



# COMMISSION OF ARCHITECTURAL REVIEW APPLICATION / CERTIFICATE OF APPROPRIATENESS

**PROPERTY** (Location of Work)Address 766-268 Pine St 23223Historic District Wren Hill**PROPOSED ACTION**

- Alteration (including paint colors)
- Addition
- Rehabilitation
- New Construction (Conceptual Review required)
- Demolition
- Conceptual Review
- Final Review

**OWNER**

Name \_\_\_\_\_  
 Company \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 Phone \_\_\_\_\_  
 Email \_\_\_\_\_  
 Signature \_\_\_\_\_  
 Date \_\_\_\_\_

**APPLICANT** (if other than owner)

Name David Klesman  
 Company Endre Development, Inc  
 Mailing Address 3420 Pump Rd #169  
Richmond VA 23233  
 Phone 804-991-4111  
 Email OVK5T@YAHOO.COM  
 Signature David Wlsr  
 Date 4-28-17

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be ~~extended~~ for an additional year, upon written request.

(Space below for staff use only)

**APR 28 2017**

Application received:

Date/Time 4/28/17 3:55pm  
By C. J. SaffersComplete  Yes  No

Danill Kleyman  
Evolve Development, Inc  
3420 Pump Rd Suite 169  
Richmond, VA 23233

April 28, 2017

To whom it may concern,

Attached you will find proposed architectural plans for a new duplex located at 966-968 Pink st. The structure will be in full compliance with the Old and Historic District Design Review Guidelines. Furthermore, the new construction project will be in full compliance with the R-63 zoning requirements in Union Hill.

This projected was presented for Conceptual Review at the April 25<sup>th</sup> CAR meeting. At this meeting, the commission was concerned with double entry doors on the front elevation. It was also suggested that the front porch be better aligned with the sidewalk to make the building feel more pedestrian friendly. To address this, the foundation height has been lowered and the front was redesigned to have a single front entry for the duplex.

Setback drawing can be found on page C-1 of the attached drawings

Context Drawing can be found on page C-1 of the attached drawings.

Architectural Key Notes can be found on page A-3 of the attached drawings.

Siding and Exterior Trim will be fiber-cement (hardipanel). Siding will have a smooth, non-textured finish, with a 7" reveal.

Siding color will be:

Woodland Cream from Hardie:



Trim color will be white.

Exterior Doors will be painted a 4 or 6-panel fiberglass doors, with a single light transom above. Color will be white.

Exterior Windows will be 2x2 SDL MW Jefferson Series 300 Double Hung window. Please see attached spec

sheet.

Fascia boards will fibercement, with wood corbels, all painted white.

Porch roof will be EPDM, with a black finish.

Main structure roof will be membrane roofing over 5/8" osb.

For any additional questions prior to the CAR meeting in January, please feel free to contact me at 804-991-4111 or [dvk5f@yahoo.com](mailto:dvk5f@yahoo.com)

Danill V. Kleyman

# TWO-FAMILY RESIDENCE at 966 - 968 PINK STREET RICHMOND, VA 23223

**DRAWING INDEX:**

- T-1 TITLE SHEET, SITE SURVEY, BUILDING INFORMATION, GENERAL NOTES
- C-1 FOUNDATION PLAN, ROOF PLAN, & WALL SECTION DETAIL
- A-1 WALL TYPES, 1ST FLOOR PLAN, 2ND FLOOR PLAN, SCHEDULES
- A-2 EXTERIOR ELEVATIONS
- A-3 EXTERIOR ELEVATIONS
- A-4 SIDING & ROOF SQUARE FOOTAGE
- A-5

**BUILDING INFORMATION:**

CONSTRUCTION CODE: VCC 2012, IRC 2012  
 CONSTRUCTION TYPE: V-B  
 BUILDING AREA (INCLUDING EXTERIOR WALL):  
 1ST FLOOR: 1,280 SF  
 2ND FLOOR: 1,280 SF  
 TOTAL: 2,560 SF  
 STORIES ABOVE GRADE: 2  
 HEIGHT ABOVE GRADE: 27'-+/-  
 USE GROUP: TWO-FAMILY  
 NUMBER OF UNITS: 2  
 SPRINKLER SYSTEM: NO  
 FIRE DETECTION: YES, HARD-WIRED SMOKE DETECTION SYSTEM THROUGHOUT FIRE AREA.

**GENERAL STRUCTURAL NOTE: STRUCTURAL ITEMS ARE SHOWN FOR REFERENCE. ALL STRUCTURAL ELEMENTS ARE TO BE SPECIFIED/APPROVED BY A STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.**

**General Conditions:**

Contractor to carefully review the contract documents and existing conditions of the job site to achieve full comprehension of the project resolution requirements. Contractor to include cost for all work described and required to satisfy the intent of the contract documents and required by existing conditions. Architect to be notified of conflicts between existing conditions and new work conditions or omissions in the drawings and any limitations related to the execution of the work. In the case of conflicts within the contract documents, the strictest condition or requirement is to be included in the cost and scope of work. Contractor shall not proceed with the work, involved in such errors, omissions, or discrepancies until written instructions are given by the Architect. The Contractor shall be responsible to correct all work erroneously installed prior to receiving said instructions. As work shall be in accordance with the Virginia Statewide Uniform Building Code and International Residential Code unless otherwise noted. Contractor to apply for, pay for and obtain all permits, fees and inspections by authorities having jurisdiction over the work. Copies of all transactions shall be made available to the owner. Notify the architect of any variance with current codes. Contractor shall be responsible for compliance with public authorities regarding the performance of work. Contractor to make available to the owner a construction schedule along with a schedule of values prior to commencement of work. Contractor shall supply all labor, materials, equipment, tools, handling, transportation, debris removal, and all related costs and services necessary for the execution of the work.

Work is to be executed by the general contractor unless provisions are made otherwise. References to "contractor" are to include general contractor and subcontractors. The contractor shall be solely responsible for and have control over all construction means and methods required by the contract documents including coordination of work. The contractor is to be responsible for acts and omissions of the contractor's employees, subcontractors and their employees, and any other persons performing any of the work under contract with the contractor. The architect will not be responsible for errors, omissions or delays caused by the contractor. Field Verifications: Verify all dimensions in the field before performing the work. The Contractor will be responsible to correct any work that is done in error because of failure to verify or clarify dimensions. Substantial changes to the drawings or actual work are to be issued by the architect with the owner's approval.

**Construction Coordination:**  
 Contractor is to coordinate and protect all new and existing work in place when exposed to potential damage by work of multiple trades. The Contractor shall coordinate construction of all required mechanical, electrical and plumbing.

All work and improvements shall be in strict accordance with the current codes adopted by the local jurisdictions and approved by the local building inspection office. All work is to comply with applicable provisions of the the occupational safety and health act, OSHA.

The contractor is to keep the premises free from excessive accumulation of waste materials or rubbish caused by construction and will remove it from the site in a timely fashion or as directed by the owner. Upon completion of the project, the contractor shall remove all remaining materials, waste or otherwise, as well as all construction equipment. The work and support areas shall be left broom clean.

Product information and samples:

Shop-drawings and all other materials are to be examined by the general contractor and checked for compliance with contract requirements.

**Quality Control:**

Complete all installation and install materials per manufacturer's specifications and instructions, and in a manner consistent with industry standards of workmanship and the products selected.

**Material Acquisition:**

Protect products during all stages of handling to prevent damage. Comply with all requirements of specified product and manufacturer's instructions to ensure optimum condition of final installed product.

**Work Conditions:**

Create appropriate environmental conditions for installing or applying finishes to the products specified. Prior to product installation, evaluate all existing surfaces to receive product per product manufacturer's recommendation. Installation shall imply acceptance of substrate and shall not be grounds for claims against proper performance of installed materials. Keep criss, cut lighting, fire protection and life safety devices operational during construction. Keep means of egress clear of all tools, materials and debris.

**Guarantee:**

Warrant all materials, finishes and equipment supplied under this contract shall be new, unless otherwise specified, and that all work shall be of good quality, free from defects and in compliance with the contract documents. For one year beginning at the date of substantial completion, contractor will promptly remedy work found not to be in compliance with the contract documents. Contractor shall assume all costs for corrections.

Transfer all manufacturer warranties, product literature, maintenance requirements and schedules to the owner at completion of the project.

**Products:**

Contractor to provide products specified in the following specifications or in the other contract documents. If no product is specified, contractor shall provide a match in quality and appearance to typical materials used in other similar buildings.

**Construction execution:**

Dimensions to be verified in the field. If dimensions can not be verified or the verification would cause a delay in the progress of work, contractor shall guarantee dimensions to the subcontractor for coordination. Drawings may be scaled for reference only.

Wall partitions, unless noted otherwise, shall be located as dimensioned and shown on the construction plans and details. Dimensions are to faces of finished partitions. Actual partition thicknesses are used. Contractor shall verify dimensions. All vertical dimensions are given from top of finished flooring unless otherwise noted.

Contractor shall prepare concrete floors, if applicable, to be a smooth uniform surface. All floor joists and partitions shall be coordinated by contractor as part of the floor preparation.

Clean all surfaces and equipment 24 hours prior to occupancy. Vacuum or mop, as required, all floors and clean windows and glazing.

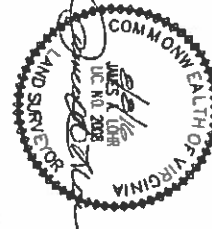
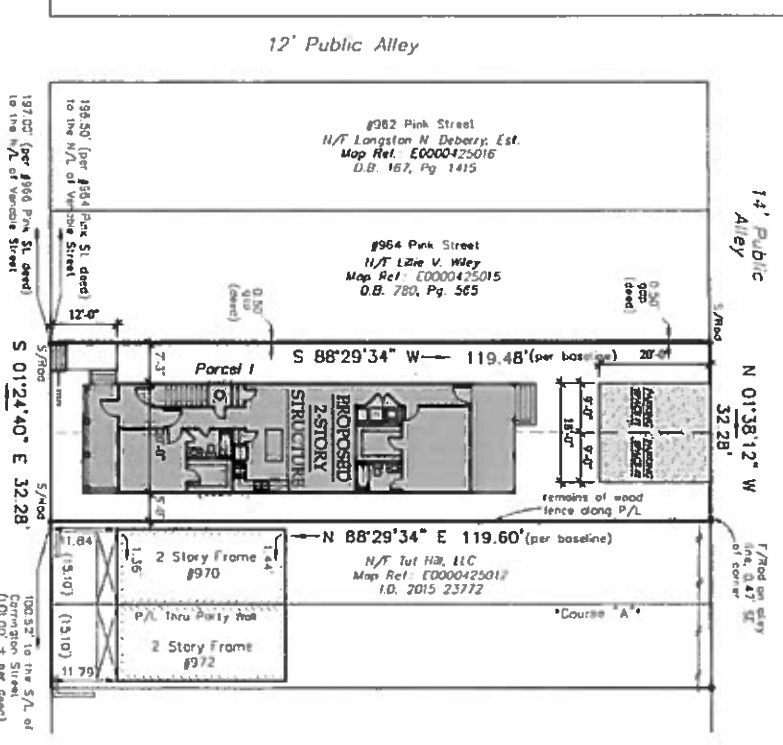
The date when the project is available for owner occupancy will be known as substantial completion. Additional touch-up or minor installation work may be incomplete.

Construct all items in strict adherence to the approved shop drawings and the referenced product standards. Connections of all parts being accurately and neatly fitted and securely fastened together.

**Parcel 1:** 966 Pink Street, Evolve HLD, LLC  
 Current Owner: Evolve HLD, LLC  
 Map Ref: E0000425014  
 I.D. 2016 7153

**Parcel 2:** 968 Pink Street, Evolve HLD, LLC  
 Current Owner: Evolve HLD, LLC  
 Map Ref: E0000425013  
 I.D. 2016 7153

Note: Bearings protected from City Baseline sheet 9 NE.  
 Course "A" location based on center of adjacent building on field located.  
 Discrepancies of 2.03' exist between City baseline street and City records.



**PINK STREET**  
 Plot of Consideration for  
 The Properties Known as  
 #966 & #968 Pink Street in  
 the City of Richmond, VA

Scale: 1"=20'  
 Drawn: TCJ  
 Checked: JAL

Date: 11/04/16

Land Surveyors-Planners  
 Virginia-North Carolina  
 1900 Blvd Avenue, Suite 113  
 Richmond, Virginia, 23220  
 Phone (804) 675-9666  
 Fax (804) 675-9999

This is to certify that on 04/04/16 I made an accurate and correct survey of the above described property and the same is shown on the attached plat. I am a duly licensed Land Surveyor in the Commonwealth of Virginia. My commission expires on 04/04/2020. I am a member of the Virginia Surveyors Association. My registration number is 2008. I am a member of the National Society of Professional Surveyors. I am a member of the American Surveying and Mapping Association. I am a member of the International Association of Professional Surveyors. I am a member of the International Federation of Surveyors. I am a member of the International Geomatics Association. I am a member of the International Association of Geodesy. I am a member of the International Association of Geomatics Engineers. I am a member of the International Association of Geomatics Engineers and Scientists. I am a member of the International Association of Geomatics Engineers and Scientists and Surveyors. I am a member of the International Association of Geomatics Engineers and Scientists and Surveyors and Land Surveyors. I am a member of the International Association of Geomatics Engineers and Scientists and Surveyors and Land Surveyors and Planners. I am a member of the International Association of Geomatics Engineers and Scientists and Surveyors and Land Surveyors and Planners and Surveyors. I am a member of the International Association of Geomatics Engineers and Scientists and Surveyors and Land Surveyors and Planners and Surveyors and Land Surveyors.

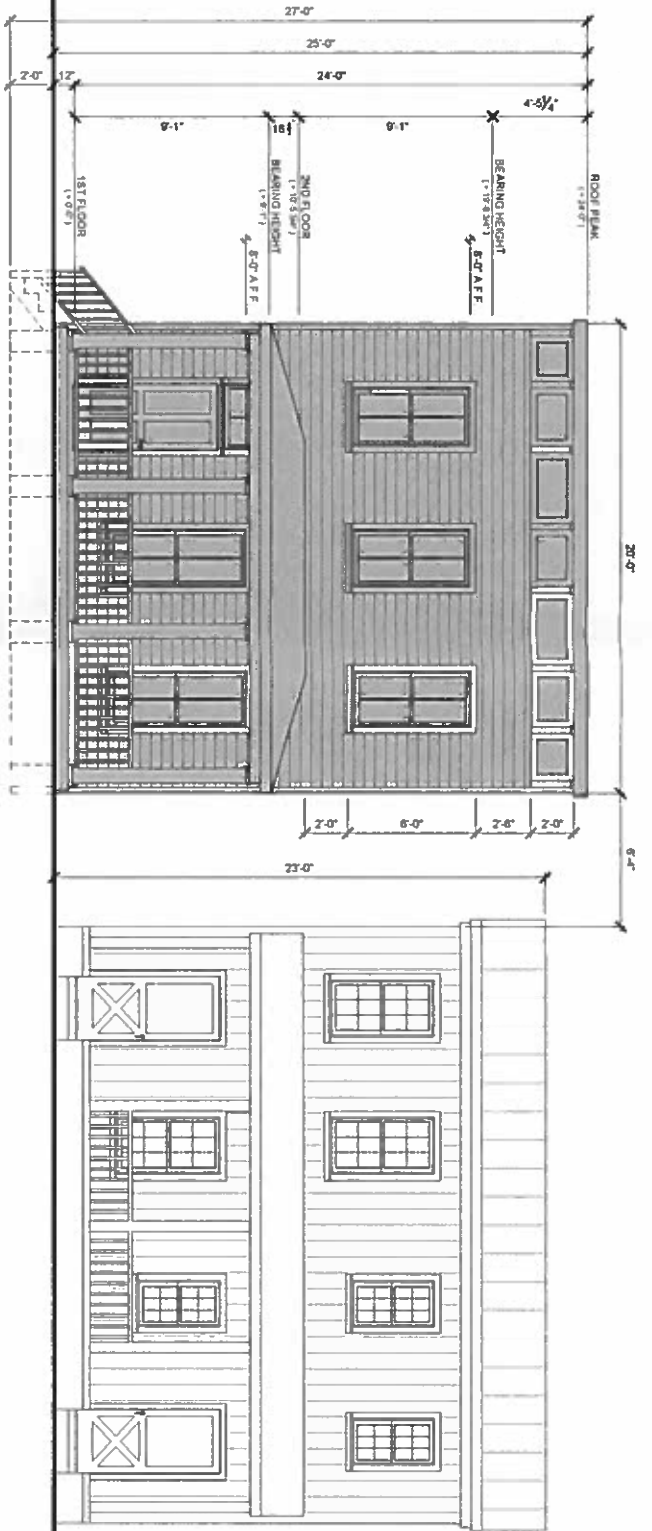
<p><b>TWO-FAMILY RESIDENCE AT</b>  <b>966 - 968 PINK STREET</b>                  RICHMOND, VA 23223</p>	<p>3420 PUMP RD SUITE 169                  RICHMOND, VA 23233</p> <p>dvk5f@yahoo.com                  804-991-4111</p>	
<p>DATE: 04/27/17</p> <p style="font-size: 2em; font-weight: bold;">T1</p>		

CONTEXT ELEVATIONS

964 PINK STREET  
VACANT LOT

966 & 968 PINK STREET  
PROPOSED

970 & 972 PINK STREET  
EXISTING

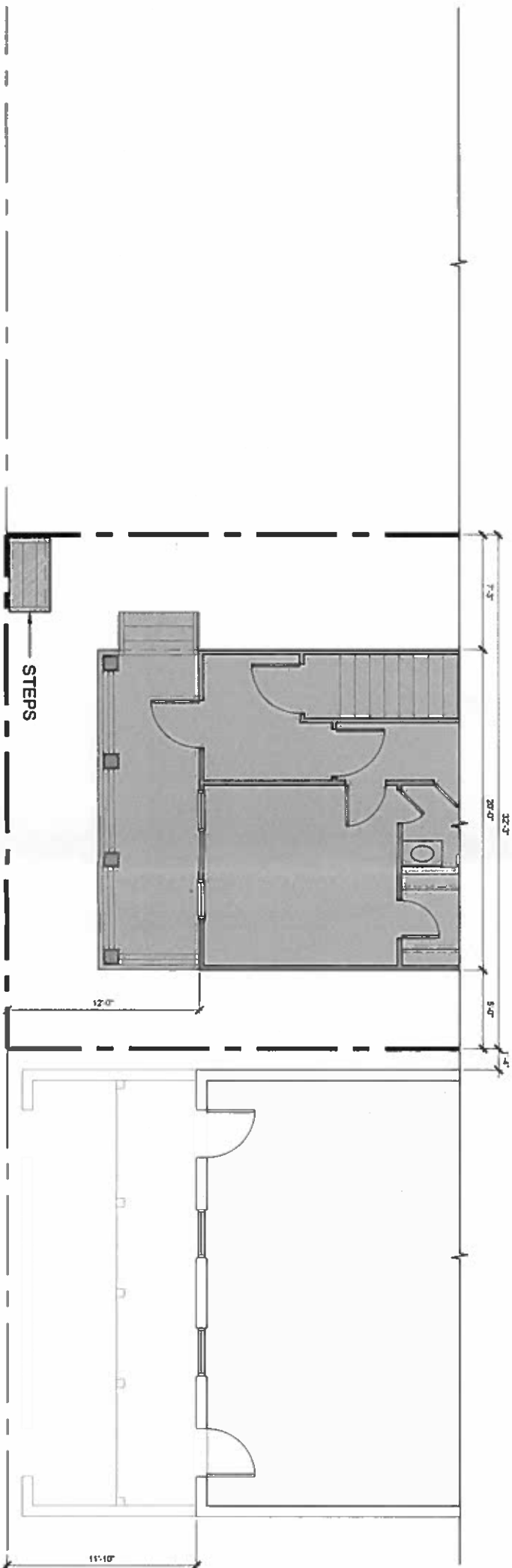


CONTEXT SETBACK PLANS

964 PINK STREET  
VACANT LOT

966 & 968 PINK STREET  
PROPOSED

970 & 972 PINK STREET  
EXISTING



SCALE: 1/4"=1'-0"



3420 PUMP RD SUITE 169  
RICHMOND, VA 23233

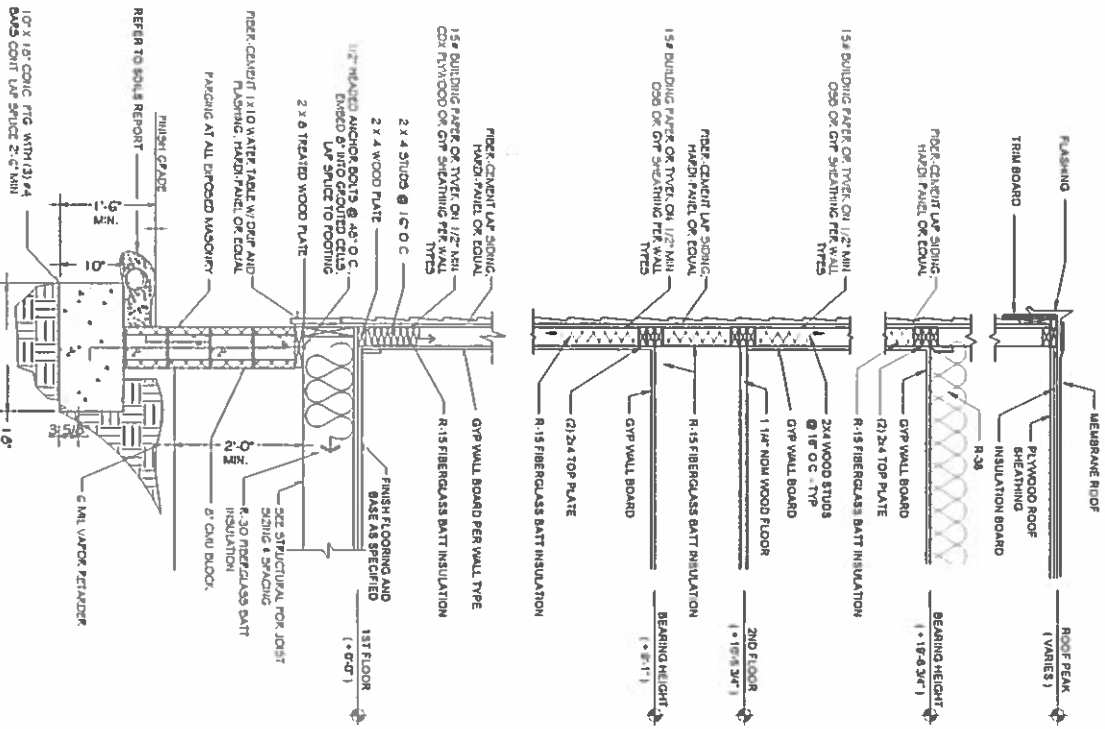
dvk5f@yahoo.com  
804-991-4111

TWO-FAMILY RESIDENCE AT  
**966 - 968 PINK STREET**  
RICHMOND, VA 23223

DATE 04.27.17

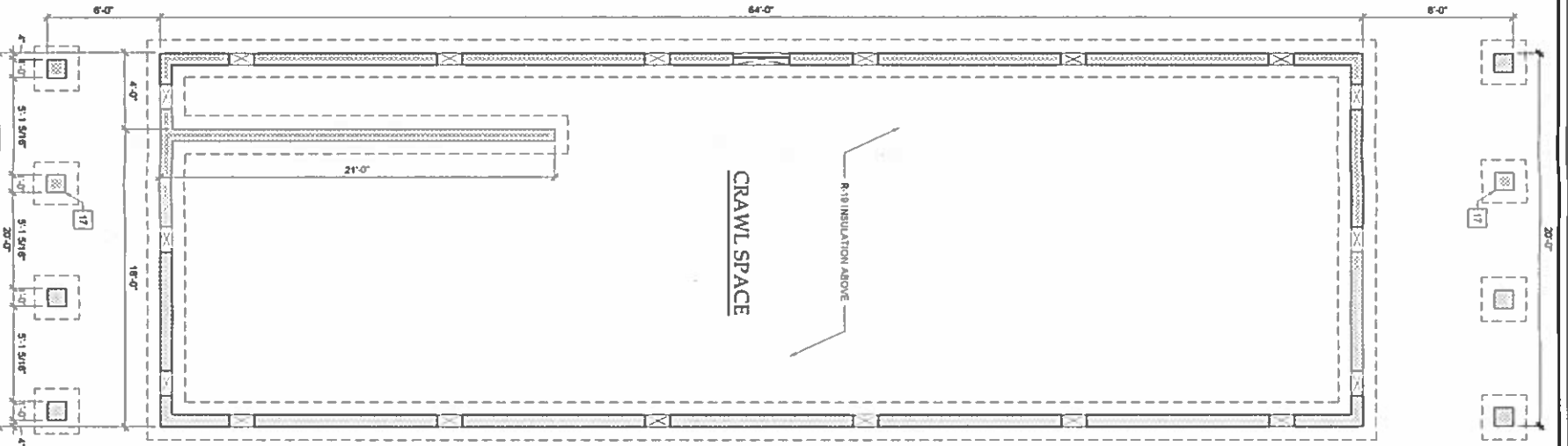
C-1

- ARCHITECTURAL KEY NOTES: 1
- NOTE: 2 CONTINUOUS SHEATHING FOR ALL WALL BRACING, INCLUDING CORNERS BY DOORS AND WINDOWS
- FOUNDATION: CMU FINISHED WITH PARING SEE WALL DETAIL 1/A-1 FOR ADDITIONAL INFORMATION.
  - FRONT PORCH FLOORING AND TRIM: TONGUE AND GROOVE DECKING
  - RAILING: RICHMOND RAIL, PAINTED
  - ROOF FLASHING: METAL, COLOR TO MATCH FASCIA BOARD
  - POPPY ROOFING: MEMBRANE LOGIC COLUMNS PAINTED
  - WINDOWS: SCL - SEE WINDOW SCHEDULE
  - DOORS: PAINTED FIBERGLASS SEE DOOR SCHEDULE
  - SIDING AND TRIM: FIBER-CEMENT (HARDIPANEL, MATERIAL OR EQUAL)
  - FASCIA BOARDS: FIBER-CEMENT (HARDIPANEL, MATERIAL OR EQUAL)
  - CORBELS: PAINTED WOOD
  - ROOF FLASHING: METAL, COLOR TO MATCH FASCIA BOARD
  - REAR PORCH STRUCTURE: PRESSURE TREATED STAINED, VERTICAL 6X8 POSTS
  - WOOD STEPS & RAILING: RICHMOND STYLE
  - 18" X 24" ATTIC VENT
  - SIMPSON HOUZ HOLD DOWN
  - UPPER ROOF: MEMBRANE ROOF OVER 1/2" OSB
  - LOWER ROOF: MEMBRANE ROOF OVER 1/2" OSB
  - CRUISE: SEE ACCESS PANEL
  - 12" X 12" BRICK COLUMN
  - WOOD LATTICE PANEL
  - 8" X 16" FOUNDATION VENT
  - PORCH PIER: 12" X 12" BRICK PIER, 2X12X12 CONCRETE FOOTING.
  - (1) # 4 REBAR HORIZONTAL, (2) # 4 REBAR VERTICAL, GROUT SQUAD.



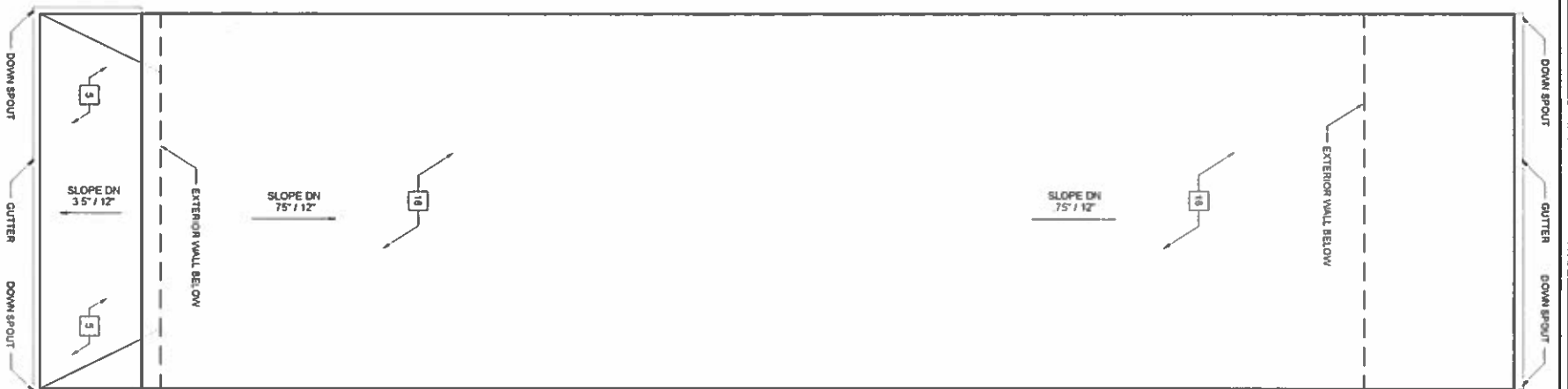
TYPICAL WALL SECTION

SCALE: 3/4\"/>



FOUNDATION PLAN

SCALE: 1/4\"/>



ROOF PLAN

SCALE: 1/4\"/>

A-1

DATE: 04-27-12

TWO-FAMILY RESIDENCE AT  
 966 - 968 PINK STREET  
 RICHMOND, VA 23223

3420 PUMP RD SUITE 169  
 RICHMOND, VA 23233

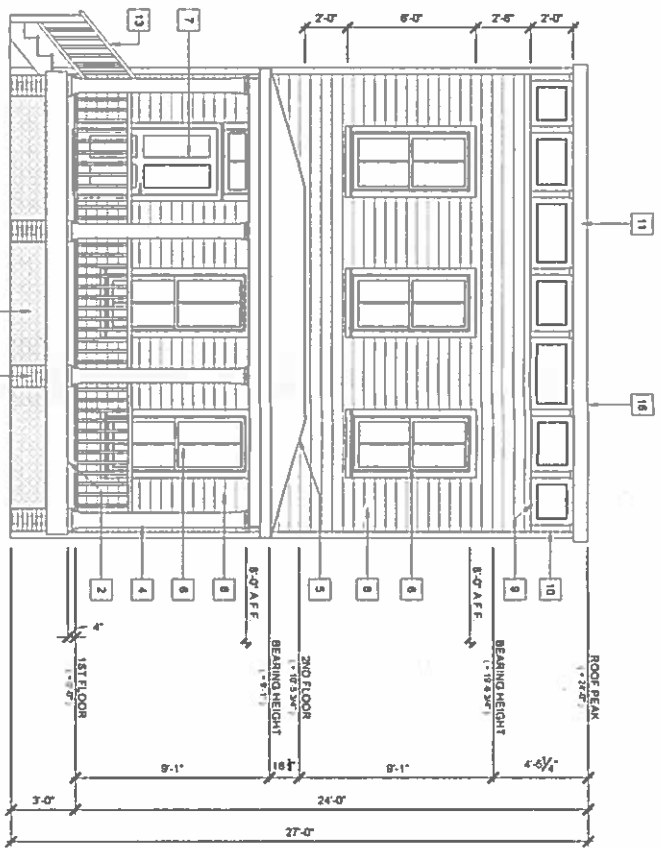
dvk5f@yahoo.com  
 804-991-4111

**EVOLVE**  
 DEVELOPMENT INC



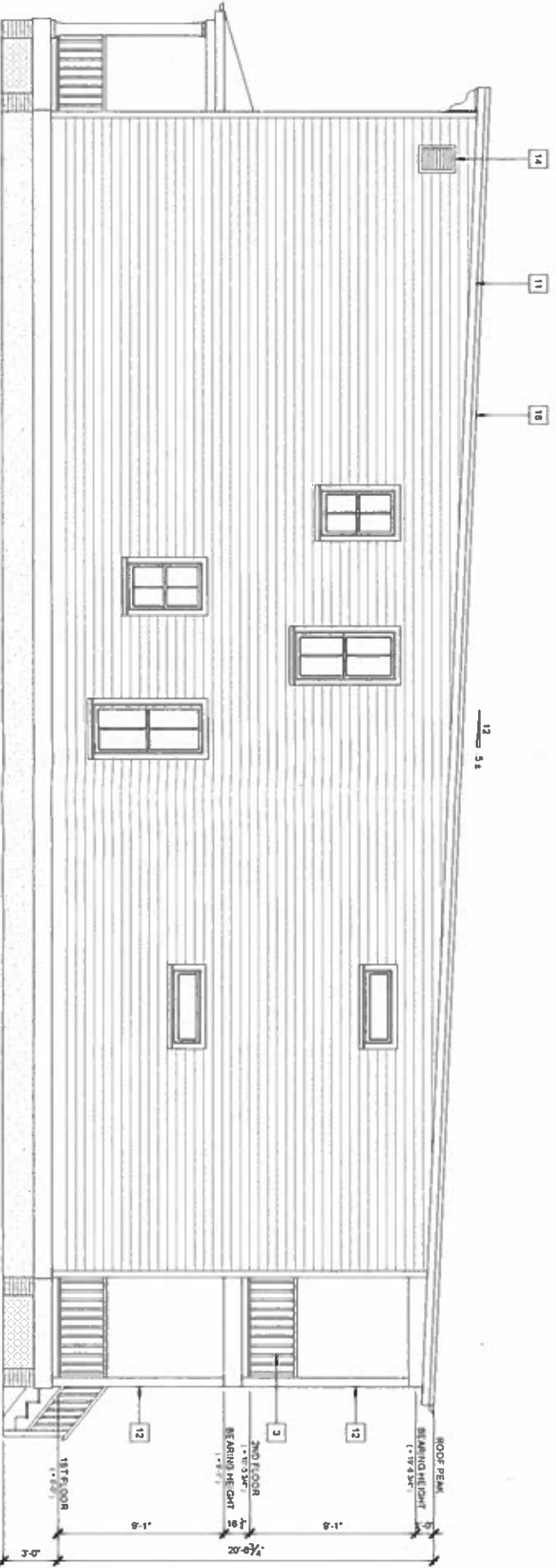
ARCHITECTURAL KEY NOTES: 1

- NOTE: 2 CONTINUOUS SHEATHING FOR ALL WALL BRACING, INCLUDING CORNERS BY DOORS AND WINDOWS
1. FOUNDATION: CMU FINISHED WITH PARAPING SEAMLESS DETAIL 1(A) FOR ADDITIONAL INFORMATION
  2. FRONT PORCH FLOORING AND TRIM: TONGUE AND GROOVE DECKING
  3. RAILING: RICHMOND RAIL, PAINTED
  4. FRONT COLUMNS: FIBERGLASS DORIC COLUMNS PAINTED
  5. PORCH ROOFING: MEMBRANE, BLACK FINISH
  6. WINDOWS: S/DL - SEE WINDOW SCHEDULE
  7. DOORS: PAINTED FIBERGLASS-SEE DOOR SCHEDULE
  8. SIDING AND TRIM: FIBER-CEMENT (HARDIPANEL, MATERIAL OR EQUAL)
  9. FASCIA BOARDS: FIBER-CEMENT (HARDIPANEL, MATERIAL OR EQUAL)
  10. CORBELS: PAINTED WOOD
  11. ROOF FLASHING: METAL, COLOR TO MATCH FASCIA BOARD
  12. REAR PORCH STRUCTURE: PRESSURE TREATED STAINED VERTICAL 6x6 POSTS
  13. WOOD STEPS & RAILING: RICHMOND STYLE
  14. SIMPSON-HULL HOLD DOWN
  15. UPPER ROOF: MEMBRANE ROOF OVER 1/2" OSB
  16. TURNED DOWN PORCH FOUNDATION: PARGE TO MATCH FOUNDATION, 12" CONTINUOUS CONCRETE FOOTING, 18" BELOW GRADE MIN (2) # 4 REBAR HORIZONTAL
  17. CRAWL SPACE ACCESS PANEL
  18. 12" x 12" BRICK COLUMN
  19. WOOD LATTICE PANEL
  20. 8" x 16" FOUNDATION VENT
  21. PORCH PIER: 12"x12" BRICK PIER, 24"x24"x12 CONCRETE FOOTING
  22. (1) # 4 REBAR HORIZONTAL, (2) # 4 REBAR VERTICAL, GROUT SOLID.



FRONT ELEVATION

SCALE 1/4"=1'-0"



RIGHT ELEVATION

SCALE 1/4"=1'-0"



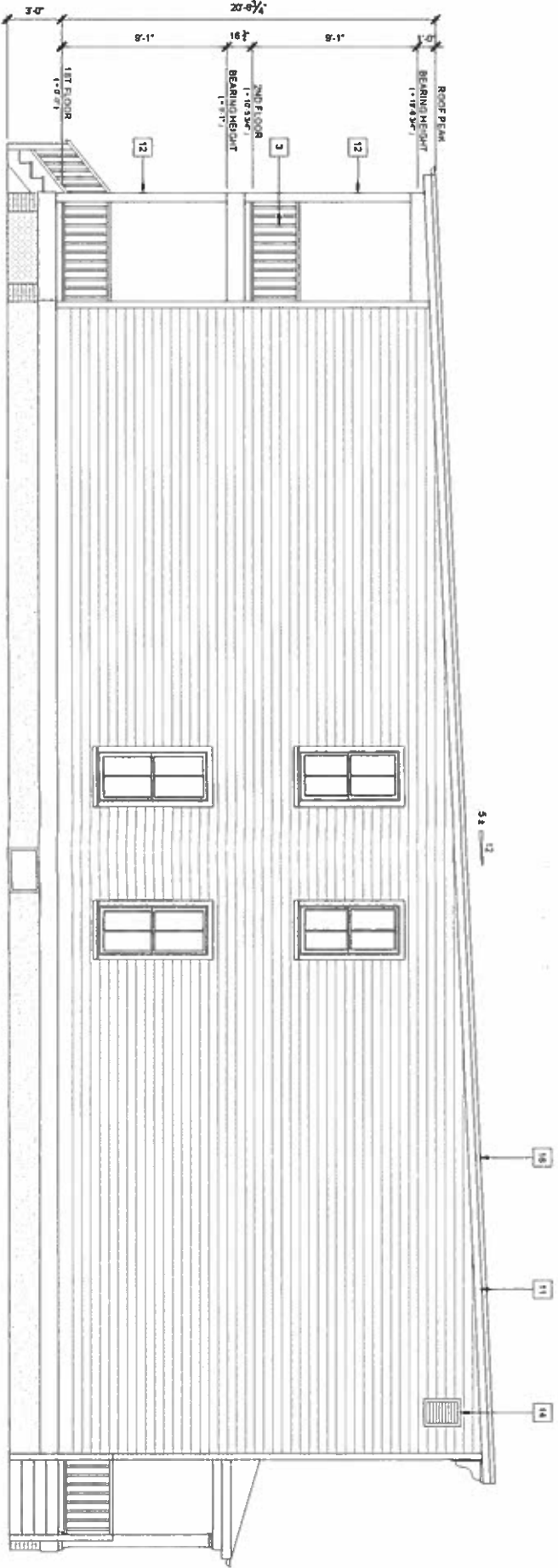
ARCHITECTURAL KEY NOTES 1

- NOTE: 2" CONTINUOUS SHEATHING FOR ALL WALL BRACING, INCLUDING CORNERS BY DOORS AND WINDOWS
1. FOUNDATION: CMU FINISHED WITH PARAPING SEE WALL DETAIL 11A-1 FOR ADDITIONAL INFORMATION.
  2. FINISH: INTERIOR: PAINTED; EXTERIOR: TONGUE AND GROOVE DECKING
  3. RAILING: RICHMOND PAU. PAINTED
  4. FRONT COLUMNS: FIBERGLASS DORIC COLUMNS PAINTED
  5. PORCH ROOFING: MEMBRANE, BLACK FINISH
  6. WINDOWS: S.D.L. - SEE WINDOW SCHEDULE
  7. DOORS: PAINTED FIBERGLASS-SEE DOOR SCHEDULE
  8. SIDING AND TRIM: FIBER-CEMENT (HARDIPANEL MATERIAL OR EQUAL)
  9. FASCIA BOARDS: FIBER-CEMENT (HARDIPANEL MATERIAL OR EQUAL)
  10. CORBELS: PAINTED WOOD
  11. ROOF FLASHING: METAL, COLOR TO MATCH FASCIA BOARD
  12. REAR PORCH STRUCTURE: PRESSURE TREATED STAINED VERTICAL 8x4 POSTS
  13. WOOD STERS & RAILING: RICHMOND STYLE
  14. 18" X 24" ATTIC VENT
  15. 18" X 24" ATTIC VENT
  16. SHIP LAP SIDING
  17. TURNED DOWN PORCH FOUNDATION: PARAGED TO MATCH FOUNDATION, 12" CONTINUOUS CONCRETE FOOTING, 18" BEL DW GRADE MIN. (2) # 4 REBAR HORIZONTAL
  18. CRAWL SPACE ACCESS PANEL
  19. 12" X 12" BRICK COLUMN
  20. WOOD LATTICE PANEL
  21. 8" X 16" FOUNDATION VENT
  22. PORCH PIER: 12"x12" BRICK PIER, 24X24X12 CONCRETE FOOTING.
- (3) # 4 REBAR HORIZONTAL, (2) # 4 REBAR VERTICAL, GROUT SOLID



REAR ELEVATION

SCALE 1/4"=1'-0"



LEFT ELEVATION

SCALE 1/4"=1'-0"

DATE: 04.27.17

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**EVOLVE**  
 DEVELOPMENT INC

**A-4**



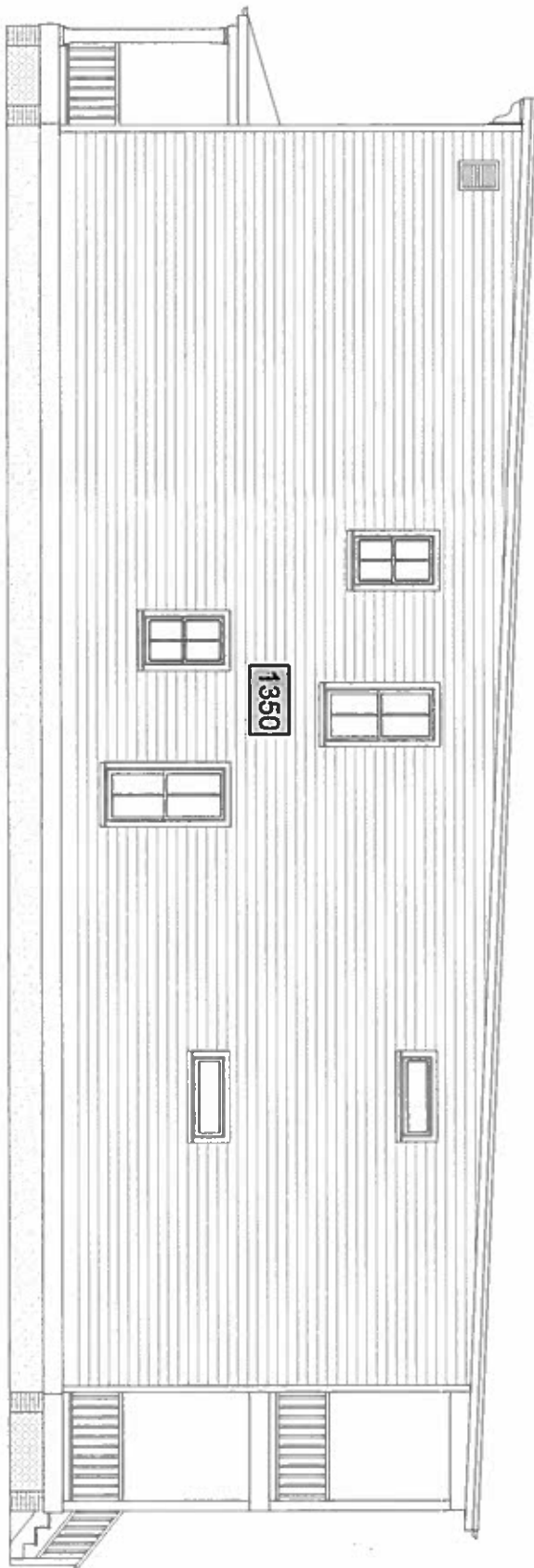
SIDING	3,200 SQ. FT.
MAIN ROOF	1,500 SQ. FT.
PORCH ROOF	120 SQ. FT.



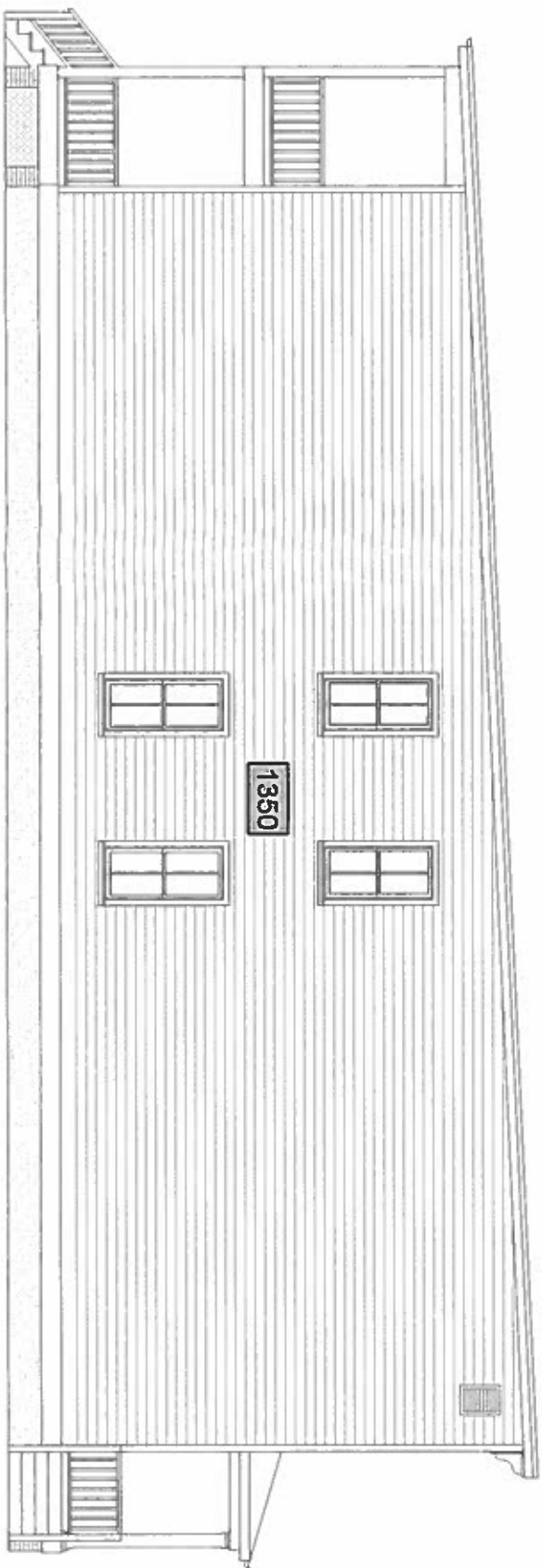
**FRONT ELEVATION**  
SCALE 1/4"=1'-0"



**REAR ELEVATION**  
SCALE 1/4"=1'-0"



**RIGHT ELEVATION**  
SCALE 1/4"=1'-0"



**LEFT ELEVATION**  
SCALE 1/4"=1'-0"

**A-4**

DATE 04.27.17

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