



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 4201 Hermitage Road
Historic district Hermitage Road

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name Joy Buzzard
Company The New Community School
Mailing Address 4211 Hermitage Road
Richmond VA 23227

804.266.2494 x 2211 0
Phone 804.350.3573 c
Email jbuzzard@tncs.org
Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify):

OWNER INFORMATION (if different from above)

Name _____
Mailing Address _____

Company _____
Phone _____
Email _____

PROJECT INFORMATION

Review Type: Conceptual Review Final Review
Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)
Convert single family home to be 4 classrooms.
+ Add ADA ramp to entrance
+ Add rear deck to accommodate additional egress stairs.
+ Replace garage door with bay window + door entrance.
Further details in attachments.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner Joy Buzzard

Date 12/22/2020



The New Community School

empowering bright minds who think & learn differently

December 22, 2020

Ms. Carey Jones
Commission on Architectural Review
900 E. Broad St., Room 510
Richmond, VA 23219

Dear Carey,

Thank you for your help talking through the remodel of the house at 4201 Hermitage Road. We are finally ready to submit plans to the City of Richmond and the Commission on Architectural Review to complete the remodel of this single-family house. Once complete, this little home will contain four (4) classrooms with additional spaces for collaboration or independent study.

Included with this letter is the Application for Certificate of Appropriateness. We are seeking the Commission's approval to add:

- A concrete ramp for needed ADA access to the front of the house. There are metal railings as required by code.
- In the rear of the house, we are adding a wood deck area at the primary home level. This will allow us to add the code-required second mode of egress from the primary home level. The deck will be approximately 333 square feet. Primary material will be pressure treated wood with metal handrails, wood posts and pickets. This addition will be visible from the rear, from Princeton road and from Hermitage Road.
- Also in the rear, we are replacing the garage door with a bay window and door that will allow interior space for a handicapped accessible hallway. The exterior materials will be cement board with commercial grade windows and door. This area will only be visible to those on Princeton road looking towards Hermitage Road.

We have provided the architect's drawings and plans for these changes. In keeping with the other changes the School has made to our historic district properties, we are working to make everything as cohesive as possible with an eye towards maintaining or improving the aesthetics of our properties. I hope you will agree.

We are currently seeking bids from local contractors to perform this work and we do not at this time have a comprehensive estimate available. There are extensive interior changes that will impact the final cost.

Please review this request and let me know if you have any questions. I look forward to hearing from you regarding next steps.

Best,

A handwritten signature in black ink, appearing to read "Joy Buzzard". The signature is fluid and cursive, with the first name "Joy" and last name "Buzzard" clearly distinguishable.

Joy F. Buzzard
Director of Finance & Operations

Enclosures

SYMBOLS

REFER TO RESPECTIVE DRAWINGS FOR SYMBOLS NOT INDICATED BELOW.

DRAWING TITLE

COLUMN GRID

DIMENSIONS

BUILDING SECTION

WALL SECTION

EXTERIOR ELEVATION

INTERIOR ELEVATION

DETAIL KEYS

ROOM NAME & No

DOOR NUMBER

WINDOW TYPE

PARTITION TYPE

ELEVATION DATUM

PLAN DATUM

CEILING HEIGHT

KEYNOTE

WORK POINT DATUM

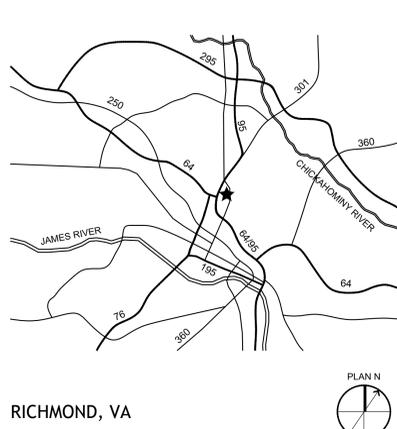
NORTH ARROW

REVISION

MATCHLINE

TRANSITION

VICINITY MAP



RICHMOND, VA



PROJECT NARRATIVE

THE NEW COMMUNITY SCHOOL MASTER PLAN HAS AS ONE OF ITS PRIMARY GOALS THE ADDITION OF CLASSROOM SPACE FOR ITS GROWING STUDENT BODY. RECENT HEALTH CONCERNS RELATED TO COVID-19 HAVE MADE ADDING CLASSROOM SPACE A NECESSITY TO MEET THE NEEDS OF THE STAFF AND STUDENTS WITH SMALLER CLASS SIZES AND GREATER SOCIAL DISTANCES. THE SCHOOL HAS RECENTLY PURCHASED A HOUSE ON AN ADJACENT SITE IN ORDER TO HELP MEET THESE REQUIREMENTS. THE PROJECT CONSISTS OF THE CONVERSION OF THE HOUSE AT 4201 HERMITAGE ROAD FROM RESIDENTIAL USE TO EDUCATIONAL USE. THIS RESIDENTIAL PROPERTY, AN EXISTING 4,000 SF RANCH-STYLE HOUSE WITH A WALK-OUT BASEMENT AND A TWO-STORY ADDITION, IS ENVISIONED AS A SPECIALIZED, SMALL ACADEMIC BUILDING WITH CLASSROOMS, FACULTY OFFICES, AND COLLABORATION SPACES, AS WELL AS AN OUTDOOR CLASSROOM SPACE AND FOUR PARKING SPACES. THE PROJECT WILL BE UNDERTAKEN IN TWO PHASES IN ORDER TO SERVE THE STUDENT AND STAFF HEALTH AND WELLNESS MORE IMMEDIATELY. PHASE 1 INVOLVES THE RENOVATION OF THE LOWER LEVEL AND ANY MODIFICATIONS ON THE UPPER LEVEL NECESSARY TO MAKE THE LOWER LEVEL FUNCTIONAL AS SPACE FOR TWO CLASSROOMS. IT ALSO INCLUDES THE ADDITION OF TWO ACCESSIBLE PARKING SPACES. PHASE 2 WILL RENOVATE PORTIONS OF THE UPPER LEVEL, ADD A PORCH TO THE REAR OF THE BUILDING ON BOTH LEVELS, ADD A RAMP TO THE UPPER LEVEL ENTRANCE, AND ADD TWO MORE PARKING SPACES.

LOCATION MAP



4201 HERMITAGE RD
RICHMOND, VIRGINIA 23227



DRAWING INDEX

- T1.1 PROJECT INFORMATION
- AS1.1 ARCHITECTURAL SITE PLAN
- AA1.1 FLOOR PLANS
- A2.0 EXISTING EXTERIOR ELEVATIONS
- A2.1 EXTERIOR ELEVATIONS



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PROJECT TITLE
**4201 Hermitage
Renovation**

The New Community
School
Richmond, VA

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MEP ENGINEER
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Richmond Commission
of Architectural Review
(CAR) Drawings

PROJECT NUMBERS
G&HA #: 20082

DATE
December 21, 2020

DRAWN BY: GHA CHECKED BY: GHA

REVISIONS

NO.	DATE	DESCRIPTION

SHEET TITLE

**PROJECT
INFORMATION**

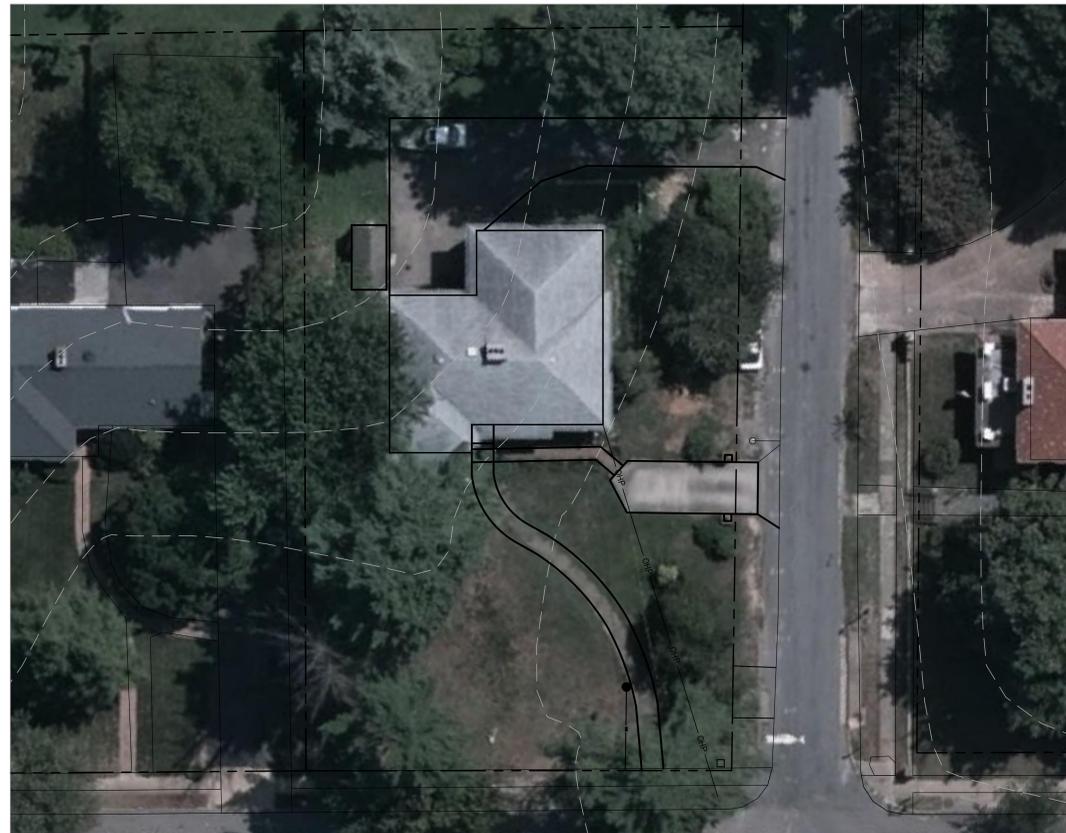
SHEET NUMBER

T1.0

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PROJECT TITLE

**THE NEW
COMMUNITY
SCHOOL
4201
HERMITAGE
RENOVATION
PHASE 2
CONSTRUCTION
DOCUMENTS
CAR REVIEW SET**



EXISTING SITE PLAN
SCALE: NTS



DEMOLITION SYMBOLS

MATERIAL HATCHES

EARTH	GRAVEL	CONCRETE/PRECAST
BRICK	CONCRETE MASONRY	STONE
SAND/MORTAR/GYP	STEEL	ALUMINUM
CONTINUOUS BLOCKING	BLOCKING	PLYWOOD
WOOD	RIGID INSULATION	BATT INSULATION
GLASS (LARGE SCALE)	CERAMIC TILE	ACOUSTICAL TILE

ABBREVIATION LIST

A A/C AIR CONDITIONING	D DD DECK DRAIN	FRT FIRE RETARDANT TREATED	LT LIGHT	PLAM PLASTIC LAMINATE	STD STANDARD
ADJ ADJ ADJUSTABLE	DIA DIA DIAMETER	FT FOOT, FEET	LVT LUXURY VINYL TILE	PLAS PLASTER	STL STEEL
AFF ABOVE FINISH FLOOR	DM DIM DIMENSION	FTG FOOTING	MAS MASONRY	PLYWD PLYWOOD	STM STAINED
ALT ALTERNATE	DIAG DIAGONAL	G GA GAUGE	MATL MATERIAL	PNL PANEL	STR STRUCTURAL
ALUM ALUMINUM	DIM DIMENSION	GALV GALVANIZED	MECH MECHANICAL	PNT(D) PAINT(ED)	SUSP SUSPEND(ED)
APC ACOUSTICAL PANEL CEILING	DIST DISTANCE	GC GENERAL CONTRACTOR	MED MEDIUM	PSF POUNDS PER SQUARE FOOT	T T TIL(E), (ING)
APPROX APPROXIMATE	DN DOWN	GWB GYPSUM WALL BOARD	MEP MECHANICAL, ELECTRICAL, PLUMBING	PT POINT	T&G TONGUE & GROOVE
AR AREA OF REFUGE	DS DOWN SPOUT	GYP GYPSUM	MFR MANUFACTURER	PTN PARTITION	T&B TO BE DECIDED
ARCH ARCHITECT(URAL)	DWG(S) DRAWING(S)	H HC HOLLOW CORE	MIN MINIMUM, MINUTE(S)	PVC POLYVINYL CHLORIDE	TE TILE EDGING
ATC ACOUSTICAL TILE CEILING	E E EAST	HDW HARDWARE	MIR MIRROR	R RAD RADIUS	TEL TELEPHONE
AWC ACOUSTICAL WALL COVERING	EA EACH	HDWD HARDWOOD	MISC MISCELLANEOUS	RB RUBBER BASE	TERR TERRAZZO
AWP ACOUSTICAL WALL PANEL	EJ EXPANSION JOINT	HEJ HORIZONTAL EXPANSION JOINT	MNT MOUNT	RD ROOF DRAIN	THK THICKNESS
B BBT BIOBASED TILE	EL ELEVATION	HMM HOLLOW METAL	MO MOUNT	REF REFER TO	TOC TOP OF CONCRETE
BD BOARD	ELEC ELECTRICAL	HOR HORIZONTAL	MO MASONRY OPENING	REF REFRIGERANT, (TOR)	TOM TOP OF MASONRY
BEJ BUILDING EXPANSION JOINT	EMER EMERGENCY	HP HIGH POINT	MTL METAL	REINF REINFORC(E), (ED), (ING)	TOS TOP OF STEEL
BLDG BUILDING	EPDM ETHYLENE PROPYLENE	HT HEIGHT	N N NORTH	REQD REQUIRED	TR TRANSITION
BLKG BLOCKING	EPX RESINOUS POURED EPOXY FLOORING	HTG HEATING	NI NOT IN CONTRACT	RES RESILIENT	TV TELEVISION
BOT BOTTOM	EQ EQUAL	HVAC HEATING, VENTILATING, AIR CONDITIONING	NO # NUMBER	REV REVISION	TYP TYPICAL
BRK BRICK	EQUIP EQUIPMENT	I ID INSIDE DIAMETER	NOM NOMINAL	RL RAIN LEADER	U UNO UNLESS NOTED OTHERWISE
C CAB CABINET	EVTR ELEVATOR	INCL INCLUDE(E), (ED), (ING)	NTS NOT TO SCALE	RM ROOM	V VCT VINYL COMPOSITION TILE
CEM CEMENT	EXIST EXISTING	INSUL INSULATE(E), (ED), (ING), (ION)	O ON CENTER	RSN RESILIENT STAIR NOSING	VEJ VERTICAL EXPANSION JOINT
CIIP CAST IN PLACE	EXT EXTERIOR	INT INTERIOR	OD OUTSIDE DIAMETER	RT RUBBER TILE	VERT VERTICAL
CJ CONTROL JOINT	F FA FIRE ALARM	J JAN JANITOR	OFD OVERFLOW DRAIN	S S SOUTH	VIF VERIFY IN FIELD
CL CENTERLINE	FAB FABRIC	JKT JOINT	OFCI OWNER FURNISHED	SC SEALED CONCRETE FLOOR	VIN VINYL
CLG CEILING	FD FLOOR DRAIN, FIRE DAMPER	K KIT KITCHEN	CONTRACTOR INSTALLED	SCF STRUCTURAL CONCRETE FLOOR	W W WEST, WIDE, WIDTH
CLO CLOSET	FD FLOOR DRAIN, FIRE DAMPER	KO KNOCK OUT	OWNER FURNISHED OWNER INSTALLED	SCHED SCHEDULE(E), (ED)	W/ WITH
CMU CONCRETE MASONRY UNIT	EXP EXPOSED	L LAB LABORATORY	OPNG OPENING	SD STORM DRAIN	W/O WITHOUT
CO CASED OPENING	EXT EXTERIOR	LAM LAMINATE(E), (ED), (ION)	OPP OPPOSITE	SFRM SPRAY-APPLIED CEMENTITIOUS FIRE RESISTIVE MATERIAL	WC WALLCOVERING, WATER-CLOSET
COL COLUMN	FIN FINISH	LAV LAVATORY	P PERP PERFORAT(E), (ED), (ION)	SIM SIMILAR	WD WOOD
CONC CONCRETE	FLR FLOOR	LINO LINOLEUM	PERF PERPENDICULAR	SQ SQUARE	WP WORKING POINT
CORR CORRIDOR, CORRUGATED	FP FIRE PROTECTION	P PERP PERPENDICULAR	PL PLATE	SS STAINLESS STEEL	WT WEIGHT
CPT BROADLOOM CARPET/ CARPET TILE	FR FIRE RESISTANT	PL PERPENDICULAR	PL PLATE	SSM SOLID SURFACE MATERIAL	WWF WELDED WIRE FABRIC
CT CERAMIC TILE				ST STONE	

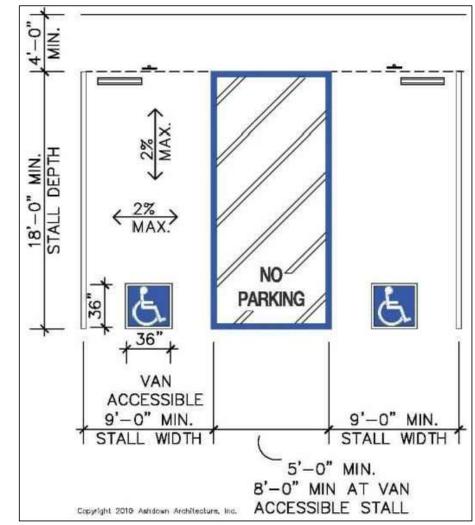
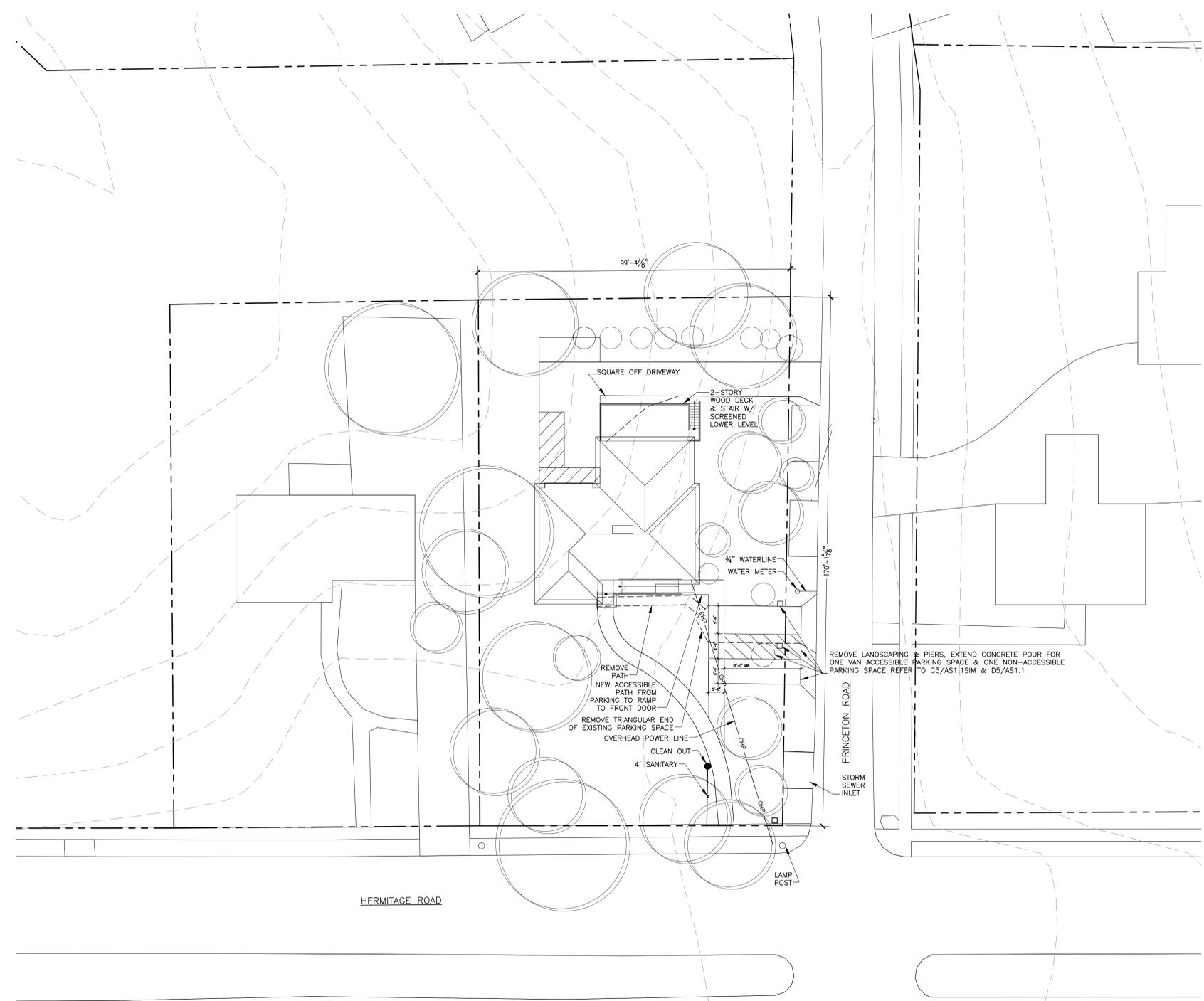
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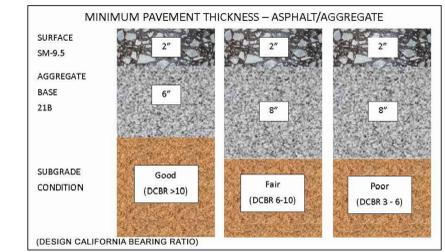
C

B

A



D5 ADA PARKING LAYOUT PER VDOT
AS1.1/AS1.1 SCALE: NTS



C5 ASPHALT PAVING SECTION DETAIL
AS1.1/AS1.1 SCALE: NTS

A1 ARCHITECTURAL SITE PLAN
AS1.1/AS1.1 SCALE: 1/16" = 1'-0"



GLAVÉ & HOLMES
 ARCHITECTURE

2101 East Main Street
 Richmond, Virginia 23223
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 W www.glaveandholmes.com

PROJECT TITLE
4201 Hermitage Renovation

The New Community School
 Richmond, VA

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STRUCTURAL ENGINEER
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Richmond Commission of Architectural Review (CAR) Drawings

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SHEET TITLE
ARCHITECTURAL SITE PLAN PHASE 2

SHEET NUMBER
AS1.1

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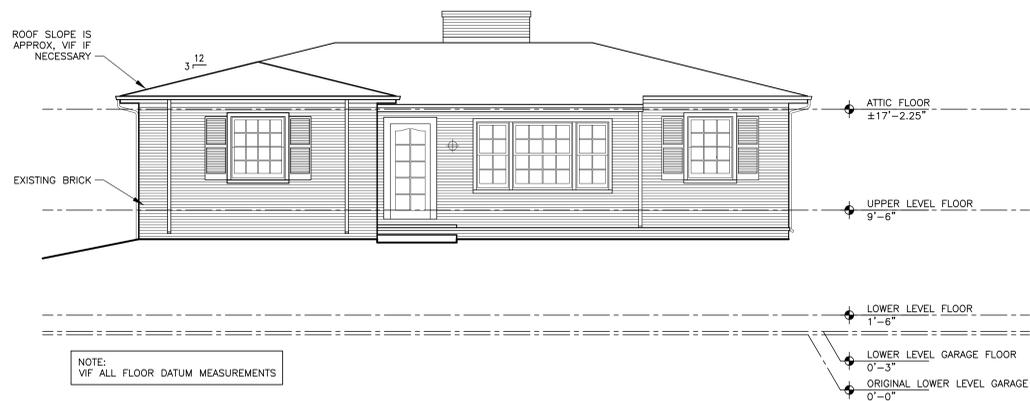
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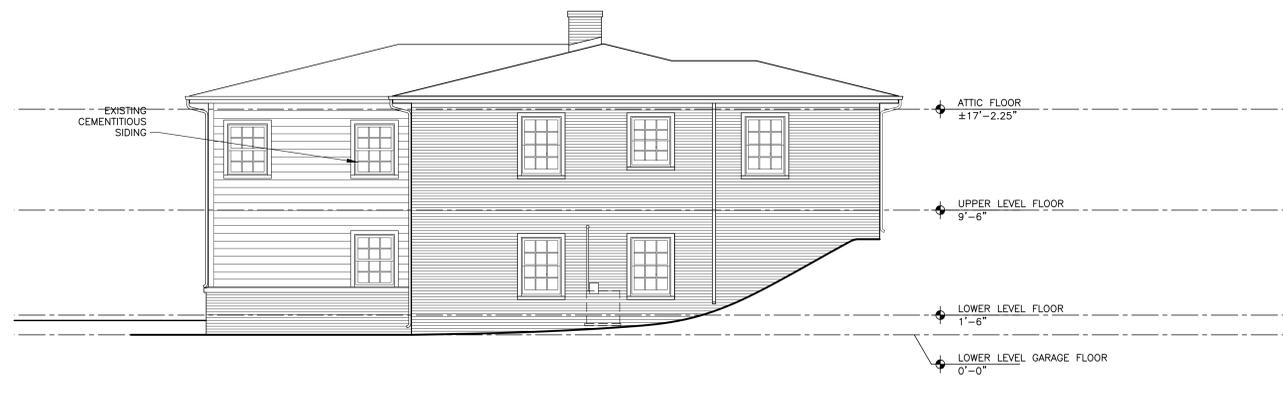
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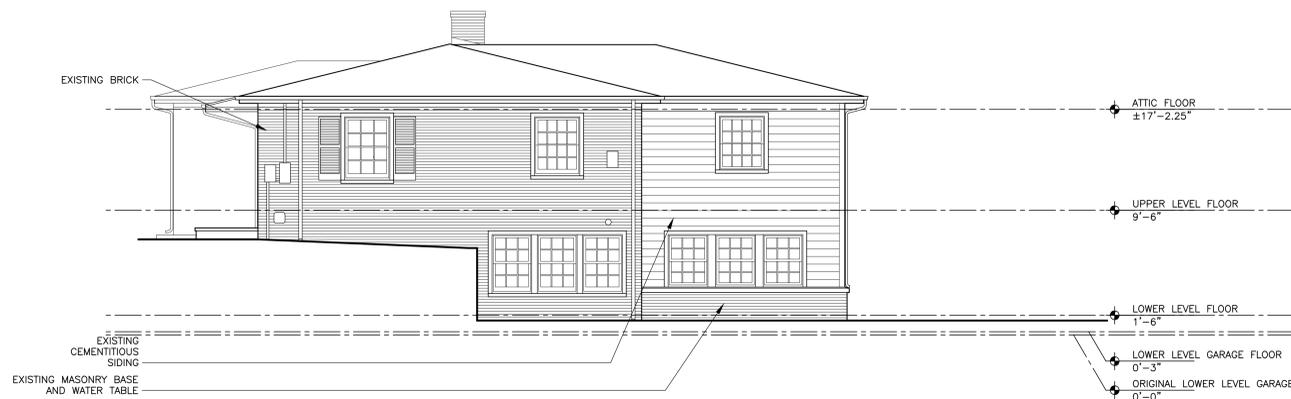
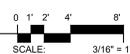
C1 FRONT WEST ELEVATION - PHASE 1
SCALE: 1/8" = 1'-0"



C3 SIDE NORTH ELEVATION - PHASE 1
SCALE: 1/8" = 1'-0"



A1 BACK EAST ELEVATION - PHASE 1
SCALE: 1/8" = 1'-0"



A3 SIDE SOUTH ELEVATION - PHASE 1
SCALE: 1/8" = 1'-0"



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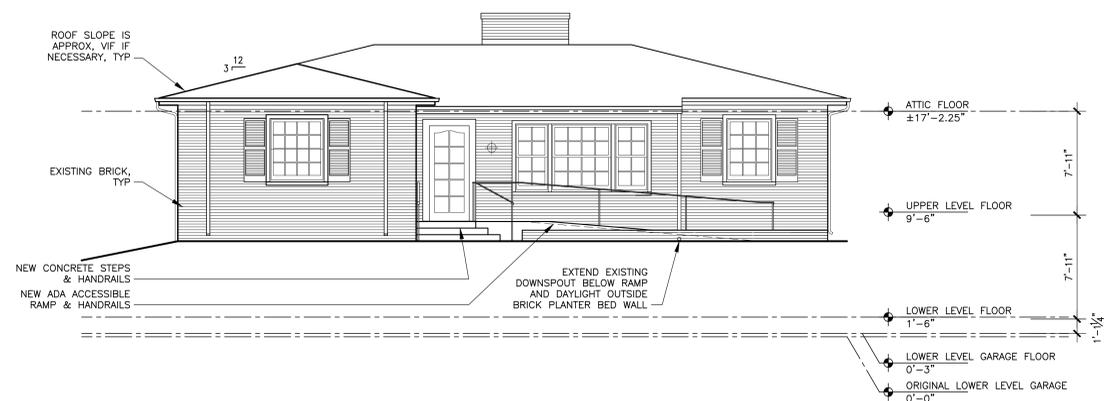
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EXISTING
EXTERIOR
ELEVATIONS

SHEET NUMBER
A2.0

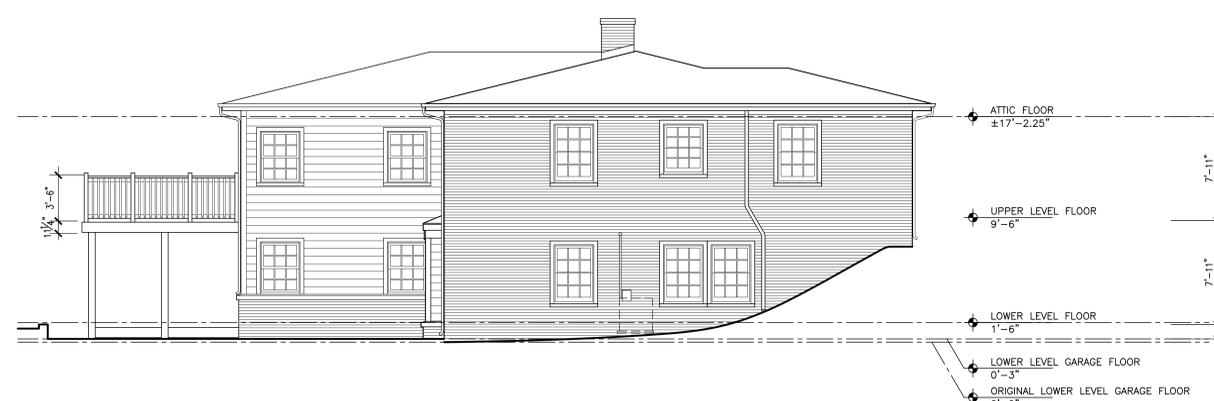
E

D

C



C1 FRONT WEST ELEVATION - PHASE 2
SCALE: 1/8" = 1'-0"



C3 SIDE NORTH ELEVATION - PHASE 2
SCALE: 1/8" = 1'-0"

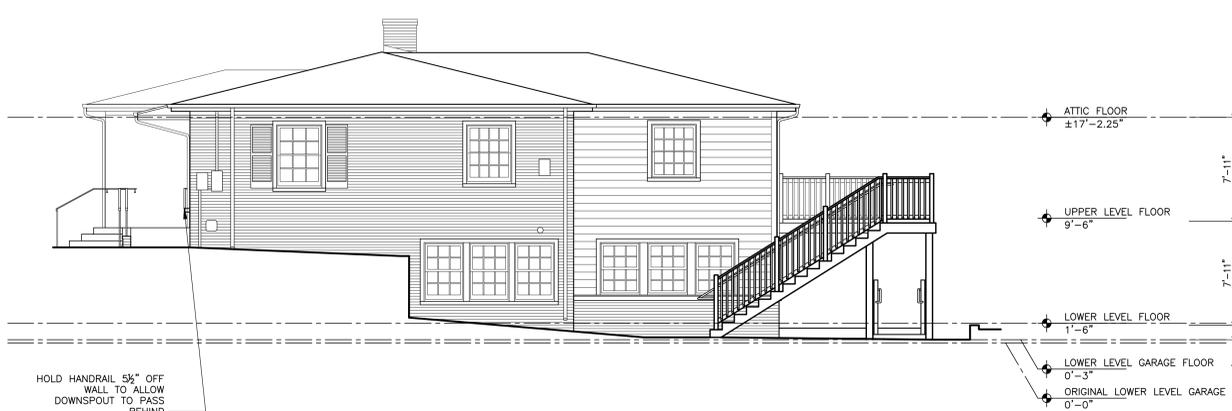


B

A



A1 BACK EAST ELEVATION - PHASE 2
SCALE: 1/8" = 1'-0"



A3 SIDE SOUTH ELEVATION - PHASE 2
SCALE: 1/8" = 1'-0"



SEAL
Richmond Commission
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SHEET TITLE
EXTERIOR
ELEVATIONS
- PHASE 2

SHEET NUMBER

A2.1

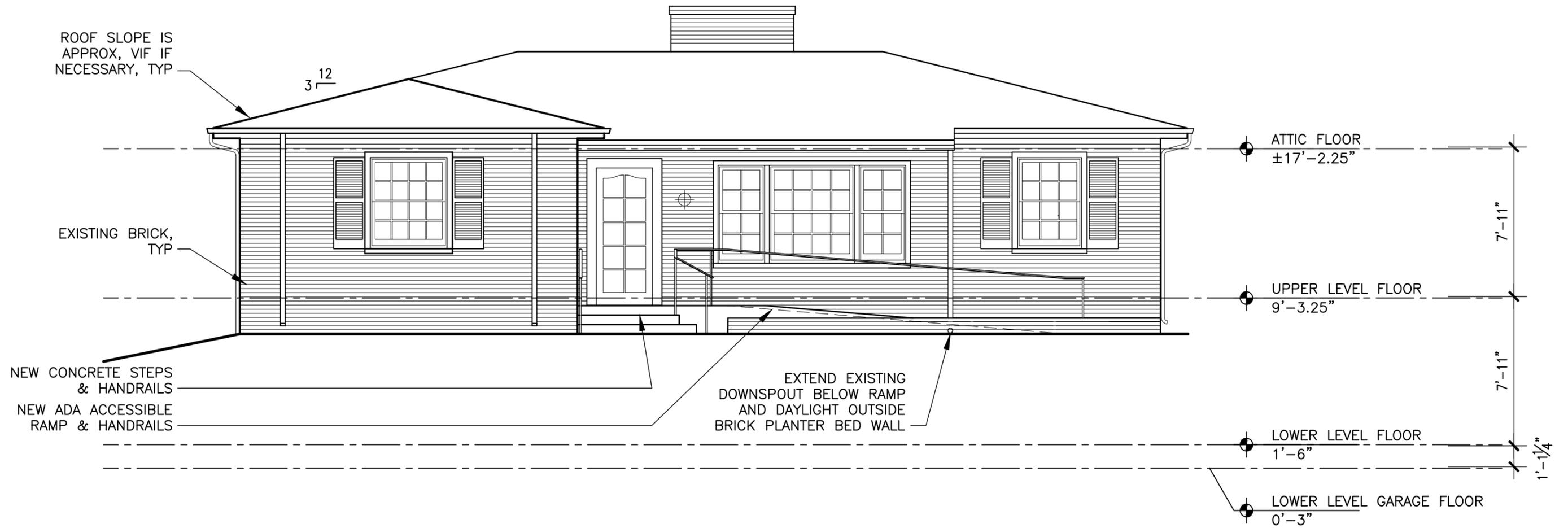
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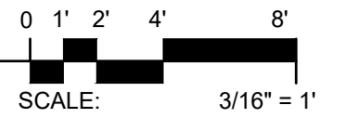
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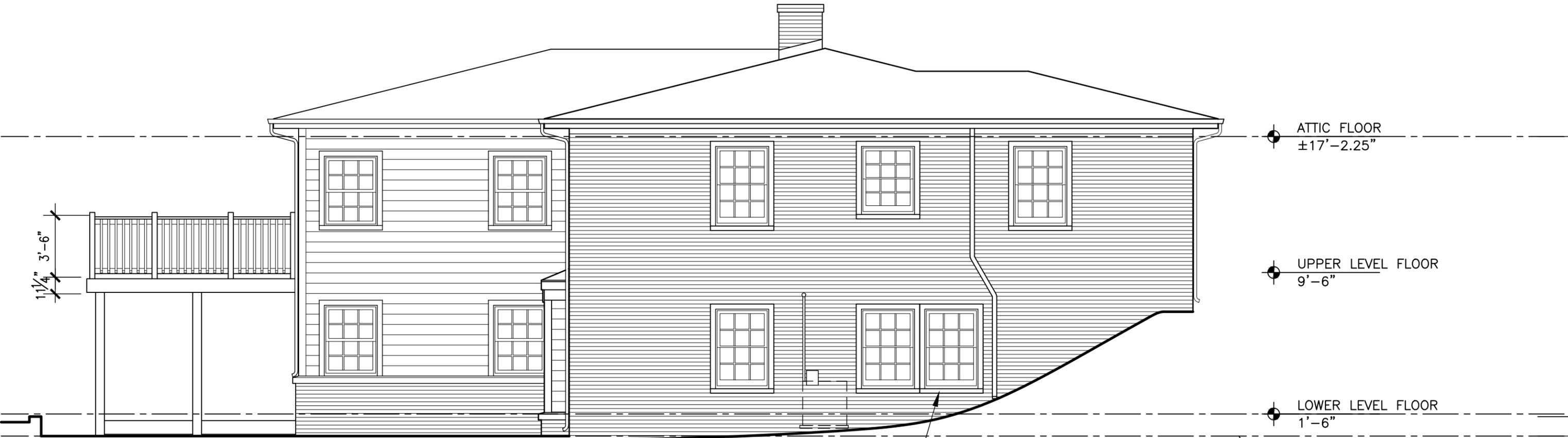


C1
A1.0 | A2.0

FRONT WEST ELEVATION - PHASE 2

SCALE: 1/8" = 1'-0"





1 1/4" 3'-6"

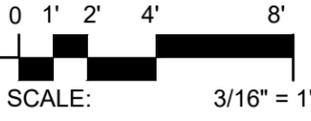
- ATTIC FLOOR
±17'-2.25"
- UPPER LEVEL FLOOR
9'-6"
- LOWER LEVEL FLOOR
1'-6"
- LOWER LEVEL GARAGE FLOOR
0'-3"
- ORIGINAL LOWER LEVEL GARAGE FLOOR
0'-0"

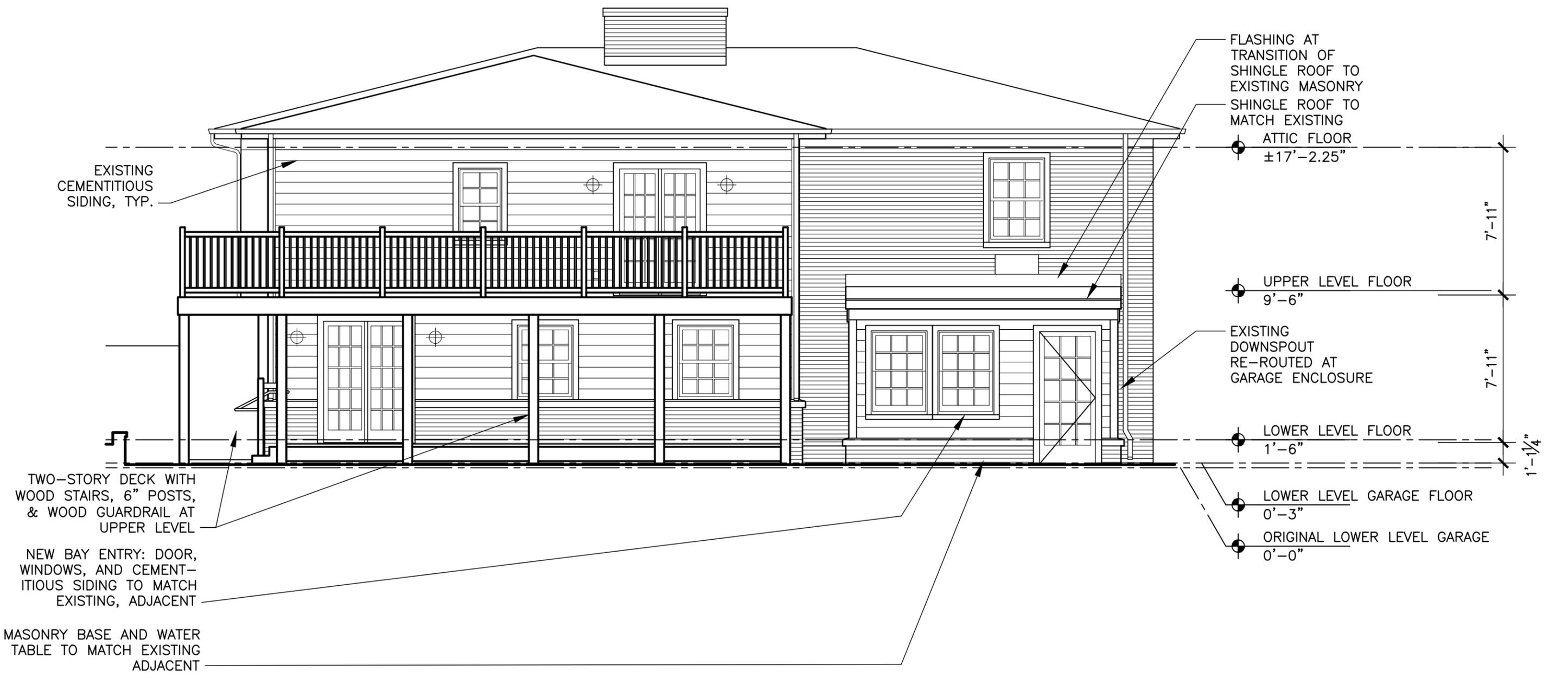
INSTALL WINDOW REMOVED DURING DEMO TO MATCH EXISTING ADJACENT: WINDOW, SILL/JAMB/HEAD CONDITION - ADD NEW STOOL, APRON AND CASING FOR BOTH WINDOWS

C3
A1.0 | A2.0

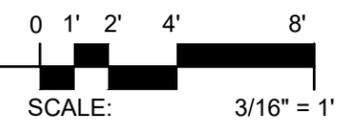
SIDE NORTH ELEVATION - PHASE 2

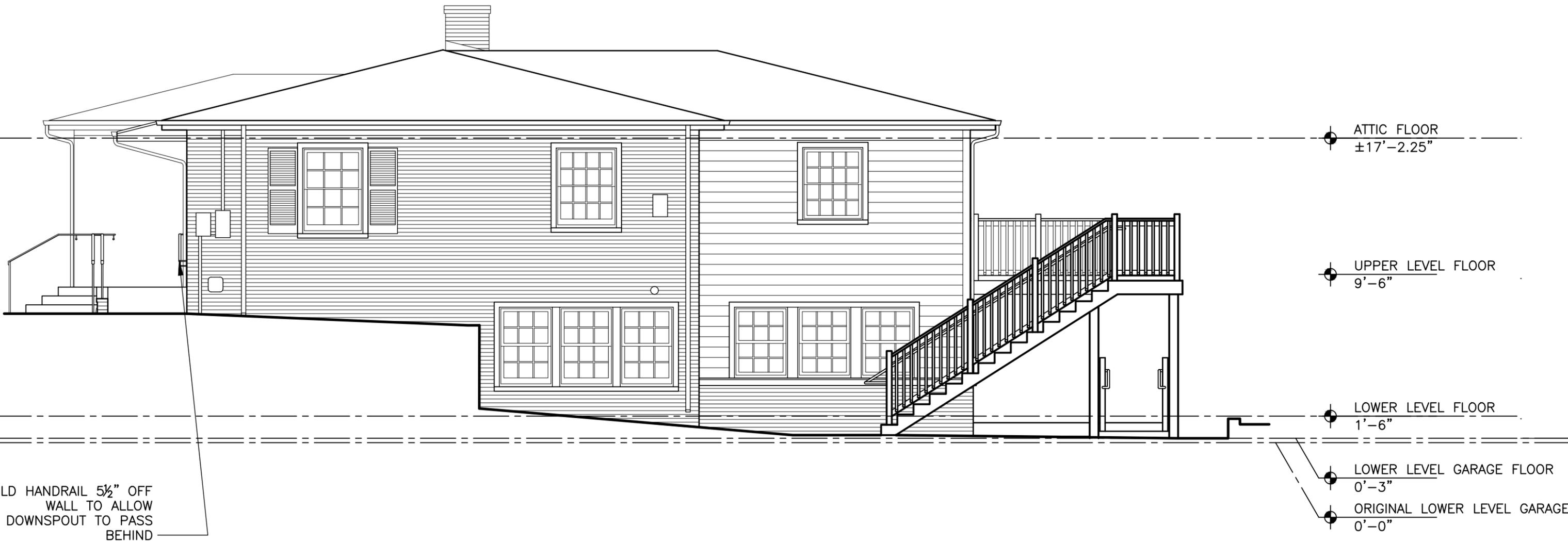
SCALE: 1/8" = 1'-0"





A1 BACK EAST ELEVATION - PHASE 2
 A1.0 | A2.0 SCALE: 1/8" = 1'-0"





A3
 A1.0 | A2.0

SIDE SOUTH ELEVATION - PHASE 2

SCALE: 1/8" = 1'-0"

