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PROJECT TITLE  
**Canterbury Pavilions**  
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SEAL  
**PROGRESS PRINT**  
NOT FOR  
CONSTRUCTION

PROJECT NUMBER  
21449

DATE  
13 March 2015

DRAWN BY: CHECKED BY:

Table with 3 columns: NO., DATE, DESCRIPTION. Contains revision entries for the drawing.

SHEET TITLE  
**TITLE SHEET & PROJECT INFORMATION**

SHEET NUMBER

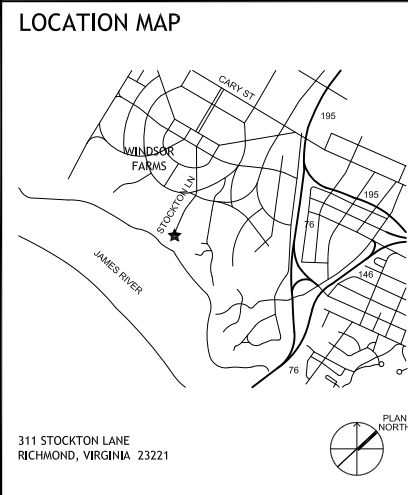
**T1.1**

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**GENERAL REQUIREMENTS**  
1. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND INSPECTIONS.  
2. BEFORE COMMENCING WORK, SUBMIT A COPY OF CONTRACTOR'S CONSTRUCTION SCHEDULE INCLUDING COMMENCEMENT AND COMPLETION DATES, AND REVIEW WITH OWNER ON-SITE WORK HOURS.  
3. VERIFY WITH OWNER LIMITS OF PROJECT SITE. DO NOT DISTURB AREAS BEYOND PROJECT SITE UNLESS APPROVED BY OWNER. KEEP DRIVEWAYS AND ENTRANCES SERVING PREMISES CLEAR AND AVAILABLE TO OWNER AND EMERGENCY VEHICLES AT ALL TIMES.  
4. OWNER WILL OCCUPY THE ADJACENT RESIDENCE DURING ENTIRE CONSTRUCTION PERIOD. COOPERATE WITH OWNER DURING CONSTRUCTION OPERATIONS TO MINIMIZE CONFLICTS AND FACILITATE OWNER USAGE OF AREAS ADJACENT TO PROJECT SITE. PERFORM WORK SO AS NOT TO INTERFERE WITH OWNER'S DAY-TO-DAY ACTIVITIES. MAINTAIN EXISTING EXITS UNLESS OTHERWISE INDICATED. NOTIFY OWNER NOT LESS THAN 48 HOURS IN ADVANCE OF ACTIVITIES THAT WILL AFFECT OWNER'S ACTIVITIES.  
5. COORDINATE REMOVAL OF DEMOLITION MATERIAL AND DELIVERY OF MATERIALS TO WORK AREA WITH OWNER.  
6. COORDINATE OPERATIONS THAT MAY RESULT IN HIGH LEVELS OF NOISE AND VIBRATION, ODORS, OR OTHER DISRUPTION TO OWNER OCCUPANCY WITH OWNER.  
7. PROTECT EXISTING EXTERIOR, INCLUDING BUT NOT LIMITED TO; SITE WALLS, DRIVEWAY AND ENTRY COURT, AND PLANTINGS.

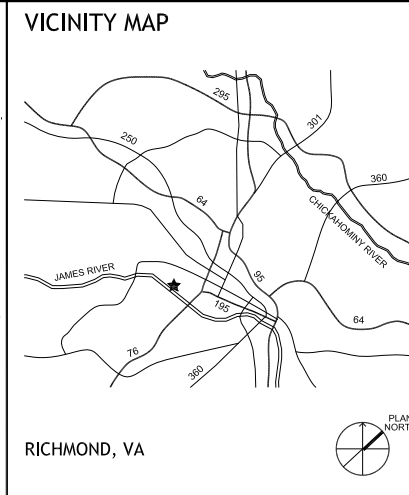
**SCOPE OF WORK**  
THE WORK OF THE PROJECT KNOWN AS CANTERBURY PAVILIONS ENCOMPASSES RENOVATIONS OF TWO PAVILIONS WITH A MINOR ADDITION AND A NEW OUTSIDE POOL WITH PERIMETER WALL AND EQUIPMENT ENCLOSURE.  
1. CARRY OUT SELECTIVE DEMOLITION AT EXISTING PAVILIONS AS INDICATED ON THE DRAWINGS INCLUDING BUT NOT LIMITED TO:  
A. INTERIOR WALLS, FLOORING AND FLOOR SYSTEM, CEILINGS, STAIR, PLUMBING, MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS FIXTURES AND EQUIPMENT  
B. EXTERIOR WALLS FOR NEW GARAGE AND POOL PAVILION DOORS  
C. ROOF, CORNICE, GUTTER AND DOWN SPOUTS AS NEEDED FOR NEW POOL PAVILION PORCH AND DORMER.  
D. TREE REMOVAL AT POOL DECK AREA, IF OWNER DESIRES REMOVAL  
2. SALVAGE AND REUSE EXISTING MATERIALS AS INDICATED ON DRAWINGS AND AS DIRECTED BY OWNER PRIOR TO DEMOLITION. ITEMS INCLUDING BUT NOT LIMITED TO:  
A. DECORATIVE IRON GATE ON NORTH SIDE OF POOL PAVILION.  
B. EXTERIOR MATERIALS: BRICK, SLATE ROOFING, COPPER DOWN SPOUTS  
C. EXTERIOR DOORS  
D. SAFE IN GARAGE PAVILION (SAFE TO REMAIN ON THE GARAGE PAVILION UPPER LEVEL DURING CONSTRUCTION)  
E. CAST IRON TUB SINKS  
ALL OTHER MATERIALS SHALL BE DISPOSED OF PROPERLY OFF SITE.  
3. INSTALL OWNER PROVIDED EQUIPMENT, APPLIANCES AND SPECIALTY ITEMS INCLUDED BUT NOT LIMITED TO:  
A. SAFES (2)  
B. KITCHEN APPLIANCES  
C. WASHER AND DRYER  
4. COORDINATE WITH OWNER'S DESIGNER / SUPPLIER FOR:  
A. POOL AND POOL COVER  
B. AV / DATA / SECURITY  
5. PROVIDE NEW FINISHES THROUGHOUT AREA OF WORK ACCORDING TO DRAWINGS.  
6. GARAGE PAVILION NEW CONSTRUCTION AND RENOVATION OF EXISTING STRUCTURE AS SHOWN ON DRAWINGS INCLUDING BUT NOT LIMITED TO:  
A. REPLACE AND RECONFIGURE MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS FIXTURES AND FITTINGS EXCEPT USE SALVAGED CAST IRON TUB SINKS NOTED BELOW  
B. LOWER LEVEL INTERIOR PARTITION AND FINISHES, RELOCATE EXISTING TUB SINK AND REPLACE WITH SALVAGED CAST IRON SINKS  
C. UPPER LEVEL INTERIOR WALLS, CEILINGS, FLOORING, DOORS, CABINETS, AND FINISHES  
D. GARAGE DOORS INCLUDING ALL STRUCTURAL MEMBERS AND MODIFICATION OF EXISTING EXTERIOR AND INTERIOR WALLS, GUTTERS AND DOWNSPOUTS  
E. CONFIRM EXISTING AND REPAIR OR REPLACE CODE REQUIRED SEPARATION BETWEEN THE LOWER LEVEL GARAGE AND UPPER LEVEL OCCUPIABLE SPACE  
F. REPLACE UPPER LEVEL WINDOW IN SOUTH EAST CORNER (WHERE WINDOW AC UNIT WAS INSTALLED TO MATCH REMAINING EXISTING WINDOWS  
G. RECONDITION REMAINING EXISTING WINDOWS AND RETURN TO OPERABLE CONDITION  
H. REPAIR EXISTING BRICK SURFACES AS NEEDED  
7. POOL PAVILION NEW CONSTRUCTION AND RENOVATION OF EXISTING STRUCTURE AS SHOWN ON DRAWINGS INCLUDING BUT NOT LIMITED TO:  
A. REPLACE AND RECONFIGURE MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS FIXTURES AND FITTINGS  
B. FLOATING SLAB FLOOR  
C. INTERIOR WALLS, CEILINGS, FLOORING, DOORS, CABINETS, FINISHES  
D. COVERED PORCH INCLUDING ALL STRUCTURAL MEMBERS AND MODIFICATION OF EXISTING ROOF, CORNICE, FASCIA, SOFFITS, GUTTERS, DOWNSPOUTS, AND EXTERIOR WALLS  
E. REPAIR EXISTING BRICK SURFACES AS NEEDED  
F. EXTERIOR ITEMS TO BE RELOCATED AND INSTALLED AS INDICATED ON THE DRAWINGS INCLUDING BUT NOT LIMITED TO:  
I. GAS METER  
II. MECHANICAL EQUIPMENT  
III. HOSE BIB AND EXTERIOR RECEPTACLES

8. SITE WORK NEW CONSTRUCTION AS SHOWN ON DRAWINGS INCLUDING BUT NOT LIMITED TO:  
A. POOL, POOL DECK, POOL EQUIPMENT ENCLOSURE, OUTSIDE DOG WASH SHOWERS PERIMETER WALL WITH GATES, FOUNTAIN AND FIRE PIT  
B. SITE STAIR AND WALKWAYS



**DRAWING INDEX**  
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**ARCHITECTURAL**  
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A0.2 POOL PLAN  
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A1.2 GARAGE PAVILION OFFICE/INROOM PLAN & DEMO  
A1.3 POOL PAVILION PLAN & DEMOLITION PLAN  
A2.1 GARAGE PAVILION EXTERIOR ELEVATIONS  
A2.2 POOL PAVILION EXTERIOR ELEVATIONS  
A3.1 BUILDING & WALL SECTIONS  
A5.1 SITE DETAILS  
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A7.4 POOL PAVILION INTERIOR ELEVATIONS  
A8.1 GARAGE PAVILION UPPER LEVEL RCP  
A8.2 POOL PAVILION RCP

**PROJECT DATA**  
OWNER/APPLICANT STOCKTON, LLC  
APPLICABLE CODES 2012 VIRGINIA RESIDENTIAL CODE  
**BUILDING AREA\* - POOL PAVILION**  
FINISHED AREA 576 SQ FT  
UNFINISHED AREA (ATTIC)\*\* 105 SQ FT  
OPEN PORCH AREA 210 SQ FT  
TOTAL 891 SQ FT  
**BUILDING HEIGHT - POOL PAVILION**  
1 STORY - 22'  
**BUILDING AREA\* - GARAGE PAVILION**  
FINISHED AREA 517 SQ FT  
UNFINISHED AREA (ATTIC)\*\* 47 SQ FT  
GARAGE & WORKSHOP 702 SQ FT  
TOTAL 1,266 SQ FT  
\*BUILDING GROSS SQ FT TAKEN FROM INSIDE FINISH FACE OF EXTERIOR WALL  
\*\*GROSS SQ FT OF AREA 30 INCHES AND HIGHER  
**BUILDING HEIGHT - GARAGE PAVILION**  
2 STORY - 28'-6"

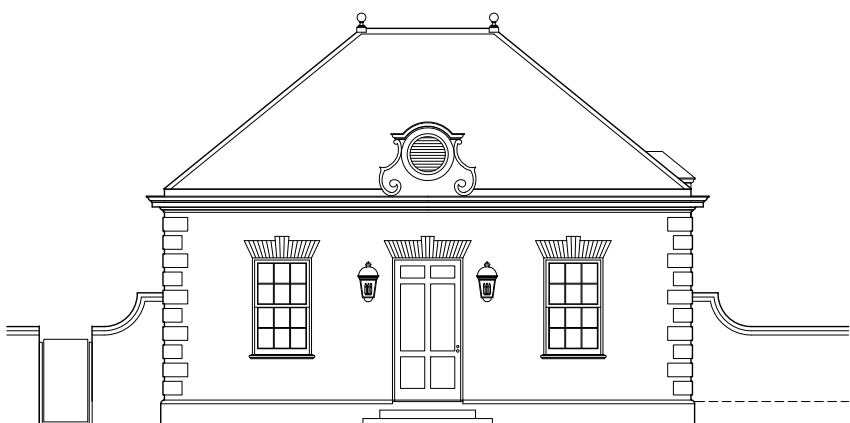


**SYMBOLS**  
DRAWING TITLE: TITLE LINE 1, TITLE LINE 2, SCALE: 1" = 1'-0", GRAPHIC BAR SCALE, DRAWING No./LETTER, DRAWING LOCATION, REFERENCE LOCATION  
COLUMN GRID: NO. AT VERTICAL GRID, LETTER AT HORIZONTAL GRID  
DIMENSIONS: DIMENSION TO WORK POINT, DIMENSION TO COMPONENT, DIMENSION TO GRIDLINE  
BUILDING SECTION: SECTION NUMBER, SECTION LOCATION, REFERENCE LOCATION  
WALL SECTION: SECTION NUMBER, SECTION LOCATION, REFERENCE LOCATION  
EXTERIOR ELEVATION: ELEVATION LETTER, ELEVATION LOCATION, REFERENCE LOCATION  
INTERIOR ELEVATION: ELEVATION TO BE SHOWN, ELEVATION LETTER, ELEVATION LOCATION, REFERENCE LOCATION  
DETAIL KEYS: DETAIL LETTER, DETAIL LOCATION, REFERENCE LOCATION  
ROOM NAME & No., DOOR NUMBER, WINDOW TYPE  
PARTITION TYPE, ELEVATION DATUM, PLAN DATUM  
CEILING HEIGHT, KEYNOTE, DATUM WORKPOINT  
NORTH ARROW, REVISION, MATCHLINE

**PROJECT TITLE**

# Addition & Renovations to CANTERBURY PAVILIONS

13 March 2015

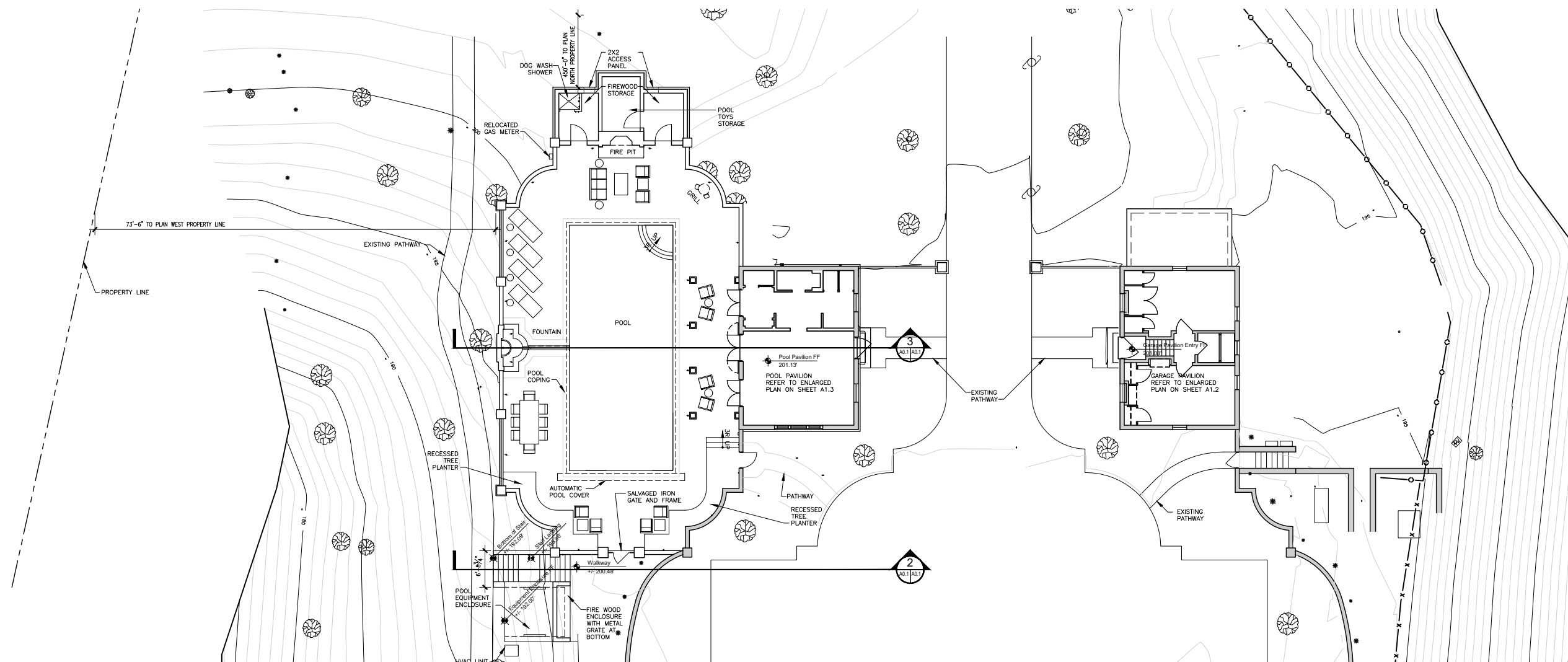


**MATERIALS**  
EARTH, GRAVEL, CONCRETE, CONCRETE MASONRY, BRICK, STONE, STEEL, ALUMINUM, BRASS/BRONZE, SAND/MORTAR/GYP, WOOD, PLYWOOD, BLOCKING, RIGID INSULATION, BATT INSULATION, GLASS (LARGE SCALE), CERAMIC TILE (LG), ACOUSTICAL TILE

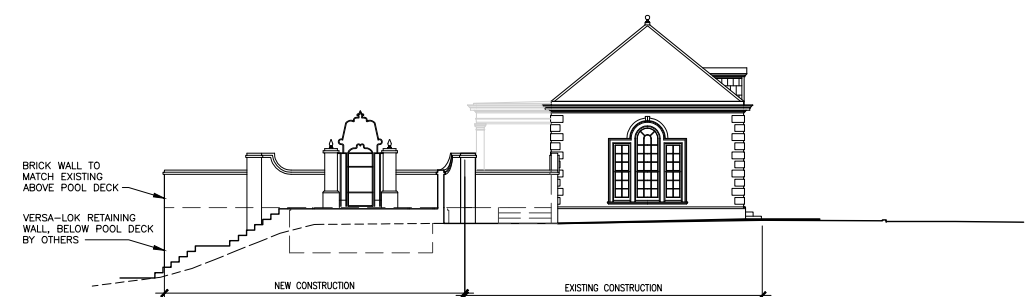
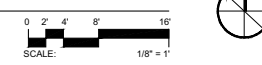
**ABBREVIATION LIST**  
A A/C AIR CONDITIONING  
APC ACOUSTICAL PANEL CEILING  
ATC ACOUSTICAL TILE CEILING  
ADJ ADJACENT, ADJUSTABLE  
AFF ABOVE FINISH FLOOR  
ALT ALTERNATE  
ALUM ALUMINUM  
APPROX APPROXIMATE  
AR AREA OF REFUGE  
ARCH ARCHITECTURAL  
AWC ACOUSTICAL WALLCOVERING  
AWP ACOUSTICAL WALL PANEL  
B BD BOARD  
BLDG BUILDING  
BLKG BLOCKING  
BRK BRICK  
BOT BOTTOM  
C CAB CABINET  
CEM CEMENT  
CP CAST IN PLACE  
CJ CONTRL JOINT  
CLG CEILING  
CLO CLOSET  
CMU CONCRETE MASONRY UNIT  
CO CASED OPENING  
COL COLUMN  
CONC CONCRETE  
D DD DECK DRAIN  
DIA DIAMETER  
DIAG DIAGONAL  
DIM DIMENSION  
DN DOWN  
DS DOWN SPOUT  
DWG(S) DRAWING(S)  
E E EAST  
EA EACH  
EJ EXPANSION JOINT  
EL ELEVATION  
ELEC ELECTRICAL  
ELEV ELEVATOR  
EMER EMERGENCY  
EPDM ETHYLENE PROPYLENE DIENE MONOMER  
EQ EQUAL  
EQUIP EQUIPMENT  
EXP EXPOSED  
EXIST EXISTING  
EXT EXTERIOR  
F FA FIRE ALARM  
FAB FABRIC  
FD FLOOR DRAIN, FIRE DAMPER  
FE FIRE EXTINGUISHER  
FEC FIRE EXTINGUISHER CABINET  
FHC FIRE HOSE CABINET  
G GA GLAZE  
GALV GALVANIZED  
GC GENERAL CONTRACTOR  
GYP GYPSUM  
GWB GYPSUM WALL BOARD  
H HC HOLLOW CORE  
HDW HARDWARE  
HWWD HARDWOOD  
HM HOLLOW METAL  
HOR HORIZONTAL  
HT HEIGHT  
HTG HEATING  
HVAC HEATING/VENTILATING/ AIR CONDITIONING  
I ID INSIDE DIAMETER  
INCL INCLUDE (ED), (ING)  
INSUL INSULATED, (ED), (ING), (ION)  
INT INTERIOR  
J JAN JANITOR  
JT JOINT  
K KIT KITCHEN  
KO KNOCK OUT  
L L LENGTH  
LAB LABORATORY  
M MAS MASONRY  
MATL MATERIAL  
MAX MAXIMUM  
MECH MECHANICAL  
MED MEDIUM  
MFR MANUFACTURER  
MIN MINIMUM  
MIR MIRROR  
MISC MISCELLANEOUS  
MLDG MOLDING  
MO MASONRY OPENING  
MTL METAL  
N N NORTH  
NIC NOT IN CONTRACT  
No., # NUMBER  
NTS NOT TO SCALE  
O OC ON CENTER  
OD OUTSIDE DIAMETER  
OPNG OPENING  
OPP OPPOSITE  
P PERF PERFORATED, (ED), (ION)  
PL PLATE  
PLAM PLASTIC LAMINATE  
PLAS PLASTER  
PLYWD PLYWOOD  
PNT PAINT  
PR PAIR  
PT POINT  
PTN PARTITION  
PVC POLYVINYL CHLORIDE  
R RAD RADIUS  
RB RUBBER BASE  
RCP REFLECTED CEILING PLAN  
REF REFER TO  
REF REFRIGERANT, (TOR)  
REINF REINFORCE, (ED), (ING)  
REQD REQUIRED  
RESIL RESILIENT  
REV REVISION  
RL RAIN LEADER  
RM ROOM  
RO ROUGH OPENING  
RUBBER TILE  
S S SOUTH  
SCHED SCHEDULE, (ED)  
SD STORM DRAIN  
SHT SHEET  
SHT SHEET  
SIM SIMILAR  
SQ SQUARE  
SS STAINLESS STEEL, SOLID SURFACE  
STD STANDARD  
STL STEEL  
STN STAIN(ED)  
T TAG TONGUE & GROOVE  
TBD TO BE DECIDED  
TEL TELEPHONE  
TERR TERRAZZO  
THK THICKNESS  
TOM TOP OF MASONRY  
TOS TOP OF STEEL  
TOW TOP OF WALL  
TV TELEVISION  
TYP TYPICAL  
U UNO UNLESS NOTED OTHERWISE  
V VCT VINYL COMPOSITION TILE  
VERT VERTICAL  
VF VERIFY IN FIELD  
VIN VINYL  
W W WEST, WIDE, WIDTH  
WI WITH  
WO WITHOUT  
WC WALLCOVERING, WATER-CLOSET  
WD WOOD  
WT WEIGHT

**MISC. SYMBOLS**  
E CENTERLINE  
# PROPERTYLINE  
ANGLE  
PERPENDICULAR  
DIAMETER

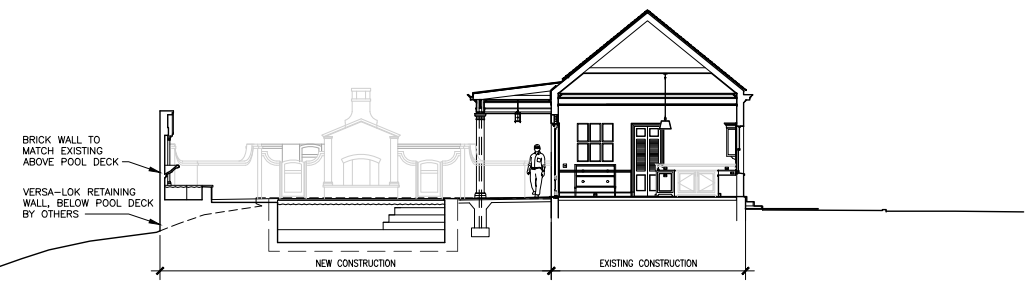
NO.	DATE	DESCRIPTION



**1 SITE PLAN**  
A1.0 A1.0 SCALE: 1/8" = 1'-0"

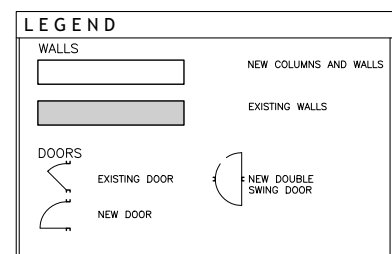


**2 SITE SECTION A**  
A0.1 A0.1 SCALE: 1/8" = 1'-0"



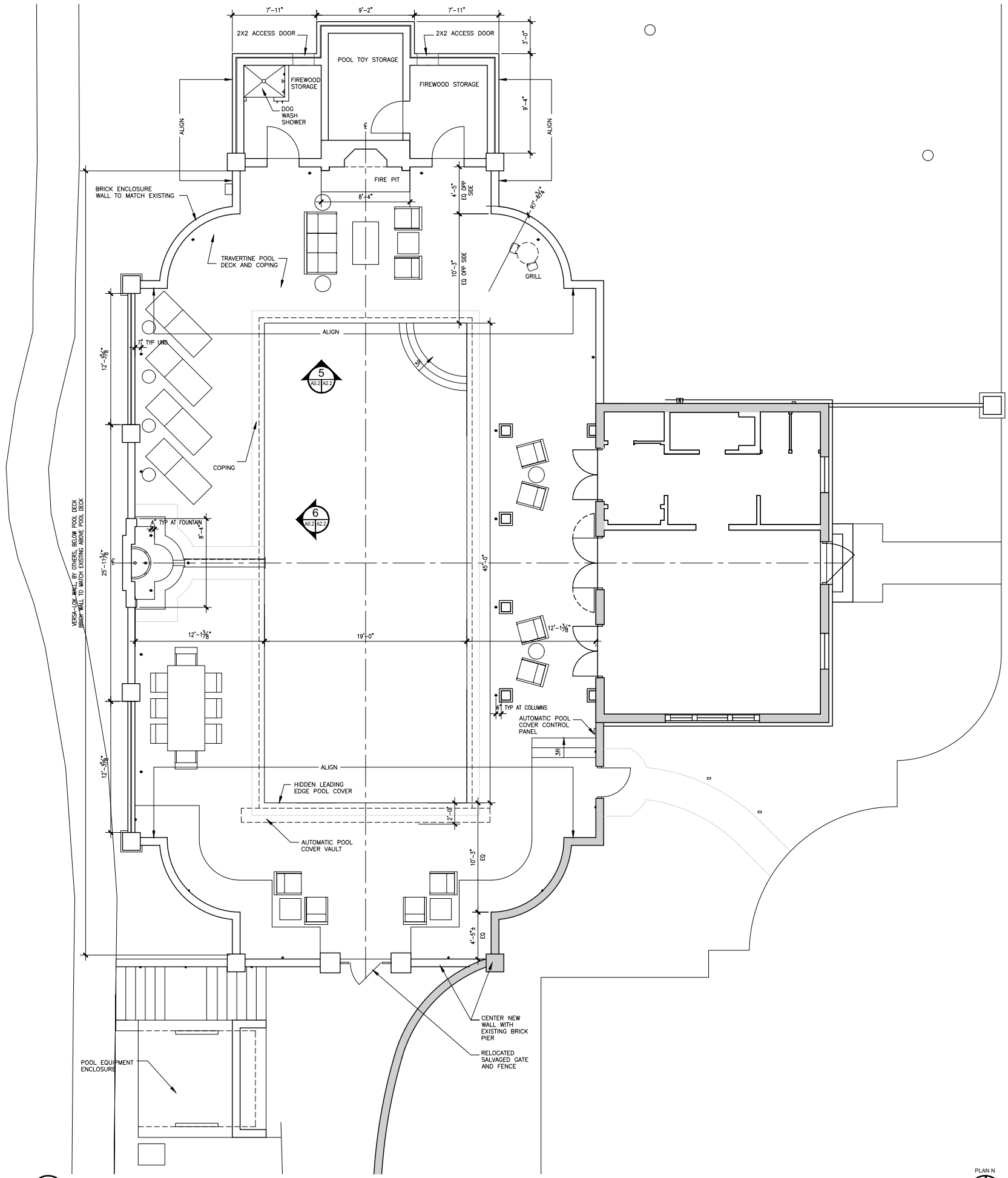
**3 SITE SECTION B**  
A0.1 A0.1 SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
- EXISTING ELEVATIONS AND TOPOGRAPHY BASE DRAWING TAKEN FROM OWNER SUPPLIED TOPOGRAPHICAL SURVEY.
  - COORDINATE REMOVAL OF EXISTING LANDSCAPE TREES, SHRUBS, ETC WITH OWNER.
  - POOL DECK SHOULD ALIGN WITH POOL PAVILION FINISH FLOOR COORDINATE WITH FLOOR FINISH SELECTION AND POOL DESIGNER/INSTALLER FOR DRAINAGE.



REVISIONS

NO.	DATE	DESCRIPTION



**ELECTRICAL SYMBOL LEGEND**

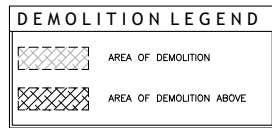
	2.49" DIMMABLE WIRELESS CONTROLLED IN-GROUND LED WASH LIGHT
	2.49" DIMMABLE WIRELESS CONTROLLED WALL MOUNT LED WASH LIGHT
	PATHWAY LIGHT TO MATCH EXISTING
	1/2" X 1/8" WIRELESS CONTROLLED LED STRIP LIGHT UNDER COPING
	DUPLEX OUTLET OUTDOOR WEATHER PROOF
	1"X4" FLUORESCENT UTILITY LIGHT

**LEGEND**

WALLS	
	NEW COLUMNS AND WALLS
	EXISTING WALLS
DOORS	
	EXISTING DOOR
	NEW DOOR
	NEW DOUBLE SWING DOOR

**1** POOL PLAN  
SCALE: 1/4" = 1'-0"





**DEMOLITION GENERAL NOTES**

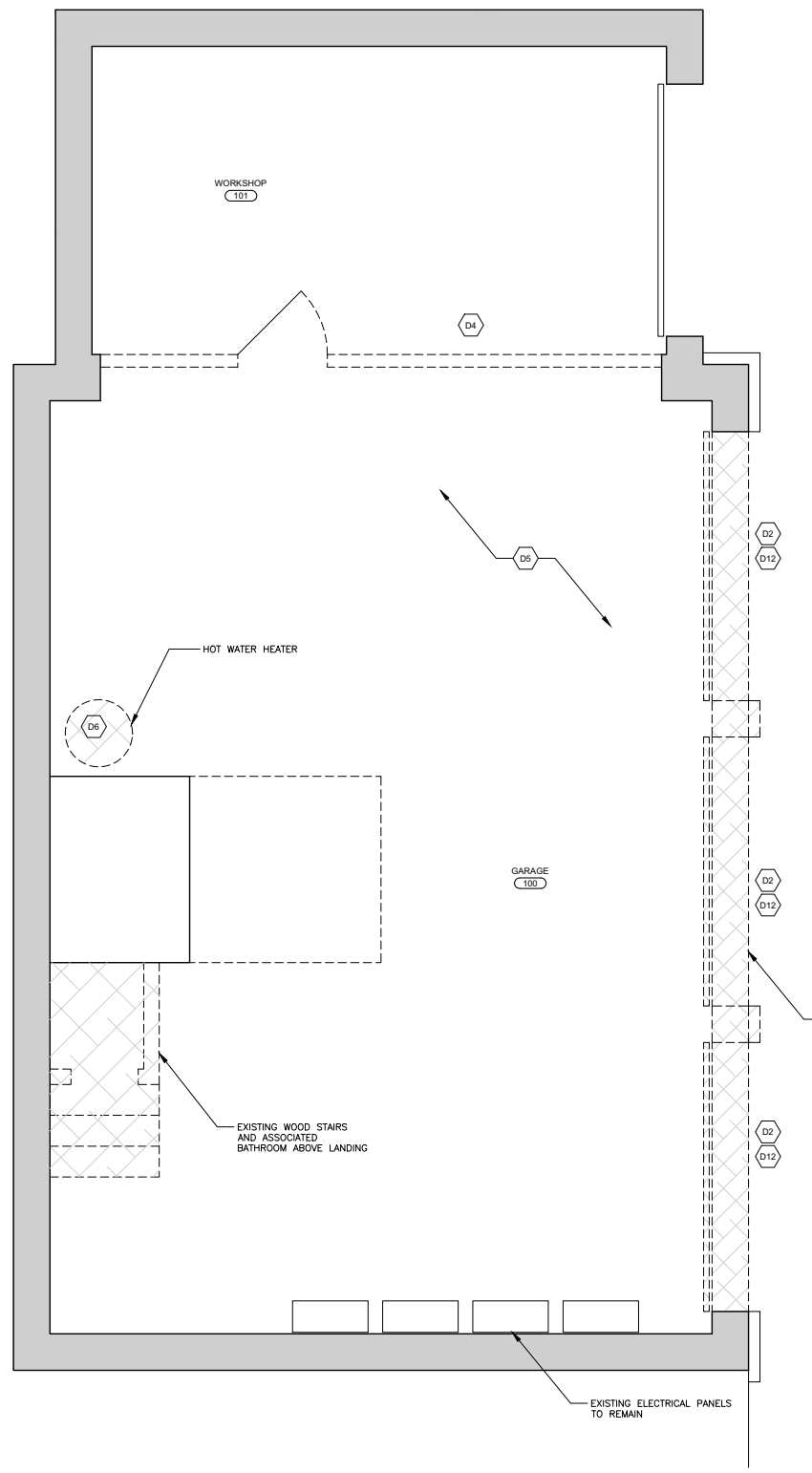
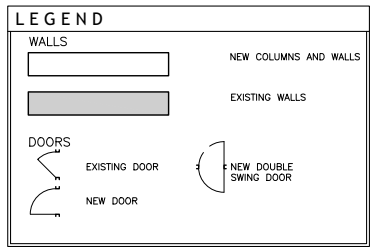
1. CONTRACTOR TO COORDINATE DEMOLITION WITH NEW WORK. REFER TO DEMOLITION KEY NOTES FOR ADDITIONAL REQUIREMENTS.
2. PERFORM SURVEY OF CONDITION OF BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE BUILDING DEMOLITION OPERATIONS.
3. PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM SELECTIVE DEMOLITION ACTIVITIES.
4. PROVIDE, AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
5. EXISTING SERVICES/SYSTEMS TO REMAIN: MAINTAIN SERVICES/SYSTEMS INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE.
6. EXISTING SERVICES/SYSTEMS TO BE REMOVED, RELOCATED, OR ABANDONED: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
7. EXISTING ITEMS TO REMAIN: PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION. WHEN PERMITTED BY ARCHITECT, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION DURING SELECTIVE DEMOLITION AND CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS AFTER SELECTIVE DEMOLITION OPERATIONS ARE COMPLETE.

**GENERAL NOTES**

1. THE CONTRACTOR SHALL CHECK, COORDINATE, AND VERIFY ALL DIMENSIONS AND CONSTRUCTION DETAILS BEFORE STARTING CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.
2. THESE PLANS DO NOT CONTAIN ALL INCIDENTAL DETAILS, CONNECTIONS, BEAMS, AND LOAD DISTRIBUTIONS NECESSARY TO COMPLETE THE WORK. NOTIFY THE ARCHITECT OF ANY UNFORESEEN STRUCTURAL CONDITIONS UNCOVERED DURING DEMOLITION.
3. THESE DRAWINGS SHOW AND DESCRIBE THE WORK TO BE PERFORMED. DRAWINGS SHALL BE CONSIDERED COMPLEMENTARY AND SHALL BE USED FOR THIS WORK ONLY AND ARE THE PROPERTY OF THE ARCHITECT.
4. THE DRAWINGS COMMUNICATE INFORMATION CONCERNING SIZES, LOCATIONS, RELATIONSHIPS, CONFIGURATIONS, AND OTHER SIMILAR ITEMS TO BE COORDINATED BY THE CONTRACTOR TO ATTAIN INTENDED RESULTS. THE DRAWINGS DO NOT CONTAIN EXPLICIT INFORMATION ON EVERY DETAIL OF CONSTRUCTION. SUBMIT QUESTIONS TO THE ARCHITECT IN WRITING.
5. STAIRS AS INDICATED USE ASSUMED GRADE ELEVATIONS BASED ON SURVEY INFORMATION PROVIDED BY THE OWNER. CONTRACTOR TO DETERMINE GRADE ELEVATION AT EACH STAIR LOCATION AND DETERMINE NUMBER OF RISERS TO COMPLY WITH APPLICABLE CODE REQUIREMENTS.
6. REPAIR/REFINISH DAMAGED EXISTING WALLS TO REMAIN.

**PLAN NOTES**

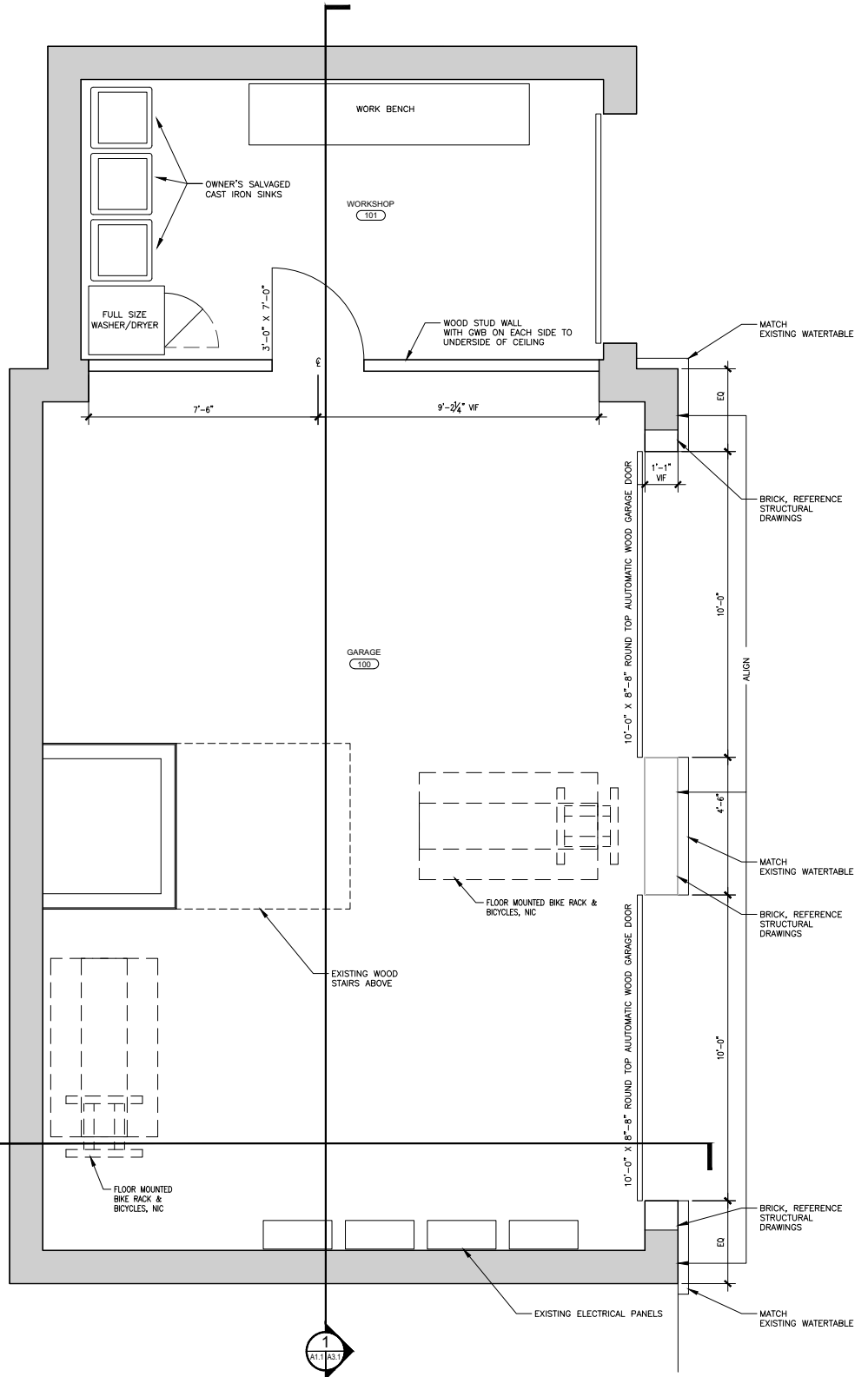
1. DIMENSIONS ARE TO FINISH FACE OF EXISTING AND NEW WALLS. DIMENSIONS TO COLUMNS ARE TO CENTER LINE OF ELEMENT, UNLESS NOTED OTHERWISE.
2. DIMENSIONS BETWEEN EXISTING ELEMENTS AND NEW ELEMENTS INDICATED ARE TO BE VERIFIED IN THE FIELD.



**2 GARAGE PAVILION GARAGE DEMOLITION PLAN**  
1/2" = 1'-0"

**DEMOLITION KEY NOTES**

- (D1) REMOVE DOORS AND WINDOWS. CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF MATERIALS.
- (D2) REMOVE AREA OF BRICK BUILDING WALL, REFER TO S1.2. VERIFY NEW OPENING HEIGHT AND WIDTH WITH DOOR MFR. CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF BRICK.
- (D3) REMOVE AREA OF BRICK PERIMETER WALL AND PIER. SALVAGE IRON GATE. CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF BRICK.
- (D4) REMOVE INTERIOR WALLS, AND ASSOCIATED TRIM. CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF MATERIALS.
- (D5) REMOVE CEILING AND FIXTURES.
- (D6) REMOVE ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS, FIXTURES AND FITTINGS NOT ASSOCIATED WITH THE NEW WORK. CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF MATERIALS.
- (D7) REMOVE FLOORING AND FLOOR SYSTEM AS SHOWN IN STRUCTURAL DRAWINGS. PREP AREA FOR NEW SLAB OR STAIR DEPENDING ON LOCATION.
- (D8) REMOVE EXISTING STAIR OR PORTION OF STAIR AND RAILINGS.
- (D9) REMOVE THRESHOLD AND SALVAGE FOR POSSIBLE REUSE.
- (D10) REMOVE EXISTING FINISH FLOOR MATERIAL, SUBSTRATE AND ADHESIVE.
- (D11) PATCH/REPAIR EXISTING BRICKWORK AS NEEDED OR AS REQUIRED DUE TO OTHER DEMOLITION. TOOTH-IN BRICK SO NEW MASONRY OPENINGS APPEAR LIKE ORIGINAL OPENINGS.
- (D12) RECONDITION EXISTING WINDOWS. RETURN ALL WINDOWS TO OPERATING CONDITION.
- (D13) RELOCATE GAS METER, SEE POOL PLAN A0.2 FOR LOCATION.
- (D14) REMOVE WALL ABOVE, ROOF AND CORNICE AS NEEDED FOR NEW DORMER. SEE A2.2 EXTERIOR ELEVATIONS FOR EXTENT.
- (D15) REMOVE BUMP OUT. PREP AREA FOR NEW FLOORING.



**1 GARAGE PAVILION GARAGE PLAN**  
1/2" = 1'-0"



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SEAL  
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13 March 2015

**DRAWN BY:** Init **CHECKED BY:** Init

**REVISIONS**

NO.	DATE	DESCRIPTION
1		

**SHEET TITLE**  
GARAGE PAVILION  
GARAGE PLAN  
& DEMO PLAN

**SHEET NUMBER**  
**A1.1**

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**DEMOLITION LEGEND**

	AREA OF DEMOLITION
	AREA OF DEMOLITION ABOVE

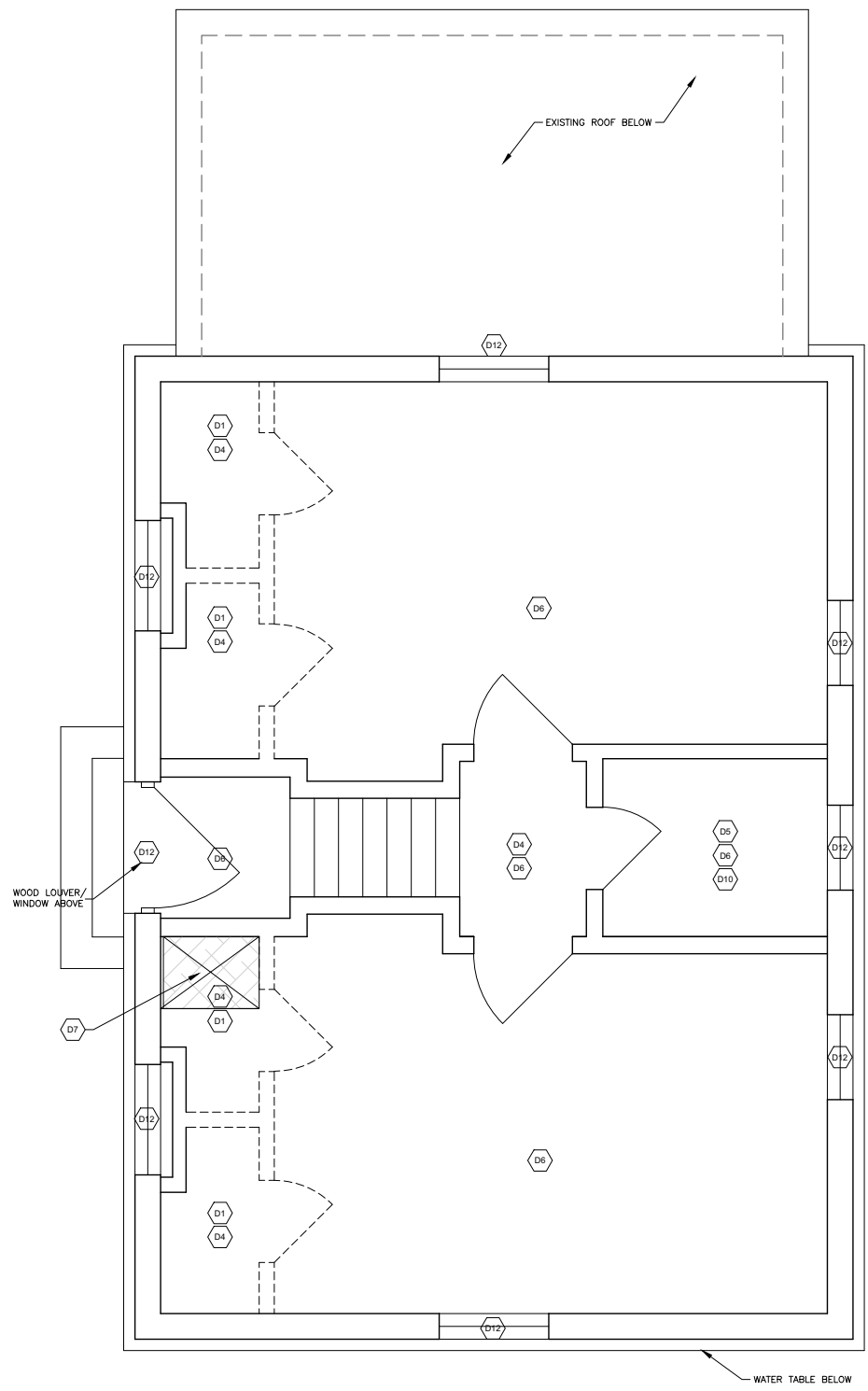
- DEMOLITION GENERAL NOTES**
1. CONTRACTOR TO COORDINATE DEMOLITION WITH NEW WORK. REFER TO DEMOLITION KEY NOTES FOR ADDITIONAL REQUIREMENTS.
  2. PERFORM SURVEY OF CONDITION OF BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF STRUCTURE OR ADJACENT STRUCTURES DURING SELECTIVE BUILDING DEMOLITION OPERATIONS.
  3. PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM SELECTIVE DEMOLITION ACTIVITIES.
  4. PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
  5. EXISTING SERVICES/SYSTEMS TO REMAIN: MAINTAIN SERVICES/SYSTEMS INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE.
  6. EXISTING SERVICES/SYSTEMS TO BE REMOVED, RELOCATED, OR ABANDONED: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
  7. EXISTING ITEMS TO REMAIN: PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION. WHEN PERMITTED BY ARCHITECT, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION DURING SELECTIVE DEMOLITION AND CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS AFTER SELECTIVE DEMOLITION OPERATIONS ARE COMPLETE.

- GENERAL NOTES**
1. THE CONTRACTOR SHALL CHECK, COORDINATE, AND VERIFY ALL DIMENSIONS AND CONSTRUCTION DETAILS BEFORE STARTING CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT.
  2. THESE PLANS DO NOT CONTAIN ALL INCIDENTAL DETAILS, CONNECTIONS, BEAMS, AND LOAD DISTRIBUTIONS NECESSARY TO COMPLETE THE WORK. NOTIFY THE ARCHITECT OF ANY UNFORESEEN STRUCTURAL CONDITIONS UNCOVERED DURING DEMOLITION.
  3. THESE DRAWINGS SHOW AND DESCRIBE THE WORK TO BE PERFORMED. DRAWINGS SHALL BE CONSIDERED COMPLEMENTARY AND SHALL BE USED FOR THIS WORK ONLY AND ARE THE PROPERTY OF THE ARCHITECT.
  4. THE DRAWINGS COMMUNICATE INFORMATION CONCERNING SIZES, LOCATIONS, RELATIONSHIPS, CONFIGURATIONS, AND OTHER SIMILAR ITEMS TO BE COORDINATED BY THE CONTRACTOR TO ATTAIN INTENDED RESULTS. THE DRAWINGS DO NOT CONTAIN EXPLICIT INFORMATION ON EVERY DETAIL OF CONSTRUCTION. SUBMIT QUESTIONS TO THE ARCHITECT IN WRITING.
  5. STAIRS AS INDICATED USE ASSUMED GRADE ELEVATIONS BASED ON SURVEY INFORMATION PROVIDED BY THE OWNER. CONTRACTOR TO DETERMINE GRADE ELEVATION AT EACH STAIR LOCATION AND DETERMINE NUMBER OF RISERS TO COMPLY WITH APPLICABLE CODE REQUIREMENTS.
  6. REPAIR/REFINISH DAMAGED EXISTING WALLS TO REMAIN.

- PLAN NOTES**
1. DIMENSIONS ARE TO FINISH FACE OF EXISTING AND NEW WALLS. DIMENSIONS TO COLUMNS ARE TO CENTER LINE OF ELEMENT, UNLESS NOTED OTHERWISE.
  2. DIMENSIONS BETWEEN EXISTING ELEMENTS AND NEW ELEMENTS INDICATED ARE TO BE VERIFIED IN THE FIELD.

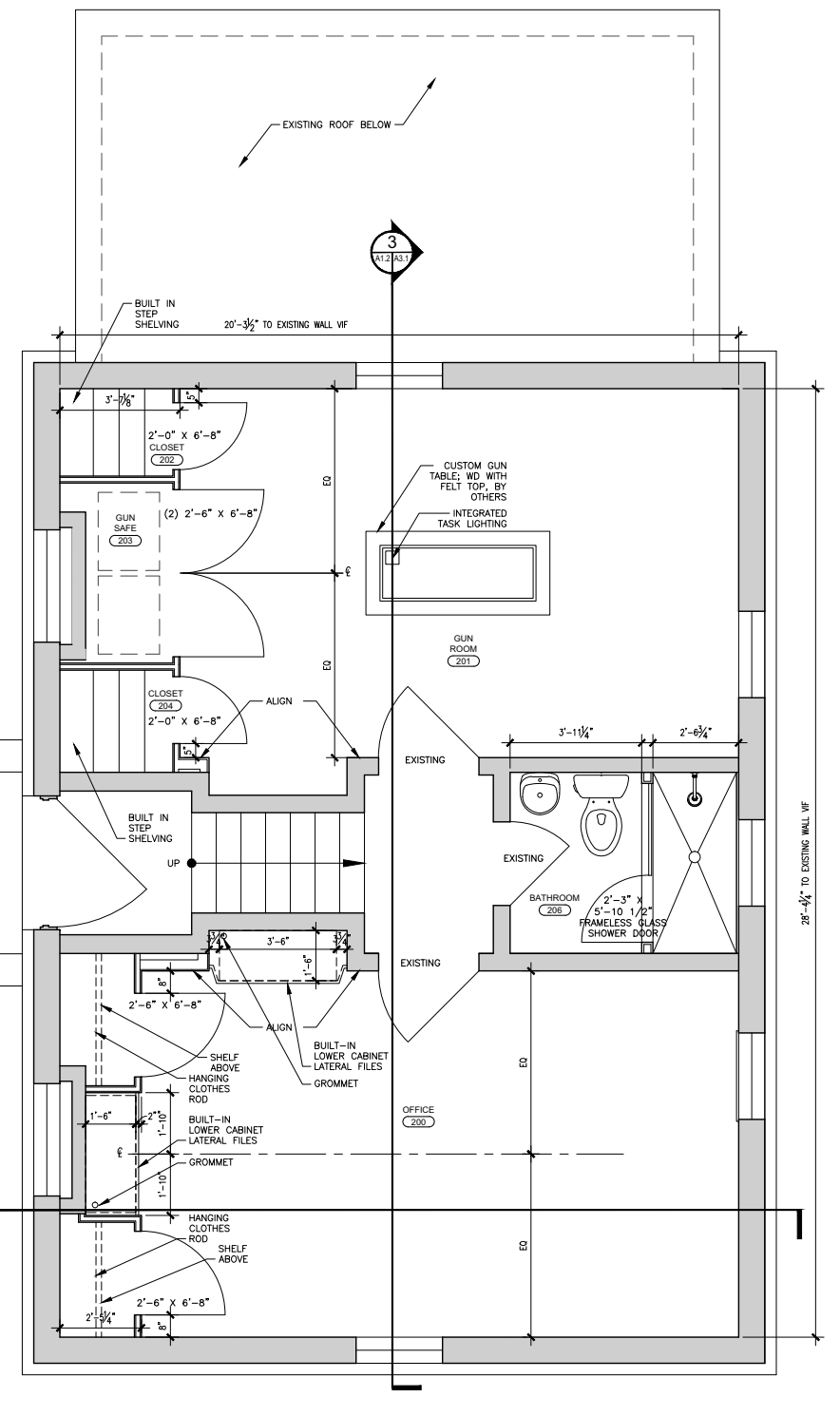
**LEGEND**

	NEW COLUMNS AND WALLS
	EXISTING WALLS
	EXISTING DOOR
	NEW DOOR
	NEW DOUBLE SWING DOOR



**2** GARAGE PAVILION OFFICE/GUNROOM DEMOLITION PLAN  
1/2" = 1'-0"

- DEMOLITION KEY NOTES**
- (D1) REMOVE DOORS AND WINDOWS. CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF MATERIALS.
  - (D2) REMOVE AREA OF BRICK BUILDING WALL, REFER TO S1.2. VERIFY NEW OPENING HEIGHT AND WIDTH WITH DOOR MFR, CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF BRICK.
  - (D3) REMOVE AREA OF BRICK PERIMETER WALL AND PIER. SALVAGE IRON GATE. CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF BRICK.
  - (D4) REMOVE INTERIOR WALLS, AND ASSOCIATED TRIM. CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF MATERIALS.
  - (D5) REMOVE CEILING AND FIXTURES.
  - (D6) REMOVE ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS, FIXTURES AND FITTINGS NOT ASSOCIATED WITH THE NEW WORK. CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF MATERIALS.
  - (D7) REMOVE FLOORING AND FLOOR SYSTEM AS SHOWN IN STRUCTURAL DRAWINGS. PREP AREA FOR NEW SLAB OR STAIR DEPENDING ON LOCATION.
  - (D8) REMOVE EXISTING STAIR OR PORTION OF STAIR AND RAILINGS.
  - (D9) REMOVE THRESHOLD AND SALVAGE FOR POSSIBLE REUSE.
  - (D10) REMOVE EXISTING FINISH FLOOR MATERIAL, SUBSTRATE AND ADHESIVE.
  - (D11) PATCH/REPAIR EXISTING BRICKWORK AS NEEDED OR AS REQUIRED DUE TO OTHER DEMOLITION. TOOTH-IN BRICK SO NEW MASONRY OPENINGS APPEAR LIKE ORIGINAL OPENINGS.
  - (D12) RECONDITION EXISTING WINDOWS. RETURN ALL WINDOWS TO OPERATING CONDITION.
  - (D13) RELOCATE GAS METER. SEE POOL PLAN A0.2 FOR LOCATION.
  - (D14) REMOVE WALL ABOVE, ROOF AND CORNICE AS NEEDED FOR NEW DORMER. SEE A2.2 EXTERIOR ELEVATIONS FOR EXTENT.
  - (D15) REMOVE BUMP OUT. PREP AREA FOR NEW FLOORING.



**1** GARAGE PAVILION OFFICE/GUNROOM PLAN  
1/2" = 1'-0"



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Richmond, Virginia

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**PROJECT NUMBER**  
21449

**DATE**  
13 March 2015

**DRAWN BY:** EAB **CHECKED BY:** JIIV

**REVISIONS**

NO.	DATE	DESCRIPTION

**SHEET TITLE**  
GARAGE PAVILION  
OFFICE/GUNROOM  
PLANS & DEMO

**SHEET NUMBER**

**A1.2**

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**DEMOLITION LEGEND**

	AREA OF DEMOLITION
	AREA OF DEMOLITION ABOVE

- DEMOLITION KEY NOTES**
- D1 REMOVE DOORS AND WINDOWS. CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF MATERIALS.
  - D2 REMOVE AREA OF BRICK BUILDING WALL. REFER TO S1.2. VERIFY NEW OPENING HEIGHT AND WIDTH WITH DOOR MFR. CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF BRICK.
  - D3 REMOVE AREA OF BRICK PERIMETER WALL AND PIER. SALVAGE IRON GATE. CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF BRICK.
  - D4 REMOVE INTERIOR WALLS, AND ASSOCIATED TRIM. CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF MATERIALS.
  - D5 REMOVE CEILING AND FIXTURES.
  - D6 REMOVE ELECTRICAL, PLUMBING AND MECHANICAL SYSTEMS, FIXTURES AND FITTINGS NOT ASSOCIATED WITH THE NEW WORK. CONSULT WITH OWNER FOR SALVAGE OR DISPOSAL OF MATERIALS.
  - D7 REMOVE FLOORING AND FLOOR SYSTEM AS SHOWN IN STRUCTURAL DRAWINGS. PREP AREA FOR NEW SLAB OR STAIR DEPENDING ON LOCATION.
  - D8 REMOVE EXISTING STAIR OR PORTION OF STAIR AND RAILINGS.
  - D9 REMOVE THRESHOLD AND SALVAGE FOR POSSIBLE REUSE.
  - D10 REMOVE EXISTING FINISH FLOOR MATERIAL, SUBSTRATE AND ADHESIVE.
  - D11 PATCH/REPAIR EXISTING BRICKWORK AS NEEDED OR AS REQUIRED DUE TO OTHER DEMOLITION. TOOTH-IN BRICK SO NEW MASONRY OPENINGS APPEAR LIKE ORIGINAL OPENINGS.
  - D12 RECONDITION EXISTING WINDOWS. RETURN ALL WINDOWS TO OPERATING CONDITION.
  - D13 RELOCATE GAS METER. SEE POOL PLAN A0.2 FOR LOCATION.
  - D14 REMOVE WALL ABOVE, ROOF AND CORNICE AS NEEDED FOR NEW DORMER. SEE A2.2 EXTERIOR ELEVATIONS FOR EXTENT.
  - D15 REMOVE BUMP OUT. PREP AREA FOR NEW FLOORING.

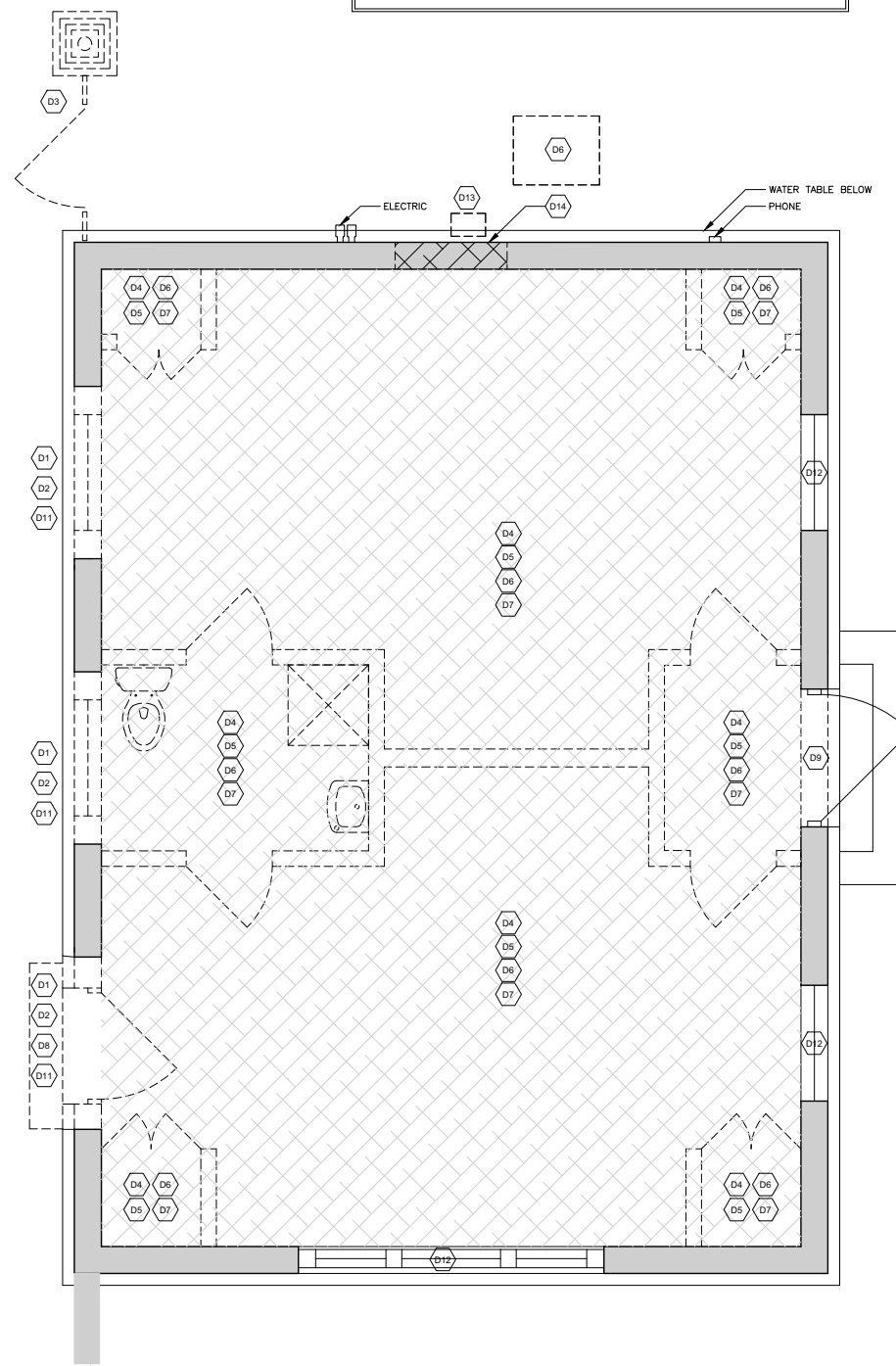
- DEMOLITION GENERAL NOTES**
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**LEGEND**

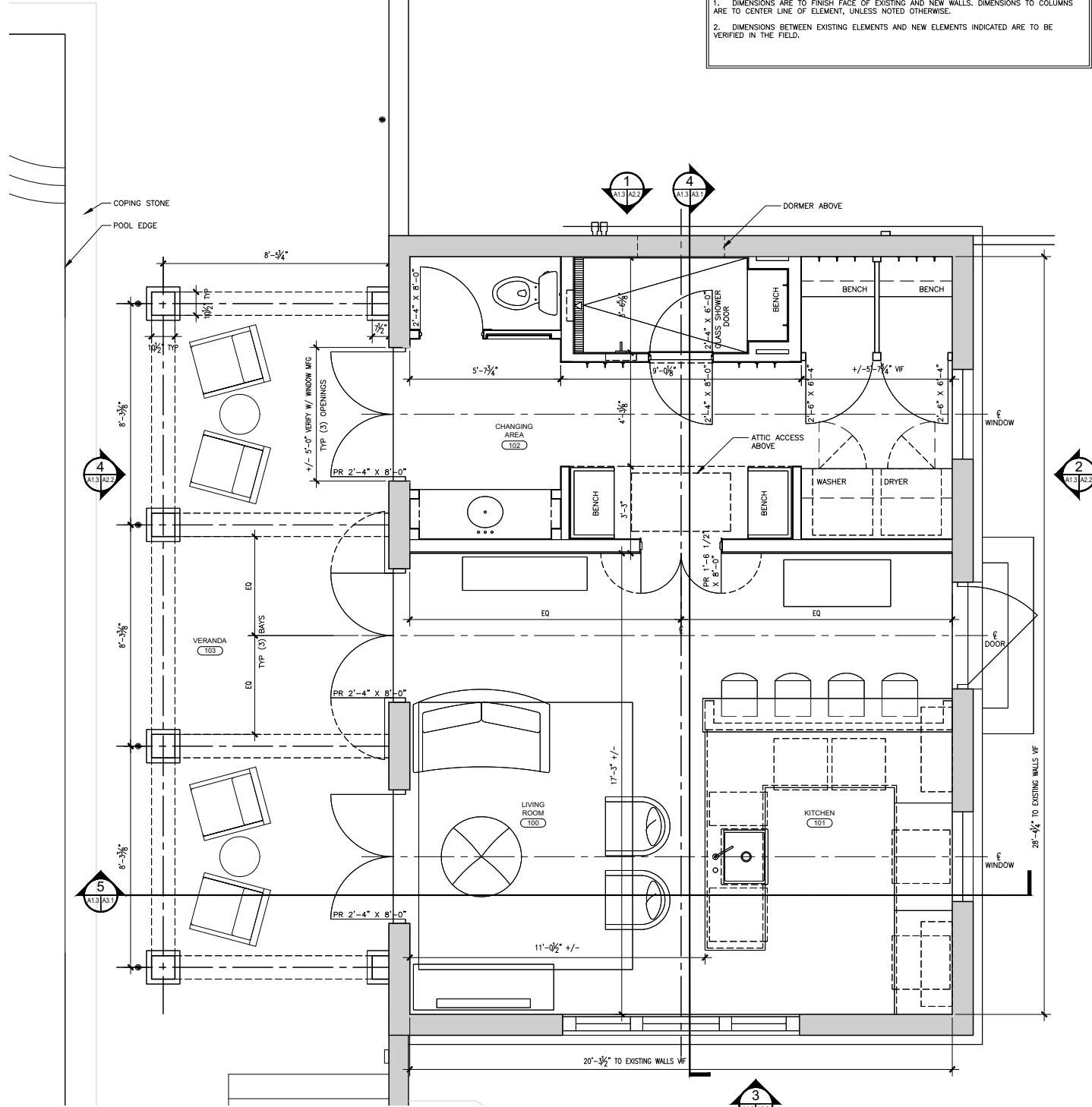
	NEW COLUMNS AND WALLS
	EXISTING WALLS
	EXISTING DOOR
	NEW DOOR
	NEW DOUBLE SWING DOOR

- GENERAL NOTES**
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**2** POOL PAVILION DEMOLITION PLAN  
1/2" = 1'-0"



**1** POOL PAVILION PLAN  
1/2" = 1'-0"



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**PROJECT TITLE**  
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21449

**DATE**  
13 March 2015

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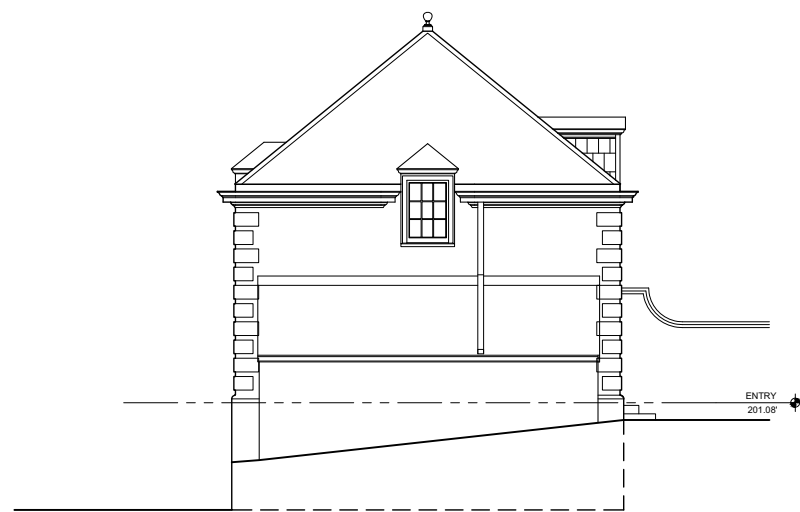
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POOL PAVILION  
PLAN &  
DEMOLITION PLAN

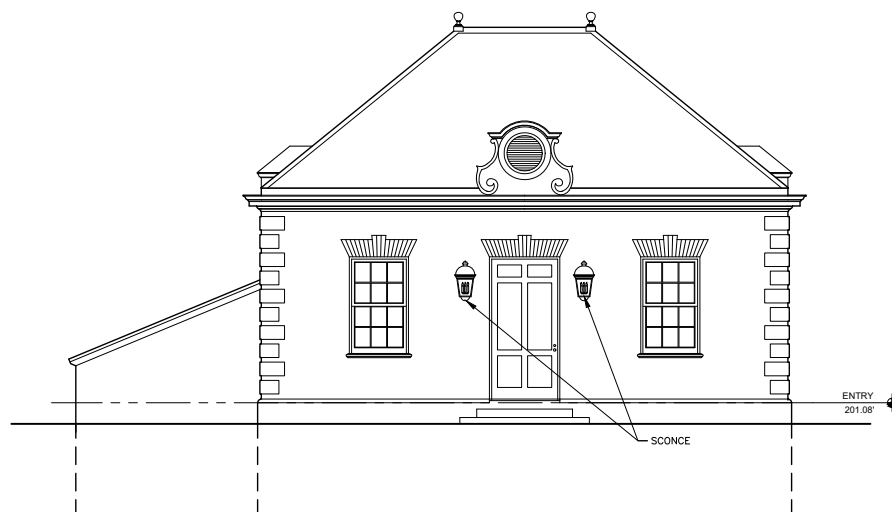
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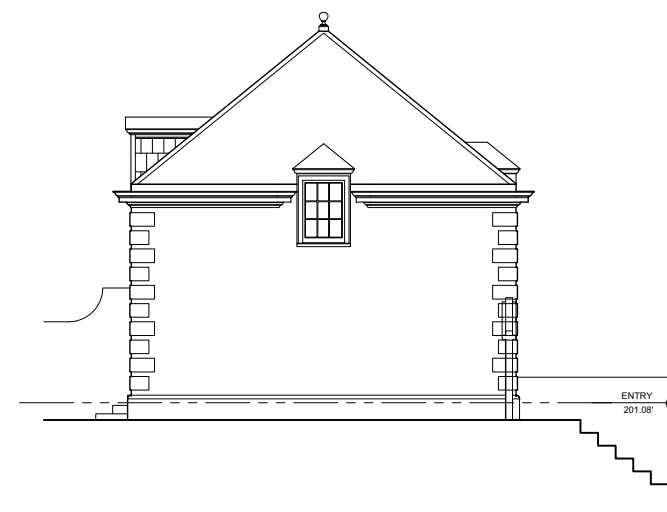
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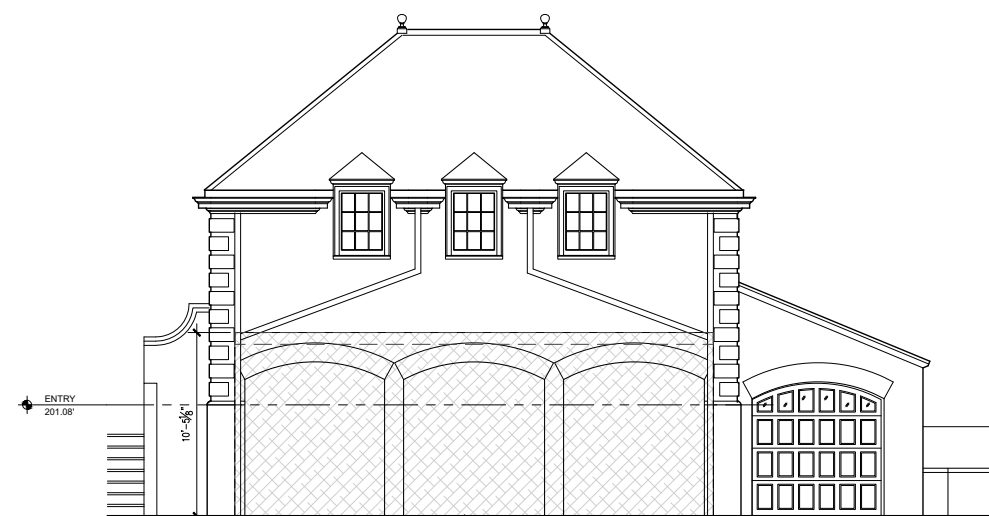
**3 GARAGE PAVILION NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 GARAGE PAVILION WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 GARAGE PAVILION SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**5 GARAGE PAVILION EAST ELEVATION DEMOLITION**  
SCALE: 1/4" = 1'-0"



**4 GARAGE PAVILION EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



DEMOLITION LEGEND	
	AREA OF DEMOLITION
	AREA OF DEMOLITION ABOVE

PROJECT TITLE

Canterbury Pavilions

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Richmond, Virginia

CONSULTANTS

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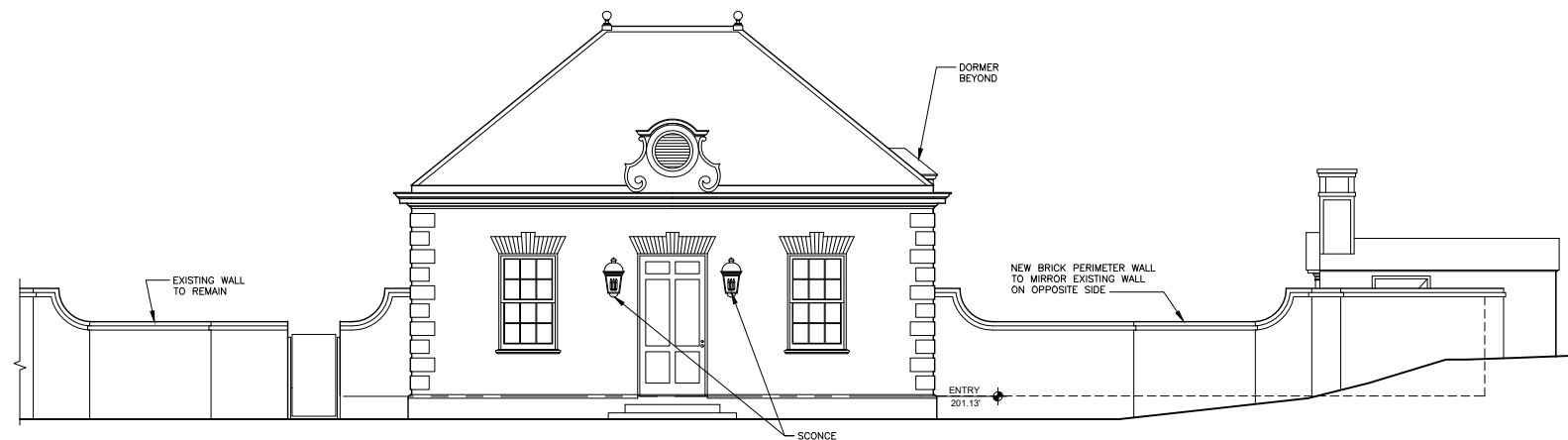
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POOL PAVILION  
EXTERIOR  
ELEVATIONS

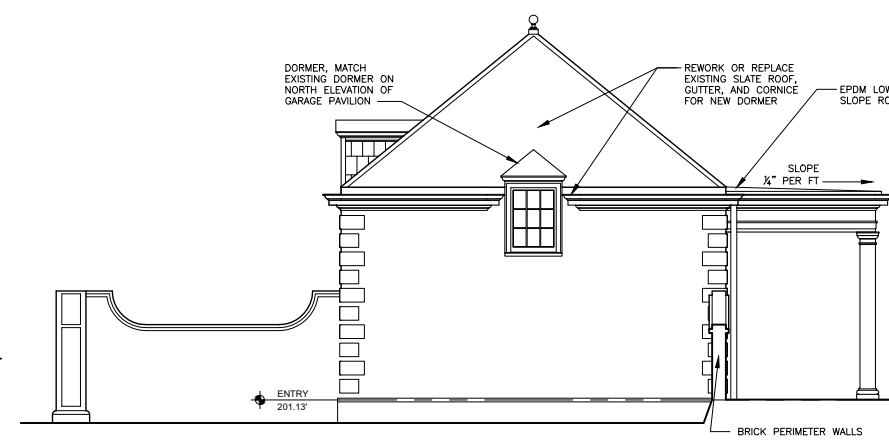
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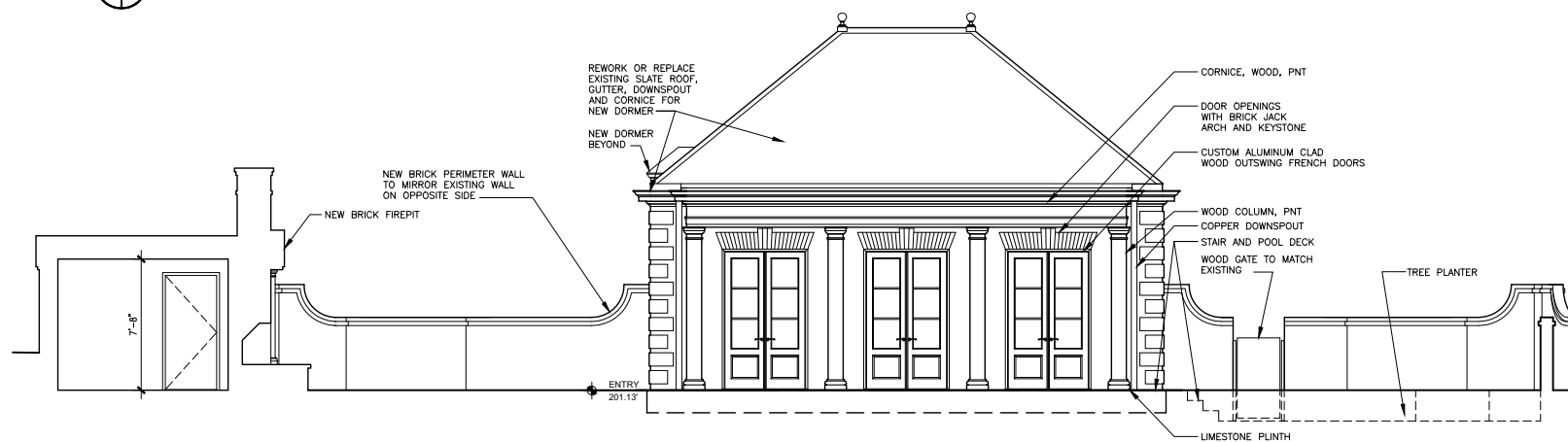
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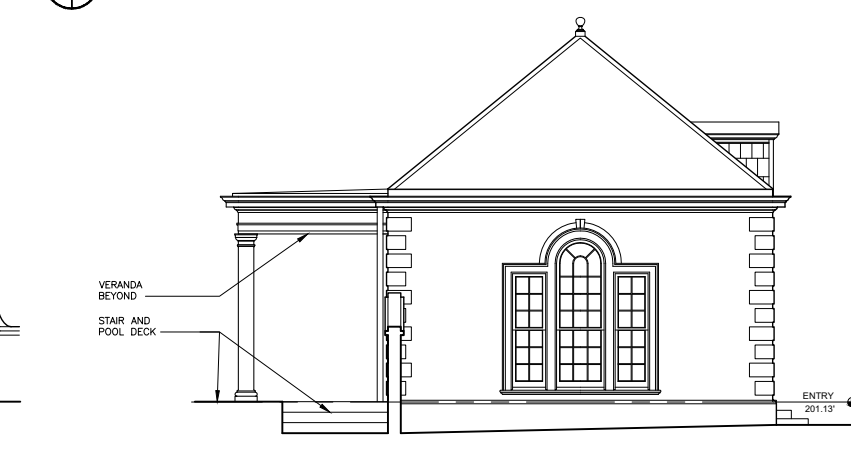
2 POOL PAVILION EAST ELEVATION  
A1.3/A2.2 1/4"=1'-0"



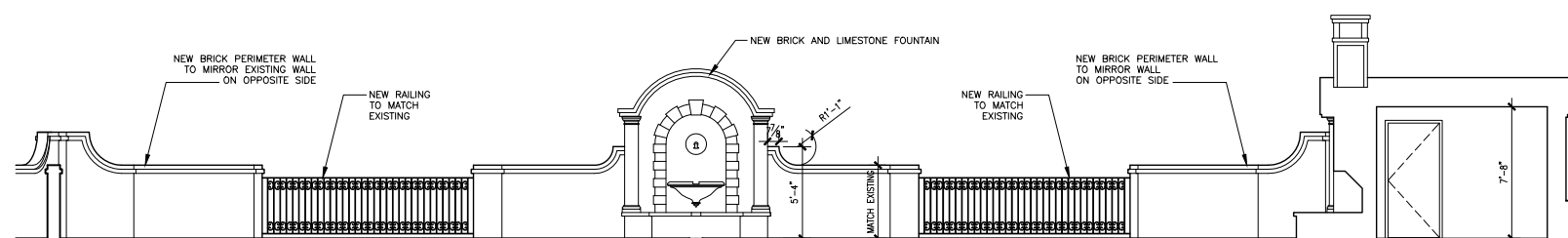
1 POOL PAVILION NORTH ELEVATION  
A1.3/A2.2 1/4"=1'-0"



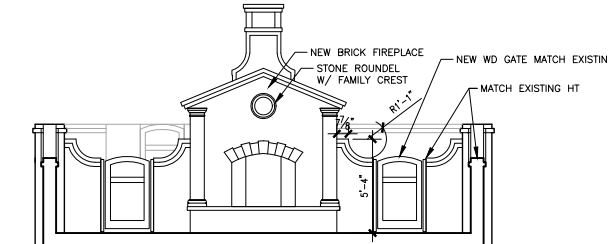
4 POOL PAVILION WEST ELEVATION  
A1.3/A2.2 1/4"=1'-0"



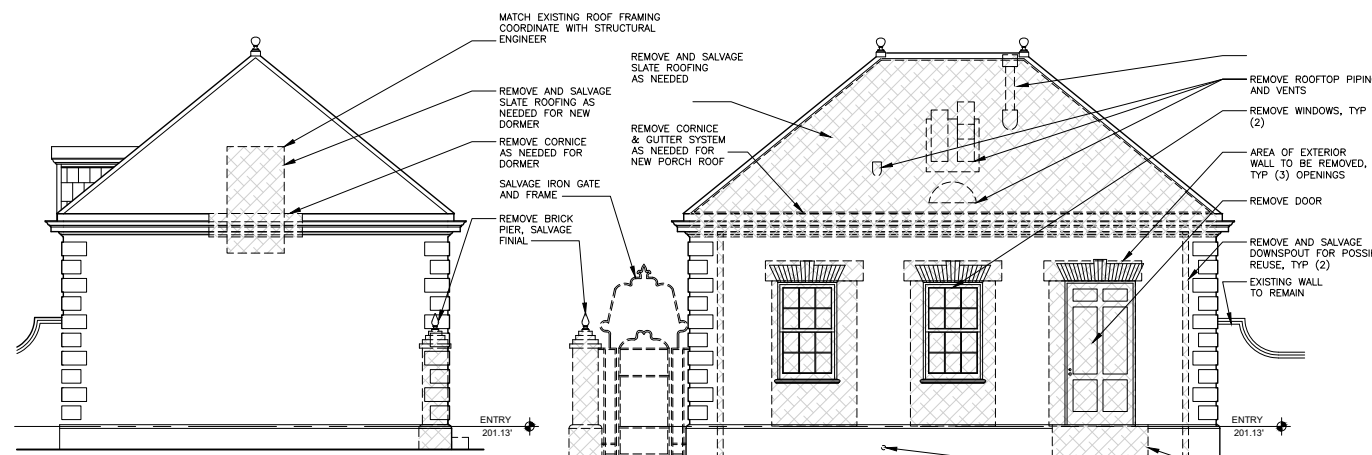
3 POOL PAVILION SOUTH ELEVATION  
A1.3/A2.2 1/4"=1'-0"



6 POOL PAVILION ENCLOSURE EAST ELEVATION  
A0.2/A2.2 1/4"=1'-0"



5 POOL PAVILION ENCLOSURE NORTH ELEVATION  
A0.2/A2.2 1/4"=1'-0"



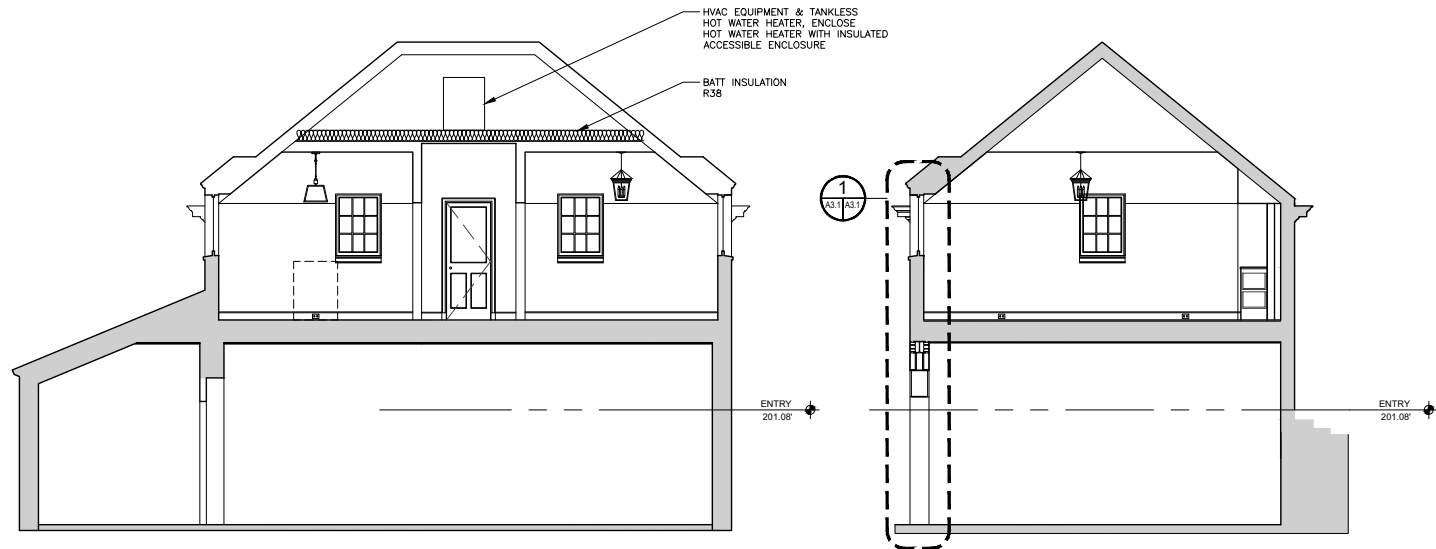
8 POOL PAVILION NORTH ELEVATION DEMOLITION  
A2.2 1/4"=1'-0"

7 POOL PAVILION WEST ELEVATION DEMOLITION  
A2.2 1/4"=1'-0"

DEMOLITION LEGEND

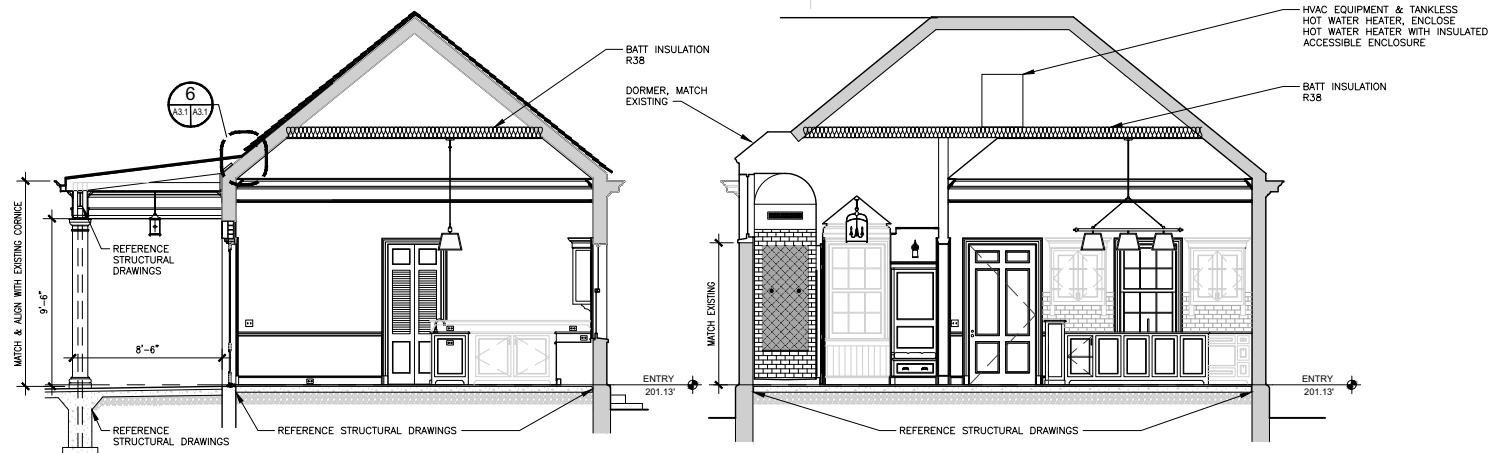
- [Hatched Box] AREA OF DEMOLITION
- [Cross-hatched Box] AREA OF DEMOLITION ABOVE





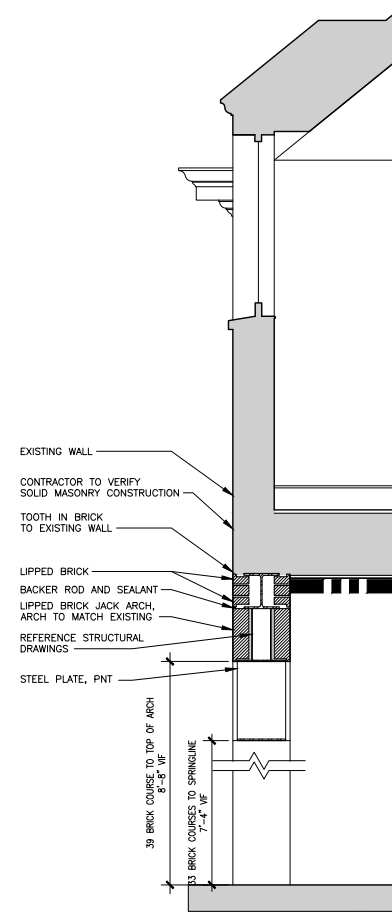
3 GARAGE PAVILION N/S BUILDING SECTION  
SCALE: 1/4" = 1'-0"

2 GARAGE PAVILION E/W BUILDING SECTION  
SCALE: 1/4" = 1'-0"

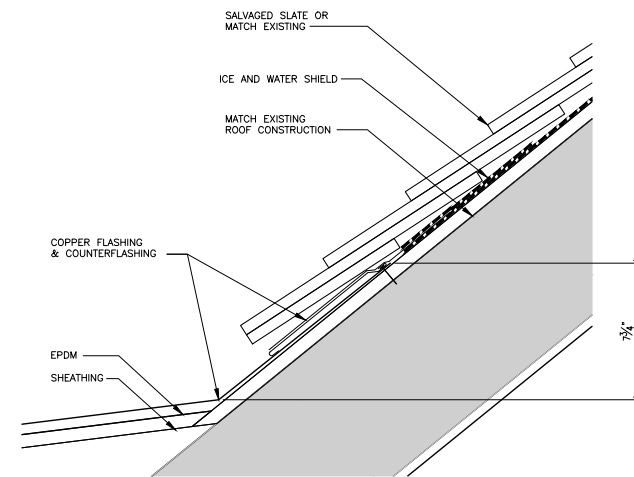


5 POOL PAVILION E/W BUILDING SECTION  
SCALE: 1/4" = 1'-0"

4 POOL PAVILION N/S BUILDING SECTION  
SCALE: 1/4" = 1'-0"



1 GARAGE DOORS WALL SECTION  
SCALE: 3/4" = 1'-0"



7 VERANDA ROOF DETAIL  
SCALE: 3" = 1'-0"

**LEGEND**

WALLS	NEW COLUMNS AND WALLS
EXISTING WALLS	EXISTING WALLS
HABITABLE ROOM SEPARATION	5/8" TYPE X GWB

- PLAN NOTES**
1. REFER TO STRUCTURAL DRAWINGS FOR FRAMING PLANS, DETAILS, STRUCTURAL SIZES AND STRUCTURAL NOTES.
  2. COORDINATE STRUCTURAL SLABS AND FOOTINGS WITH POOL MANUFACTURER.



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SHEET TITLE  
BUILDING & WALL SECTIONS

SHEET NUMBER

A3.1

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PROJECT TITLE

Canterbury  
Pavilions

311 Stockton Lane  
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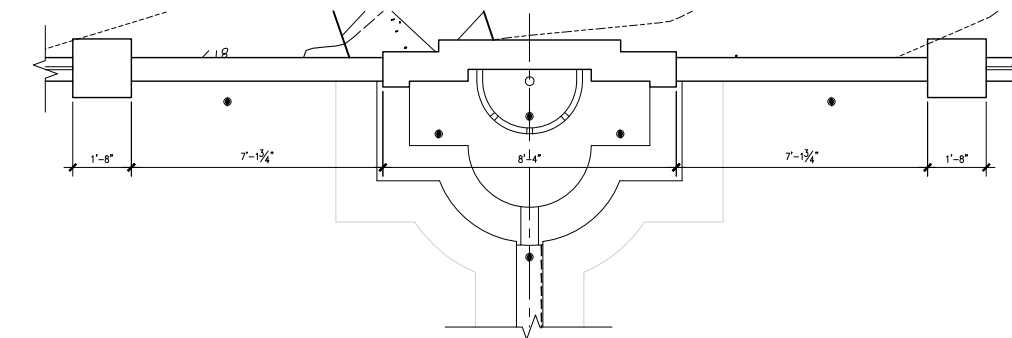
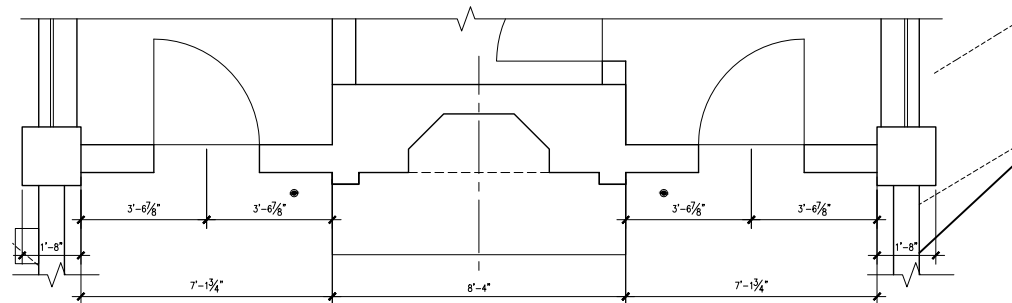
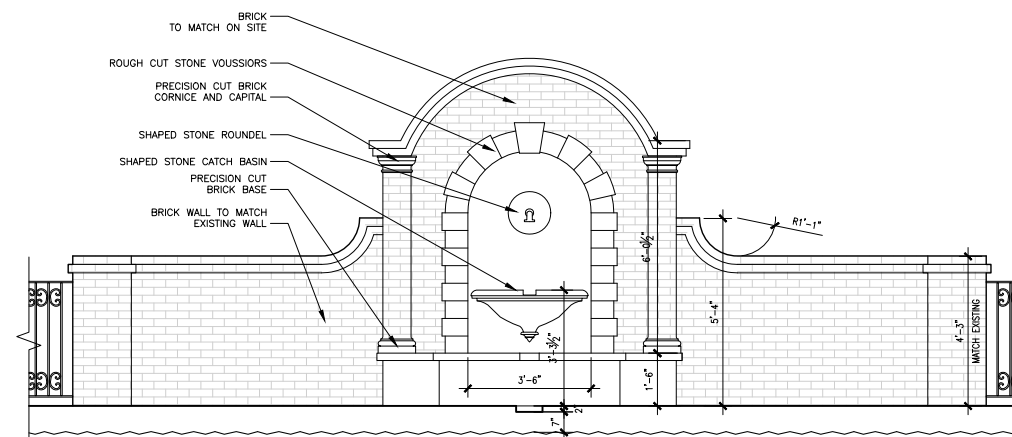
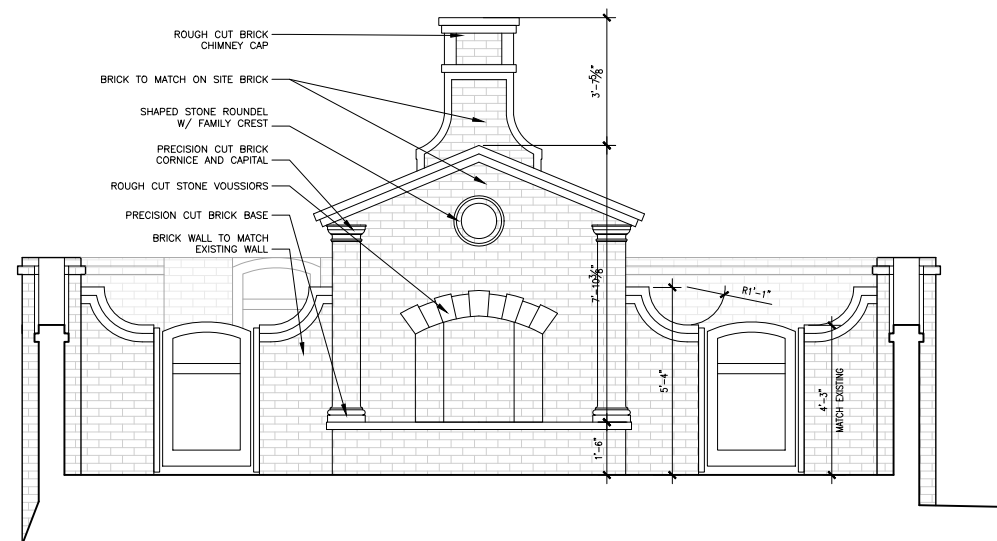
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SHEET TITLE

SITE  
DETAILS

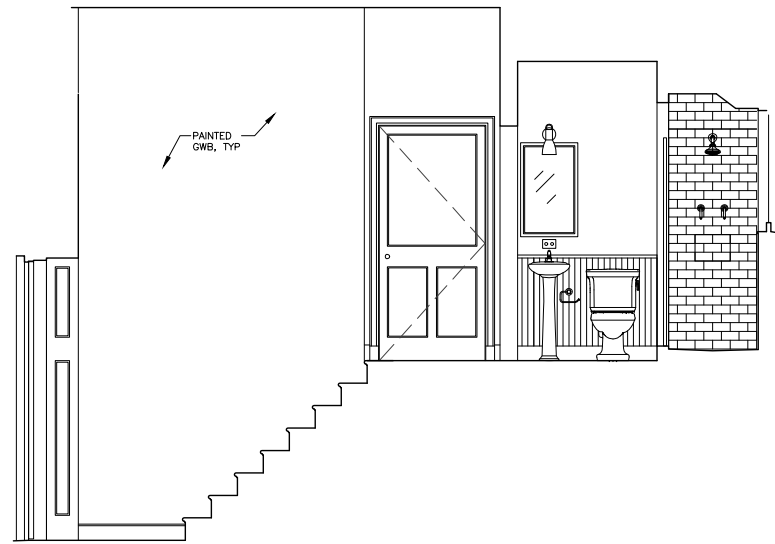
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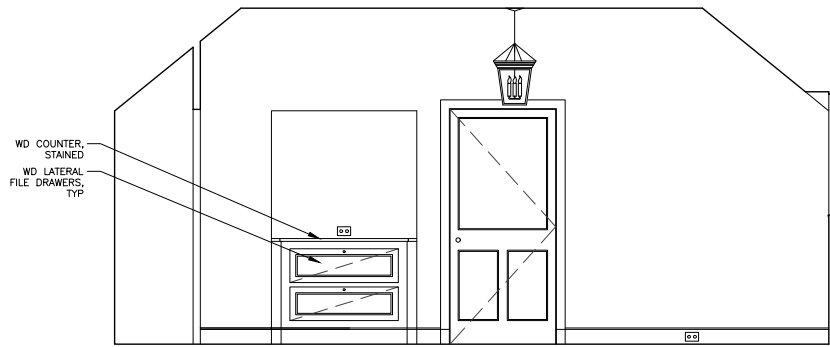
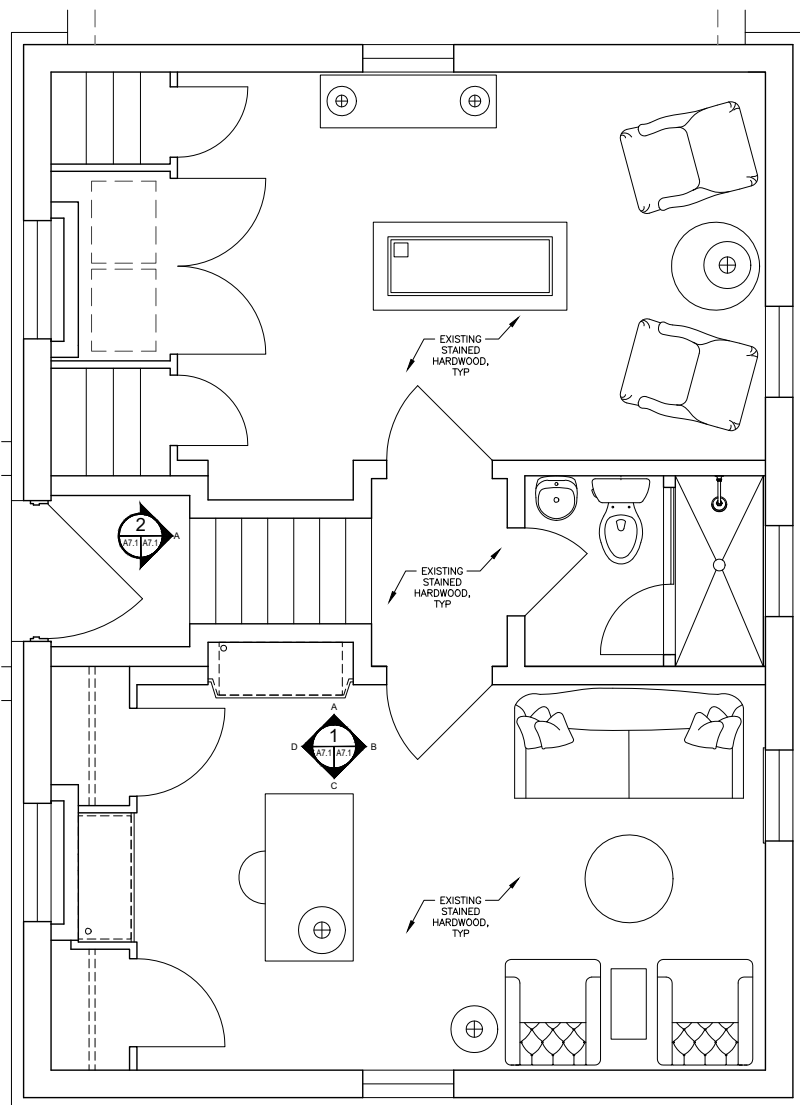


2 FIREPIT PLAN AND ELEVATION  
SCALE: 1/2" = 1'-0"

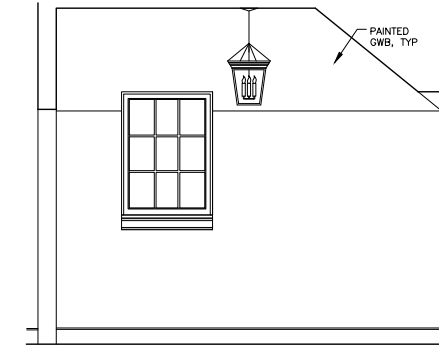
1 FOUNTAIN PLAN AND ELEVATION  
SCALE: 1/2" = 1'-0"



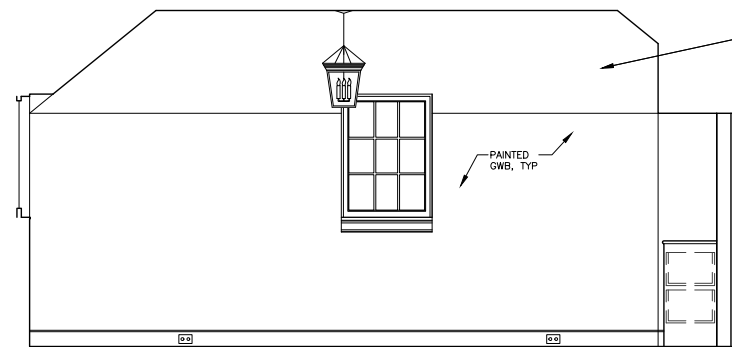
**2** PARTIAL STAIR ELEVATION  
SCALE: 1/2" = 1'-0"



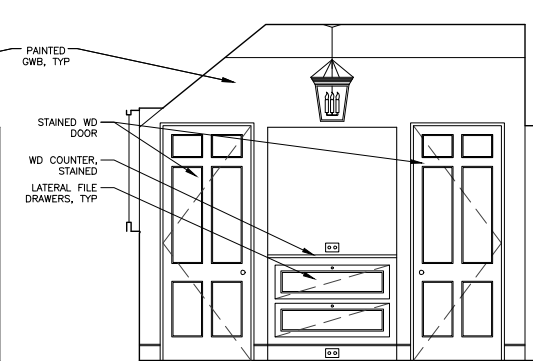
OFFICE ELEVATION A



OFFICE ELEVATION B



OFFICE ELEVATION C

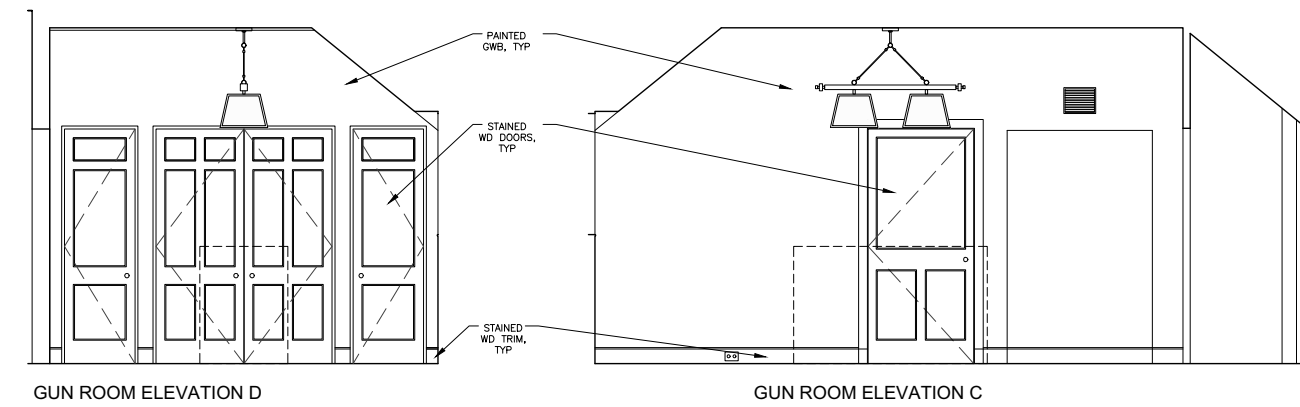
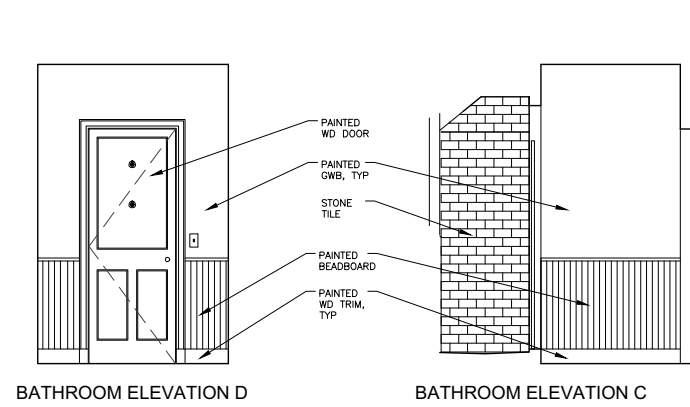
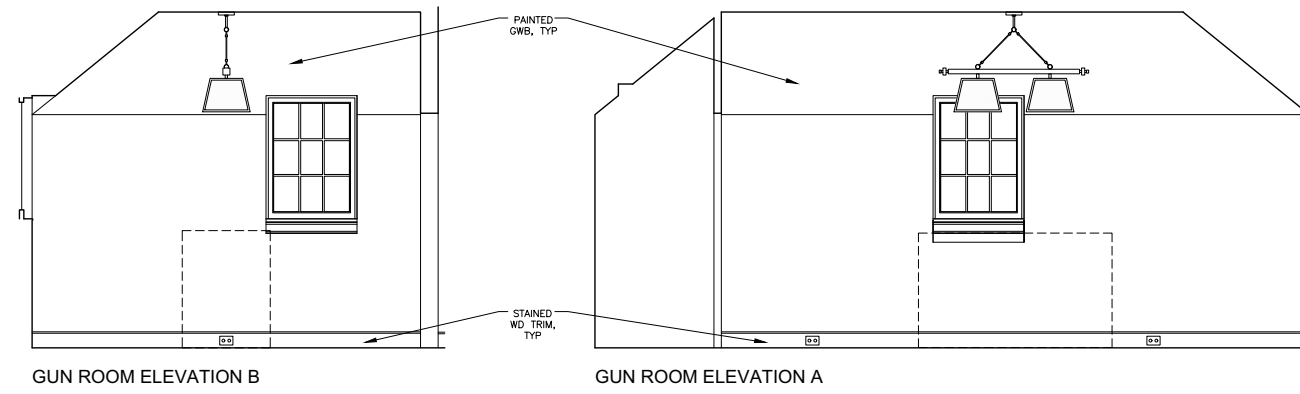
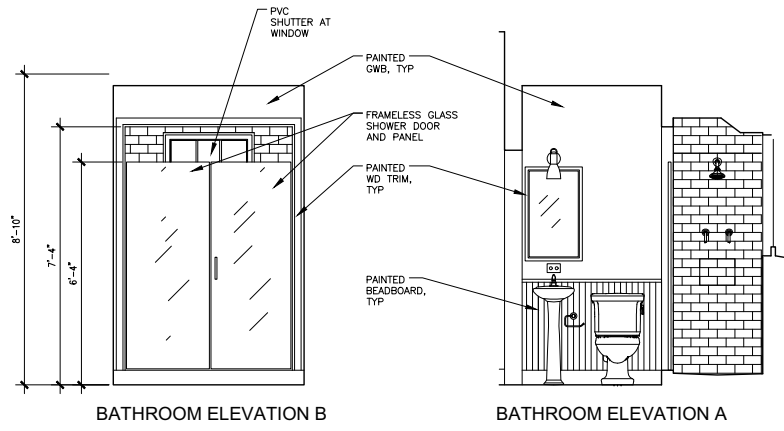


OFFICE ELEVATION D

**1** OFFICE ELEVATION  
SCALE: 1/2" = 1'-0"

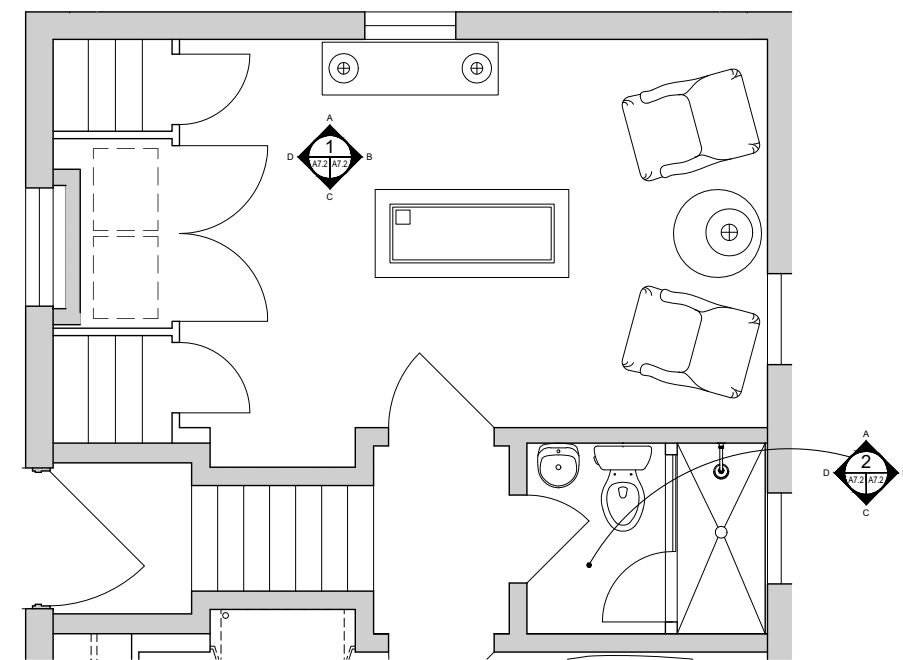
REVISIONS		
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NO.	DATE	DESCRIPTION
1		



2 BATHROOM ELEVATIONS  
SCALE: 1/2" = 1'-0"

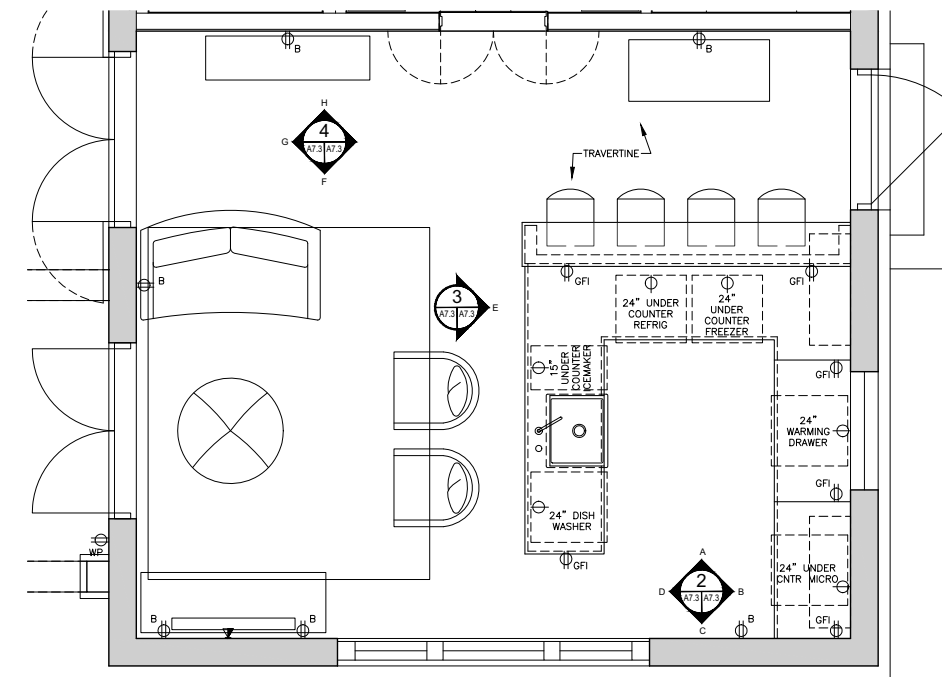
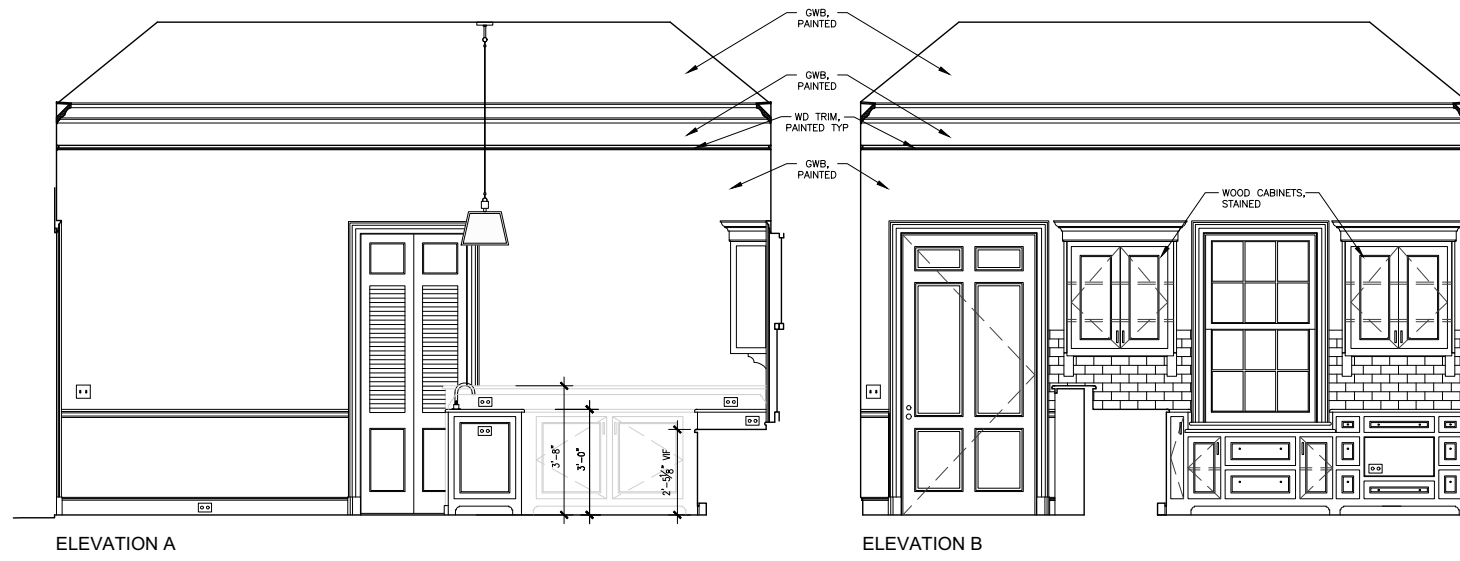
1 GUN ROOM ELEVATIONS  
SCALE: 1/2" = 1'-0"



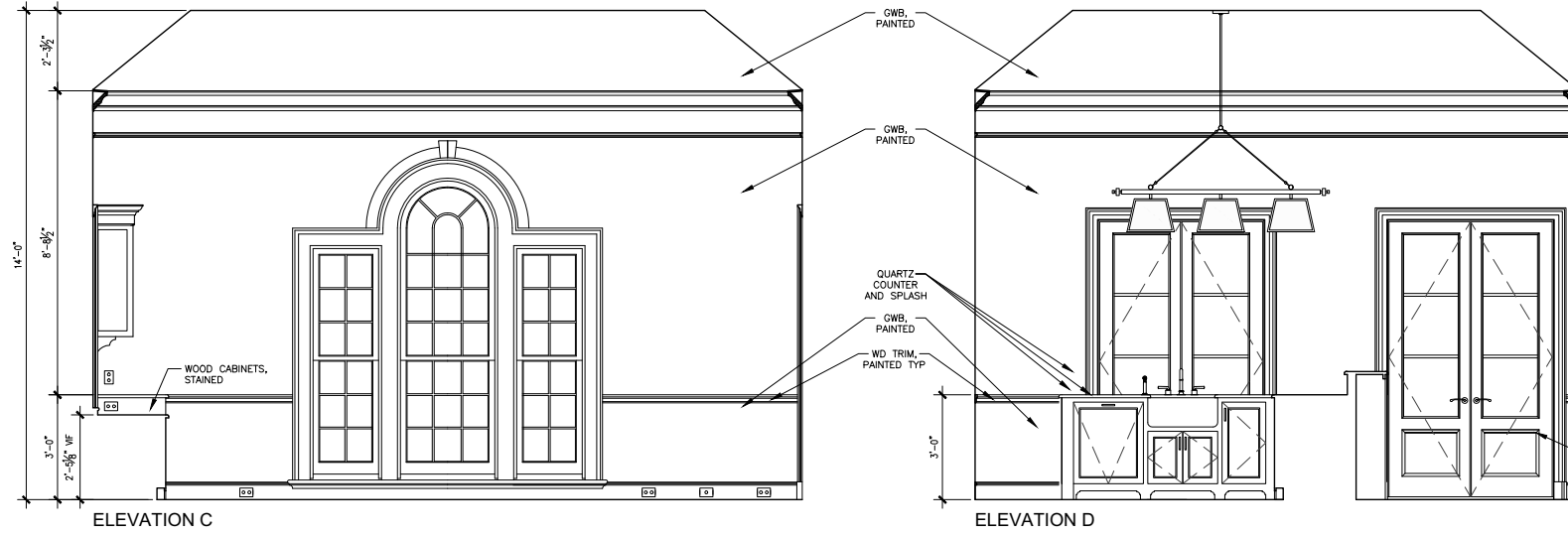
3 GUNROOM & BATHROOM  
REFLECTED CEILING PLANS  
SCALE: 1/2" = 1'-0"

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NO.	DATE	DESCRIPTION
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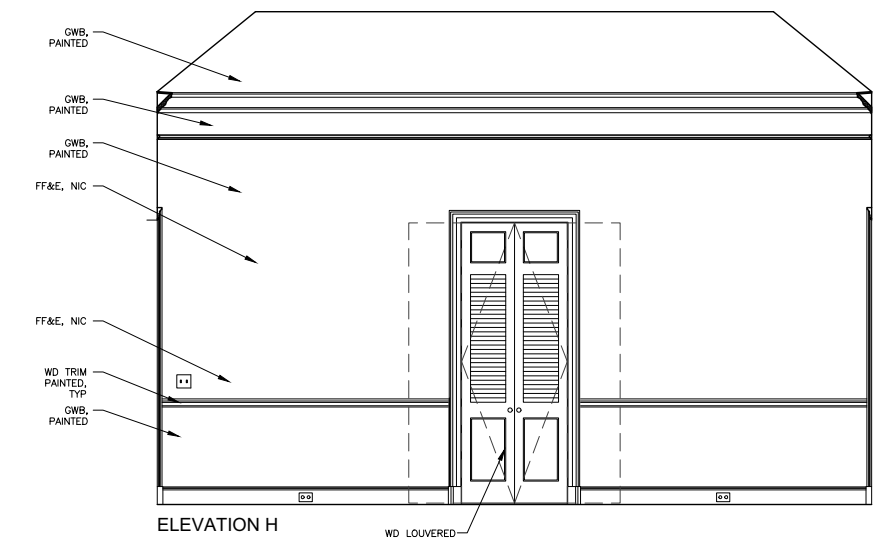
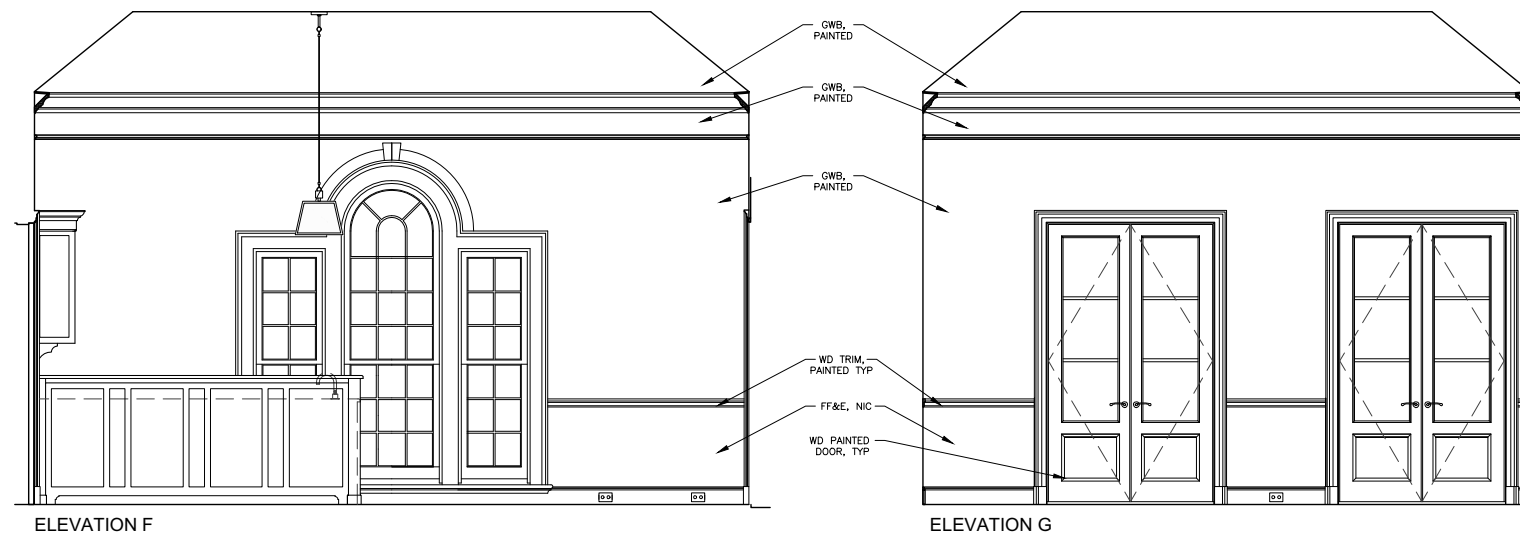


1 MAIN ROOM & KITCHEN AREA PLAN  
1/2" = 1'-0"



2 MAIN ROOM & KITCHEN AREA PLAN  
1/2" = 1'-0"

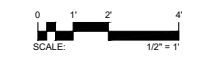
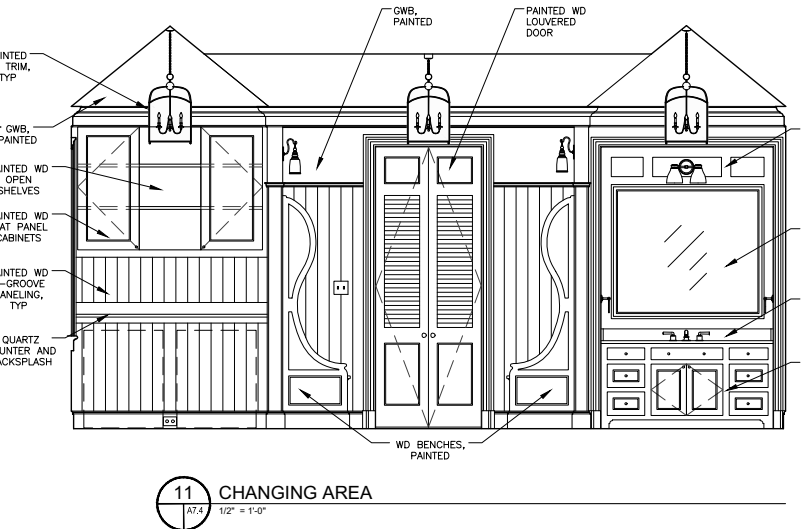
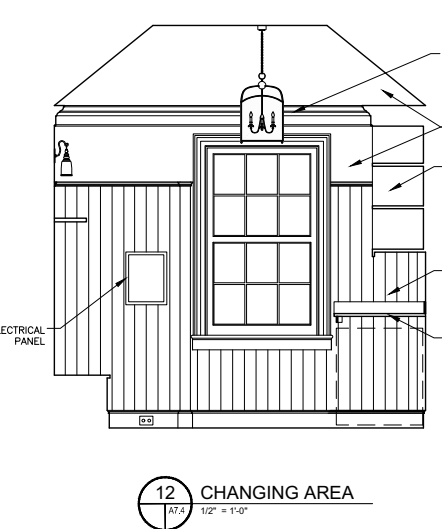
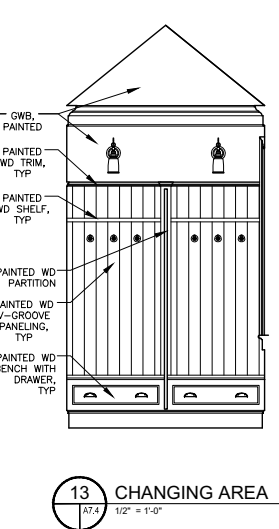
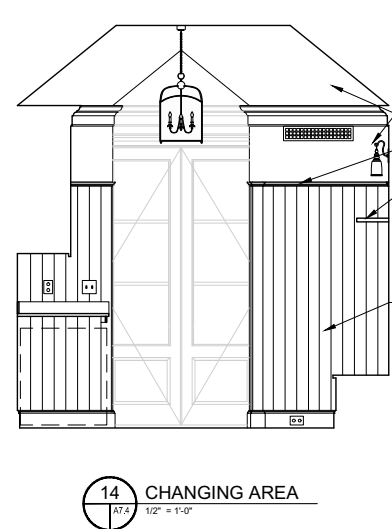
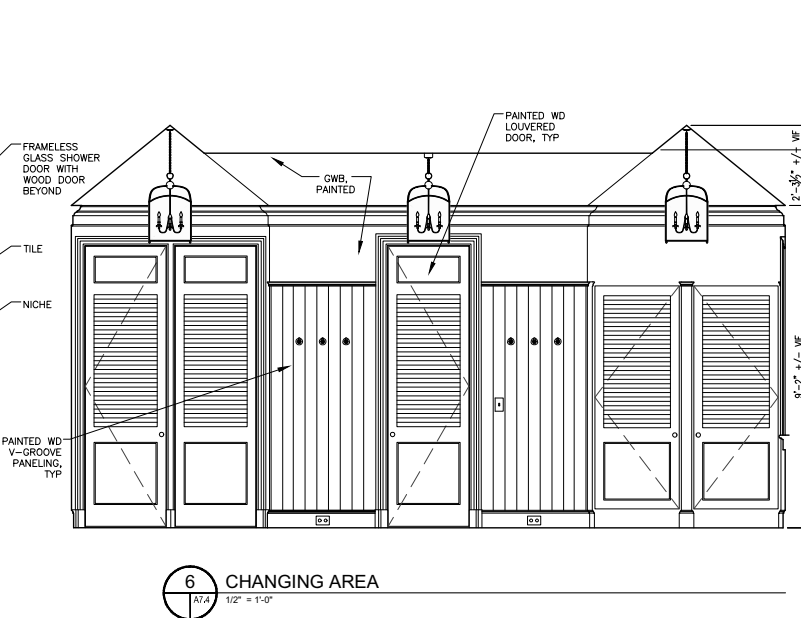
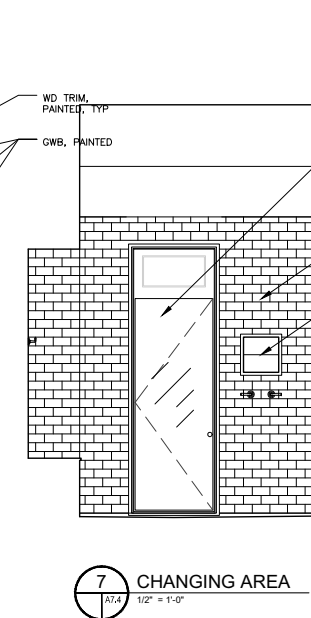
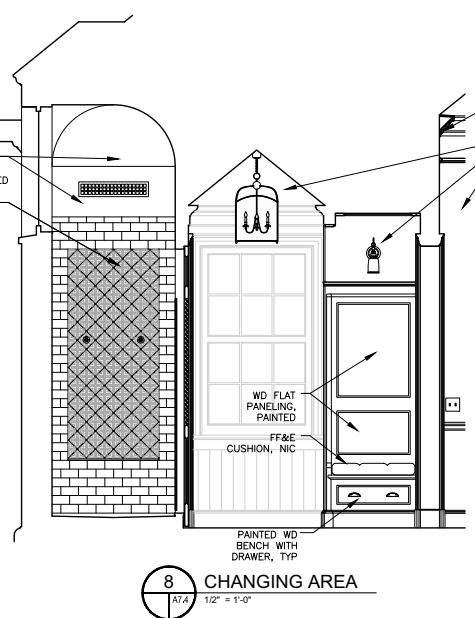
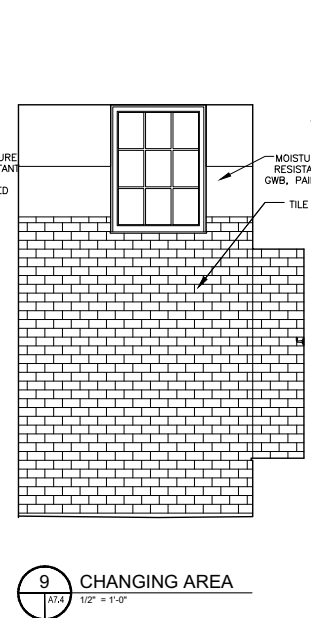
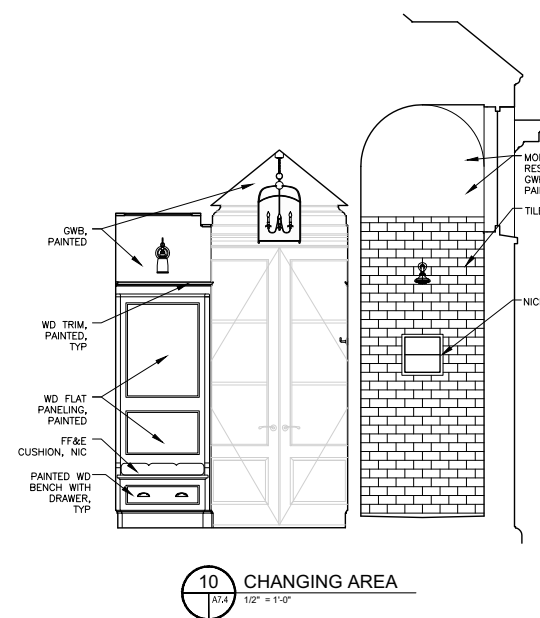
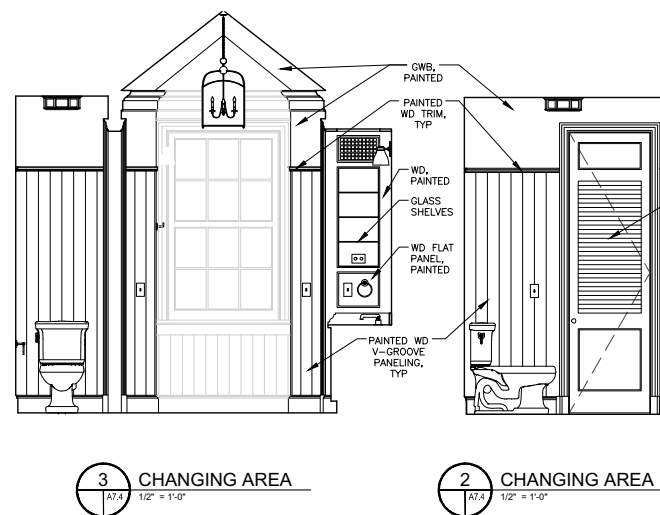
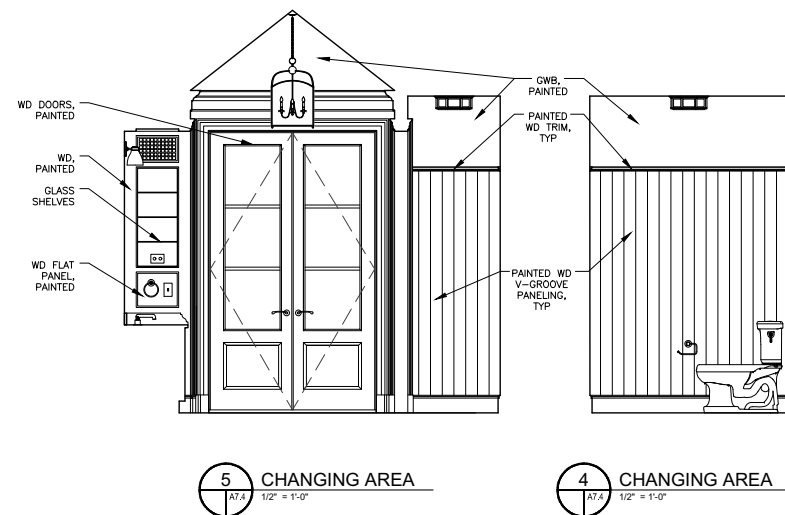
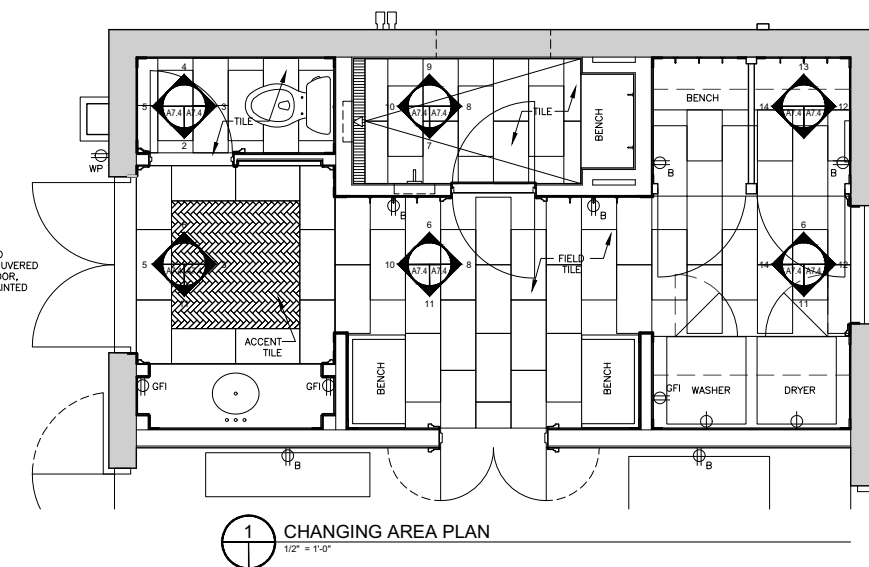
3 MAIN ROOM & KITCHEN AREA PLAN  
1/2" = 1'-0"



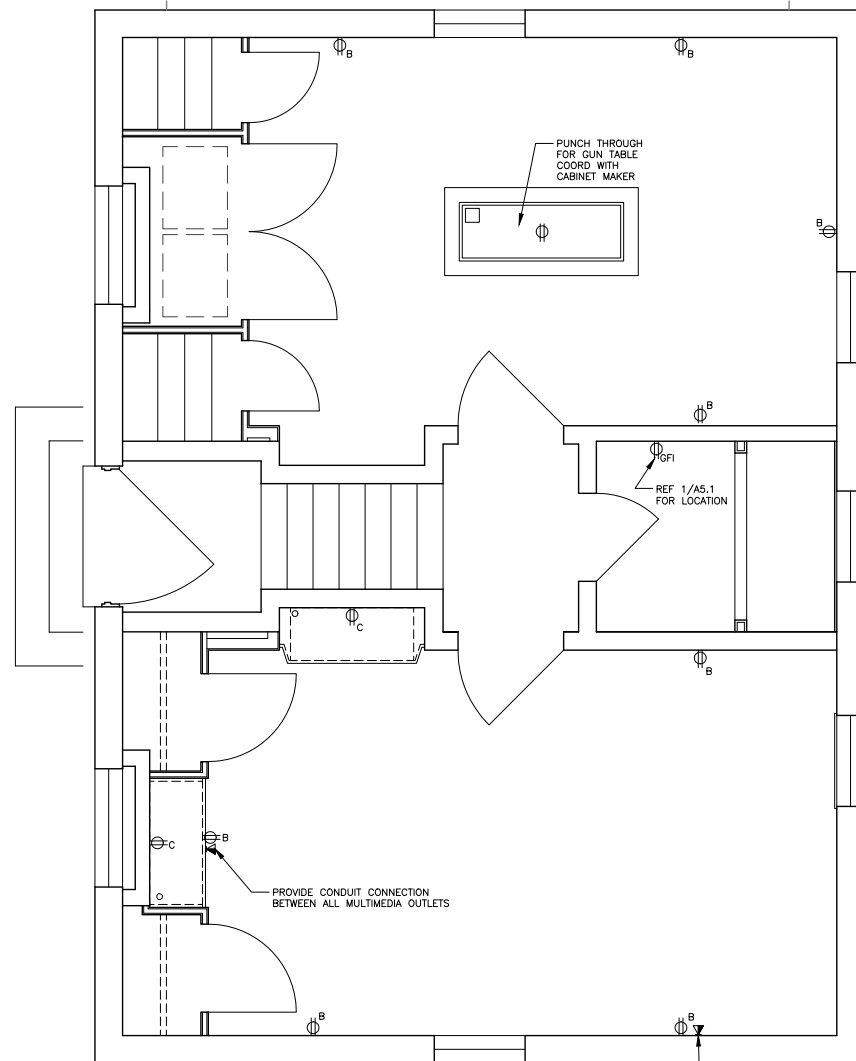
4 MAIN ROOM & KITCHEN AREA PLAN  
1/2" = 1'-0"



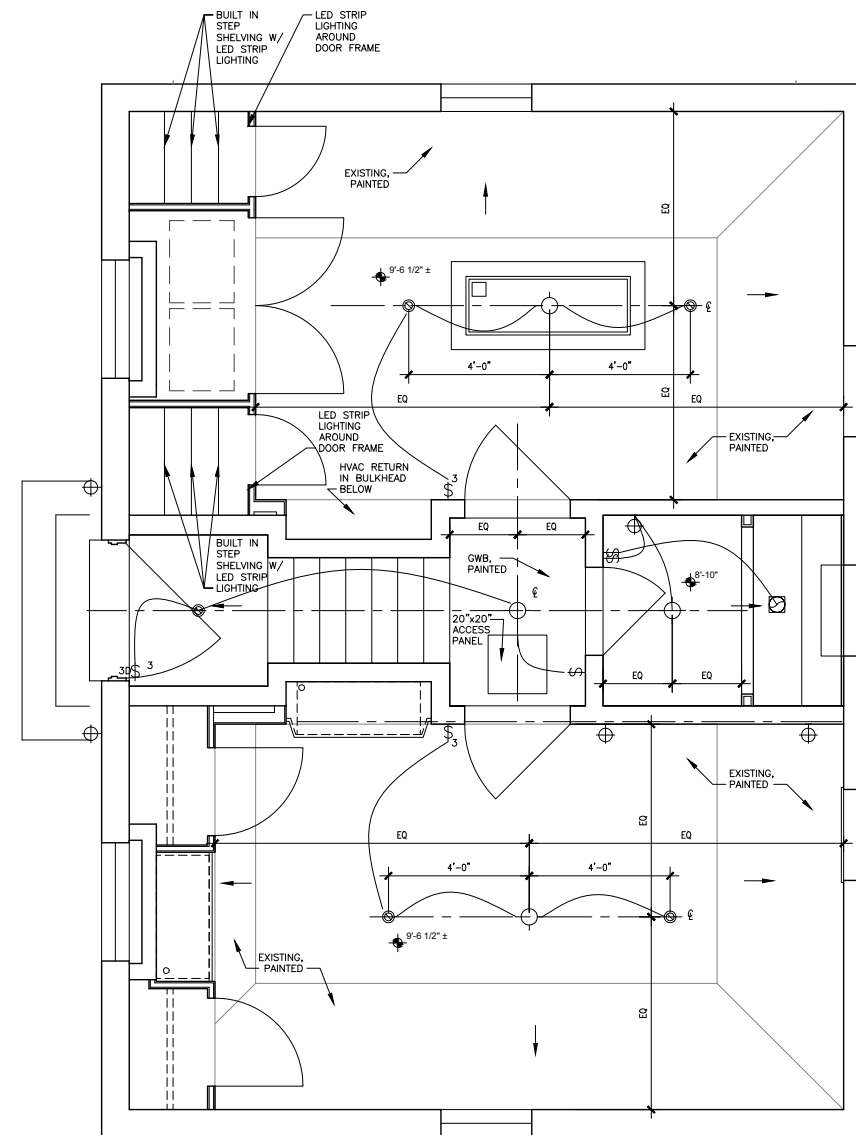
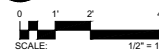
NO.	DATE	DESCRIPTION
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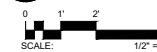
NO.	DATE	DESCRIPTION
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**2** GARAGE PAVILION  
POWER ELECTRICAL PLAN  
SCALE: 1/2" = 1'-0"



**1** GARAGE PAVILION  
RCP & LIGHTING PLAN  
SCALE: 1/2" = 1'-0"

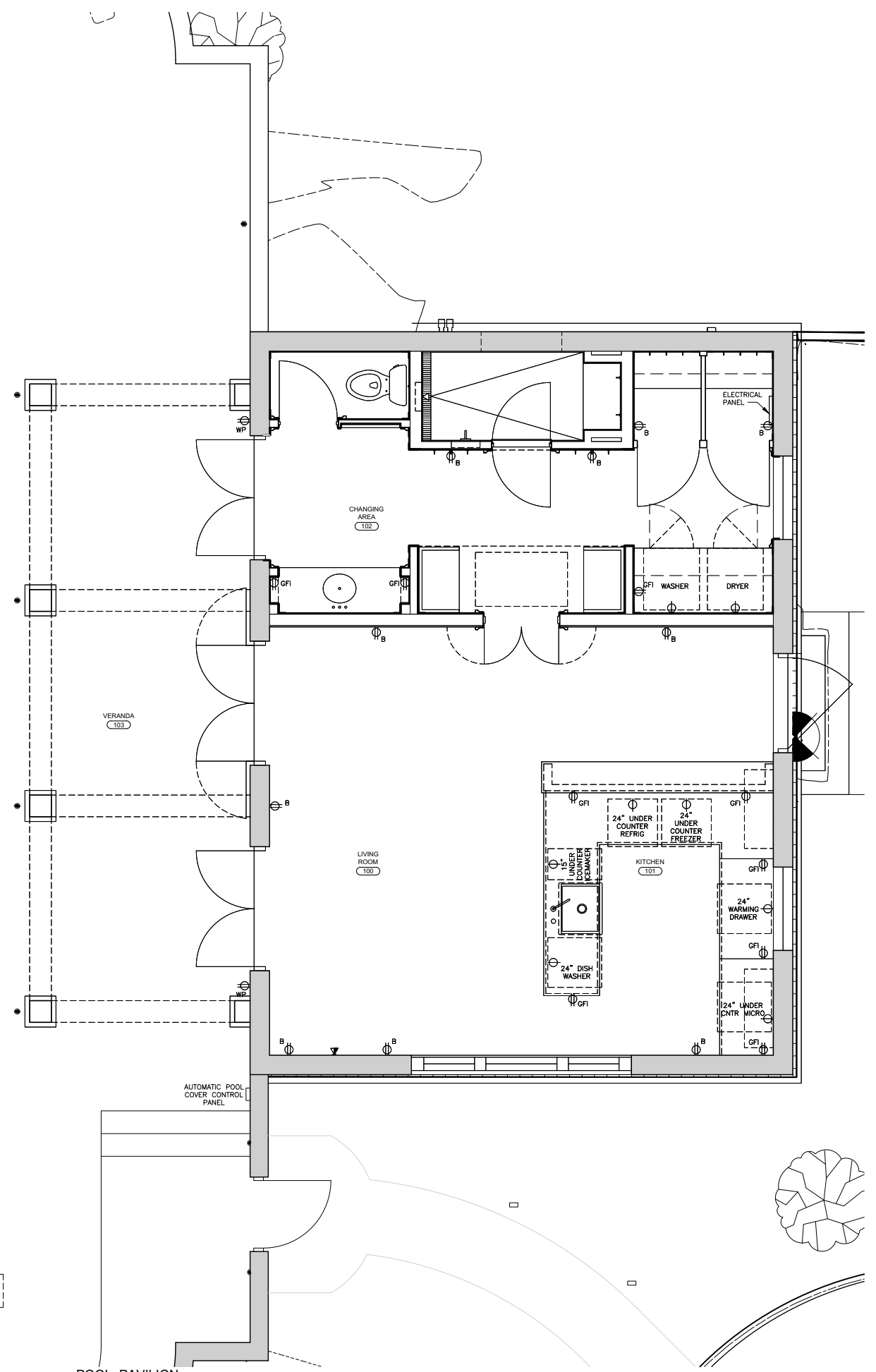


**ELECTRICAL SYMBOL LEGEND**

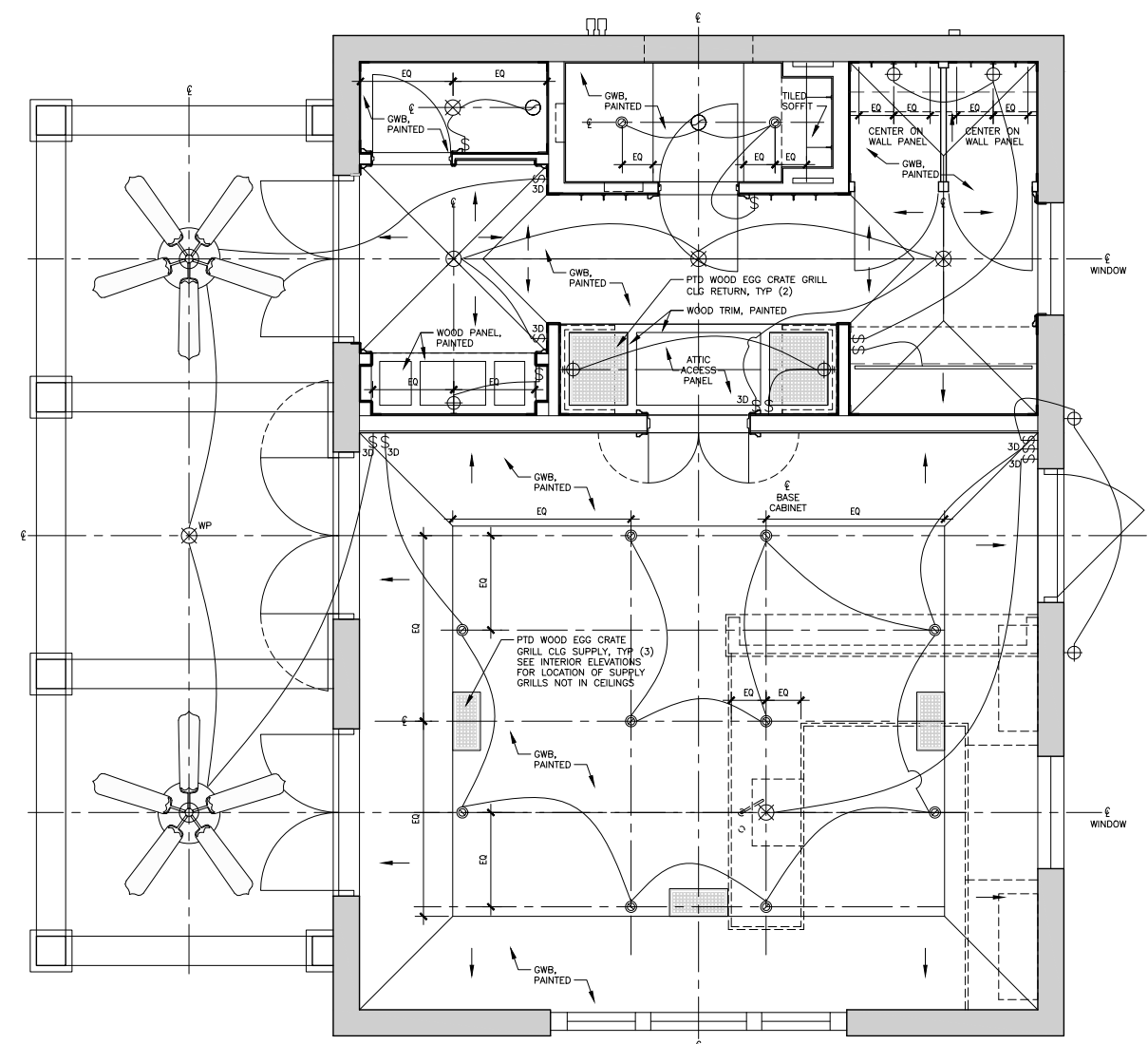
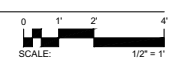
⊕	WALL SCONCE	⊙	SURFACE MOUNTED LIGHT FIXTURE	⊕	SINGLE 120V HARD WIRED APPLIANCE OUTLET
⊙	4" RECESSED CAN LIGHT	Ⓢ	STANDARD LIGHT SWITCH	⊕	DUPLEX OUTLET
⊗	PENDANT OR CEILING MOUNTED LIGHT FIXTURE	Ⓢ <sup>3</sup>	THREE WAY LIGHT SWITCH	⊕GFI	DUPLEX OUTLET GROUND FAULT INTERRUPT
⊗ <sup>WP</sup>	PENDANT OR CEILING MOUNTED OUTDOOR WEATHERPROOF RATED LIGHT FIXTURE	Ⓢ <sup>3D</sup>	THREE WAY DIMMER LIGHT SWITCH	⊕ <sup>WP</sup>	DUPLEX OUTLET OUTDOOR WEATHER PROOF
⊕	CEILING VENT FAN	—	UNDER CABINET LED STRIP LIGHTING	⊕ <sup>B</sup>	DUPLEX OUTLET BASEBOARD MOUNT
⊙	RECESSED MR15 LED SPOTLIGHT	---	UNDER CABINET PLUGMOULD (ONE OUTLET EVERY 6")	⊕	MULTI-MEDIA DATA PLATE W/ HDMI, CAT5, COAXIAL, USB OUTLETS

REVISIONS

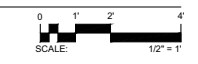
NO.	DATE	DESCRIPTION
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**2** POOL PAVILION  
POWER ELECTRICAL PLAN  
SCALE: 1/2" = 1'-0"



**1** POOL PAVILION  
RCP & LIGHTING PLAN  
SCALE: 1/2" = 1'-0"



**ELECTRICAL SYMBOL LEGEND**

⊕	WALL SCONCE	⊙	SURFACE MOUNTED LIGHT FIXTURE	⊕	SINGLE 120V HARD WIRED APPLIANCE OUTLET
⊙	4" RECESSED CAN LIGHT	⊕	STANDARD LIGHT SWITCH	⊕	DUPLEX OUTLET
⊗	PENDANT OR CEILING MOUNTED LIGHT FIXTURE	⊕ <sup>3</sup>	THREE WAY LIGHT SWITCH	⊕ <sup>GFI</sup>	DUPLEX OUTLET GROUND FAULT INTERRUPT
⊗ <sup>WP</sup>	PENDANT OR CEILING MOUNTED OUTDOOR WEATHERPROOF RATED LIGHT FIXTURE	⊕ <sup>3D</sup>	THREE WAY DIMMER LIGHT SWITCH	⊕ <sup>WP</sup>	DUPLEX OUTLET OUTDOOR WEATHER PROOF
⊕	CEILING VENT FAN	—	UNDER CABINET LED STRIP LIGHTING	⊕ <sup>B</sup>	DUPLEX OUTLET BASEBOARD MOUNT
⊙	RECESSED MR15 LED SPOTLIGHT	---	UNDER CABINET PLUGMOULD (ONE OUTLET EVERY 6")	▽	MULTI-MEDIA DATA PLATE W/ HDMI, CAT5, COAXIAL, USB OUTLETS