRENT ZONING:	B-6
PROPOSED ZONING:	B-6
CURRENT USE:	Vacant
PROPOSED USE:	Multi-family
PROPERTY SQ. FT.:	36,861
PROPERTY ACREAGE:	0.846
PROPERTY NEIGHBORHOOD:	Manchester

RICHMOND 300 LAND USE RECOMMENDATIONS

Richmond 300 recommends a future land use of "Community Mixed Use" for the property. The development style recommended for Community Mixed Use is development that generally complements the existing context with continuance or enhancement of the gridded street pattern to increase connectivity. The intensity recommended for Community Mixed Use is two to six story buildings, based on street widths and depending on the historic context and stepping down in height adjacent to residential areas, as necessary. New buildings that are taller than historic buildings should stepback from the build to line after matching the height of the predominant cornice line of the block. Ground floor uses should engage and enliven the street, with windows, doors, storefronts and other features that allow transparency and interaction between the building and the street. The primary uses recommended for Community Mixed Use are retail/office/personal service, multi-family residential, cultural, and open space. Pedestrian, bicycle, and transit access must be prioritized and bike parking should be provided.

The property also falls within the Downtown-Manchester Priority Growth Node. This section of the plan provides more specific guidance, including (p. 34):

- A variety of housing options in Manchester are available to low-, moderate-, and high-income individuals.
- Develop a corridor plan for Commerce Road with recommendations on how to transform the road into a Great Street with amenities such as buildings addressing the street, a greenway (the Ashland to Petersburg Trail), street trees, underground utilities, lighting, and other amenities and encourage redevelopment and business growth (Goal 1, Goal 8, Goal 9).
- Implement design standards to create a high-quality, well-designed urban realm, including elements such as street lights and exploring the creation of signature public art (Goal 4).

The portions of Hull Street and Commerce Road that abut the property are designated as both "Major Mixed-Use Streets" and "Great Streets" on the Great Streets and Street Typologies Map.

REVIEWING AGENCY	REVIEWER	CONTACT INFO	COMMENTS
LAND USE ADMINISTRATION/PDR ADMINISTRATION	Rich Saunders	646-5648 / Richard.Saunders@rva.gov	<ol style="list-style-type: none"> 1. Please coordinate streetscape improvements along Hull Street with Winston Phillips, who is managing the Hull Street Streetscape Improvement project. Winston.Phillips@rva.gov. 2. Please accommodate for the Fall Line Trail that is planned for the Commerce Road side of the project. See Typical "T" section at the end of comment letter that is planned for this portion of Commerce Road. 3. Please bury all overhead utilities along Commerce Road and Hull Street. This is an action strategy for great streets in Richmond 300. Objective 4.1, Action Strategy D in Richmond 300 is to "require sites with frontage on Great Streets to meet special design guidelines, such as burying power lines and the six design elements outlined in the Pulse Corridor Plan, to ensure buildings enhance and support the Great Street." 4. This is the most prominent corner in Manchester and is at the intersection of two major mixed-use and great streets. This corner must be activated with fenestration and a prominent corner entry feature (the stairwell should be moved). See example of prominent corner entry at Main2525 Apartments (2525 E Main Street). This is supported by Objective 4.1, Action Strategy D in Richmond 300. 5. CMU block is not an acceptable exterior material, particularly along the two great streets. This is supported by Objective 4.1, Action Strategy D in Richmond 300. 6. The long Commerce Road building frontage feels like a "dead" zone because of the parking level and selected mesh screening. If openings are required for the podium parking, a more attractive screening material that will provide for more visual interest along the street will be necessary. For local examples of visually interesting parking deck screening, check out the E Cary Street elevation of the Gateway Plaza Building (800 E Canal St) and the S 10th Street elevation of the Locks Tower (1001 E Byrd St). 7. The Hull Street elevation also needs to better activate that important street frontage. Elevated entrances directly into units from Hull Street with stoops or porches would help accomplish this, as would providing commercial storefronts. 8. Balconies should be provided for units. If this is not feasible, then shared useable outside space should be provided. 9. The building corner of Hull and Commerce should be brought in slightly to provide more room for pedestrians. This would also provide for a prominent entry into the main building lobby faces the corner.
DPU WATER	Jonathan Cosby	Jonathan.Cosby@rva.gov	<ol style="list-style-type: none"> 1) All callouts on the demolition plan referring to existing public utility services, hydrants, or meters shall indicate "BY DPU". 2) On Sheet C7.00 please remove the reference to PVC on the domestic water service line. 3) Please provide the domestic meter sizing form.

			4) Please provide hydrant testing, modelling, calculations which demonstrate that the existing water distribution system can support the proposed project.
FIRE DEPT	Tony Jones	Anthony.G.Jones@rva.gov	Please complete Fire Dept Checklist
URBAN FORESTRY	Janine Lester	Janine.Lester@rva.gov	Only 2 trees being removed from the ROW, the 3rd tree died. DBH is being (more than) replaced, and we are happy with the species, however, please do not underplant trees with ornamental grasses. Only trees and mulch in tree wells.
ZONING ADMINISTRATION	Brian Mercer	Brian.Mercer@rva.gov	Comments have not been provided as of the date of this letter. Comments received will be forwarded directly.
DPU-UTILITY REVIEW	Ilsen Gutierrez	Ilsen.Gutierrez@rva.gov	See attached marked up plan.
WATER RESOURCES	Saber Moazamigodarzi	Saber.Moazamigodarzi@rva.gov	See attached Water Resources comments.
DPW RIGHT OF WAY MGMT	Doug Mawby	Doug.Mawby@rva.gov	Comments have not been provided as of the date of this letter. Comments received will be forwarded directly.
PERMITS & INSPECTIONS	George Woodall	George.Woodall@rva.gov	Public restrooms must be accessible per Section 1109.2 VCC 2018 and Chapter 6 ICC/ANSI A117.1-2009. This includes restrooms in the Office and Fitness spaces on the 2nd Floor. Exits from Clubroom on 5th Floor must comply with Section 1007.1.1 VCC 2018. A building permit will be required for the proposed work, at which time a complete building code review will be done. Please note that Virginia adopted the VUSBC 2018 on July 1, 2021. Additional or revised plans may result in additional comments.
DPU STORM SEWER	Craig Pittman	Craig.Pittman@rva.gov	1. Revise the discharge calculations for the site to include the sanitary sewer flow and that total discharge from the site does not increase from existing conditions.
DPU CROSS CONNECTION	Lawrence Williams	Lawrence.Williams@rva.gov	Service line protection is required on all water services (propose or existing) to the facility. Please submit detail drawings with following information. Specifically, we need to see; <ul style="list-style-type: none"> • A set of the plumbing and fire sprinkler system plans. • A detailed drawing of the room where the water services enters the building showing all piping and drains. Plan and profile details of the backflow device need to show device type/make/model, clearance dimensions in relation to the floor, walls, drain piping, pipe sizes, valves, fittings, and pressure gauges etc.
DPU STREET LIGHTS	Garrick Bayton	Garrick.Bayton@rva.gov	Comments have not been provided as of the date of this letter. Comments received will be forwarded directly.
DPU SANITARY SEWER	James Kvaternik	James.Kvaternik@rva.gov	1. Please provide slopes on sanitary lateral on plan sheets. 2. Please provide sanitary flow calculations for the apartment building. 3. City may run sanitary model to ensure existing sanitary system has capacity and no overflows occur.
SECTION 106 REVIEW	Alex Dandridge	Alex.Dandridge@rva.gov	Projects receiving HUD funding require Section 106 review. Contact Planning and Preservation at 646-6335 for additional information.

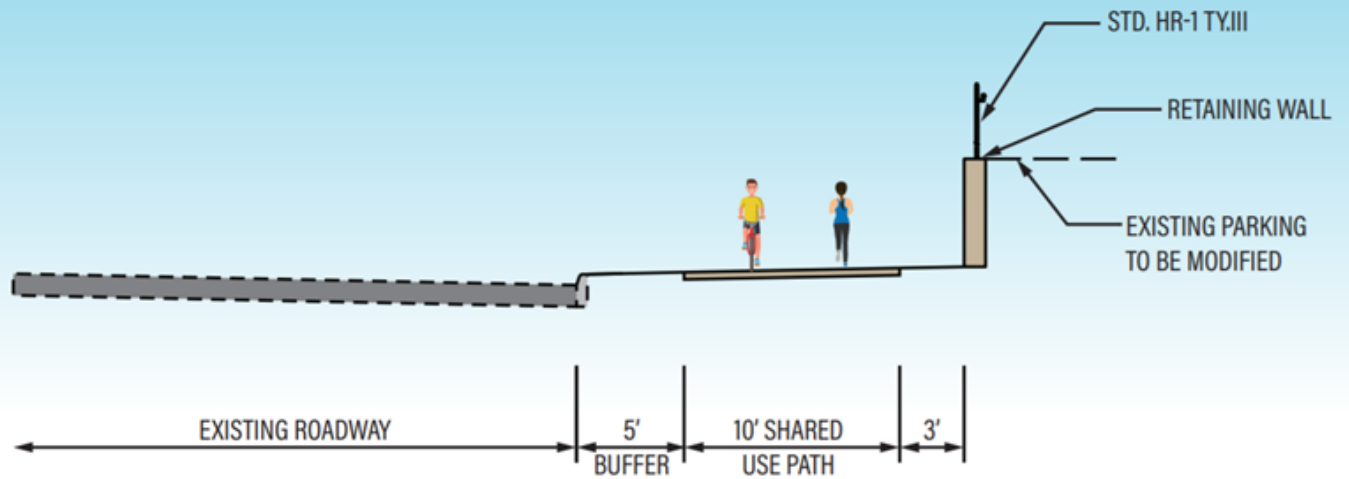
Please submit revised plans and a letter detailing your response or revisions to the plans. Be advised that these comments apply to the previously submitted plans. Any subsequent submissions will generate another review by the above-mentioned agencies, and all comments are subject to change. Should you have any questions or if you would like to schedule a meeting before resubmitting your proposal, please do not hesitate to contact me at 804-646-5648 or Richard.Saunders@rva.gov.

Sincerely,



Richard Saunders
Senior Planner

TYPICAL T



Note from Jake Helmboldt with DPW: The typical section for this block (Typical T) should work with their proposed development. The FLT concept calls for shifting the curb to widen the sidewalk and reducing the street cross section to two thru lanes. If their building face is at, or behind the location of the existing retaining wall, and there are no points of entry/exit then things should work. The main design consideration will need to be at the corner to ensure that their entrance works with the path traffic. If any landscaping is planned along the street then that will need to be accounted for with the cross section as well.

There is still a preference to set the building back approximately 5' from the property line for better

Property: 812 Hull St **Parcel ID:** S0000080001[Detail](#) [Land](#) [Assessments](#) [Transfers](#) [Planning](#) [Services](#) [Government](#) [Images](#) [Sketches](#)**Parcel****Street Address:** 812 Hull St Richmond, VA 23224-**Alternate Street Addresses:** 830 Hull St

: 828 Hull St

Owner: FRY J M COMPANY THE**Mailing Address:** P O BOX 7719, RICHMOND, VA 2323100000**Subdivision Name :** NONE**Parent Parcel ID:****Assessment Area:** 473 - Manchester**Property Class:** 401 - B Commercial Vacant Land**Zoning District:** B-6 - Business (Mixed Use)**Exemption Code:** -**Current Assessment****Effective Date:** 01/01/2021**Land Value:** \$540,000**Improvement Value:****Total Value:** \$540,000**Area Tax:** \$8**Special Assessment District:** None**Land Description****Parcel Square Feet:** 21594.5**Acreage:** 0.496**Property Description 1:** 0194.94X0070.00 IRG0000.000**State Plane Coords(?):** X= 11789995.500004 Y= 3715541.610114**Latitude:** 37.52267621 , **Longitude:** -77.44107649

[Map It!](#) [New Search](#)**Property:** 811 Decatur St **Parcel ID:** S0000080010[Detail](#) [Land](#) [Assessments](#) [Transfers](#) [Planning](#) [Services](#) [Government](#) [Images](#) [Sketches](#)**Parcel**

Street Address: 811 Decatur St Richmond, VA 23224-
Owner: FRY J M COMPANY THE
Mailing Address: P.O. BOX 7719, HENRICO, VA 23231
Subdivision Name : NONE
Parent Parcel ID:
Assessment Area: 473 - Manchester
Property Class: 401 - B Commercial Vacant Land
Zoning District: B-6 - Business (Mixed Use)
Exemption Code: -

Current Assessment

Effective Date: 01/01/2021
Land Value: \$77,000
Improvement Value:
Total Value: \$77,000
Area Tax: \$0
Special Assessment District: None

Land Description

Parcel Square Feet: 4298.25
Acreage: 0.099
Property Description 1: 0026.05X0165.00 0000.000
State Plane Coords(?): X= 11790162.499998 Y= 3715419.090197
Latitude: 37.52221331 , **Longitude:** -77.44054006

[Map It!](#) [New Search](#)**Property:** 813 Decatur St **Parcel ID:** S0000080011[Detail](#) [Land](#) [Assessments](#) [Transfers](#) [Planning](#) [Services](#) [Government](#) [Images](#) [Sketches](#)**Parcel****Street Address:** 813 Decatur St Richmond, VA 23224-**Owner:** FRY J M COMPANY**Mailing Address:** P.O. BOX 7719, HENRICO, VA 23231**Subdivision Name :** NONE**Parent Parcel ID:****Assessment Area:** 473 - Manchester**Property Class:** 401 - B Commercial Vacant Land**Zoning District:** B-6 - Business (Mixed Use)**Exemption Code:** -**Current Assessment****Effective Date:** 01/01/2021**Land Value:** \$129,000**Improvement Value:****Total Value:** \$129,000**Area Tax:** \$0**Special Assessment District:** None**Land Description****Parcel Square Feet:** 7177.5**Acreage:** 0.165**Property Description 1:** 0043.50X0165.00 0000.000**State Plane Coords(?):** X= 11790138.000002 Y= 3715398.117594**Latitude:** 37.52215647 , **Longitude:** -77.44062535

Property: 6 E 9th St **Parcel ID:** S0000080023[Detail](#) [Land](#) [Assessments](#) [Transfers](#) [Planning](#) [Services](#) [Government](#) [Images](#) [Sketches](#)**Parcel****Street Address:** 6 E 9th St Richmond, VA 23224-**Owner:** FRY J M COMPANY THE**Mailing Address:** P.O. BOX 7719, HENRICO, VA 23231**Subdivision Name :** NONE**Parent Parcel ID:****Assessment Area:** 473 - Manchester**Property Class:** 401 - B Commercial Vacant Land**Zoning District:** B-6 - Business (Mixed Use)**Exemption Code:** -**Current Assessment****Effective Date:** 01/01/2021**Land Value:** \$78,000**Improvement Value:****Total Value:** \$78,000**Area Tax:** \$0**Special Assessment District:** None**Land Description****Parcel Square Feet:** 4303.62**Acreage:** 0.099**Property Description 1:** 0050.00X0088.00 IRG0000.000**State Plane Coords (?):** X= 11789962.500001 Y= 3715453.167421**Latitude:** 37.52231306 , **Longitude:** -77.44122833



Revitalization Area

General Instructions

Revitalization areas are defined in Virginia Code §36-55.30:2.A.

Designation

To qualify for revitalization area points, select one of the following (and provide adequate documentation):

1. The development is located in a Qualified Census Tract, as defined by HUD. (10 points)
2. The development is located in a census tract wherein 70% or more of the families have incomes which are \leq 80% statewide median income. **NOTE:** These census tracts are included in the definition of target area for single-family purposes, but do not include ACEDS. (10 points)
3. The development is located in an already established redevelopment area, conservation area or rehabilitation district created by a city or county, pursuant to §36-1 et seq. Documentation must show area boundaries and support that the development lies within those boundaries. (10 points)
4. The development is located in a Housing Rehabilitation Zone established through an ordinance created by a city, county or town pursuant to §36-55.64. Documentation must include a copy of the ordinance with support that the development lies within the Rehabilitation Zone. (15 points)
5. The development is located in a defined revitalization area. Documentation must include a resolution from the locality supporting the development's location within the revitalization area. See language below. (15 points)

*The above-referenced development is located in a Revitalization Area in the Town/City/County of _____, Virginia. The revitalization area is (i) **either** (1) blighted, deteriorated, deteriorating or, if not rehabilitated, likely to deteriorate by reason that the buildings, improvements or other facilities in such area are subject to one or more of the following conditions- dilapidation, obsolescence, overcrowding, inadequate ventilation, light or sanitation, excessive land coverage, deleterious land use, or faulty or otherwise inadequate design, quality or condition, **or** (2) the industrial, commercial or other economic development of such area will benefit the city or county but such area lacks the housing needed to induce manufacturing, industrial, commercial, governmental, educational, entertainment, community development, healthcare or nonprofit enterprises or undertakings to locate or remain in such area; **and** (ii) private enterprise and investment are not reasonably expected, without assistance, to produce the construction or rehabilitation of decent, safe and sanitary housing and supporting facilities that will meet the needs of low and moderate income persons and families in such area and will induce other persons and families to live within such area and thereby create a desirable economic mix of residents in such area.*

Delete the language that does not apply, (i)(1) or (i)(2) above.

6. The development is located in a Qualified Opportunity Zone and has a binding commitment of funding. Documentation must include a firm commitment of funding from a Qualified Opportunity Fund (QOF). Evidence of the self-certification to become a QOF must be provided with the commitment for funding. (15 points)