



**Property** (location of work)

Property Address: \_\_\_\_\_ Current **Zoning**: \_\_\_\_\_  
Historic District: \_\_\_\_\_

Application is submitted for: (check one)

- Alteration**
- Demolition**
- New Construction**

**Project Description** (attach additional sheets if needed):

\_\_\_\_\_

**Applicant/Contact Person:** \_\_\_\_\_

Company: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Telephone: (\_\_\_\_) \_\_\_\_\_

Email: \_\_\_\_\_

Billing Contact?                      Applicant Type (owner, architect, etc.):

**Property Owner:** \_\_\_\_\_

If Business Entity, name and title of authorized signee: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Telephone: (\_\_\_\_) \_\_\_\_\_

Email: \_\_\_\_\_

Billing Contact?

**\*\*Owner must sign at the bottom of this page\*\***

**Acknowledgement of Responsibility**

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payments of the application fee. Applications proposing major new construction, including additions, should meet with staff to review the application and requirements prior to submitting. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required. Application materials should be prepared in compliance with zoning.

**Property Owner Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

# Certificate of Appropriateness Application Instructions

Staff Contact: (804)-646-6569 | [alex.dandridge@rva.gov](mailto:alex.dandridge@rva.gov)

## Before You Submit

In advance of the application deadline, please contact staff to discuss your project, application requirements, and if necessary, to make an appointment to meet with staff for a project consultation. The CAR website has additional project guidance and required checklists: [www.rva.gov/planning-development-review/commission-architectural-review](http://www.rva.gov/planning-development-review/commission-architectural-review).

**Application deadlines are firm.** All materials must be submitted by the deadline to be considered at the following Commission meeting. Designs must be final at the time of application; revisions will not be accepted after the deadline. Incomplete and/or late applications will not be placed on that month's agenda.

## Submission Requirements

Please submit applications to staff via email with the project address in the subject line. Submit the following items via email to staff:

- One (1) signed and completed application (PDF) – property owner signature required.
- Supporting documentation, as indicated on the [checklist](#), which can be found under the 'Application Information' tab on the website.
- Payment of application fee, if required. Payment of the fee must be received before the application will be scheduled. An invoice will be sent via the City's Online Permit Portal. Please see [fee schedule](#) available on the CAR website for additional information.

A complete application includes a signed application form, legible plans, drawings, elevations, material specifications, and payment of the required fee as described in the City Code of Ordinances Sec. 30-930.6(b). The Commission will not accept new materials, revisions, or redesigns at the meeting. Deferral until the following month's meeting may be necessary in such cases to allow for adequate review by staff, Commissioners, and public notice, if required.

## Meeting Information and Application Due Dates

- The Commission meets on the fourth Tuesday of each month, except for December when it meets on the third Tuesday.
- Application hearings start at 4:00pm. Meetings are held in person at City Hall in the 5<sup>th</sup> floor conference room. Participation via Microsoft Teams is available. It is strongly recommended that at least one person, either the owner or applicant, attend the meeting in person.
- All applications are due at 12 noon the Friday after the monthly CAR meeting, except in December, when applications are due the following Monday. For a list of meeting dates and submission deadline dates for each meeting please visit [www.rva.gov/planning-development-review/commission-architectural-review](http://www.rva.gov/planning-development-review/commission-architectural-review) or contact staff.
- Revisions to applications that have been deferred or conceptually reviewed at a CAR meeting can be submitted nine (9) business days after that meeting in order to be reviewed at the following meeting. Please contact staff to confirm this date.
- New construction will be required to go through a conceptual review. The conceptual review is non-binding.
- Applicants are encouraged to reach out to any relevant civic associations and immediate neighbors for new construction or large-scale projects prior to submitting to the Commission of Architectural Review.



# CERTIFICATE OF APPROPRIATENESS

## ALTERATION AND ADDITION CHECKLIST

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**Well in advance of the COA application deadline contact staff to discuss your project, and if necessary, to make an appointment to meet with staff for a project consultation.**

Complete all applicable sections and submit with the COA application form. Staff can assist you in determining what items are required for your scope of work. An incomplete application may cause delays in processing or may be deferred to the next agenda. Application materials must clearly represent current and proposed conditions. Refer to Standards for Rehabilitation outlined in Section 30.930.7(b) of the City Code, as well as, the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

**PROPERTY ADDRESS:** 2228 Cedar St.

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### BUILDING TYPE

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> single-family residence | <input type="checkbox"/> garage              |
| <input type="checkbox"/> multi-family residence             | <input type="checkbox"/> accessory structure |
| <input type="checkbox"/> commercial building                | <input type="checkbox"/> other               |
| <input type="checkbox"/> mixed use building                 |  |
| <input type="checkbox"/> institutional building             |  |

### ALTERATION TYPE

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> addition                | <input checked="" type="checkbox"/> roof  |
| <input type="checkbox"/> foundation                         | <input type="checkbox"/> awning or canopy |
| <input checked="" type="checkbox"/> wall siding or cladding | <input type="checkbox"/> commercial sign  |
| <input checked="" type="checkbox"/> windows or doors        | <input type="checkbox"/> ramp or lift     |
| <input checked="" type="checkbox"/> porch or balcony        | <input type="checkbox"/> other            |

### WRITTEN DESCRIPTION

- property description, current conditions and any prior alterations or additions
- proposed work: plans to change any exterior features, and/or addition description
- current building material conditions and originality of any materials proposed to be repaired or replaced
- proposed new material description: attach specification sheets if necessary

### PHOTOGRAPHS

 place on 8 ½ x 11 page, label photos with description and location (refer to photograph guidelines)

- elevations of all sides
- detail photos of exterior elements subject to proposed work
- historical photos as evidence for restoration work

### DRAWINGS

 (refer to required drawing guidelines)

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> current site plan                 | <input checked="" type="checkbox"/> list of current windows and doors | <input checked="" type="checkbox"/> current elevations (all sides)  |
| <input type="checkbox"/> proposed site plan                | <input checked="" type="checkbox"/> list of proposed window and door  | <input checked="" type="checkbox"/> proposed elevations (all sides) |
| <input type="checkbox"/> current floor plans               | <input checked="" type="checkbox"/> current roof plan                 | <input type="checkbox"/> demolition plan                            |
| <input checked="" type="checkbox"/> proposed floor plans   | <input checked="" type="checkbox"/> proposed roof plan                | <input type="checkbox"/> perspective and/or line of sight           |
| <input checked="" type="checkbox"/> legal "plat of survey" |   |   |

**2228 Cedar St.**

Historic Renovation - Union Hill Historic District



# General Scope of Work

Complete renovation of 2228 Cedar St. to become a 3 bed, 2.5 bath home, specifically focusing on salvaging existing architectural details and restoring the home to its former glory while maximizing the use of existing interior space. See separate attachment for complete scalable floor plans.



# Front/South Elevation

- Restore existing wood siding - paint color TBD - chosen from CAR list of approved colors
- Remove plywood shutters to restore building back to condition noted in historic photo attached
- Replace main roof with architectural dimensional shingle, and porch roof with new metal roof.
- Rebuild existing porch in kind due to rot - all columns and railings to be identical to existing, and porch floor to be painted tongue and groove.
- Remove existing historical door slab and relocate to adjacent opening, allowing historic door to be used as entrance to the home.
- Eliminate door opening no longer to be used and install new window to match adjacent.
- Existing windows to be salvaged or replaced in kind with identical windows
- Rebuild front steps to be code compliant, and replace conflicting basement door with window
- Replace rebuilt CMU columns and wrap with masonry to match the existing home.
- Pour concrete patio at ground level under existing raised porch, install railing to match porch above.

# Front/South Elevation - Proposed

See separate attachment for complete file.







# Rear/North Elevation

- Install roughly 7'0 x 12'0 second story addition to accommodate interior stair to second floor, allowing us to maximize interior flow and layout. Peak of roof to be subordinate to peak of existing main structure. Board and batten siding to match existing single story addition - color TBD, based on feedback to either match or differentiate from below.
- Install 8'0" x 12'0" second story balcony made safe with parapet walls and metal rails.
- Remainder of roof structure to remain, install new architectural dimensional shingles
- Remove asphalt shingle siding on main house; evaluate existence/condition of siding below - salvage or replace with smooth composite siding, paint color TBD and selected from CAR list of approved colors
- Remove asphalt shingle siding from rear 1910 addition - current state leads us to believe there is no wood siding behind; install board and batten to differentiate from original main structure; paint color TBD and selected from CAR list of approved colors
- Enlarge (2) existing windows to meet code minimum standards for bedroom egress - style to match existing



Enlarge to  
make egress  
code compliant



# Rear Elevation - Proposed

See separate attachment for complete file.



# Right/East Elevation

- Repair and parge existing CMU foundation
- Remove asphalt shingle siding on main house; evaluate existence/condition of siding below - salvage or replace with smooth composite siding, paint color TBD and selected from CAR list of approved colors
- Remove asphalt shingle siding from rear 1910 addition - current state leads us to believe there is no wood siding behind; install board and batten to differentiate from original main structure; paint color TBD and selected from CAR list of approved colors





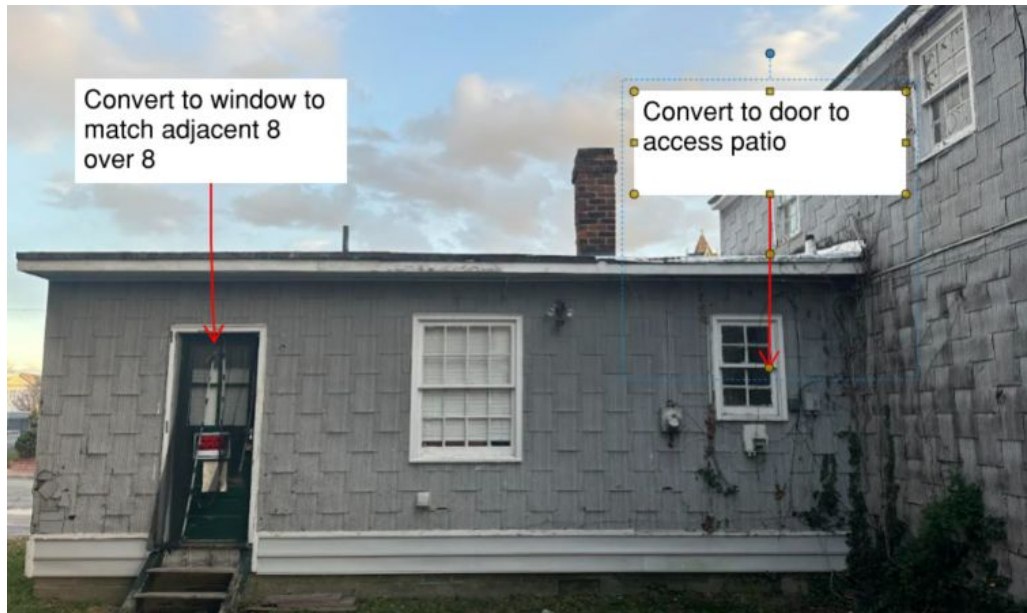
# Right Side Elevation - Proposed

See separate attachment for complete file.



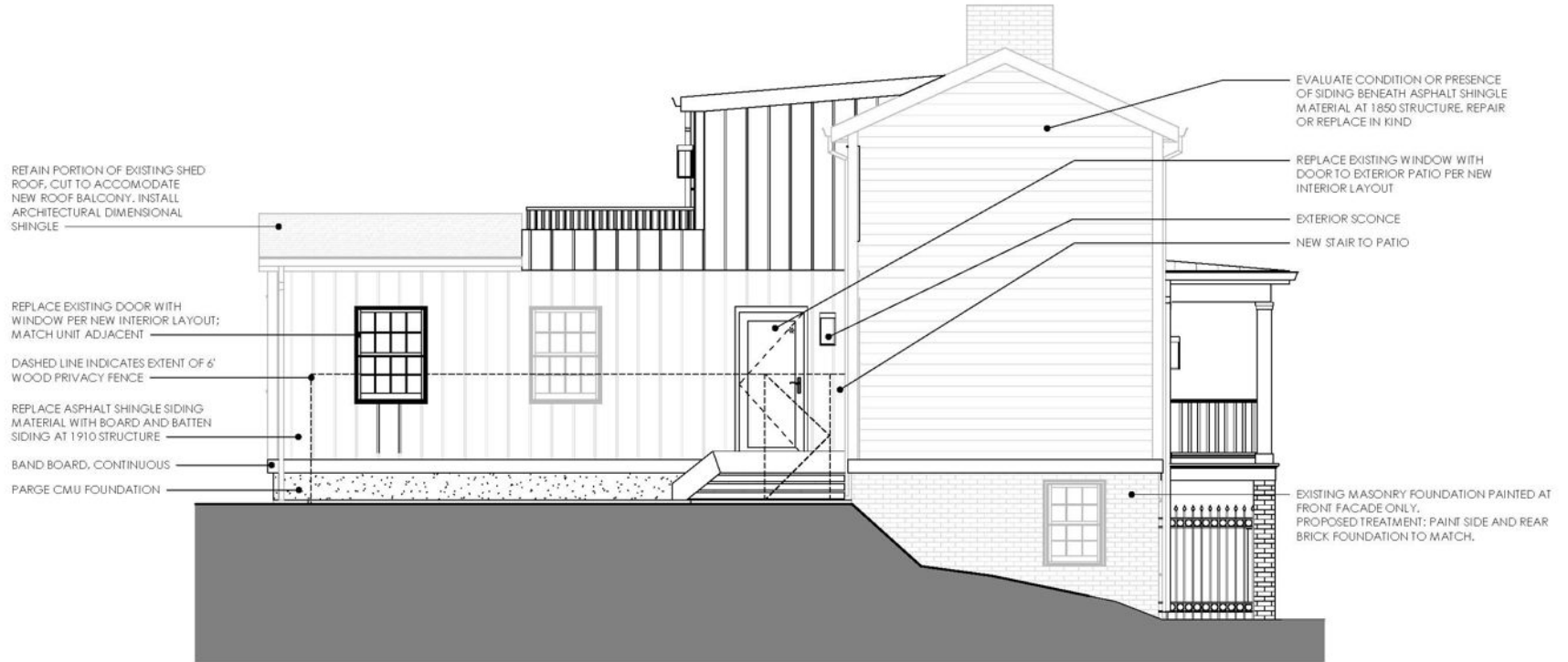
# Left/West Elevation - Description of Work

- Replace (1) existing window with door and stair to patio
- Replace existing door with window to match adjacent 8 over 8
- Remove asphalt shingle siding on main house; evaluate existence/condition of siding below - salvage or replace with smooth composite siding, paint color TBD and selected from CAR list of approved colors
- Remove asphalt shingle siding from rear 1910 addition - current state leads us to believe there is no wood siding behind; install board and batten to differentiate from original main structure; paint color TBD and selected from CAR list of approved colors
- Pour new concrete patio; hidden from view of public ROW by wood privacy fence to remain unpainted



# Left Side Elevation - Proposed

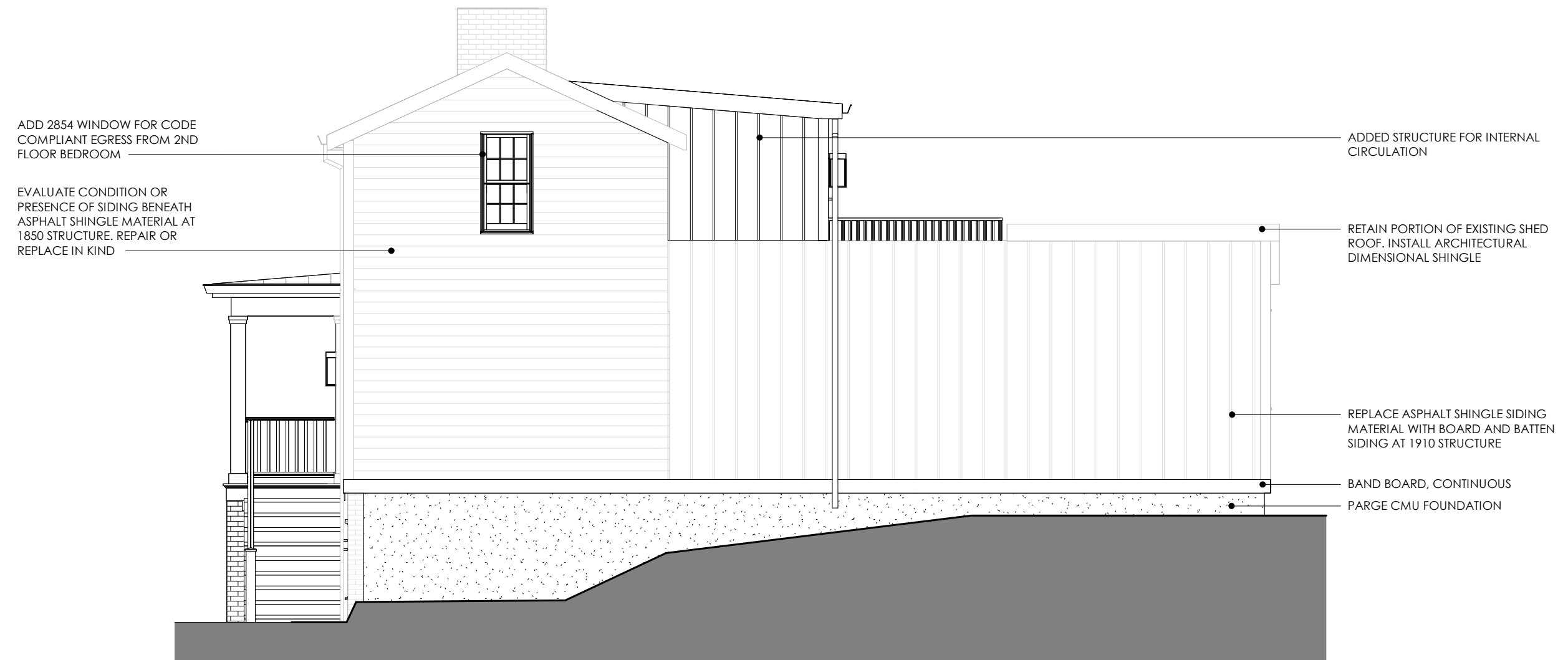
See separate attachment for complete file.



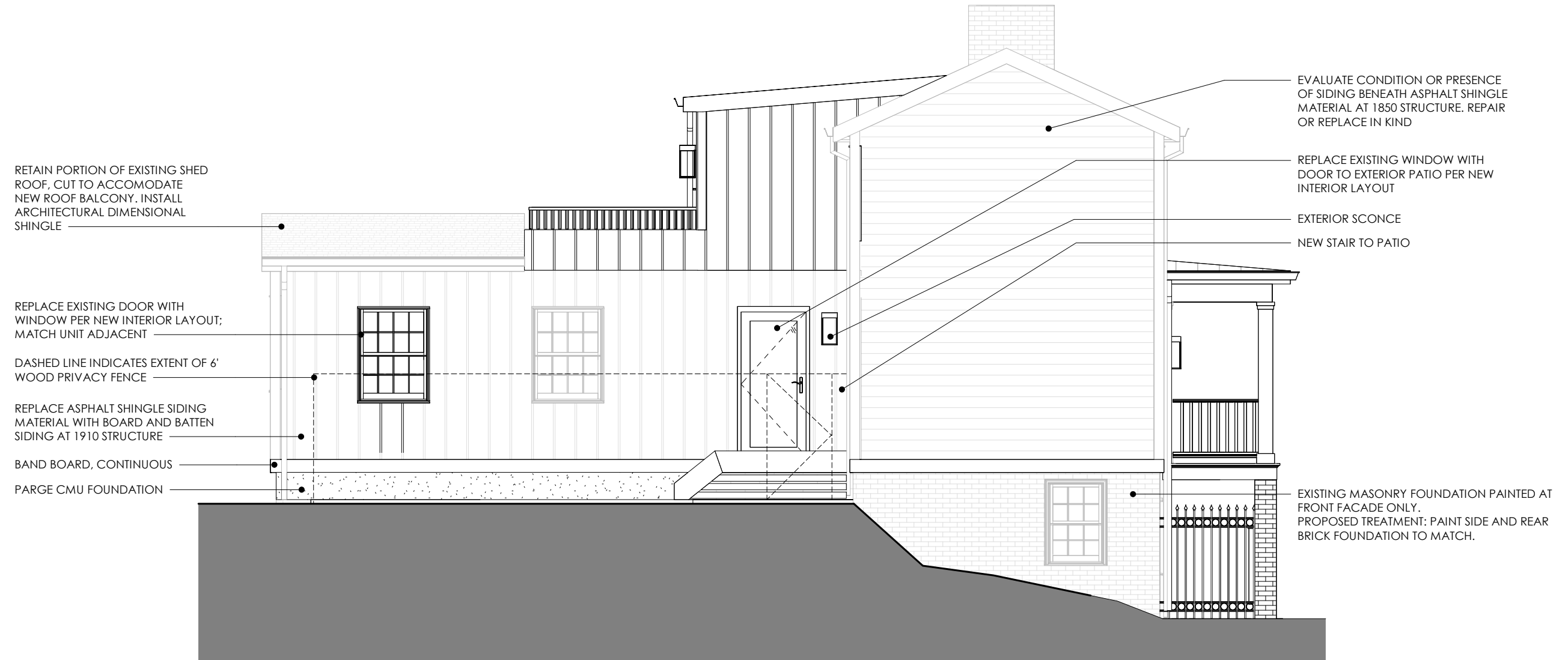
# Front/South Elevation



# Right Side/West Elevation



# Left Side/East Elevation





# Left Side/East Elevation

\*Fence removed for visibility\*



# Rear/North Elevation

\*Fence removed for visibility\*

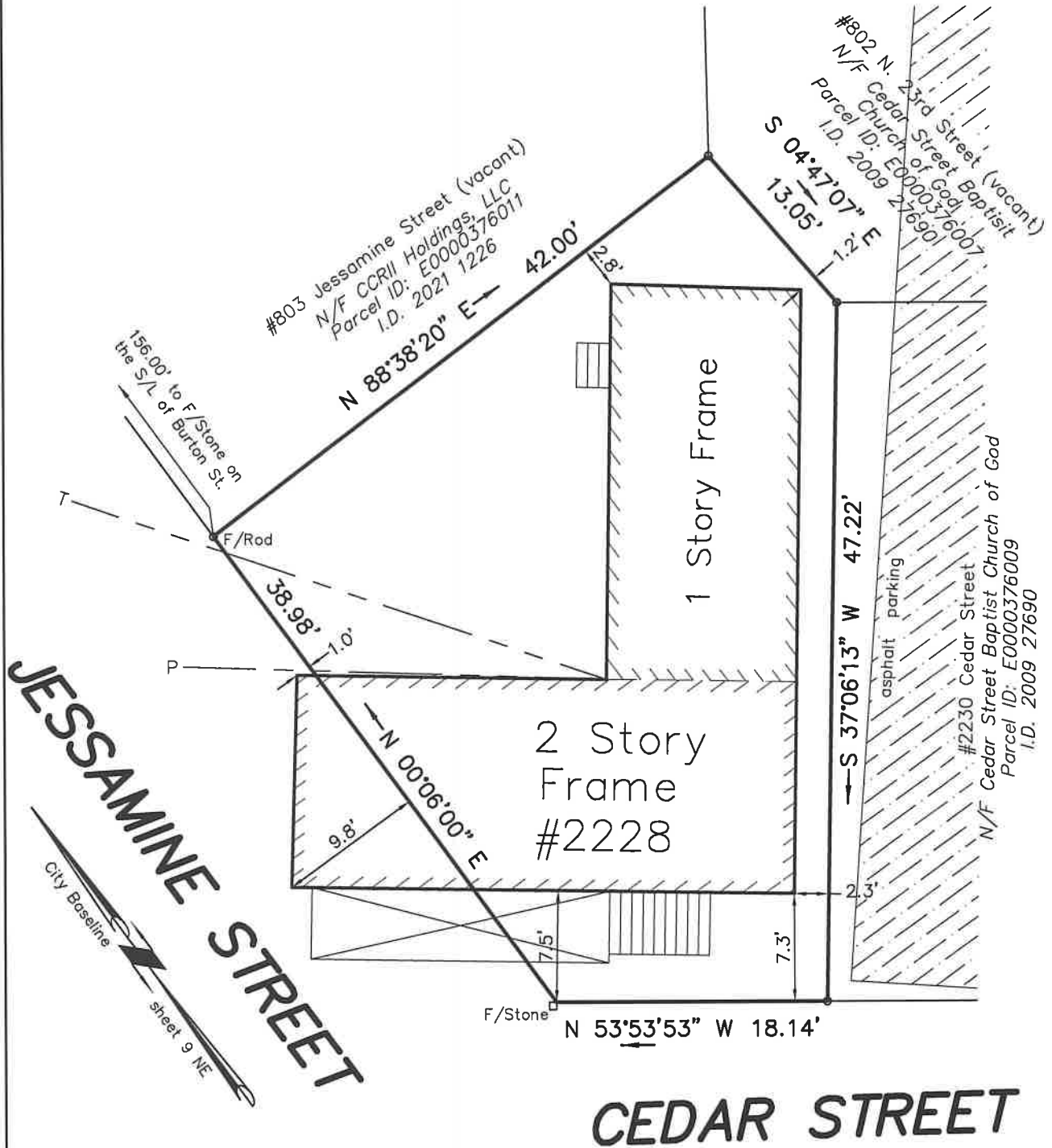


# Rear/North Elevation



Address: #2228 Cedar Street  
 Purchaser: Vertex Realty & Investments  
 Current Owner: William P. Pearsall, Jr. Trustee  
 Parcel ID: E0000376010  
 I.W. 2020 359

Note: Bearings protracted from City  
 Baseline sheet 9 NE.



Survey and Plat of  
**The Property Known as  
 #2228 Cedar Street in  
 the City of Richmond, VA**



This is to certify that on 07/20/21 I made an accurate field survey of the premises shown hereon that all improvements and easements known or visible are shown hereon, that there are no encroachments by improvements either from adjoining premises or from subject premises upon adjoining premises other than shown hereon. THIS PLAT WAS MADE WITHOUT THE BENEFIT OF A TITLE SURVEY OR REPORT.

FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE X of the Flood Insurance Rate Map, Community Panel No. 510129 0041E effective date of 07/16/14. Exact designations can only be determined by an Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.

**DAVISON LAND SURVEYING  
AND MAPPING**  
 8306 Longlands Pl.  
 Chesterfield, Virginia 23832  
 (804)314-7441 davisonlandsurveying@gmail.com

DATE: 07/26/21	SCALE: 1"=10'	JN: 21-206
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# FLOOR PLAN LEGEND

<p> NO WORK (NOT APPLICABLE)</p> <p> EXISTING ELEMENTS TO REMAIN</p> <p> DOOR TAG</p> <p> WINDOW TAG</p> <p> PARTITION TAG</p>	<p> EXISTING WALL, WINDOW OR DOOR TO BE DEMOLISHED OR REMOVED</p> <p> EXISTING WALL, WINDOW, AND/OR DOOR TO REMAIN</p> <p> NEW WALL, WINDOW, AND/OR DOOR</p>	<p> DUPLEX OUTLET DED: DEDICATED #: HEIGHT GFI: GROUND FAULT INTERRUPTER</p> <p> LIGHT SWITCH</p> <p> LIGHT SWITCH, 3-WAY</p> <p> LIGHT SWITCH, EXISTING</p> <p> SMOKE DETECTOR</p>	<p><b>WALL ASSEMBLIES</b></p> <p><b>GENERAL MATERIALS</b></p> <p>1. EXTERIOR WALLS A. SIDING PER FINISH SCHEDULE B. TYVEK® BUILDING WRAP C. 7/16" OSB SHEATHING, 8D @ 6/12 D. R-15 BATT INSULATION E. 2X4" WD STUDS @ 16" OC (E4,UNO); 2X6"(E6) F. 1/2" GYPSUM BOARD INTERIOR</p> <p>2. INTERIOR WALLS A. 2X4" WD STUDS @ 16" OC (A4,UNO); 2X6"(A6) B. 1/2" GYPSUM BOARD INTERIOR, EACH SIDE</p> <p>3. CEILINGS A. 2X JOISTS @ 16" OC B. R49 INSULATION C. 1/2" GYPSUM BOARD</p> <p>4. ROOF SYSTEM A. 30 YR FIBERGLASS DIMENSIONAL SHINGLES B. 30# FELT PAPER C. 5/8" OSB OR CDX EXTERIOR GRADE PLYWOOD D. 2X RAFTERS @ 16" OC</p>
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VENTURE 50, LLC

2228 CEDAR STREET

RICHMOND VA 23223

NO.	DATE	NOTE
11.27.2024	CAR REVIEW	

REVISIONS

STRUCTURAL ENGINEER  
LOUISA ENGINEERING INC  
847 JOUETT SCHOOL RD  
MINERAL, VA 23117  
p (804) 512.4826  
e JOHN@LOUISAENGINEERING.COM

ENGINEERS



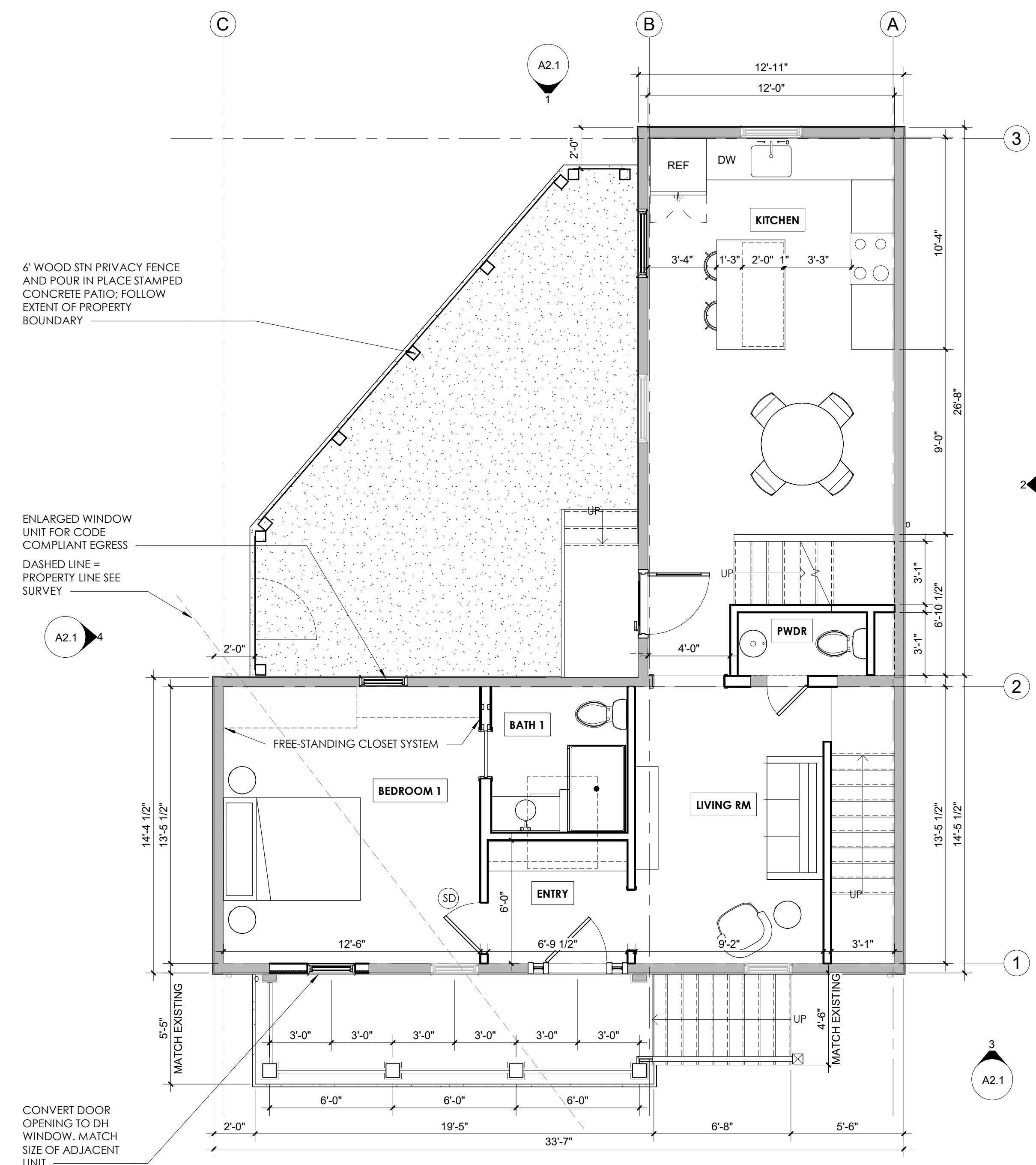
2421.3  
PROJECT NO

NEW CONSTRUCTION PLANS

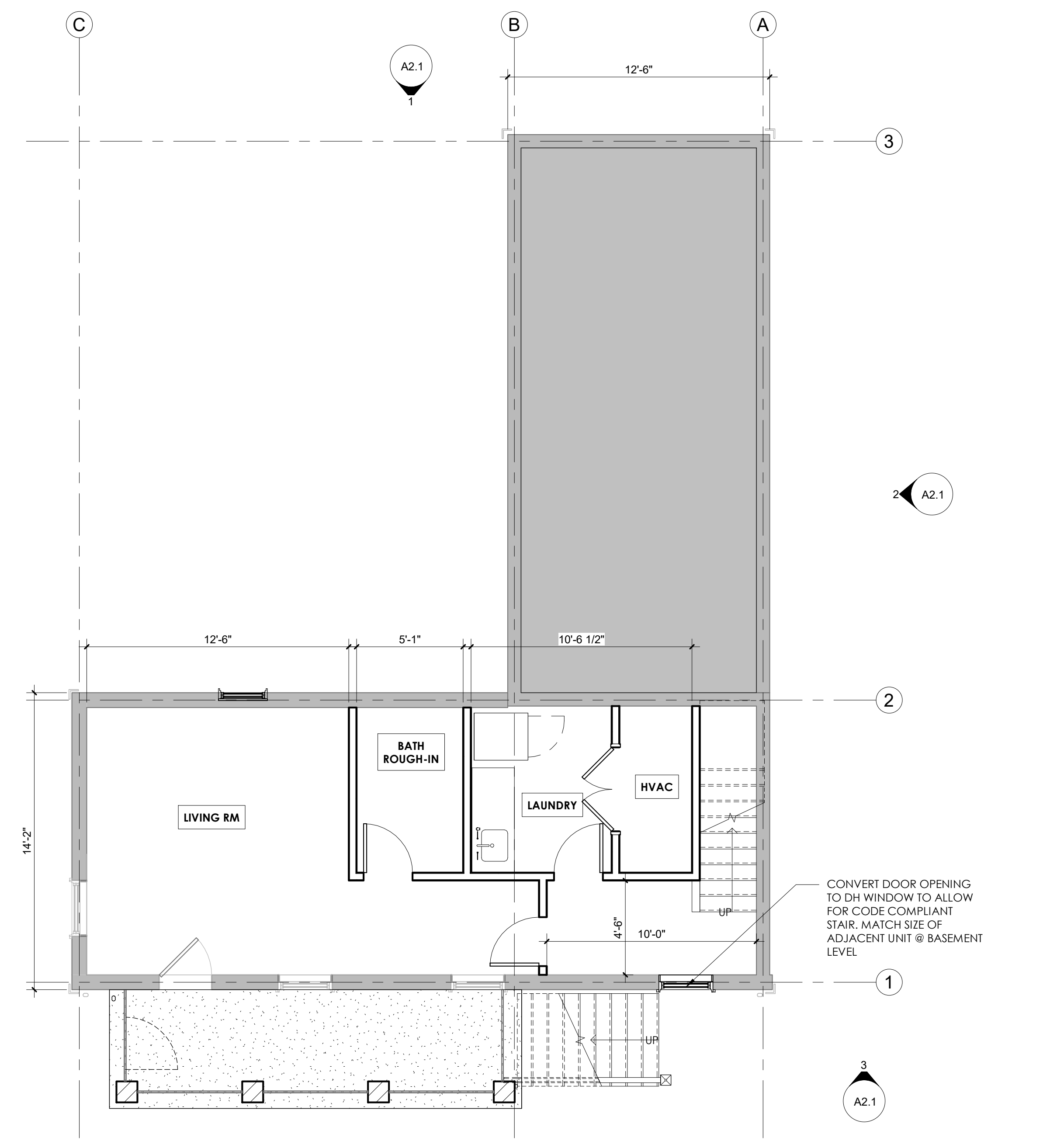
SHEET TITLE

A1.1

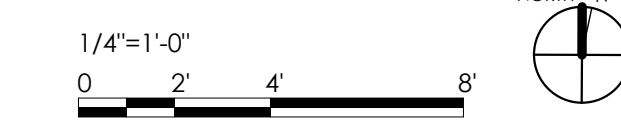
SHEET NUMBER



**2 MAIN LEVEL NEW WORK PLAN**  
A1.1 1/4" = 1'-0"



**1 BASEMENT NEW WORK PLAN**  
A1.1 1/4" = 1'-0"



# FLOOR PLAN LEGEND

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VENTURE 50, LLC

2228 CEDAR STREET

RICHMOND VA 23223

NO.	DATE	NOTE
11.27.2024	CAR REVIEW	

REVISIONS

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MINERAL, VA 23117  
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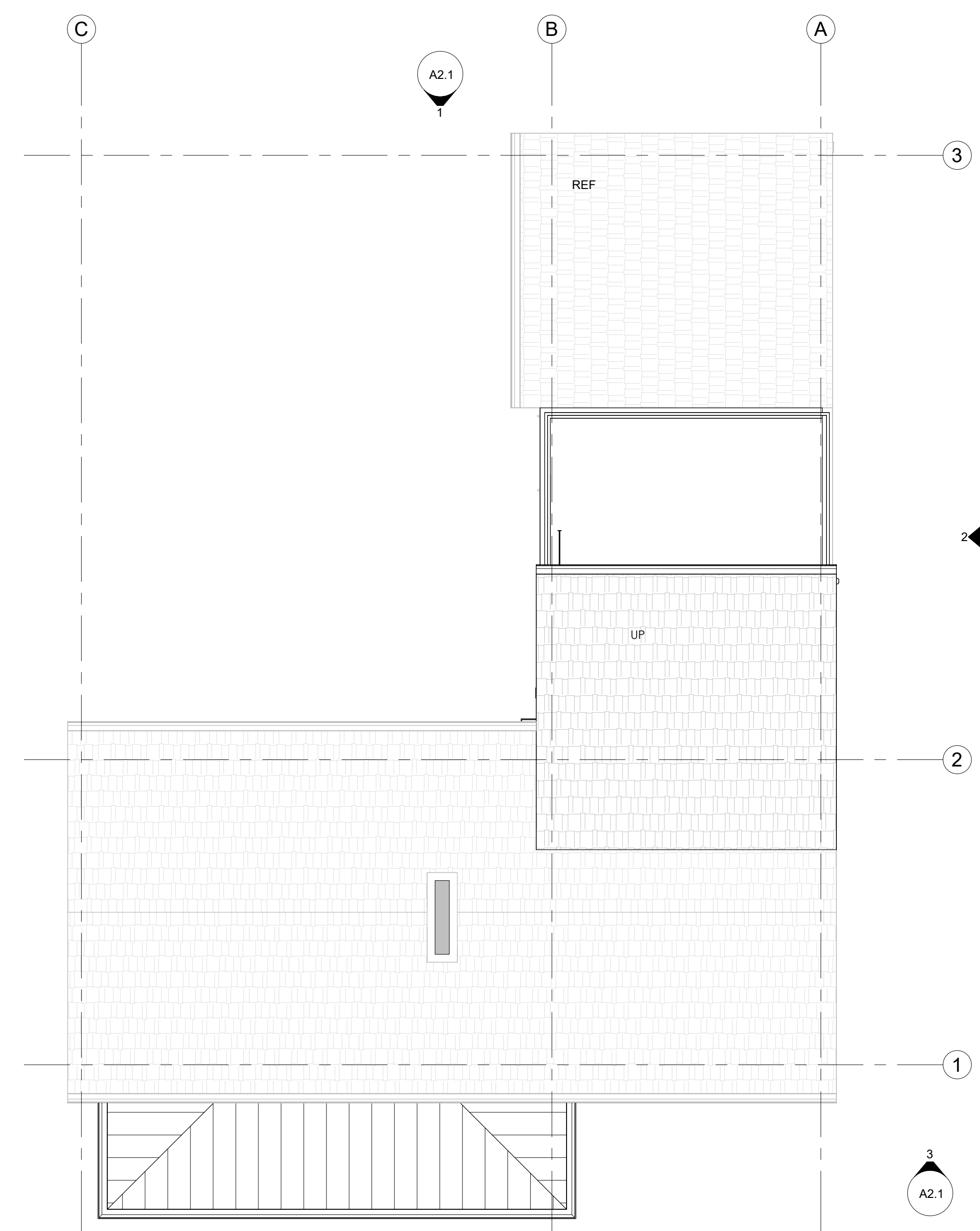
ENGINEERS



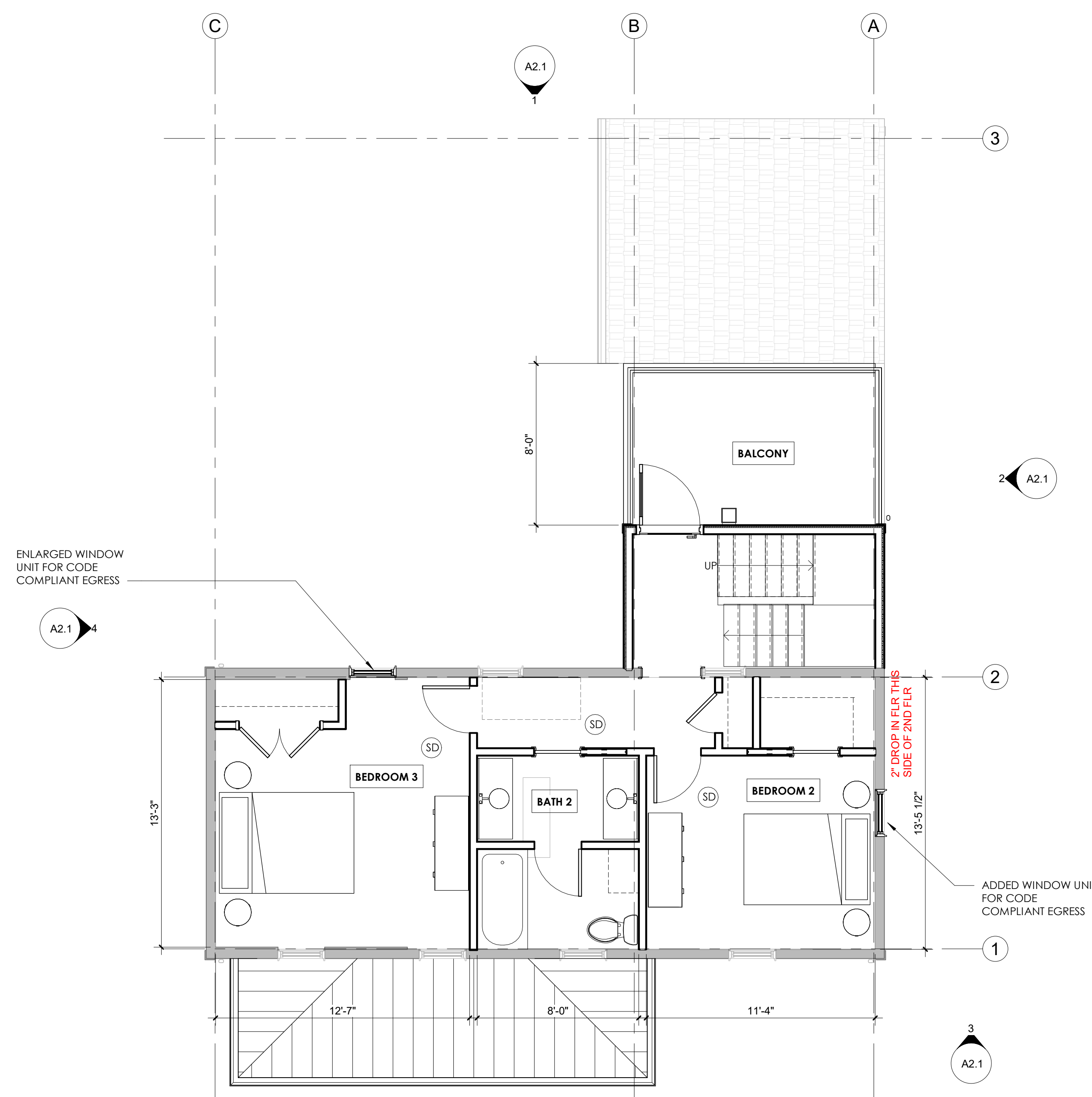
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PROJECT NO

NEW CONSTRUCTION PLANS  
SHEET TITLE

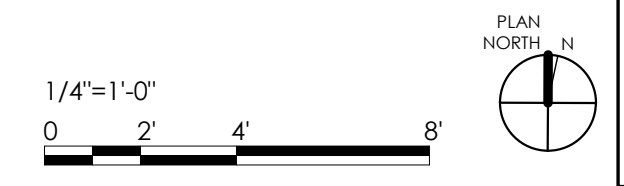
A1.2  
SHEET NUMBER



**2 ROOF PLAN**  
A1.2 1/4" = 1'-0"



**1 MAIN & SECOND FLOOR - NEW CONSTRUCTION**  
A1.2 1/4" = 1'-0"











2228











