



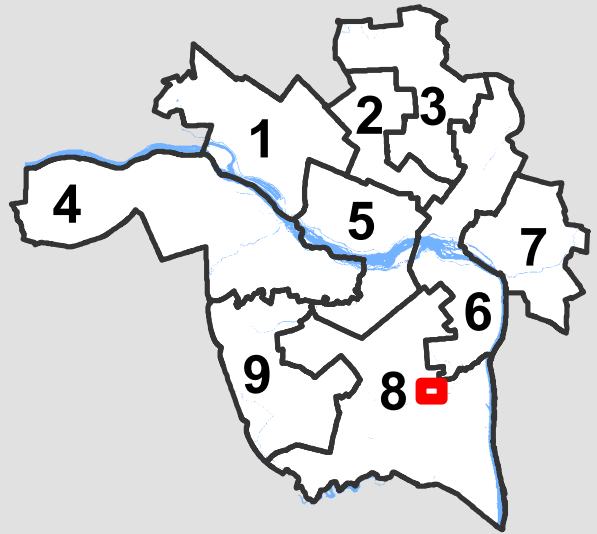
City of Richmond Department of Planning & Development Review

Location, Character, and Extent

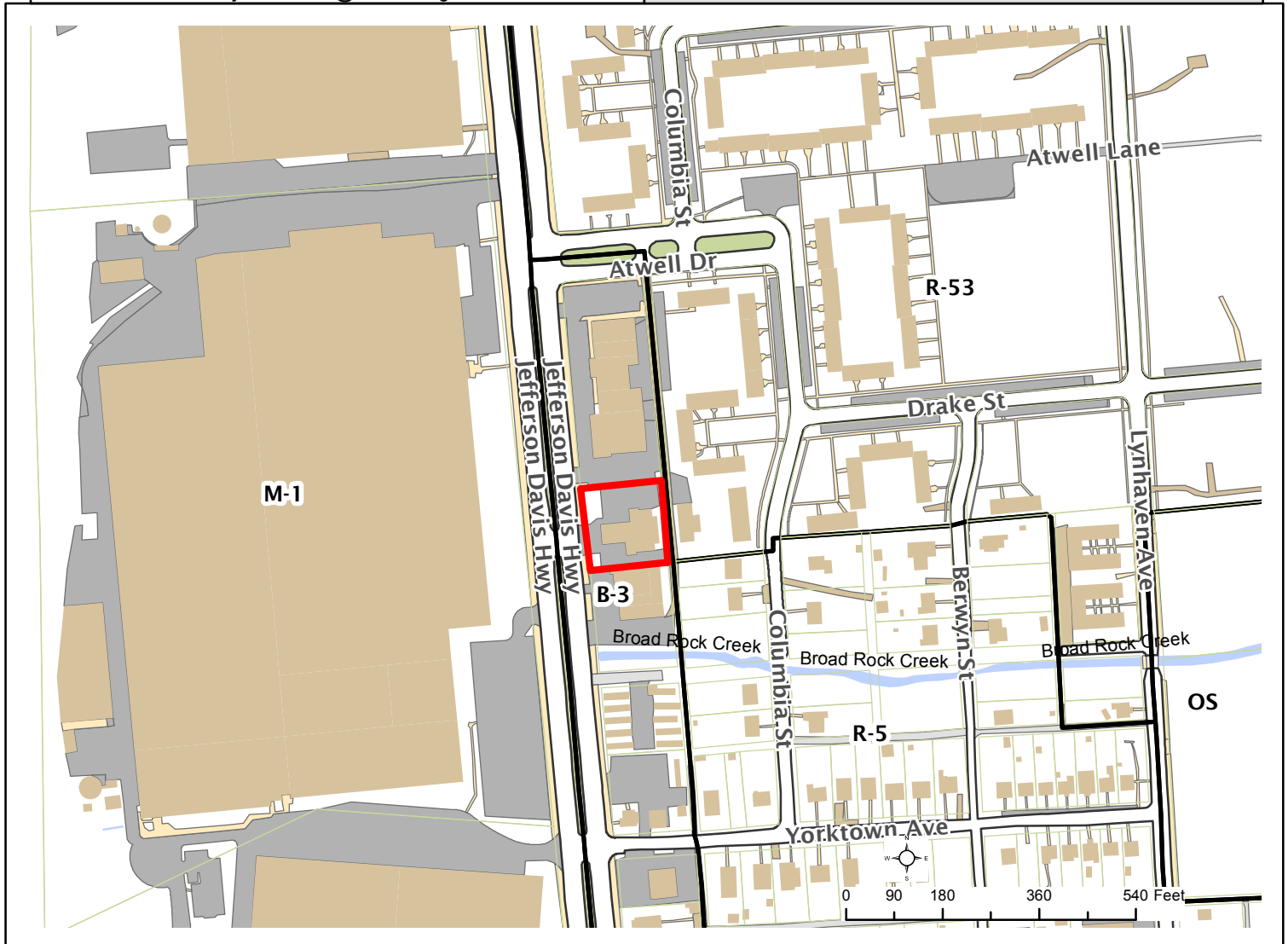
LOCATION: 2505 Jefferson Davis Highway

COUNCIL DISTRICT: 8

PROPOSAL: Final review of renovations and additions to Fire Station #21



*For questions, please contact Josh Son
at 646-3741 or joshua.son@richmondgov.com*





Application for URBAN DESIGN COMMITTEE Review

Department of Planning and Development Review
Planning & Preservation Division
900 E. Broad Street, Room 510
Richmond, Virginia 23219
(804) 646-6335

<http://www.richmondgov.com/CommitteeUrbanDesign>

Application Type

- Addition/Alteration to Existing Structure
 New Construction
 Streetscape
 Site Amenity

- Encroachment
 Master Plan
 Sign
 Other

Review Type

- Conceptual
 Final

Project Name: _____

Project Address: _____

Brief Project Description (this is not a replacement for the required detailed narrative) : _____

Applicant Information

(on all applications other than encroachments, a City agency representative must be the applicant)

Name: _____ Email: _____

City Agency: _____ Phone: _____

Address: _____

Main Contact (if different from Applicant): _____

Company: _____ Phone: _____

Email: _____

Submittal Deadlines

All applications and support materials must be filed no later than 21 days prior to the scheduled meeting of the Urban Design Committee (UDC). Please see the schedule on page 3 as actual deadlines are adjusted due to City holidays. **Late or incomplete submissions will be deferred to the next meeting.**

Filing

Applications can be mailed or delivered to the attention of "Urban Design Committee" at the address listed at the top of this page. **It is important that the applicant discuss the proposal with appropriate City agencies, Zoning Administration staff, and area civic associations and residents prior to filing the application with the UDC.**

UDC Background

The UDC is a ten member committee created by City Council in 1968 whose purpose is to advise the City Planning Commission on the design of projects on City property or right-of-way. The UDC provides advice of an aesthetic nature in connection with the performance of the duties of the Commission under Sections 17.05, 17.06 and 17.07 of the City Charter. The UDC also advises the Department of Public Works in regards to private encroachments in the public right-of-way.



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Submission Requirements

- 10 copies of the application cover sheet and all support materials (see below), unless the application is for an encroachment, in which case only 6 copies are required. Plan sheets should be 11" x 17", folded to 8 1/2" x 11". If it is not possible to scale plans to these dimensions, please provide one set of larger, scaled plans.
- An electronic copy (PDF preferred) of all application materials, which can be burned to disc, emailed, or delivered by FTP.

All applications must include the attached cover sheet and the following support materials, as applicable to the project:

For Conceptual Review

- A detailed project narrative which includes the following: purpose of the project, project background, project budget and funding sources, description of construction program and estimated construction start date (description should also provide information on the surrounding area to provide context).
- A site plan for the project indicating site characteristics which include: building footprints, parking areas, pedestrian routes, recreation areas, open areas and areas of future expansion.
- A set of floor plans and elevations, as detailed as possible.
- A landscaping plan which shows the general location and character of plant materials and notes any existing tree to be removed.

For Final Review

- A detailed project narrative which includes the following: purpose of the project, project background, project budget and funding sources, description of construction program and estimated construction start date (description should also provide information on the surrounding area to provide context).
- A site plan for the project indicating site characteristics which include: building footprints, parking areas, pedestrian routes, recreation areas, open areas and areas of future expansion.
- A set of floor plans and elevations, as detailed as possible.
- A landscaping plan that includes a complete plant schedule, the precise location of all plant materials, and a landscape maintenance analysis. The plant schedule must show number, size and type of each planting proposed. If existing trees are to be removed, their size, type and location must be noted on the landscape plan.
- The location of all lighting units should be noted on a site plan, including wall-mounted, site and parking lot lighting. Other site details, such as benches, trash containers and special paving materials, should also be located. Include specification sheets for each item.
- Samples of all proposed exterior building materials, including but not limited to brick, mortar, shingles, siding, glass, paint and stain colors. When an actual sample cannot be provided, a product information sheet that shows the item or a photo of an existing item may be substituted.

Review and Processing

Once an application is received, it is reviewed by staff, who compiles a report that is sent to the UDC. A copy of the report and the meeting agenda will be sent to the applicant prior to the meeting. The applicant or a representative should be present at the UDC meeting or the application may be deferred to the next regularly scheduled meeting. It is also strongly suggested that a representative of the City Agency which will have final responsibility for the item be present at the meeting (if the applicant and the representative are not the same). Once the UDC recommends action on the application, it is automatically placed on the agenda for the next City Planning Commission (CPC) meeting. An exception to this is encroachment applications, recommendations for which are forwarded to the Department of Public Works. The applicant or a representative must be present at the CPC meeting or the application may be deferred to the next regularly scheduled meeting.

CITY OF RICHMOND URBAN DESIGN COMMITTEE (UDC)

MEETING SCHEDULE 2017

UDC Meetings	UDC Submission Deadlines	Anticipated Date of Planning Commission Following the UDC Meeting
December 8, 2016	November 12, 2015*	January 3, 2017
January 5, 2017	December 8, 2016**	January 17, 2017 ¹
February 9, 2017	January 19, 2017	February 21, 2017 ²
March 9, 2017	February 16, 2017	March 20, 2017
April 6, 2017	March 16, 2017	April 17, 2017
May 4, 2017	April 13, 2017	May 15, 2017
June 8, 2017	May 18, 2017	June 19, 2017
July 6, 2017	June 15, 2017	July 17, 2017
August 10, 2017	July 20, 2017	August 21, 2017 ³
September 7, 2017	August 17, 2017	September 18, 2017
October 5, 2017	September 14, 2017	October 16, 2017
November 9, 2017	October 19, 2017	November 20, 2017
December 7, 2017	November 9, 2017*	December 18, 2017 ⁴

¹ Monday, January 16th is a City of Richmond Holiday

² Monday, February 20th is a City of Richmond Holiday

³ This August CPC Meeting may be canceled. If so, Planning Commission hearing would be Tuesday, September 5th.

⁴ This December CPC Meeting may be canceled. If so, Planning Commission hearing would be Tuesday, January 2, 2018.

* Moved forward to account for Veteran's Day/Thanksgiving Holiday Schedule

** Moved forward to account for Winter Holiday Schedule

The Richmond Urban Design Committee (UDC) is a ten member advisory committee created by City Council in 1968. Its purpose is to advise the City Planning Commission on the design of City projects. The UDC reviews projects for appropriateness in "location, character and extent" and for consistency with the City's Master Plan and forwards recommendations to the Planning Commission. The UDC also advises the Department of Public Works in regards to private encroachments in the public right-of-way.

Regular meetings are scheduled for the Thursday after the first Monday of each month at 10:00 a.m. in the 5th floor conference room of City Hall. Special meetings are scheduled as needed.

For additional information, please contact the Planning and Preservation Division staff at (804) 646-3741 or Joshua.Son@richmondgov.com

MEMORANDUM

TO: Urban Design Committee

FROM: Christopher J. Roman, AIA

CC: L. Dexter Goode, Capital Projects Manager

DATE: May 18, 2017

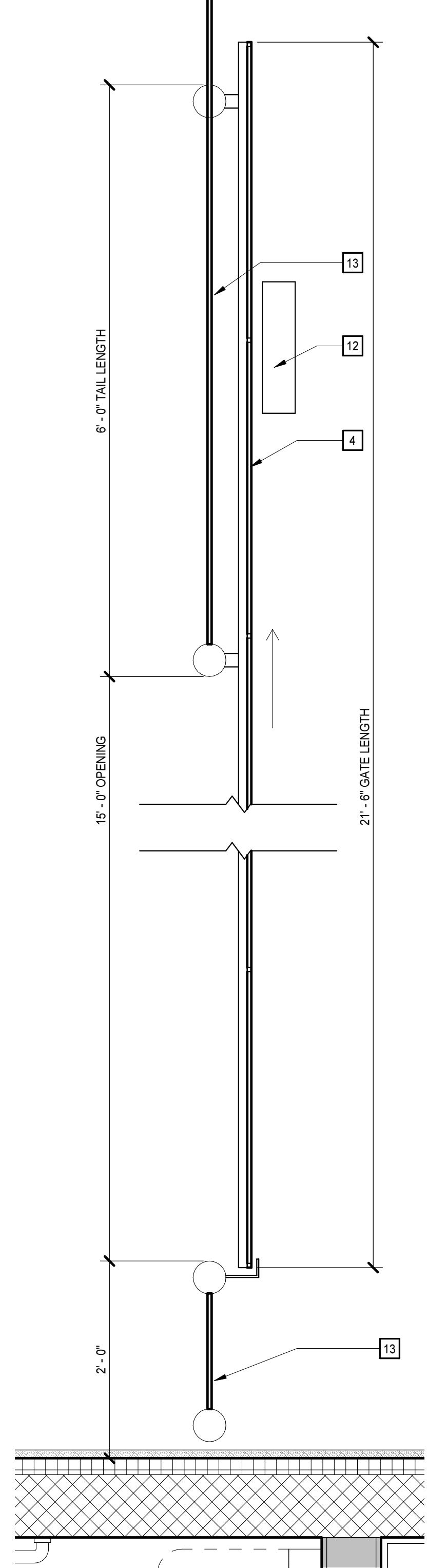
**SUBJECT: Renovation and Addition to Fire Station #21;
Conceptual Review Application**

The City of Richmond intends to renovate and provide a small addition to Fire Station #21 located at 2505 Jefferson Davis Highway in the Southside area of the City. This station has served the area for the better part of a century and has become a fixture in the community for both its appearance, and the service it provides. The existing station has undergone few renovations over the years, none of which have brought the station to the operational standards of a modern fire station. The City intends to renovate, and add onto the existing station to extend the usable life of the building and to meet the needs of a modern fire department.

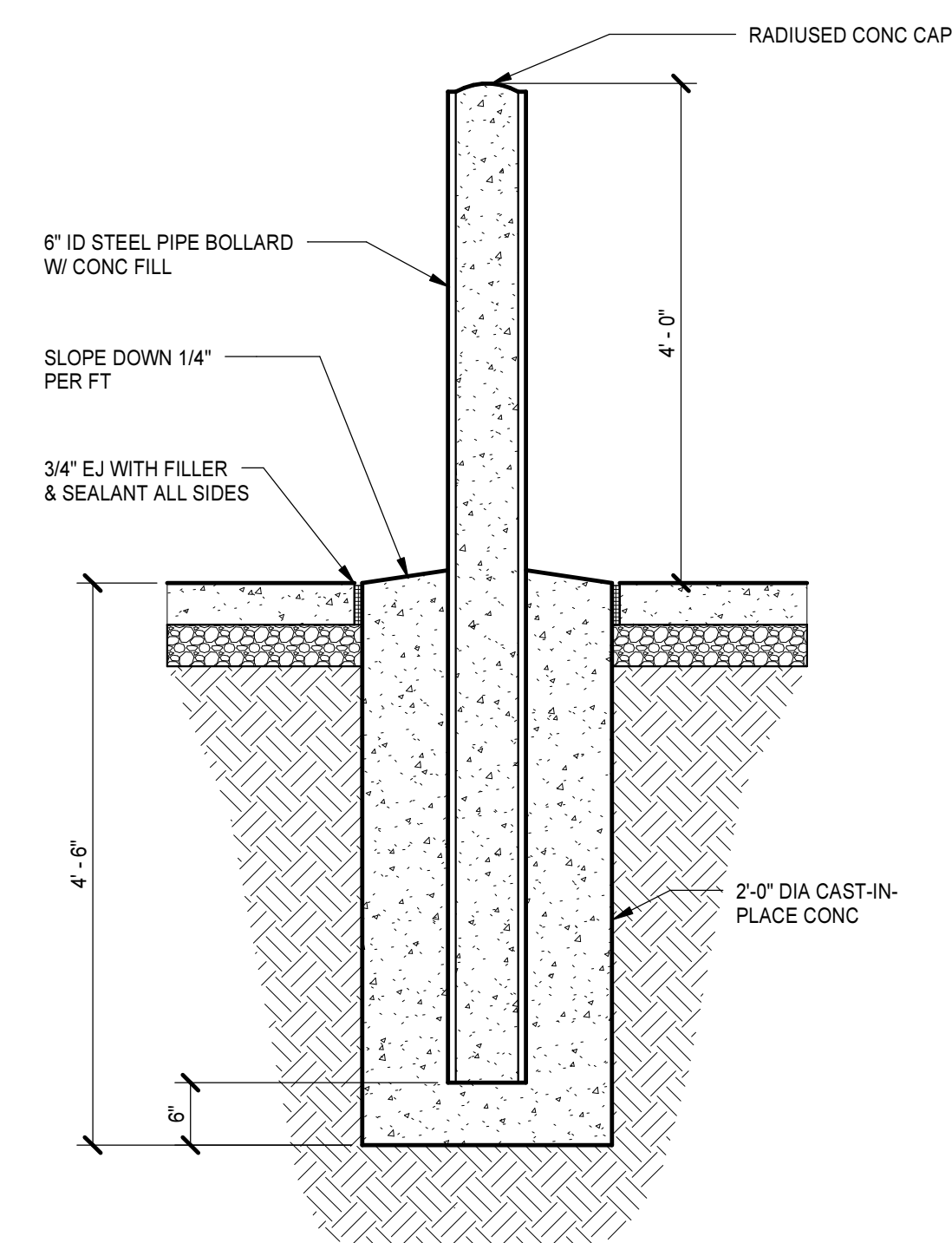
The neighborhood served by this station is primarily residential in nature aside from the main boulevard of Jeff Davis Highway which supports various commercial, industrial, religious, and government functions. The community uses the adjacent alleyway as a pedestrian pass through to Jefferson Davis Highway, and as such this station is visited by walkers and joggers quite often. Therefore the plans will call for an exterior water fountain and a public toilet which will be available without disturbing the fire fighters in the station.

The renovation of the building exterior will include the replacement of the existing windows, patching, repairing, and painting of the existing stucco, and replacement of existing paving. Interior renovations will include new partitions, finishes, mechanical, plumbing, and electrical systems. The station will be fully accessible at the conclusion of the project. The building program calls for individual sleeping quarters, station officer's office, a day room, kitchen, storage, decontamination facilities, laundry facilities, and exercise space. The program functions could not be accommodated in the existing space so two building additions are proposed on the north and south sides of the existing station. The building additions will be constructed of masonry walls with a stucco finish to match the existing building. The roof line of the south addition will come in just below the existing roofline of the kitchen area to minimize the visual appearance of the addition, and to simplify construction of the roof. The larger addition to the north will have a roof line slightly higher, closer resembling the existing flat roof portion of the building. Alongside the abandoned alley to the south of the building, grass will be planted and

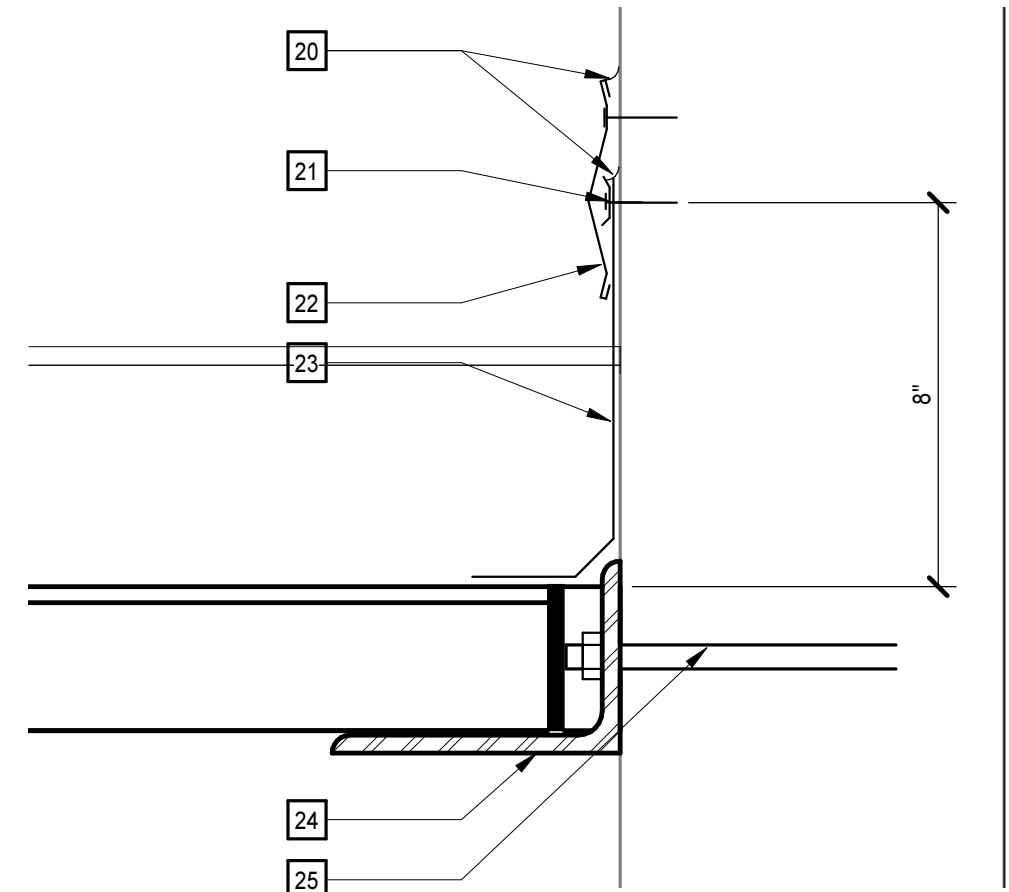
asphalt improvements will be made to accommodate a walking path, making the walkthrough area much more pedestrian friendly. Plantings will be added by the Owner along the Jefferson Davis frontage as well as the southern walking path. Planting will occur within 6 months of final construction or no later than the next optimal planting season. A motorized security gate will be added to the main entrance to the parking, granting access to authorized personnel. A new flagpole will be added and illuminated. The project budget is approximately \$1,350,000 for building and site construction only. The project is funded through the Fire Department's Capital Improvement Projects fund (8929).



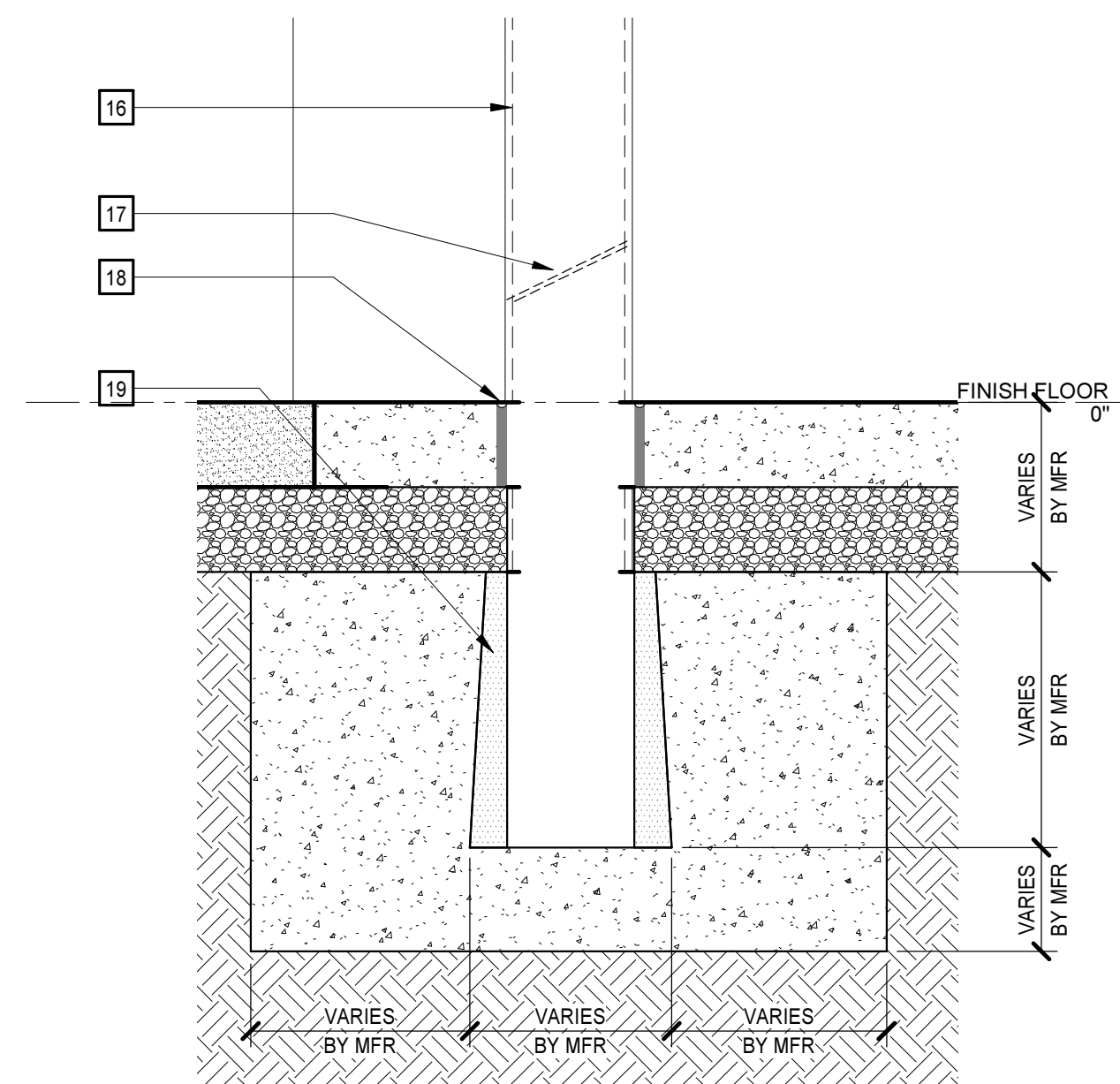
7 AUTOMATIC ROLLING GATE DETAIL
A1.0/A1.0 1" = 1'-0"



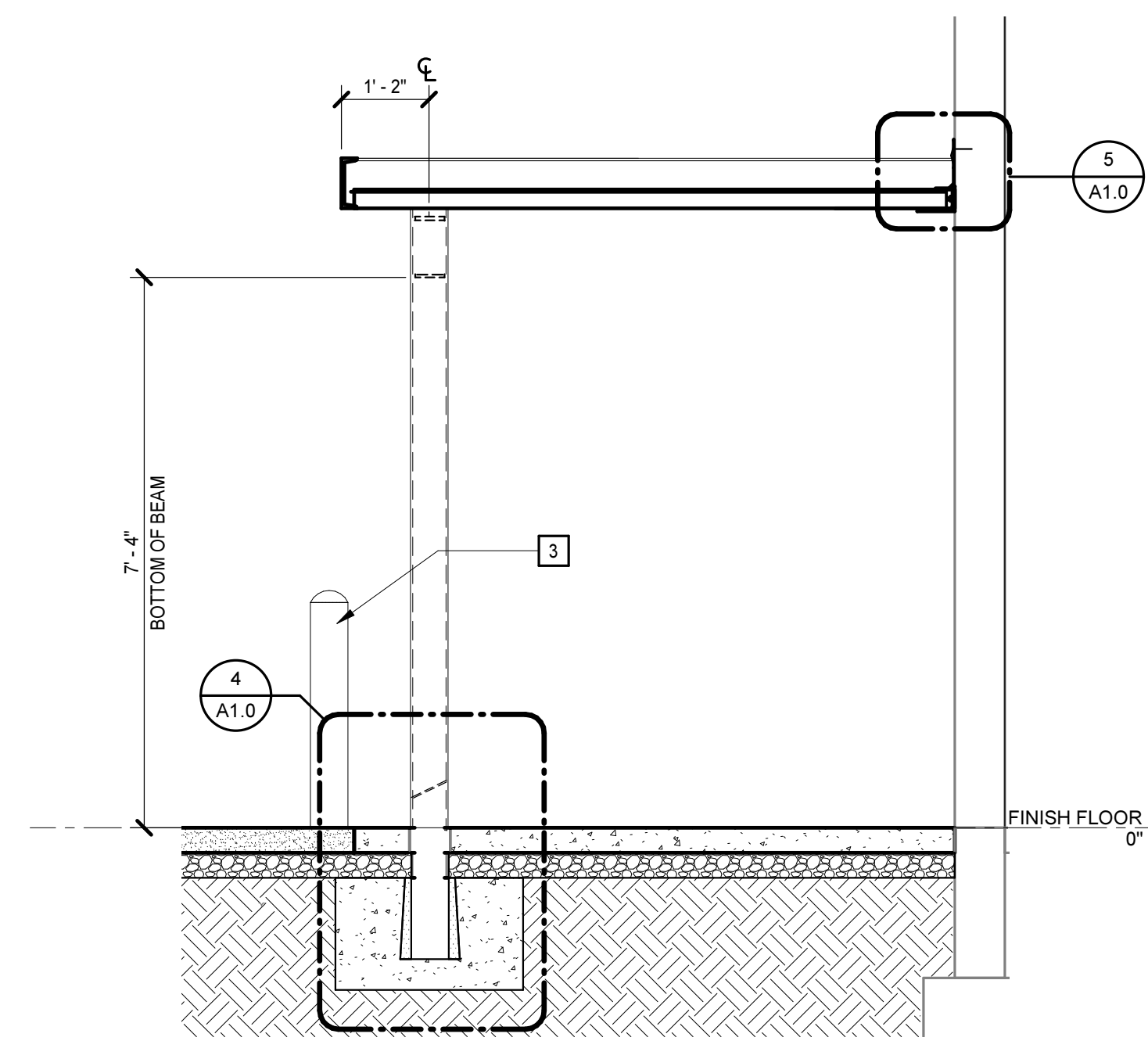
6 BOLLARD
A1.0 3/4" = 1'-0"



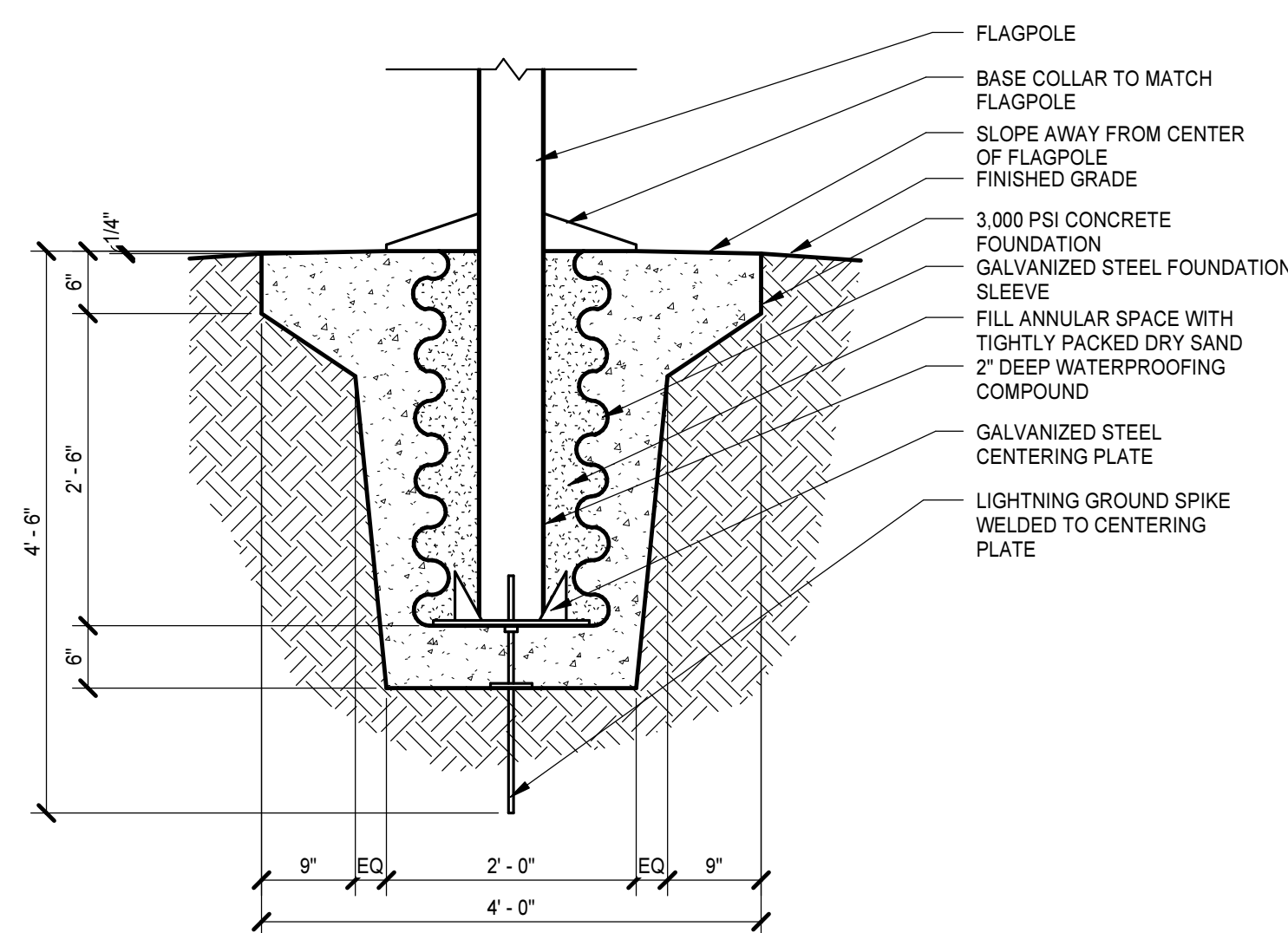
5 DETAIL
A1.0/A1.0 3" = 1'-0"



4 DETAIL
A1.0/A1.0 1 1/2" = 1'-0"



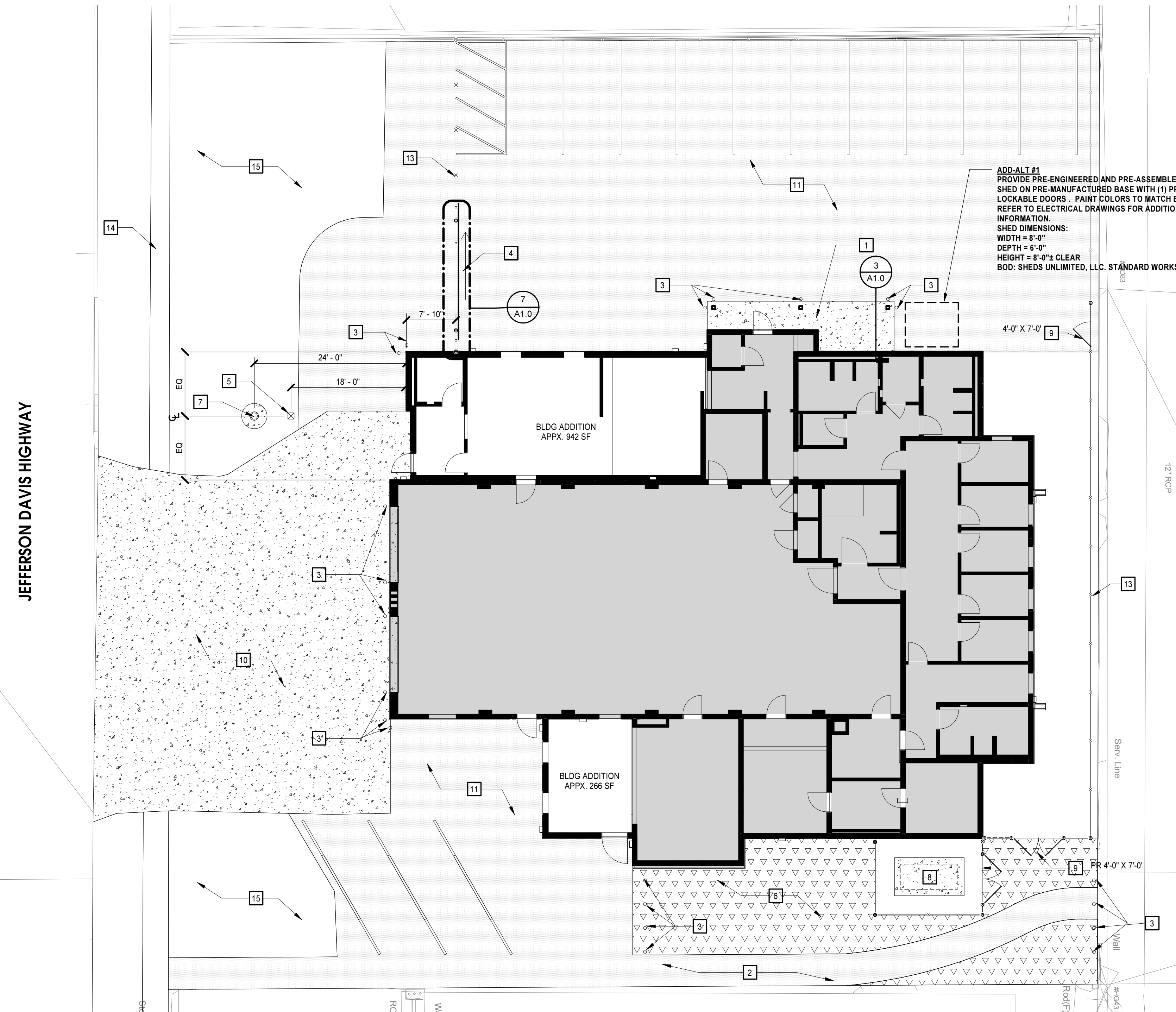
3 SECTION
A1.0/A1.0 1/2" = 1'-0"



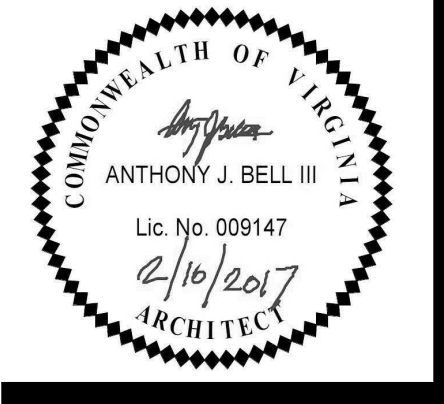
2 FLAGPOLE
A1.0 3/4" = 1'-0"

SITE PLAN LEGEND	
[Symbol]	EXISTING ONE STORY FIRE STATION
[Symbol]	VEGETATION/PLANTING BED
[Symbol]	ASPHALT
[Symbol]	CONCRETE
[Symbol]	GRAVEL

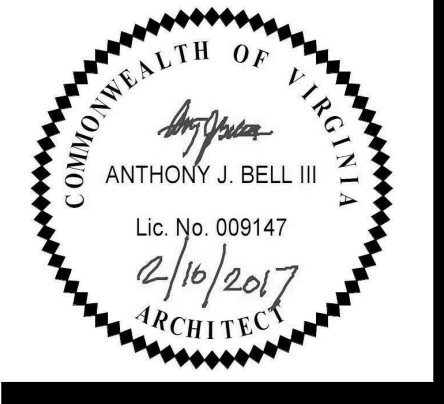
SITE DETAIL KEYNOTES	
APPLIES TO DRAWINGS A1.0	
REPRESENTED BY [Signature]	
1.	PRE-ENGINEERED CANOPY COVER
2.	ASPHALT WALKING PATH: RE-SURFACE EXISTING ASPHALT WHERE PATH IS INDICATED. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
3.	BOLLARD
4.	AUTOMATIC ROLLING GATE
5.	CARD READER BOLLARD
6.	VEGETATION/PLANTING BED
7.	FLAGPOLE
8.	GENERATOR
9.	MANUAL SWING GATE
10.	REPLACE EXISTING CONCRETE APRON WITH NEW CONCRETE APRON. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
11.	RE-SURFACE EXISTING ASPHALT. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
12.	SLIDE GATE OPERATOR. CONFIRM POST SPACING WITH MANUFACTURER.
13.	CHAIN LINK FENCE. HEIGHT, COLOR, AND FINISH TO MATCH EXISTING
14.	EXISTING SIDEWALK TO REMAIN
15.	EXISTING VEGETATION TO REMAIN
16.	PRE-ENGINEERED CANOPY COLUMN WITH INTEGRAL DOWNSPOUT. INDICATED DASHED
17.	CANOPY TO DRAIN AT GRADE
18.	COMPRESSIBLE JOINT FILLER
19.	STYRO-FOAM BLOCK OUT, SIZE VARIES PER MFR
20.	CONTINUOUS SEALANT
21.	CONTINUOUS TERMINATION BAR
22.	COUNTERFLASHING
23.	METAL FLASHING
24.	PRE-ENGINEERED ALUMINUM SUPPORT ANGLE. PER MFR
25.	PRE-ENGINEERED CANOPY ANCHOR. PER MFR



SITE PLAN
3/32" = 1'-0"



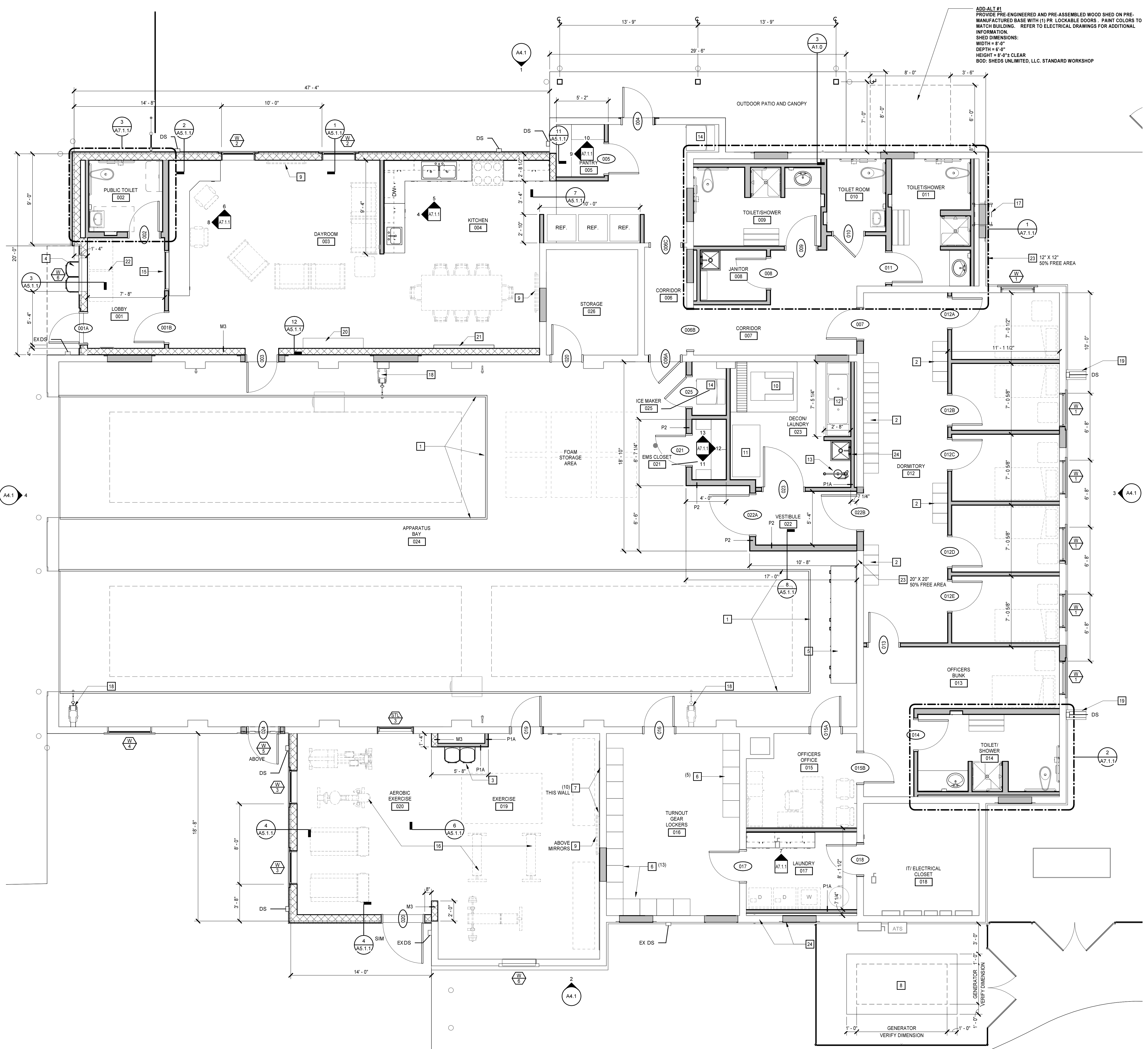
PROJECT NO.	DATE
550148	FEBRUARY 10, 2017
REVISIONS	DESCRIPTION



PROJECT NO.	DATE
550148	FEBRUARY 10, 2017
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- FLOOR PLAN GENERAL NOTES**
- A. DIMENSIONS TO EXISTING WALLS ARE BASED OFF EXISTING PLANS AND SHALL BE FIELD VERIFIED BY CONTRACTOR.
- B. PROCUREMENT AND INSTALLATION OF SECURITY ITEMS INDICATED IN THE SECURITY LEGEND ARE NOT INCLUDED IN THIS PROJECT. CONDUIT IS TO BE PROVIDED BY THE CONTRACTOR TO ACCOMMODATE THE INSTALLATION OF THESE ITEMS BY THE OWNER. REFER TO A3.1 FOR INFORMATION REGARDING THE POSITIONING OF SECURITY ITEMS AT DOORS.
- FLOOR PLAN KEYNOTES**
- APPLIES TO DRAWING A2.1
 REPRESENTED BY [n]
- BAY STRIPING
 - RE-INSTALL SALVAGED LOCKERS
 - WATER COOLER/ BOTTLE FILLER
 - EXTERIOR DRINKING FOUNTAIN
 - WORKBENCH
 - 20" X 20" GEAR LOCKERS
 - 2' x 5' WALL MOUNTED MIRRORS. MOUNT 18" AFF
 - GENERATOR ON CONCRETE SLAB
 - COORDINATE TV MOUNT BLOCKING, COAXIAL CABLE ROUGH-IN, AND ELECTRICAL ROUGH-IN LOCATIONS WITH OWNER. TV TO BE PROVIDED AND INSTALLED BY OWNER.
 - HIGH PERFORMANCE EXTRACTOR
 - DRYING CABINET
 - DECONTAMINATION SINK
 - EMERGENCY EYE WASH STATION
 - ICE MAKER
 - SLIDING WINDOW. MOUNT SILL @ 3'-4"
 - EXERCISE EQUIPMENT (NIC)
 - ROOF ACCESS LADDER W/ LOCK
 - HOSE REEL. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 - SPLASH BLOCK
 - DISPLAY CASE
 - TACKBOARD
 - VENDING MACHINES (NIC)
 - LOUVER. REFER TO M2.1 FOR ADDITIONAL INFORMATION.
 - DRYER VENT. REFER TO M2.1 FOR ADDITIONAL INFORMATION.

ADD-ALT #1
 PROVIDE PRE-ENGINEERED AND PRE-ASSEMBLED WOOD SHED ON PRE-MANUFACTURED BASE WITH (1) PSL LOCKABLE DOORS. PAINT COLORS TO MATCH BUILDING. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 SHED DIMENSIONS:
 WIDTH = 8'-0"
 DEPTH = 8'-0"
 HEIGHT = 8'-0"± CLEAR
 BOD: SHEDS UNLIMITED, LLC. STANDARD WORKSHOP



FIRST FLOOR PLAN
 1/4" = 1'-0"

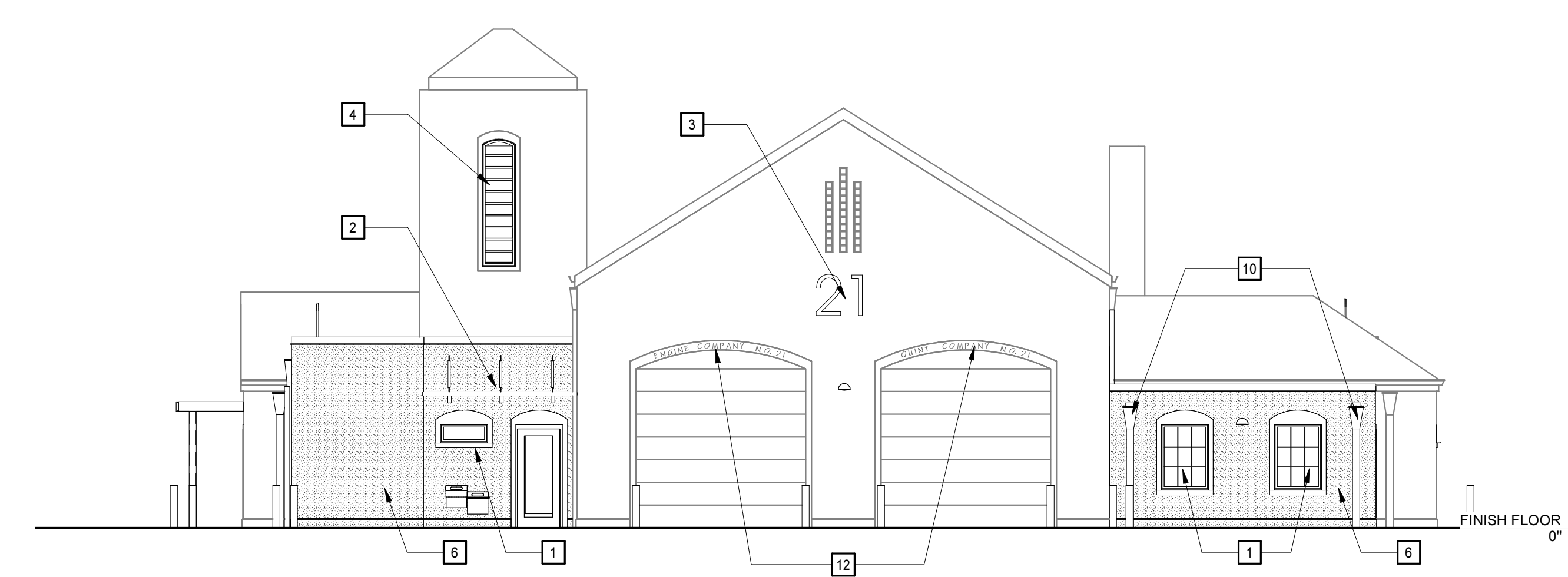


BUILDING ELEVATION GENERAL NOTES

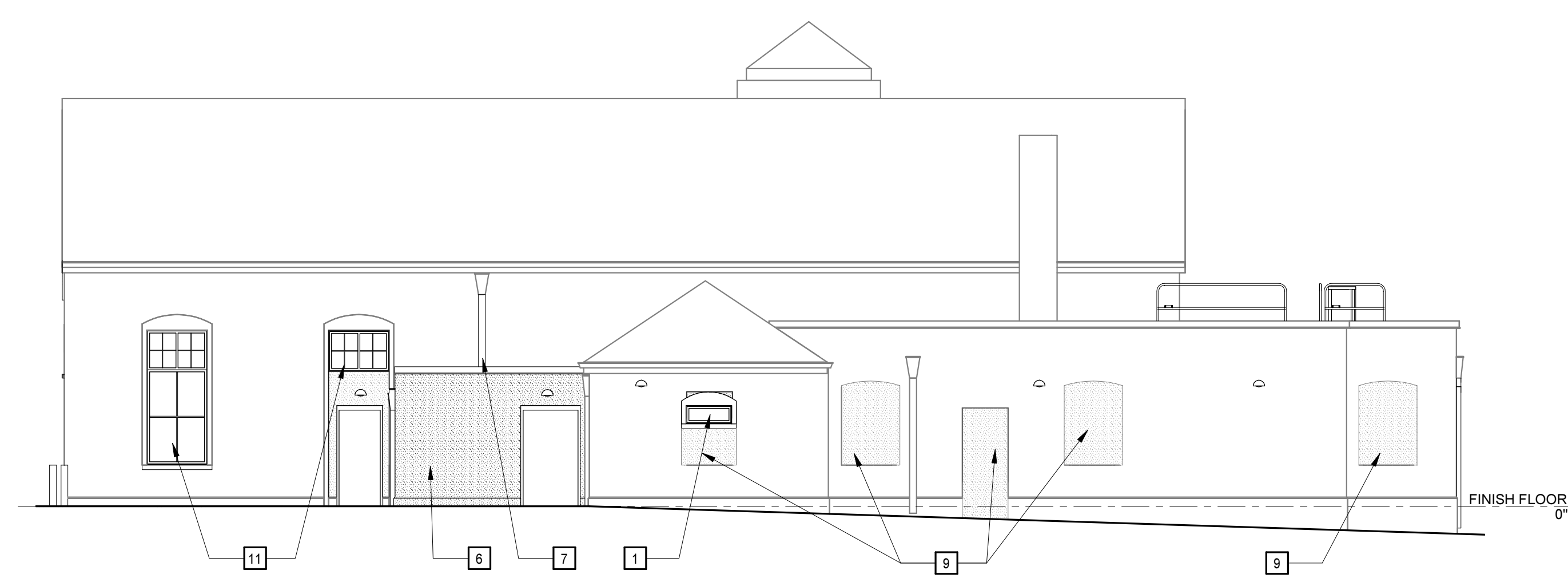
- A. PATCH AND REPAIR STUCCO BASE AND WALL FINISH AROUND ENTIRE PERIMETER OF BUILDING
- B. PAINT EXISTING EXTERIOR STUCCO WALL SURFACES TO MATCH EXISTING COLOR SCHEME
- C. EIFS EXTERIOR WALL SURFACE TO MATCH EXISTING COLOR SCHEME
- D. STUCCO AND EIFS BASE COLOR TO MATCH MULLION COLOR
- E. METAL DOWNSPOUTS, GUTTERS AND TRIM SHALL MATCH EXISTING COLOR SCHEME

BUILDING ELEVATION KEYNOTES
 APPLIES TO DRAWINGS A4.1
 REPRESENTED BY [A]

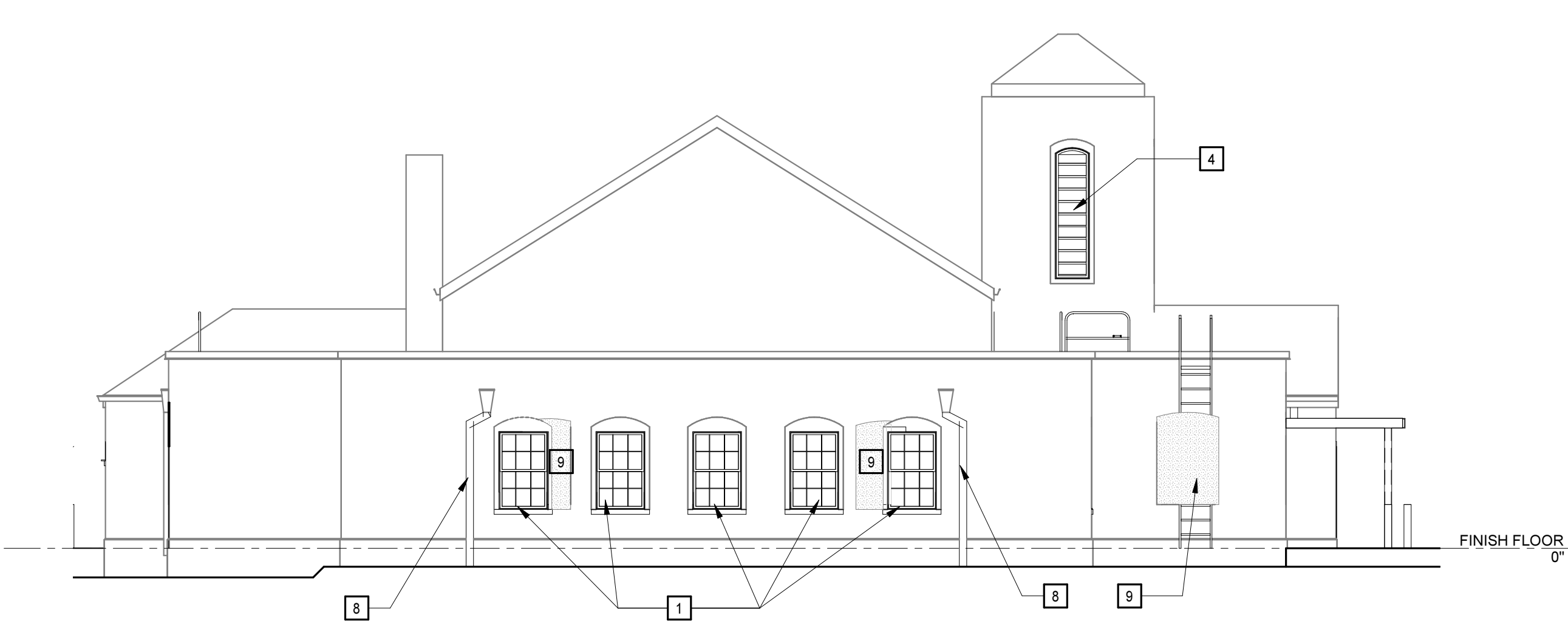
- 1. FIBERGLASS WINDOW TO MATCH ORIGINAL STYLE, PATTERN, AND RETAIN RECESSED ARCH.
- 2. PRE-ENGINEERED CANOPY
- 3. 2" PROJECTION ALUMINUM SIGNAGE GRAPHICS, BRONZE COLOR
- 4. ALUMINUM LOUVER
- 5. RELOCATE DOWNSPOUT
- 6. EXTERIOR INSULATED FINISH SYSTEM
- 7. EXISTING DOWNSPOUT TO DISCHARGE TO SPLASHBLOCK ON ROOF
- 8. CONNECT EXISTING DOWNSPOUT TO NEW DOWNSPOUT
- 9. FINISH EXISTING OPENING FLUSH WITH EXTERIOR WALL. STUCCO FINISH.
- 10. CONDUCTOR HEAD TO MATCH EXISTING.
- 11. FIBERGLASS REPLACEMENT WINDOW TO MATCH ORIGINAL STYLE AND PATTERN. RETAIN STUCCO RECESSED ARCH. REPLACE FRAME AND SILL.
- 12. PAINT LETTERING TO MATCH EXISTING



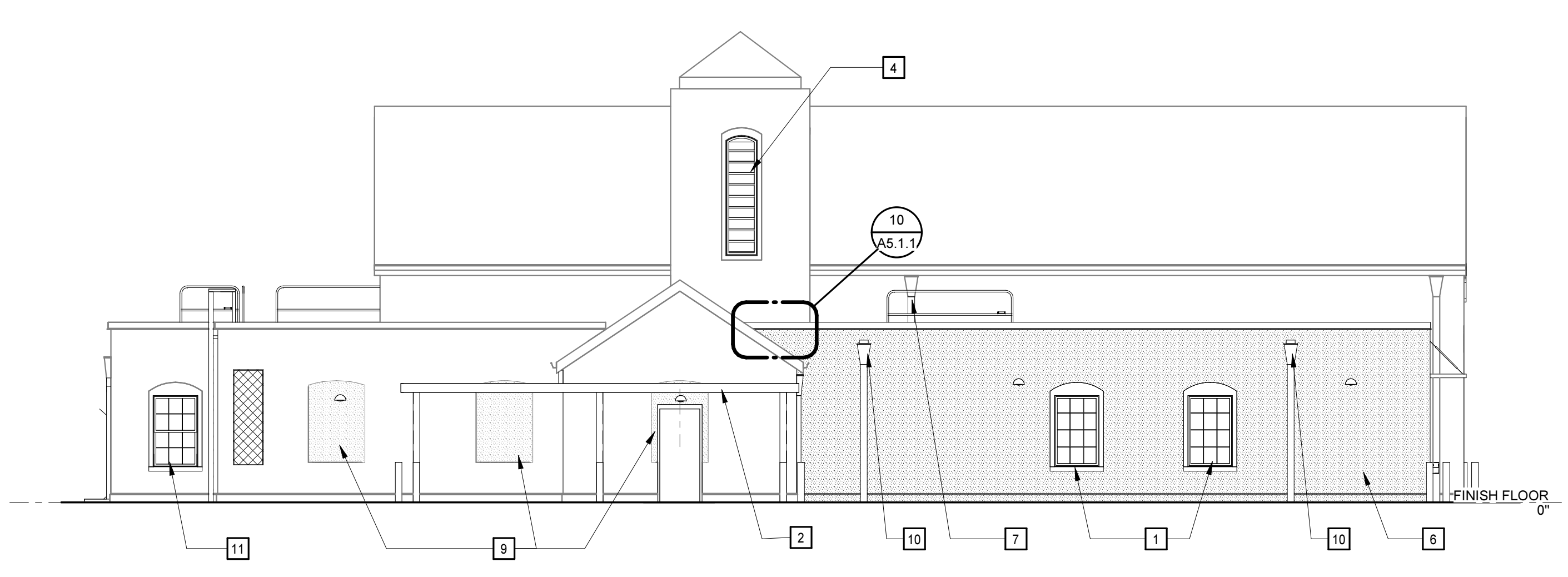
4 WEST ELEVATION
 A4.1 1/8" = 1'-0"



2 SOUTH ELEVATION
 A4.1 1/8" = 1'-0"



3 EAST ELEVATION
 A4.1 1/8" = 1'-0"



1 NORTH ELEVATION
 A4.1 1/8" = 1'-0"

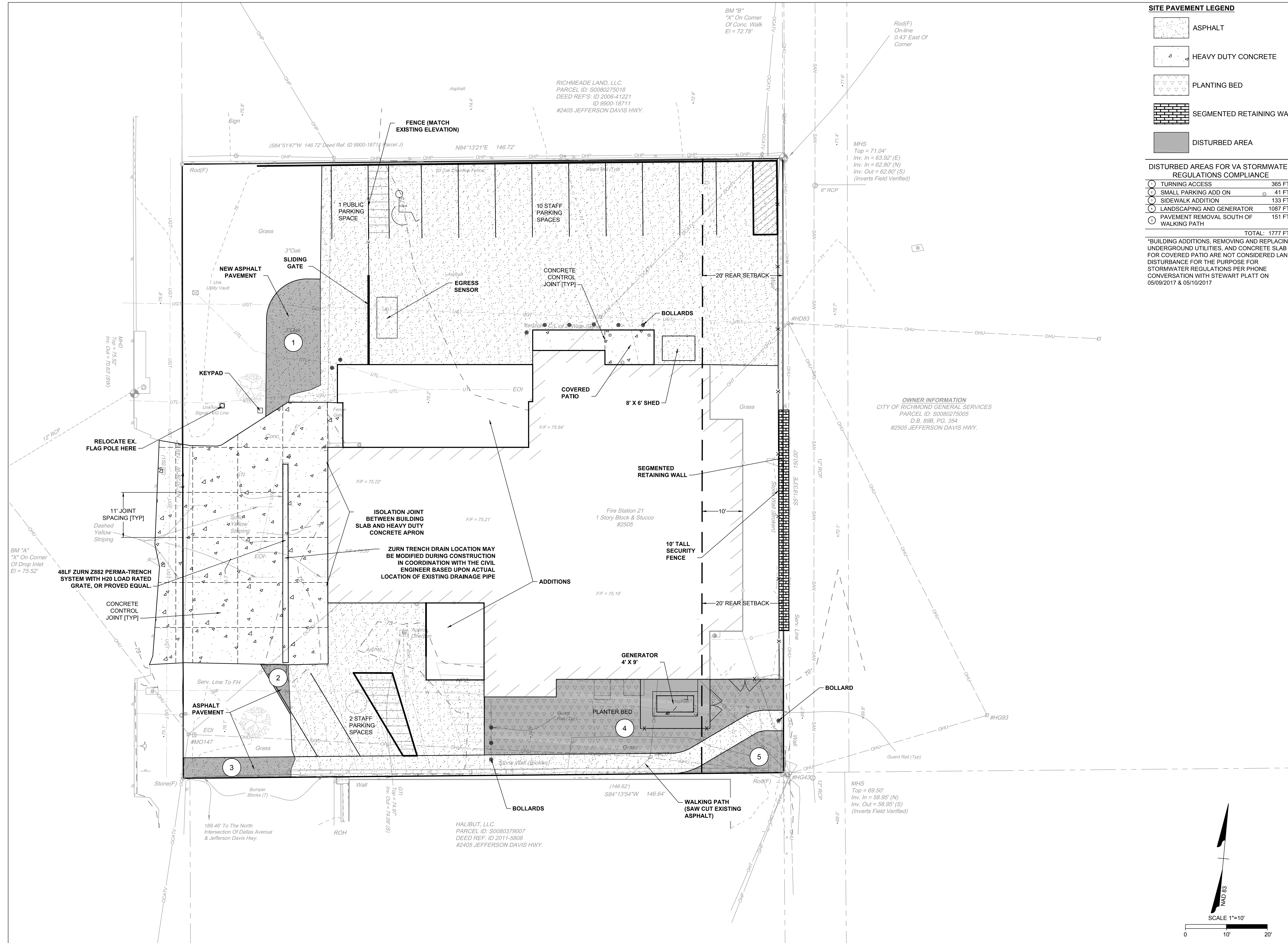
RENOVATION AND ADDITION TO FIRE STATION #21

PROJECT DRAWING NO. O-28766
 CITY OF RICHMOND
 2505 JEFFERSON DAVIS HWY., RICHMOND, VA 23234

PROJECT NO.	DATE
550148	FEBRUARY 10, 2017
REVISIONS	DESCRIPTION

BUILDING ELEVATIONS

A4.1



SITE PAVEMENT LEGEND

- ASPHALT
- HEAVY DUTY CONCRETE
- PLANTING BED
- SEGMENTED RETAINING WALL
- DISTURBED AREA

DISTURBED AREAS FOR VA STORMWATER REGULATIONS COMPLIANCE

Item	Area (sq ft)
TURNING ACCESS	365 FT ²
SMALL PARKING ADD ON	41 FT ²
SIDEWALK ADDITION	133 FT ²
LANDSCAPING AND GENERATOR	1087 FT ²
PAVEMENT REMOVAL SOUTH OF WALKING PATH	151 FT ²
TOTAL:	1777 FT²

*BUILDING ADDITIONS, REMOVING AND REPLACING UNDERGROUND UTILITIES, AND CONCRETE SLAB FOR COVERED PATIO ARE NOT CONSIDERED LAND DISTURBANCE FOR THE PURPOSE FOR STORMWATER REGULATIONS PER PHONE CONVERSATION WITH STEWART PLATT ON 05/09/2017 & 05/10/2017

OWNER INFORMATION
 CITY OF RICHMOND GENERAL SERVICES
 PARCEL ID: S0080275005
 D.B. 1088, PG. 354
 #2505, JEFFERSON DAVIS HWY.

RICHMEADE LAND, LLC.
 PARCEL ID: S0080275018
 DEED REF'S: ID 2006-41221
 ID 9900-18711
 #2405, JEFFERSON DAVIS HWY.

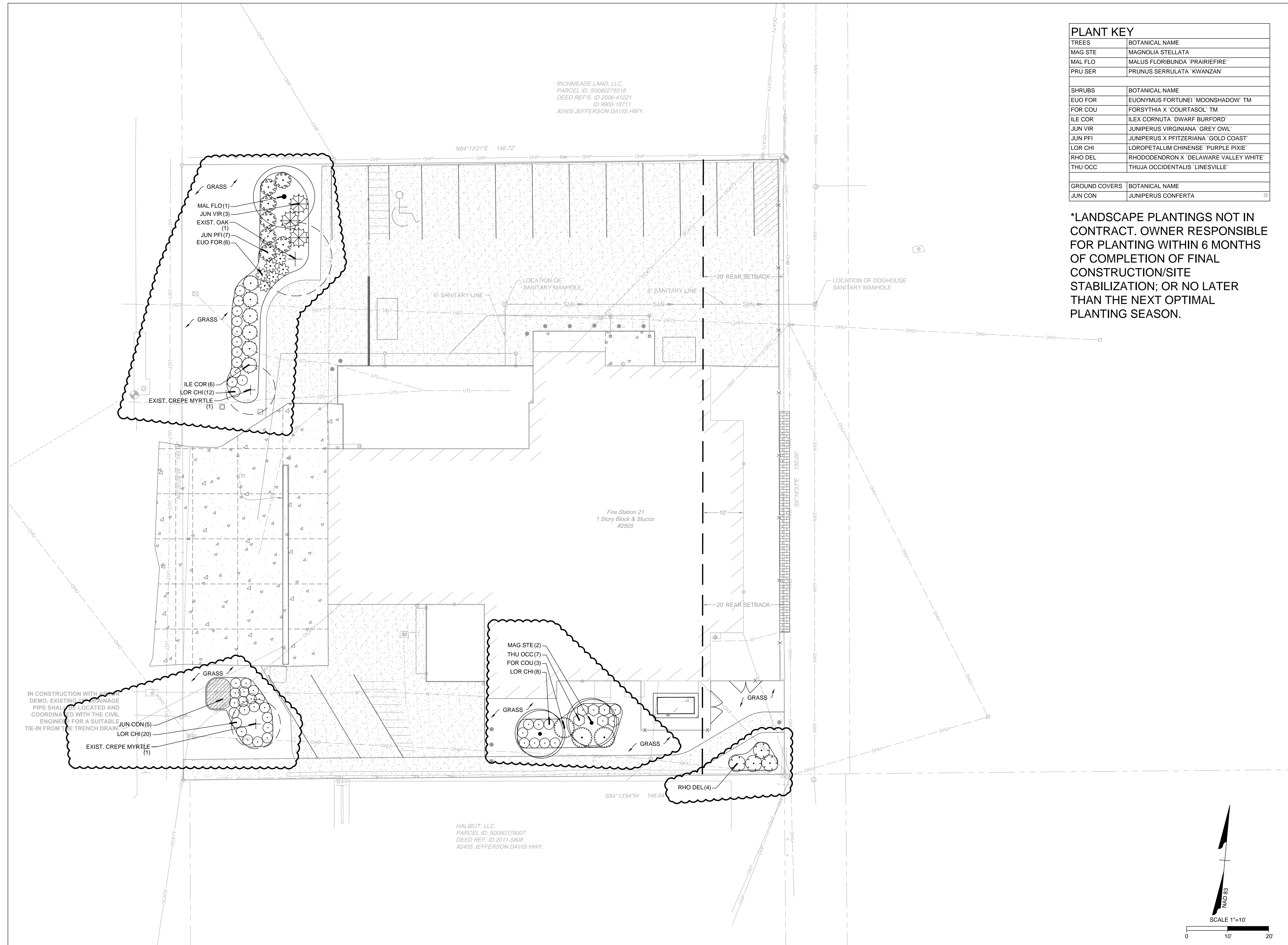
HALIBUT, LLC.
 PARCEL ID: S0080379007
 DEED REF: ID 2011-5808
 #2405, JEFFERSON DAVIS HWY.



PROJECT NO:	DATE:
550148	FEBRUARY 10, 2017
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05/11/2017	LD & PVMT

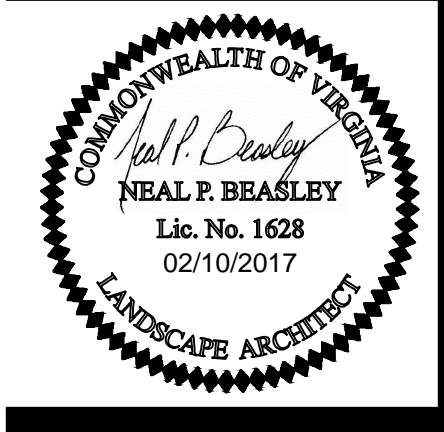
OVERALL SITE PLAN

s:\30538891-richmond_is_21DWG\Sheet\CD\98891-L100-OVRL.dwg | Plotted on 5/11/2017 9:30 AM | by Sammy Smith

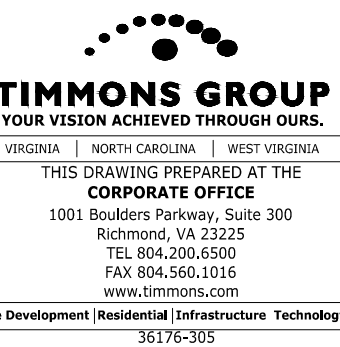
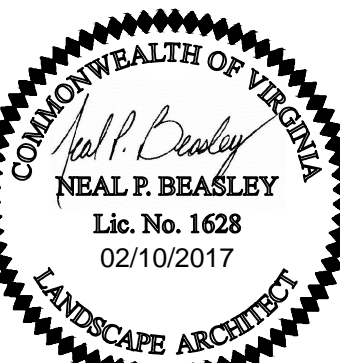


PLANT KEY	
TREES	BOTANICAL NAME
MAG STE	MAGNOLIA STELLATA
MAL FLO	MALUS FLORIBUNDA 'PRAIRIEFIRE'
PRU SER	PRUNUS SERRULATA 'KWANZAN'
SHRUBS	BOTANICAL NAME
EUO FOR	EUONYMUS FORTUNEI 'MOONSHADOW' TM
FOR COU	FORSYTHIA X 'COURTASOL' TM
ILE COR	ILEX CORNUTA 'DWARF BURFORD'
JUN VIR	JUNIPERUS VIRGINIANA 'GREY OWL'
JUN PFI	JUNIPERUS X PFITZERIANA 'GOLD COAST'
LOR CHI	LOROPETALUM CHINENSE 'PURPLE PIXIE'
RHO DEL	RHODODENDRON X 'DELAWARE VALLEY WHITE'
THU OCC	THUJA OCCIDENTALIS 'LINESVILLE'
GROUND COVERS	BOTANICAL NAME
JUN CON	JUNIPERUS CONFERTA

*LANDSCAPE PLANTINGS NOT IN CONTRACT. OWNER RESPONSIBLE FOR PLANTING WITHIN 6 MONTHS OF COMPLETION OF FINAL CONSTRUCTION/SITE STABILIZATION; OR NO LATER THAN THE NEXT OPTIMAL PLANTING SEASON.



PROJECT NO.	DATE
550148	FEBRUARY 10, 2017
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05/11/2017	LD & PVM



GENERAL NOTES

PRE-CONSTRUCTION

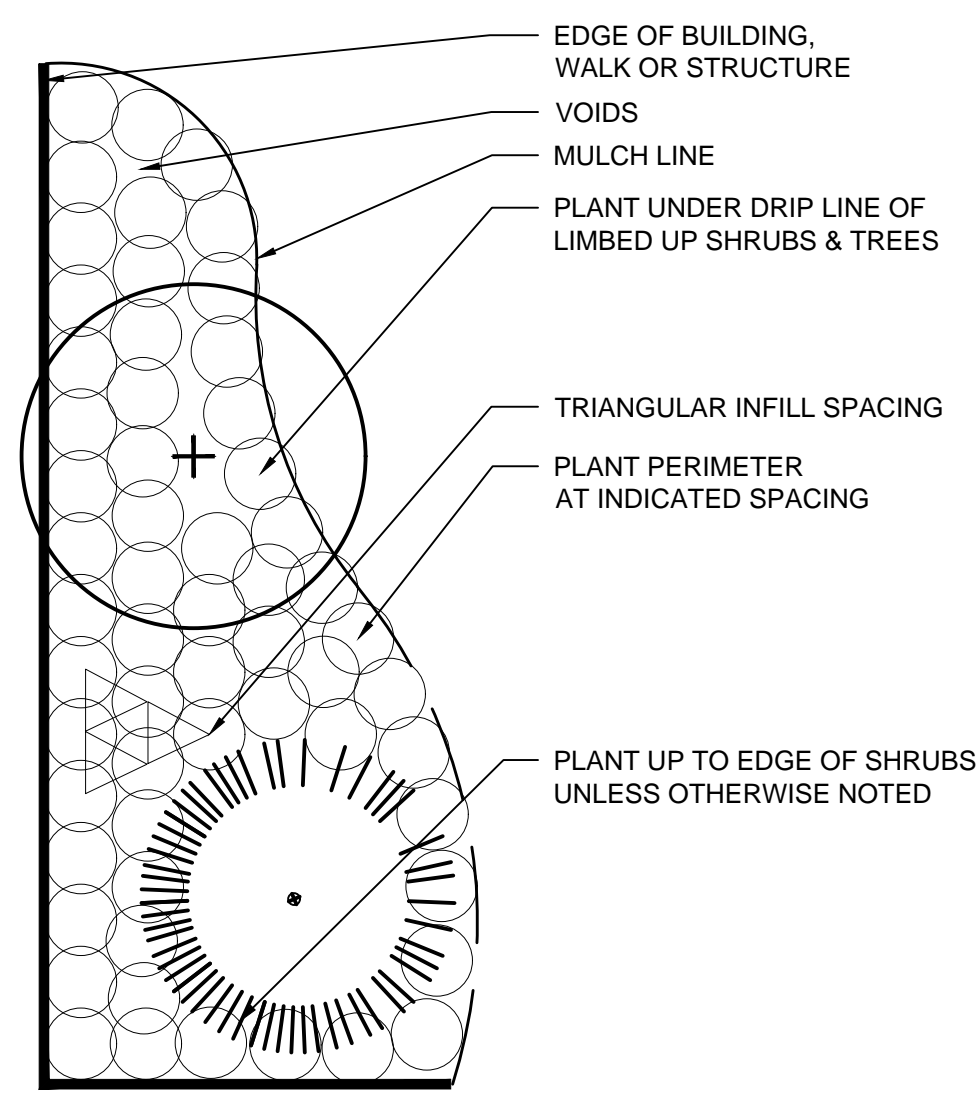
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING "MISS UTILITY" AT 1.800.552.7001 FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- VERIFY ALL PLANT MATERIAL QUANTITIES ON THE PLAN PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.
- PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON PLANS. ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". IF SPECIFIED PLANT MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON AVAILABILITY TO THE ARCHITECTS, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
- PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS.
- SOIL TESTS SHALL BE PERFORMED TO DETERMINE SOIL CHARACTER AND QUALITY. NECESSARY SOIL AMENDMENTS SHALL BE PERFORMED PER TEST RESULTS TO ENSURE PLANT HEALTH.

CONSTRUCTION/INSTALLATION

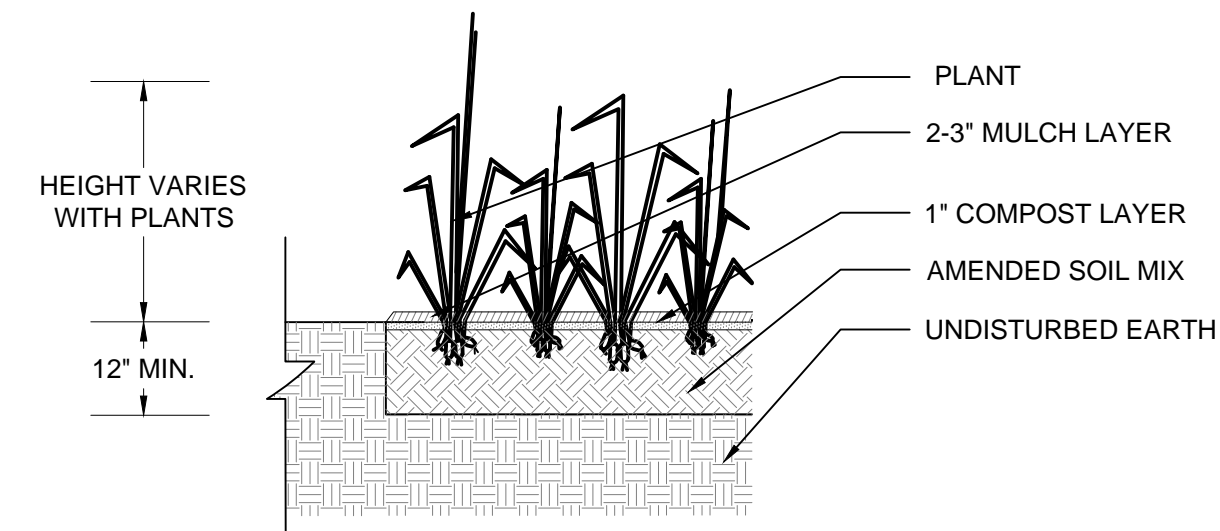
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING THE DESIGNATION OF BOTANICAL AND COMMON NAME.
- INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO THAT MATERIALS WILL NOT INTERFERE WITH SIGHT DISTANCES.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE.

INSPECTIONS/GUARANTEE

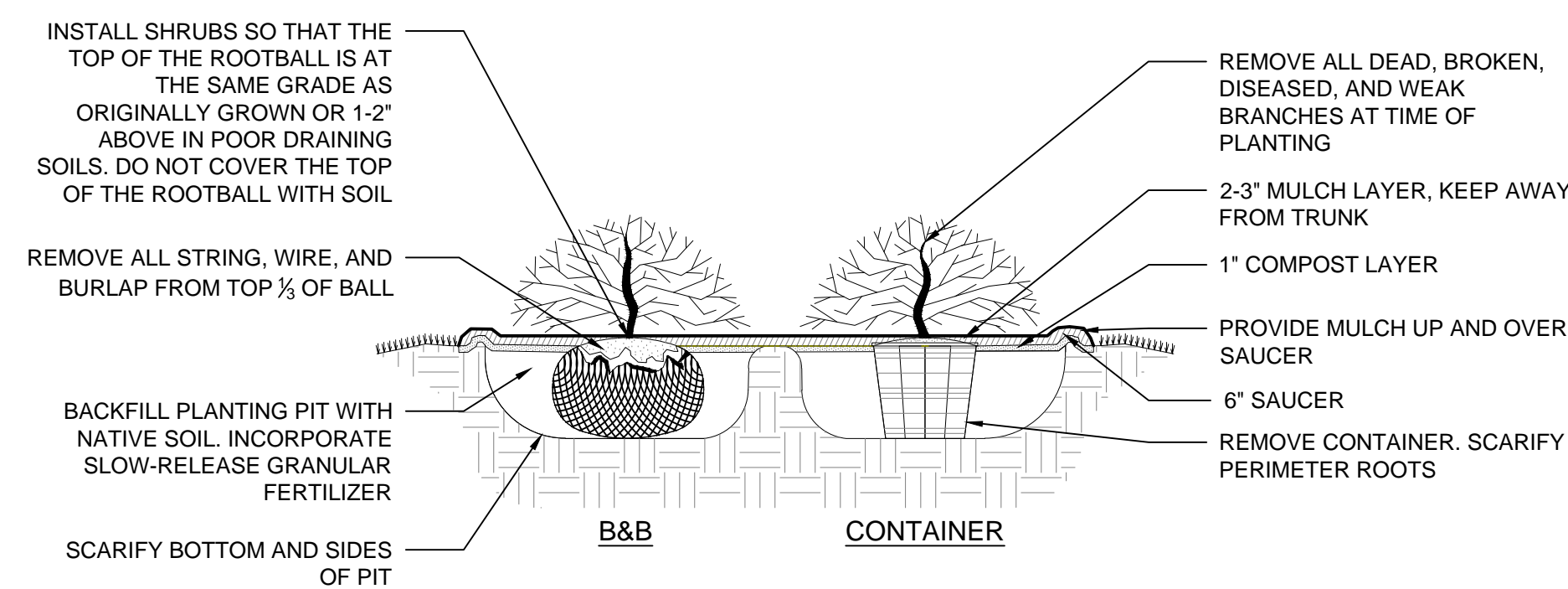
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE LANDSCAPE ARCHITECT.
- ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR.
- PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- REMOVE ALL GUY WIRES AND STAKES 12 MONTHS AFTER INSTALLATION.



PLAN VIEW:



GROUND COVER PLANTING
NOT TO SCALE

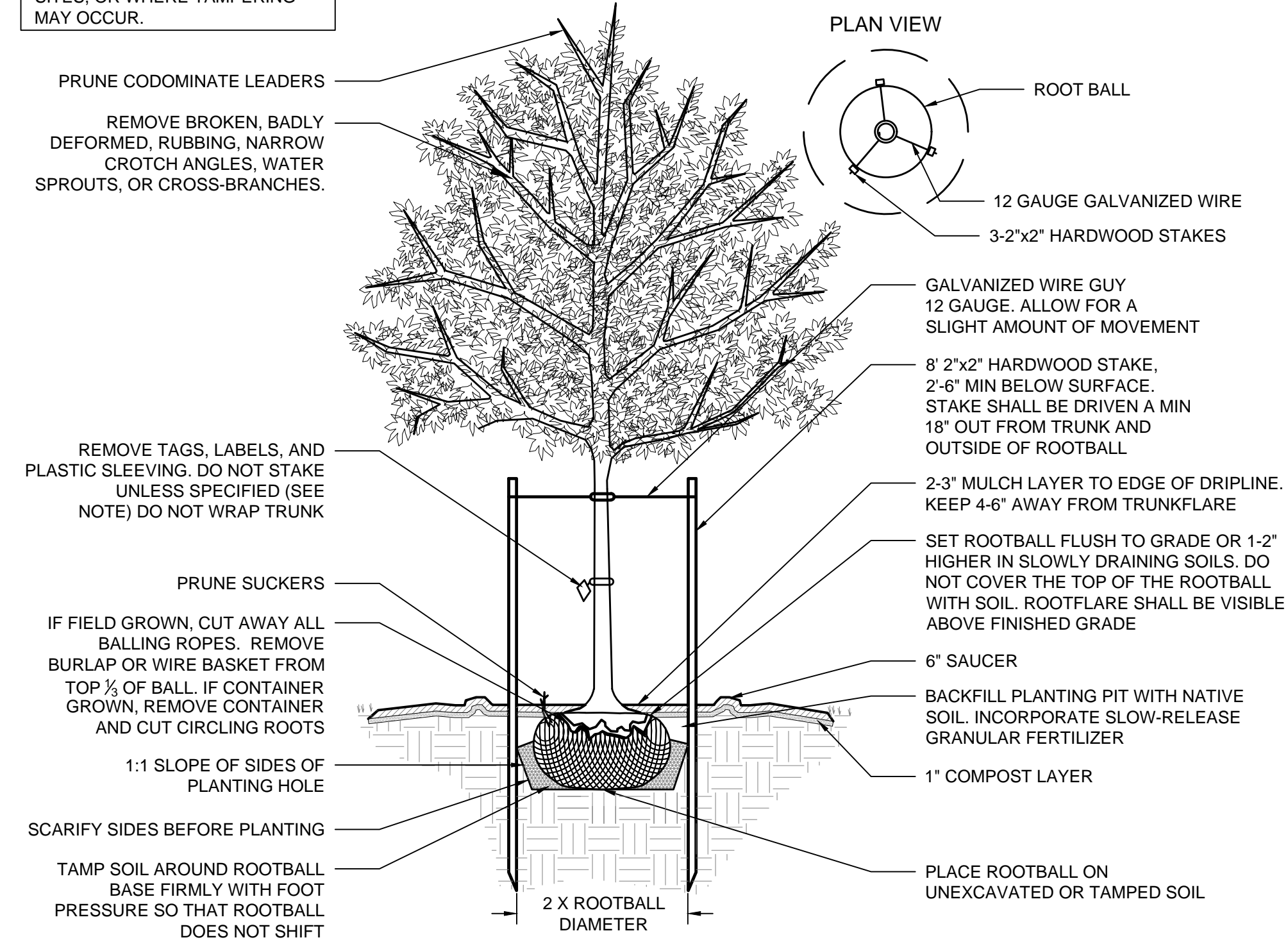


SHRUB PLANTING
NOT TO SCALE

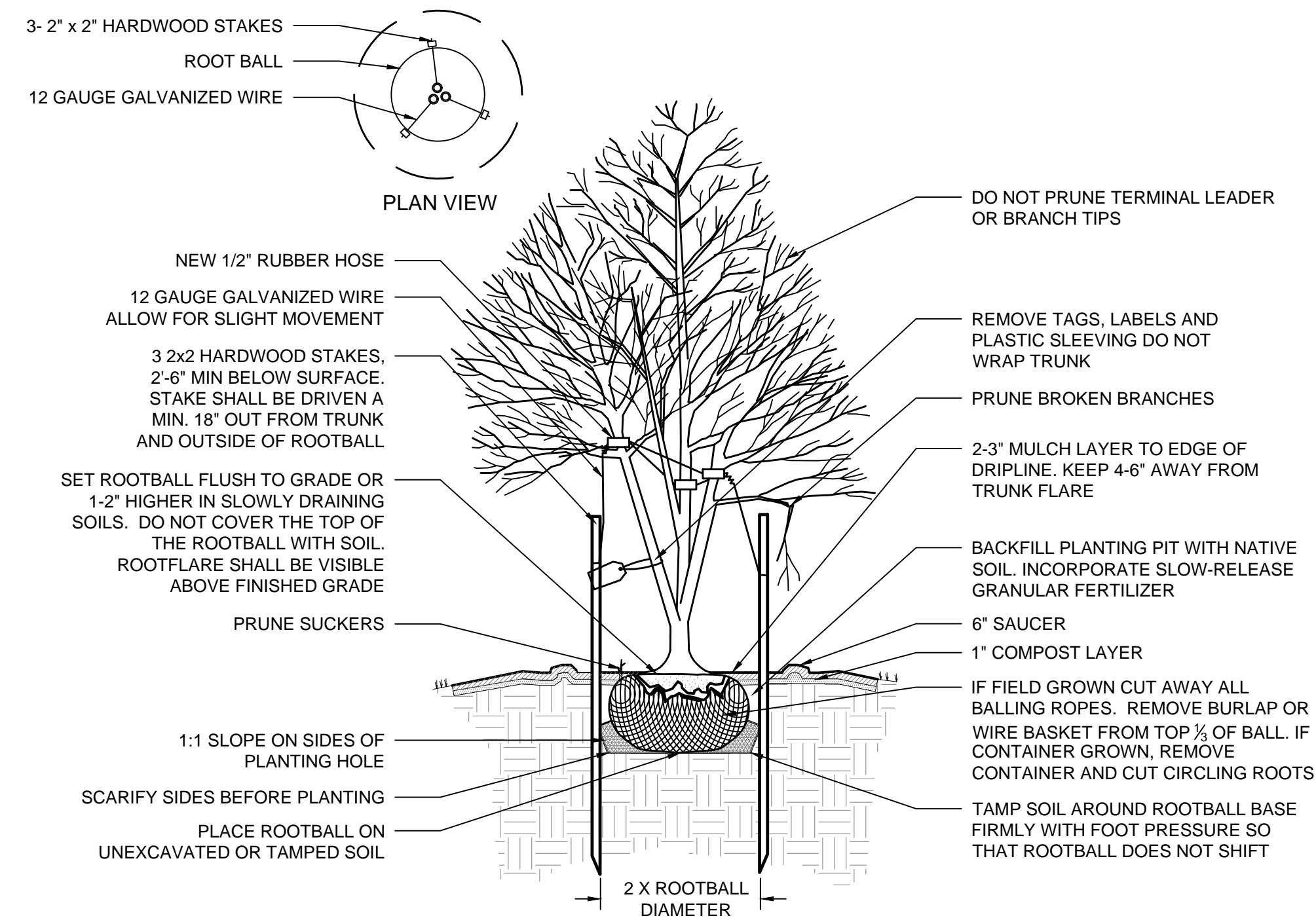
TREES	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT	SPACING
MAG STE	2	MAGNOLIA STELLATA	STAR MAGNOLIA	2.5' CAL.	B&B	
MAL FLO	1	MALUS FLORIBUNDA 'PRAIRIEFIRE'	FLOWERING CRABAPPLE	2.5' CAL.	B&B	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	SPACING
EUO FOR	6	EUONYMUS FORTUNEI 'MOONSHADOW' TM	MOONSHADOW EUONYMUS	24' HT./SPRD	CONTAINER	36" o.c.
FOR COU	3	FORSYTHIA X 'COURTASOL' TM	GOLD TIDE FORSYTHIA	24' SPREAD	CONTAINER	60" o.c.
ILE COR	6	ILEX CORNUTA 'DWARF BURFORD'	DWARF BURFORD HOLLY	36" HT./SPRD	CONTAINER	48" o.c.
JUN VIR	3	JUNIPERUS VIRGINIANA 'GREY OWL'	EASTERN REDCEDAR	24' HT./SPRD	CONTAINER	60" o.c.
JUN PFI	7	JUNIPERUS X PFTZERIANA 'GOLD COAST'	GOLD COAST JUNIPER	18' SPREAD	CONTAINER	48" o.c.
LOR CHI	40	LOROPETALUM CHINENSE 'PURPLE PIXIE'	PURPLE PIXIE LOROPETALUM	24' SPREAD	CONTAINER	30" o.c.
RHO DEL	4	RHODODENDRON X 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	24' HT./SPRD	CONTAINER	48" o.c.
THU OCC	7	THUJA OCCIDENTALIS 'LINESVILLE'	LITTLE GIANT ARBORVITAE	18' HT./SPRD.	CONTAINER	36" o.c.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT	SPACING
JUN CON	5	JUNIPERUS CONFERTA	SHORE JUNIPER	24' SPREAD	CONTAINER	36" o.c.

* QUANTITIES ARE FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.

NOTE: ONLY STAKE TREES WITH LARGE CROWNS, 2" CALIPER OR GREATER, IF LOCATED ON WINDY SITES, OR WHERE TAMPERING MAY OCCUR.



DECIDUOUS TREE PLANTING
NOT TO SCALE



LOW-BRANCHED TREE PLANTING
NOT TO SCALE

PROJECT NO:	DATE:
550148	FEBRUARY 10, 2017
REVISIONS:	
DATE:	DESCRIPTION:
05/11/2017	LD & PVM



ENGINE COMPANY No 21

QUINT COMPANY No 21

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