

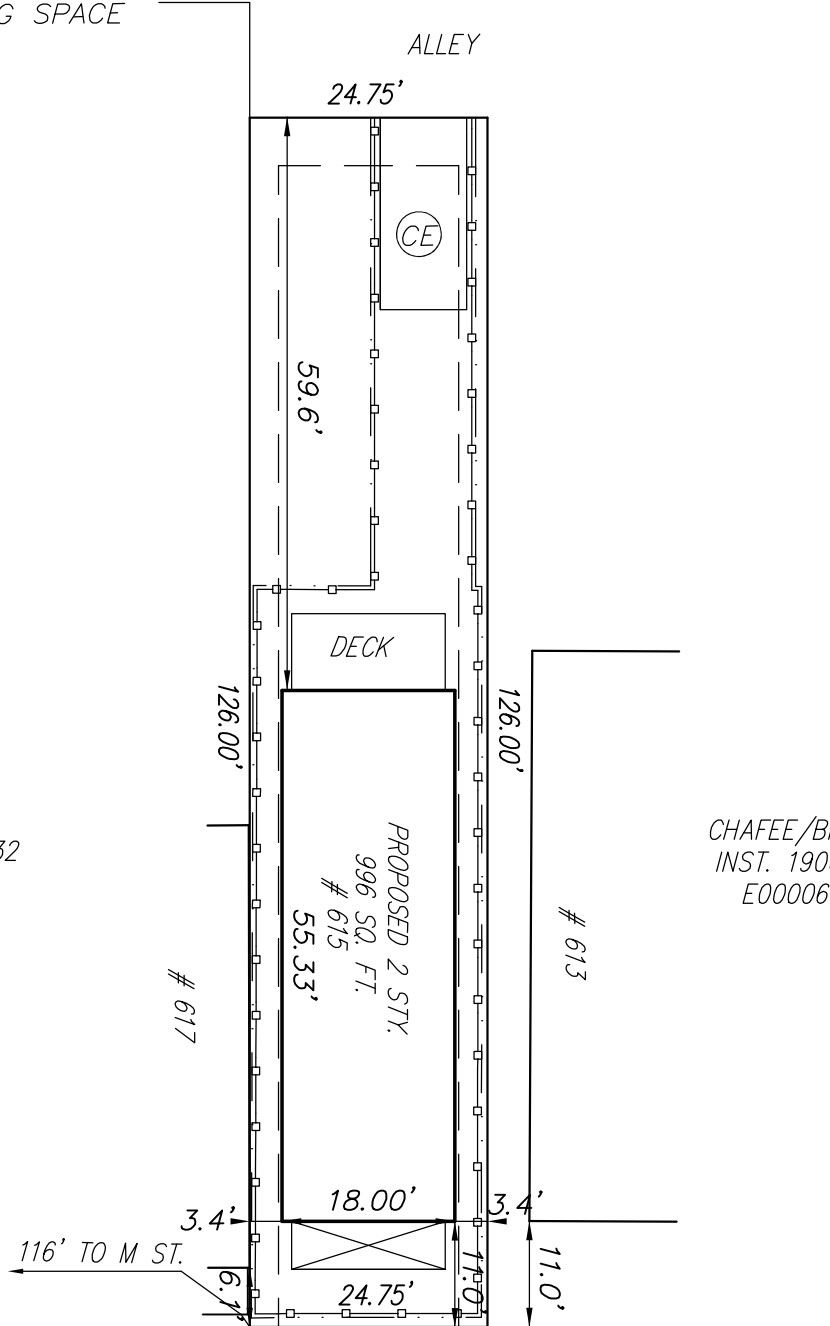
ADDRESS: 615 N 30TH  
 PARCEL: E0000632035  
 ZONED: R-63  
 SETBACKS  
 FRONT: 0'  
 SIDE: 3'  
 REAR: 5'

LOT SIZE: 3119 SQ. FT.  
 AREA OF DISTURBANCE: 2354 Sq. Feet  
 ONCE CONSTRUCTION IS COMPLETE SITE  
 IS TO BE PERMANENTLY SEEDED.



- — — SET BACKS
- □ — □ — SILT FENCE
- · · — LIMITS OF DISTURBANCE

(CE) CONSTRUCTION ENTRANCE/FUTURE GRAVEL  
 PARKING SPACE



CONLEY  
 INST. 060039832  
 E0000632036

CHAFEE/BICKFORD  
 INST. 190024870  
 E000063034

N 30TH STREET  
 VAR. WIDTH PUBLIC R/W

SITE PLAN  
 615 N 30TH STREET

LONG SURVEYING, LLC  
 4650 FACTORY MILL ROAD  
 MAIDENS, VA 23012  
 804-314-5620

CITY OF RICHMOND  
 VIRGINIA  
 OCT. 21, 2021  
 SCALE: 1"=20

# NEW TWO-FAMILY RESIDENCE 615 NORTH 30TH STREET RICHMOND, VIRGINIA

## LIST OF DRAWINGS

NO.	TITLE
A-001	COVER SHEET / SITE / BUILDING DATA
A-101	FOUNDATION PLAN / FLOOR PLANS
A-102	FRAMING PLANS STRUCTURAL NOTES PIER DETAIL
A-103	BRACED WALL PANEL PLANS / DETAILS
A-201	BUILDING ELEVATIONS DOOR / WINDOW SCHEDULES
A-202	BUILDING ELEVATIONS / FRAMING DETAILS
A-301	WALL SECTIONS / U.L. DESIGNS
E-101	SCHEMATIC ELECTRICAL POWER AND LIGHTING

## BUILDING DATA - 615 N. 30TH STREET

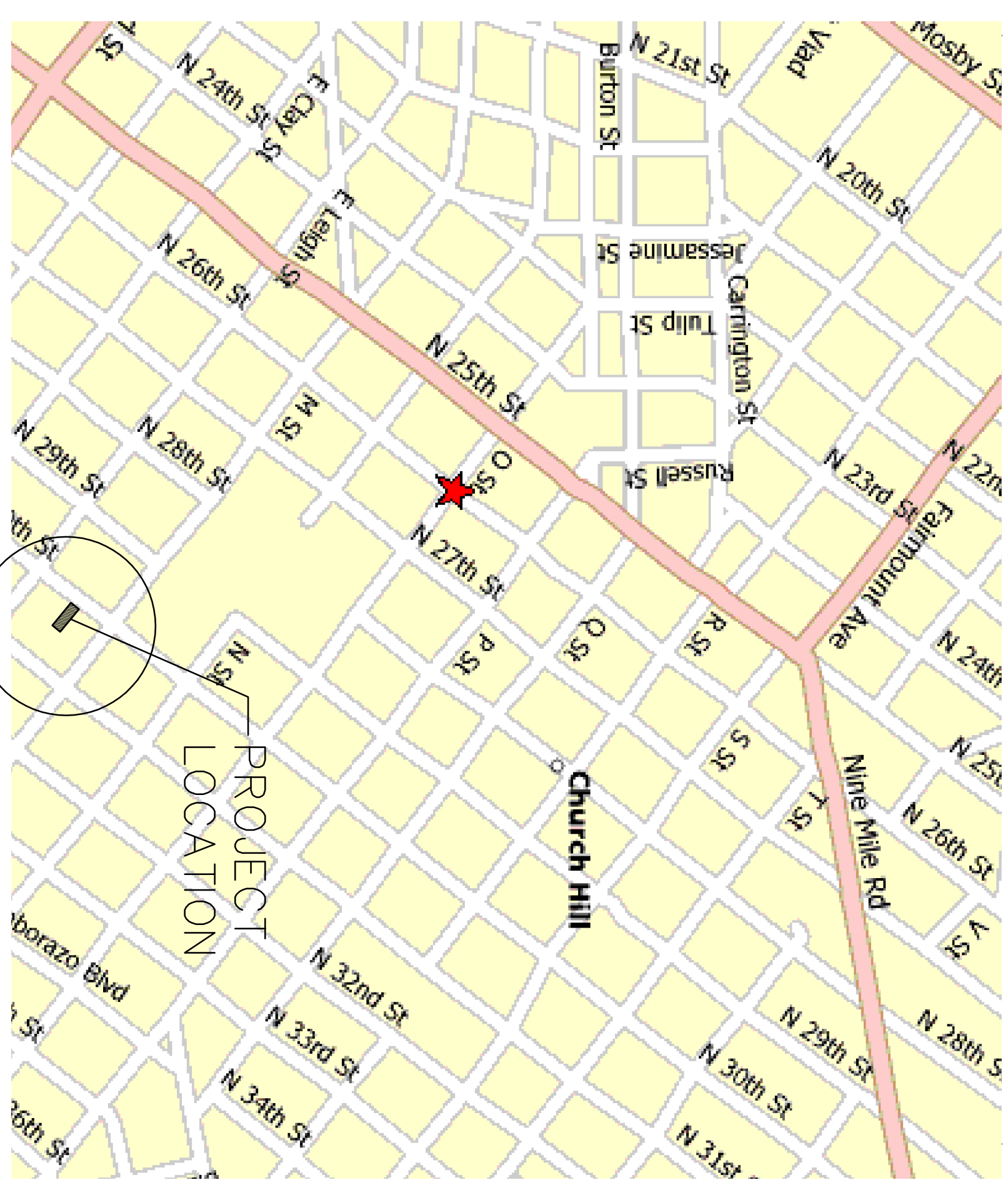
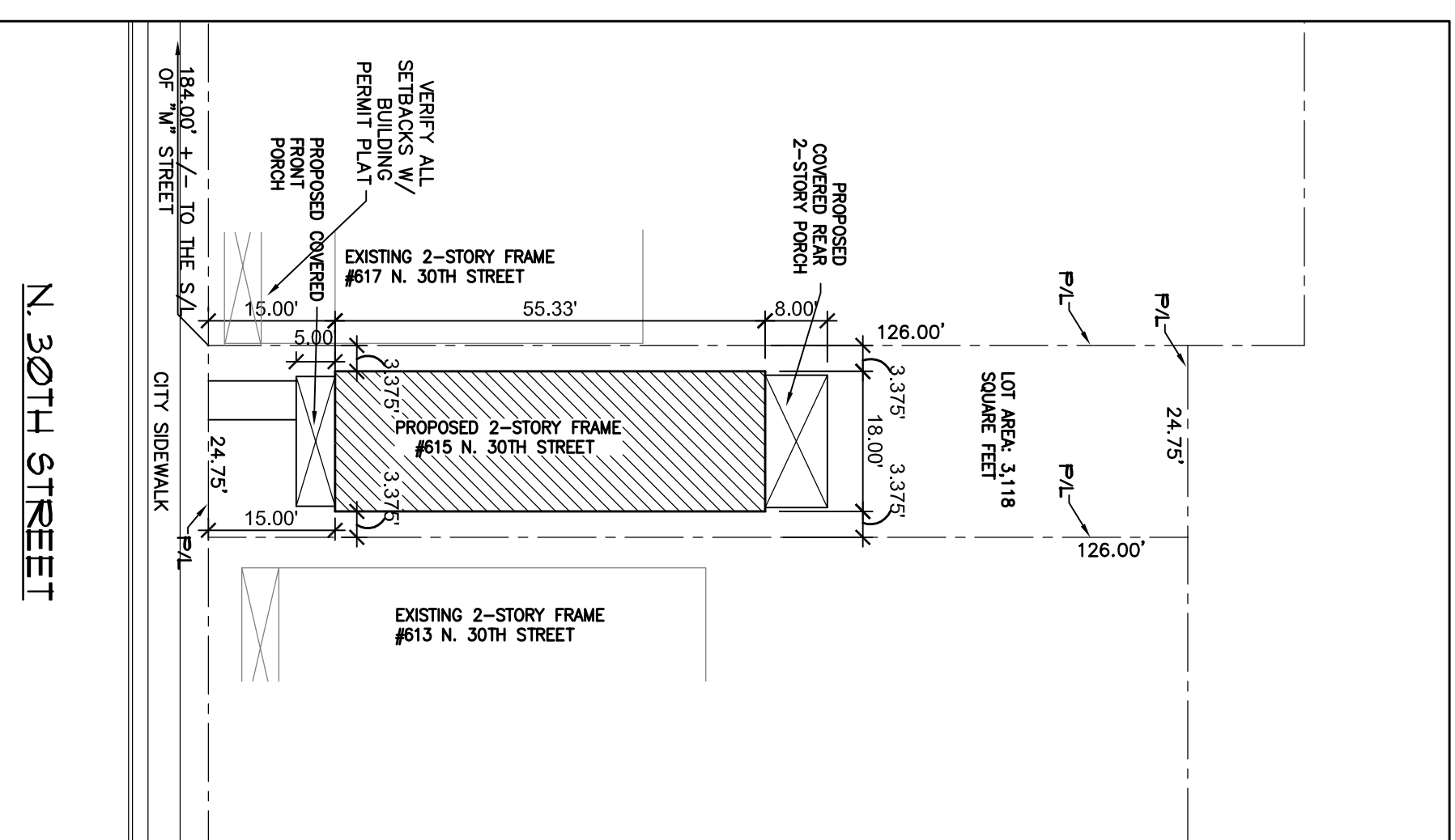
SCOPE OF WORK:	CONSTRUCTION OF A NEW TWO-FAMILY, ATTACHED, TWO-STORY RESIDENCE.
APPLICABLE CODES:	2015 VIRGINIA RESIDENTIAL CODE, PART 1 VA USBC
ZONING DISTRICT:	R-63
SETBACKS - FRONT:	15 FEET, MAXIMUM
- SIDE:	3 FEET, MINIMUM
- REAR:	3 FEET, MINIMUM
CONSTRUCTION TYPE:	VB (WOOD FRAME, UNPROTECTED)
USE GROUP:	R-3, TWO FAMILY RESIDENCE
BUILDING AREAS: FIRST FLOOR	157 FLOOR: 996 SQ FT (31.94% OF LOT AREA)
SECOND FLOOR	2ND FLOOR: 996 SQ FT
TOTAL	TOTAL: 1,992 SQ FT
LOT AREA:	3,118 SQ FT
FIRE RATED ASSEMBLIES:	<ul style="list-style-type: none"> <li>SIDE EXTERIOR WALLS CLOSER THAN 5'-0" TO ANY LOT LINE SHALL BE ONE HOUR FIRE RATED CONSTRUCTION</li> <li>FLOOR ASSEMBLY SEPARATING DWELLING UNITS SHALL BE ONE HOUR FIRE RATED CONSTRUCTION</li> <li>FIRST FLOOR ENTRY/STAIRWAY ENCLOSURE WALLS SHALL BE ONE HOUR FIRE RATED CONSTRUCTION</li> </ul>

## GENERAL NOTES

- CONTRACTOR SHALL CONFORM TO THE 2015 VIRGINIA RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, PART 1 OF THE WAIVER AS ADOPTED BY THE COMMONWEALTH OF VIRGINIA.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- CONTRACTOR SHALL CAULK, FLASH OR OTHERWISE MAKE THE BUILDING WEATHERTIGHT.
- CONTRACTOR SHALL CAULK ALL GAPS BETWEEN DISSIMILAR MATERIALS.
- ALL WOOD SILLS THAT ARE WITHIN 8" OF EXPOSED EARTH OR ON CONCRETE SLABS SHALL BE PRESSURE PRESERVATIVE TREATED.
- ALL HOSE BIBBS SHALL BE FREEZE PROOF AND HAVE A BACKFLOW PREVENTER.
- RUN ALL TOILET TRAPS AND EXHAUST VENTS TO AN APPROVED EXTERIOR DISCHARGE.
- 8" MIN. REQUIRED BETWEEN FINISH GRADE AND BOTTOM OF SING.
- CONTRACTOR SHALL COORDINATE PLACEMENT OF ROOF TRUSSES AND INSTALLATION OF ATTIC ACCESS DOORS.
- ALL EXIST GLAZING WITHIN 18" OF FLOOR OR 12" OF DOORS SHALL BE TEMPERED GLASS OR SAFETY GLAZED.
- SEALED AND SIGNED SHOP DRAWINGS ARE REQUIRED FOR PRE-ENGINEERED WOOD ROOF TRUSSES, GIRDERS AND BEAMS.

## GENERAL NOTES:

- THE GENERAL CONTRACTOR IS TO BECOME FAMILIAR WITH ALL LOCATIONS OF CONCEALED UTILITIES WHICH MAY AFFECT THE NEW CONSTRUCTION. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS OF THE NEW WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE APPLICATION FOR AND OBTAINING OF ALL REQUIRED PERMITS FOR WORK REQUIRED BY THE PROJECT, INCLUDING PAYMENT OF ALL ASSOCIATED PERMIT FEES TO THE CITY OF RICHMOND.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SCHEDULING OF ALL WORK TO BE DONE TO VERIFY THE GENERAL CONTRACTOR THE OWNER IS TO BE KEPT ADVISED OF ALL CHANGES TO THE PROPOSED CONTRACTED SCHEDULE.
- THE SITE IS TO BE KEPT CLEAN AT ALL TIMES, NO DEBRIS OR RUMOR IS TO BE ALLOWED IN NEIGHBORING YARDS, FRONT YARD OR STREETS.
- FIELD VERIFY LOCATION OF ALL EXISTING WATER AND SEWER DRAINAGE CONNECTION POINTS REQUIRED FOR THE PLUMBING DRAWINGS.
- FIELD VERIFY AND IDENTIFY LOCATION OF ALL ELECTRICAL POWER LINES, TELEPHONE LINES, CABLE LINES, WHETHER COVERED OR UNCOVERED. VERIFY CONNECTION POINTS REQUIRED AS INDICATED ON THE ELECTRICAL DRAWINGS.
- COORDINATE ALL WORK WITH OWNER SUPPLIED AND INSTALLED EQUIPMENT AND FIXTURES, IF ANY.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHALL BE RESPONSIBLE FOR THE DESIGN AND PERMITTING OF THEIR RESPECTIVE PORTIONS OF THE WORK.
- ALL EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND VERIFIED BY THE GENERAL CONTRACTOR BEFORE BEGINNING ANY WORK. THIS SHALL INCLUDE SANITARY LINES, DRAIN FIELD (IF ANY), POWER LINES, TELEPHONE AND CABLE LINES. GENERAL CONTRACTOR SHALL CONTACT "MISS UTILITY" BY DIALING 811 OR OTHER AGENCIES AS APPROPRIATE.



## LOCATION MAP

NOT TO SCALE

## LEGEND

(9)	DOOR NUMBER	[Symbol]	LUMBER (IN SECTION)
[Symbol]	WINDOW TYPE	[Symbol]	WOOD STUD WALL (PLAN)
[Symbol]	ELEVATION	[Symbol]	FINISH WOODWORK (IN SECTION)
[Symbol]	BATT INSULATION	[Symbol]	PLYWOOD
[Symbol]	BRICK (IN SECTION)	[Symbol]	CONCRETE (IN SECTION)
[Symbol]	C. M. U. (PLAN/SECTION)	[Symbol]	UNLESS NOTED OTHERWISE
[Symbol]	OUT TO OUT	[Symbol]	

### SCHEMATIC SITE PLAN

1" = 20'

NOTE: DATA FOR THIS SCHEMATIC SITE PLAN WAS DERIVED FROM A DRAWING TITLED "SURVEY OF 615 N. 30TH STREET, CITY OF RICHMOND, VIRGINIA", DATED: MAY 12, 2021, BY LONG SURVEYING LLC, 4650 FACTORY MILL ROAD, WADENSVILLE, VA 23012

## PERMIT SET

Sheet	1 of 7
<b>A-001</b>	
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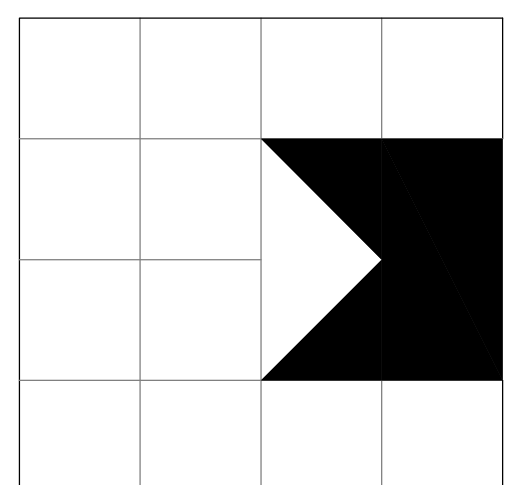
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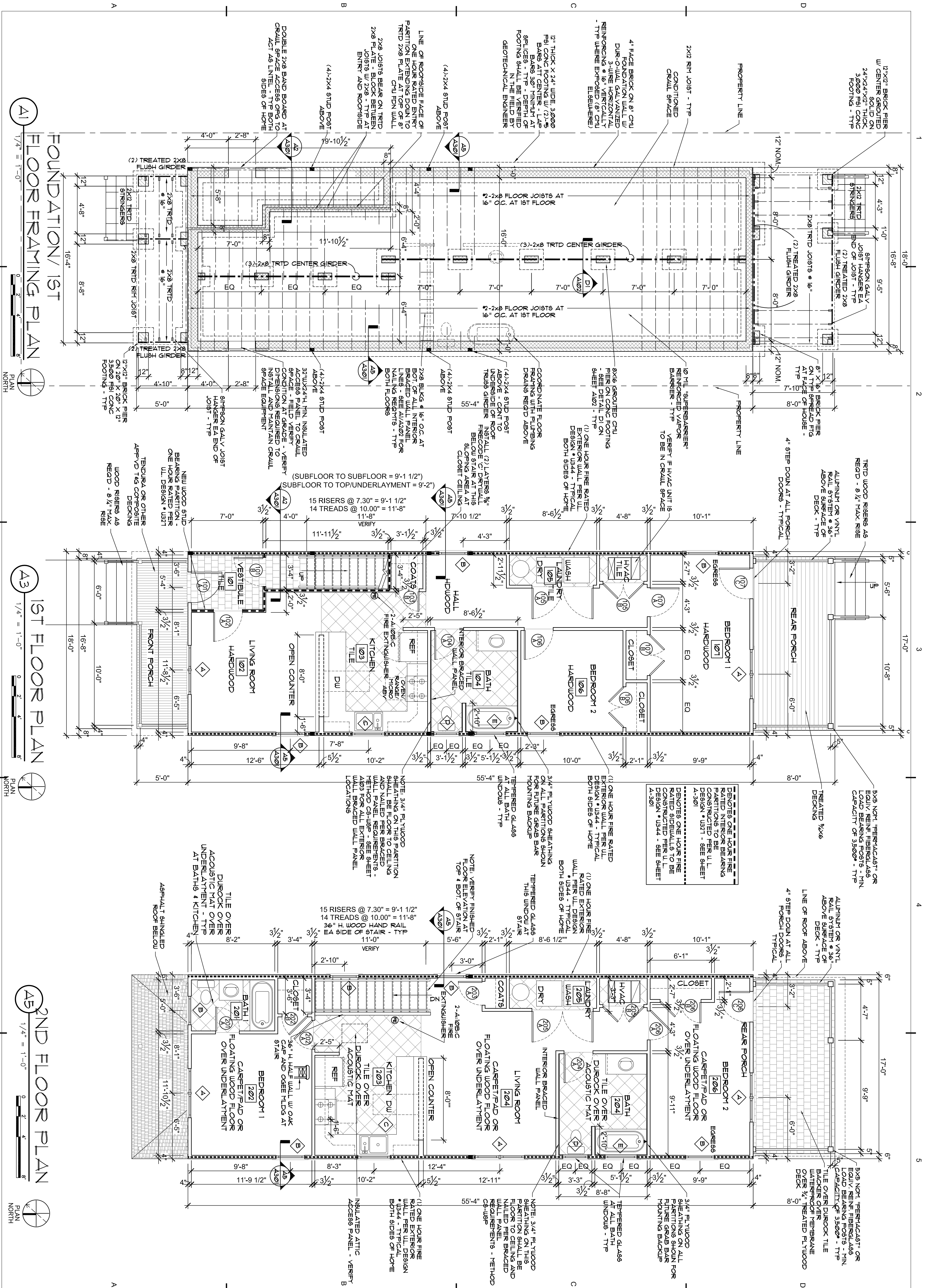
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**COVER SHEET**

**new two family residence**  
**615 NORTH 30TH STREET**  
 RICHMOND, VIRGINIA  
 PREPARED FOR PROJECT:HOMES

DAVID R. WINN, LLC  
 residential design  
 10132 BERRYMEADE PLACE  
 GLEN ALLEN, VIRGINIA 23060







**new two family residence**  
**615 NORTH 30TH STREET**

**RICHMOND, VIRGINIA**  
**PREPARED FOR PROJECT: HOMES**

**DAVID R. WINN, LLC**  
 residential design  
 10133 BERRYMEADE PLACE  
 GLEN ALLEN, VIRGINIA 23060

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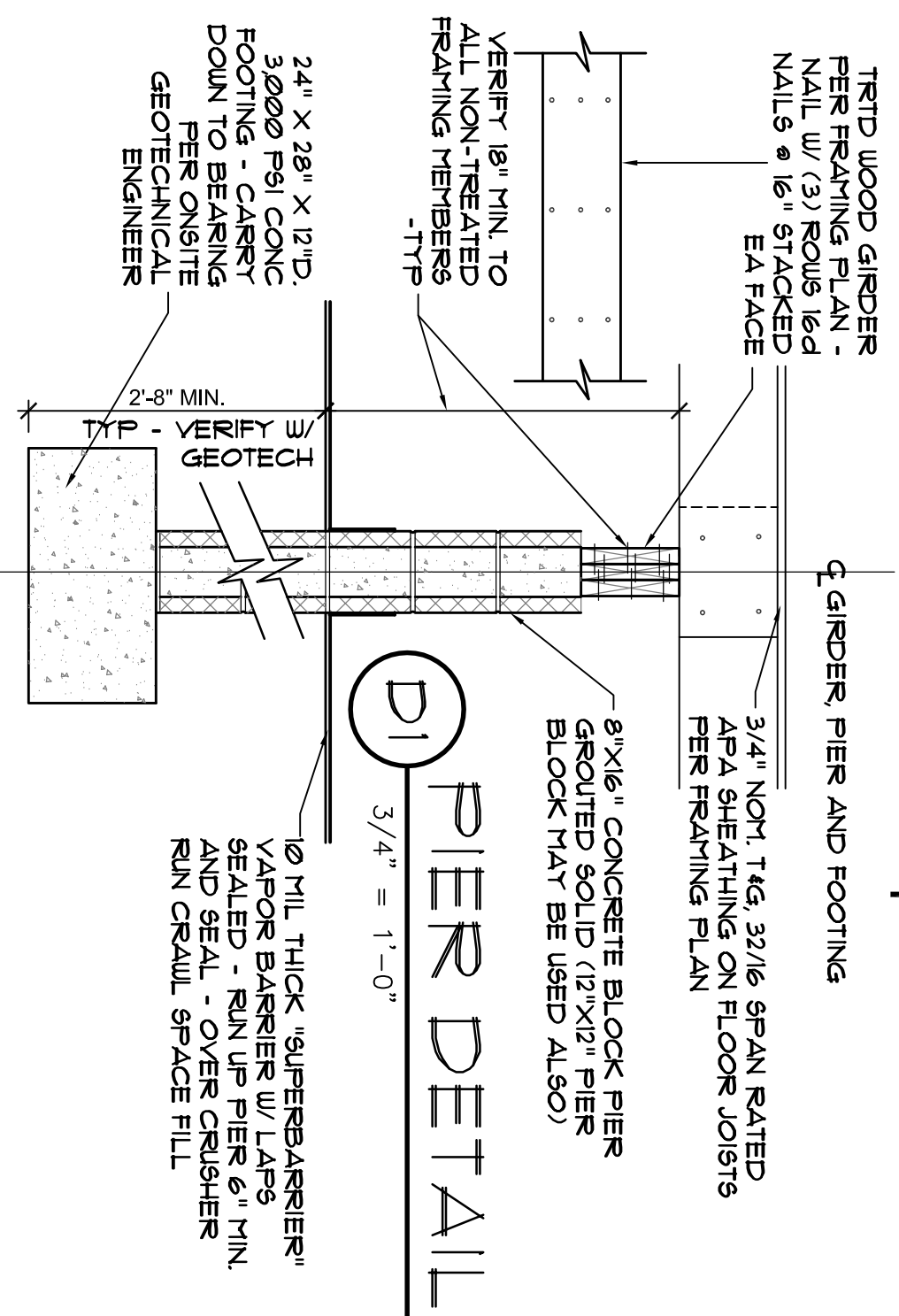
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drawn by:	drw
checked by:	ckd
date:	4/01/2021

Sheet title  
**FOUNDATION PLAN/  
 FRAMING PLAN/  
 FLOOR PLANS**

Sheet	<b>A-101</b>
of	<b>7</b>

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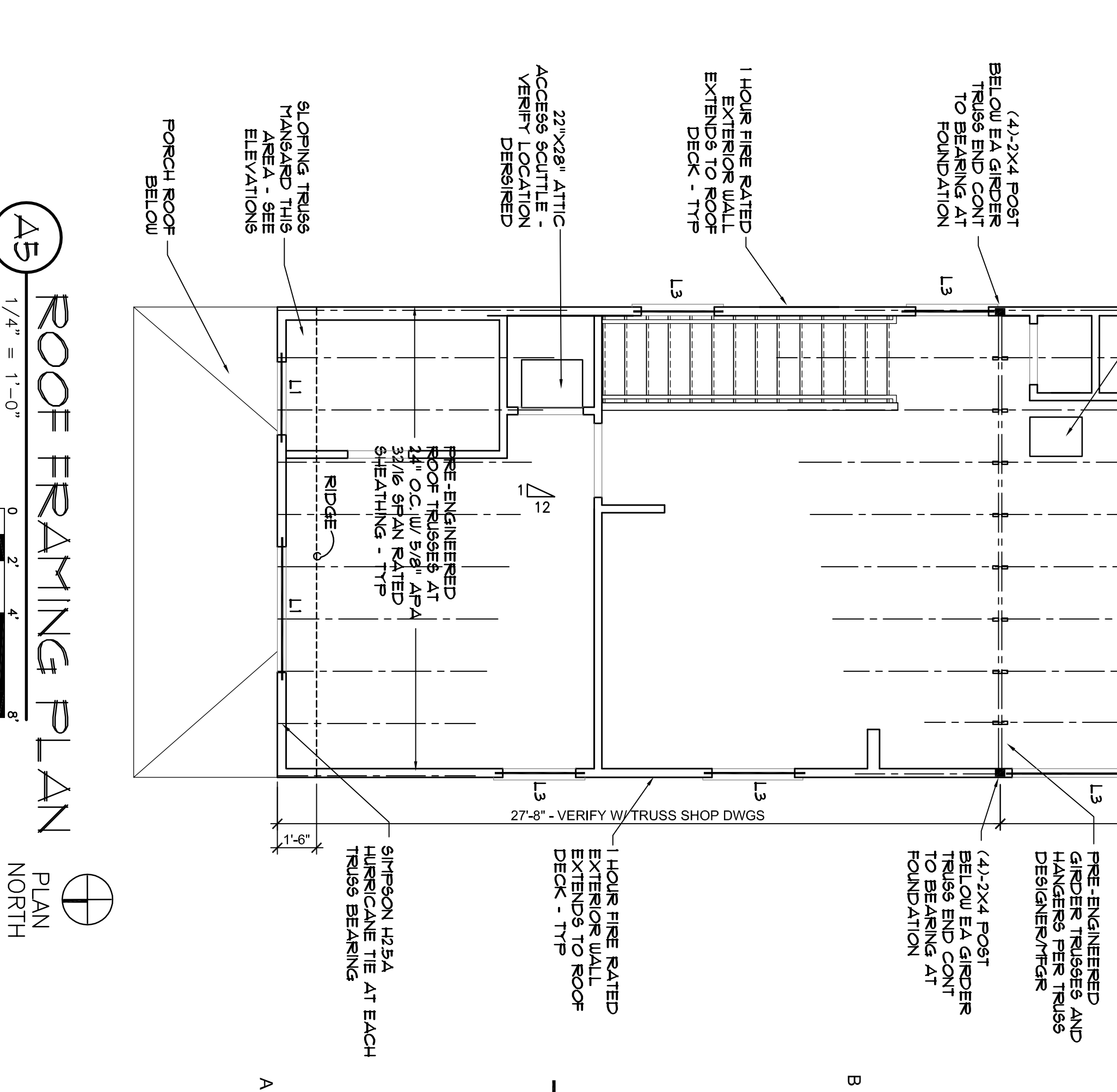
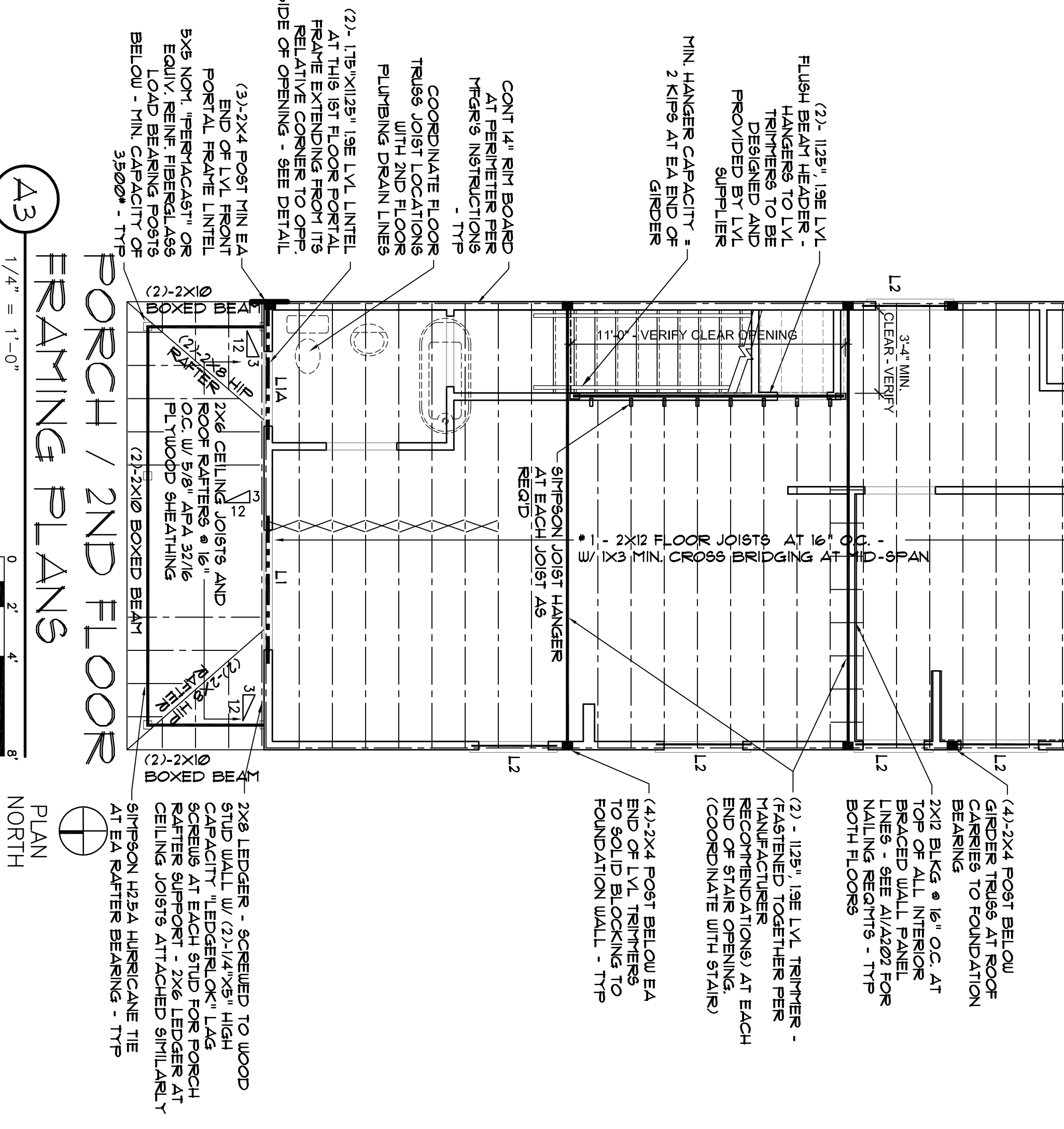


**STRUCTURAL NOTES**

- THE DESIGN INDICATED ON THESE DRAWINGS PRESUMES THAT THE STRUCTURE IS TO BE CONSTRUCTED ON UNDISTURBED AND UNCOMPACTED STRONG FILL HAVING A SAFE ALLOWABLE BEARING PRESSURE OF 2000 PSF. IT IS THE OWNER'S RESPONSIBILITY TO HAVE THIS VALUE VERIFIED BY COMPETENT GEOTECHNICAL PERSONNEL. DESIGN CODES: 2015 VIRGINIA RESIDENTIAL CODE
- ALL FOUNDATION AND FOOTING WORK SHALL BE PERFORMED TO COMPLY WITH CHAPTER 4 OF 2015 VIRGINIA RESIDENTIAL CODE
- NEW FOUNDATION WALL SHALL BE 4" FACE BRICK ON 8" CMU BACKUP MASONRY WALL WITH FULLY MORTARED OR GROUTED COLLAR JOINT AS NOTED. INSTALL SOLID CMU BLOCK UNITS AT ALL BEARING POINTS WITH WALLS AND AT INSIDE CORNERS. BALANCED EARTH FILL EACH SIDE OF WALL. GROUT CORES OF ALL PIERS SOLID. ALLOW MASONRY TO SET 24 HRS. MIN. BEFORE PLACING GROUT/CORRELL.
- ANCHOR BOLTS SHALL BE PLACED WITHIN THE FULLY GROUTED CORE OF THE CMU. NOT THE COLLAR JOINT.
- TREAT FOUNDATION SOIL FOR INSECTS AS REQUIRED BY BUILDING CODE WITH A WARRANTED PROFESSIONAL PEST CONTROL COMPANY USING TREATMENT PRODUCTS WHICH ARE ENVIRONMENTALLY APPROVED AS SAFE.
- PRESERVATIVE TREAT ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR WOOD USED FOR EXTERIOR WEATHER EXPOSURE (ACO). TREATMENT SHALL BE ENVIRONMENTALLY APPROVED AS SAFE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY BRACE AND SHORE ALL NEW OR EXISTING CONSTRUCTION TO SAFELY RESIST ALL REASONABLE LOADS TO WHICH THE NEW CONSTRUCTION MAY BE SUBJECTED UNTIL PERMANENT BRACING AND SUPPORT IS IN PLACE.
- MATERIALS:
  - CONCRETE: MINIMUM 28 DAY COMPRESSIVE STRENGTH = 3000 PSI
  - GROUT/CORRELL: ASTM C416, 9"-11" SLUMP, 3000 PSI MIN. COMPRESSIVE STRENGTH
  - REINFORCING STEEL: BARS - ASTM A615, GRADE 60 WUF - ASTM A955
  - CONCRETE MASONRY UNITS: ASTM C90, TYPE N, MIN. COMPRESSIVE STRENGTH OF 1800 PSI, F<sub>m</sub> = 1500 PSI
  - FACE BRICK: AS SELECTED BY PROJECT/OWNER.
  - MASONRY MORTAR: ASTM C270, TYPE S.
  - ANCHOR BOLTS: ASTM A307 / A36 (MILD STEEL)
  - STRUCTURAL 6x4x4 LUMBER: 2x8 FIRST FLOOR JOISTS; \* 2 SOUTHERN YELLOW PINE, MC 19 2x12 SECOND FLOOR JOISTS; \* 1 SOUTHERN YELLOW PINE, MC 19 2x12; \* 2 GPF
  - PLYWOOD AND OSB: APA RATED SHEATHING, 3/4" EXPOSURE 1 ALL EXTERIOR PLYWOOD OR OSB WALL SHEATHING SHALL BE NAILLED PER THE REQUIREMENTS FOR BRICKED WALL PANELS - METHOD C-3.1 (CONTINUOUS SHEATHING-WOOD STRUCTURAL PANEL) - 2x4 COMMON NAIL # 6 O.C. ALONG PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUD SUPPORTS. ALL EDGES BLOCKED.
  - PLATE CONNECTED WOOD TRUSSES: PER LATEST REQUIREMENTS OF THE TRUSS PLATE INSTITUTE ( TPI )
  - LAMINATED VENERE LUMBER ( LVL ) HAVING THE FOLLOWING MINIMUM PROPERTIES: E=1959 PSI, F<sub>b</sub>=2600 PSI, F<sub>v</sub>=285 PSI, F<sub>c</sub>=1750 PSI
  - FOR ALL CONCRETE WORK: CONFORM TO ALL APPLICABLE SECTIONS OF ACI 318 AND ACI 301 CODE-CURRENT EDITIONS
  - FOR ALL STRUCTURAL MASONRY CONSTRUCTION: CONFORM TO ALL APPLICABLE SECTIONS OF ACI 530I, CODE-CURRENT EDITION.
  - DESIGN LOADS
    - GROUND SNOW LOAD, 20 PSF
    - MIN. ROOF LIVE LOAD, 20 PSF
    - MIN. ROOF DEAD LOAD, 10 PSF
    - WIND SPEED / EXPOSURE: V<sub>W</sub> = 115 MPH, V<sub>W</sub> = 89 MPH / EXPOSURE B
    - FLOOR STRENGTH DESIGN IS BASED ON RESIDENTIAL LIVING AREA LIVE LOAD = 40 PSF
    - LOADING CONDITION MINIMUM WITH L/D DEFLECTION = L/360 MAXIMUM
  - PROVIDE FULL STUD SUPPORT UNDER BEARING SURFACES OF ROOF RAFTERS.
  - VERIFY STUDS AT ALL WINDOW AND DOOR LINTELS.
  - VERIFY ALL FLOOR JOIST AND RAFTER BEARING ELEVATIONS W/ OWNER IN THE FIELD.
  - PROVIDE AND INSTALL HURRICANE TIES AS MANUFACTURED BY SIMPSON STRONG TIE" AT ROOF RAFTER BEARINGS.
  - PROVIDE WOOD LINTELS AT ALL WOOD FRAMED WINDOW AND DOOR OPENINGS AS SHOWN ON THE DRAWINGS.

**LINTEL SCHEDULE**

L1A	= (2) 1 1/2" x 1 1/2" 19E LVL LINTEL W/ 3-2X4 JACK STUDS EA END - MIN.
L1B	= (2) 1 1/2" x 3/4" 19E LVL LINTEL W/ 2-2X4 JACK STUDS EA END - MIN.
L2	= (2) 2X8 LINTEL MIN.
L3	= (2) 2X6 LINTEL MIN.
L4	= (2) 1 1/2" x 3/4" 19E LVL LINTEL W/ 1 1/2" x 1 1/2" IN HALF)



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dwg #:	4102.DWG
cd #:	
date:	10/20/21
description:	PERMIT SET
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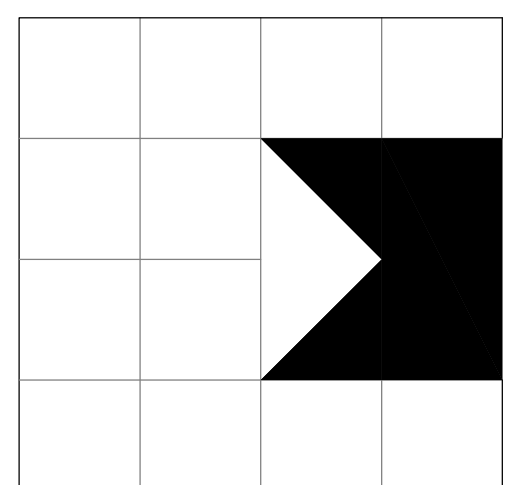
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2ND FLR AND ROOF FRAMING PLANS  
STRUCTURAL NOTES

Sheet 3 of 7  
**A-102**

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**new two family residence**  
**615 NORTH 30TH STREET**  
RICHMOND, VIRGINIA  
PREPARED FOR PROJECT: HOMES

**DAVID R. WINN, LLC**  
residential design  
10133 BERRYMEADE PLACE  
GLENN ALLEN, VIRGINIA 23060



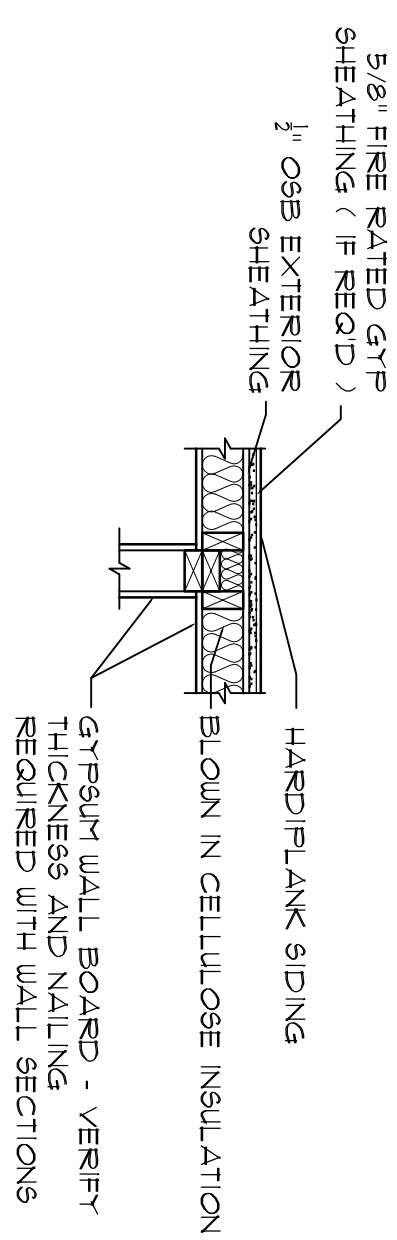


**BRACED WALL PANEL CALCULATIONS - 615 N. 30TH STREET**

SEE CALCULATIONS ATTACHED WITH PERMIT APPLICATION

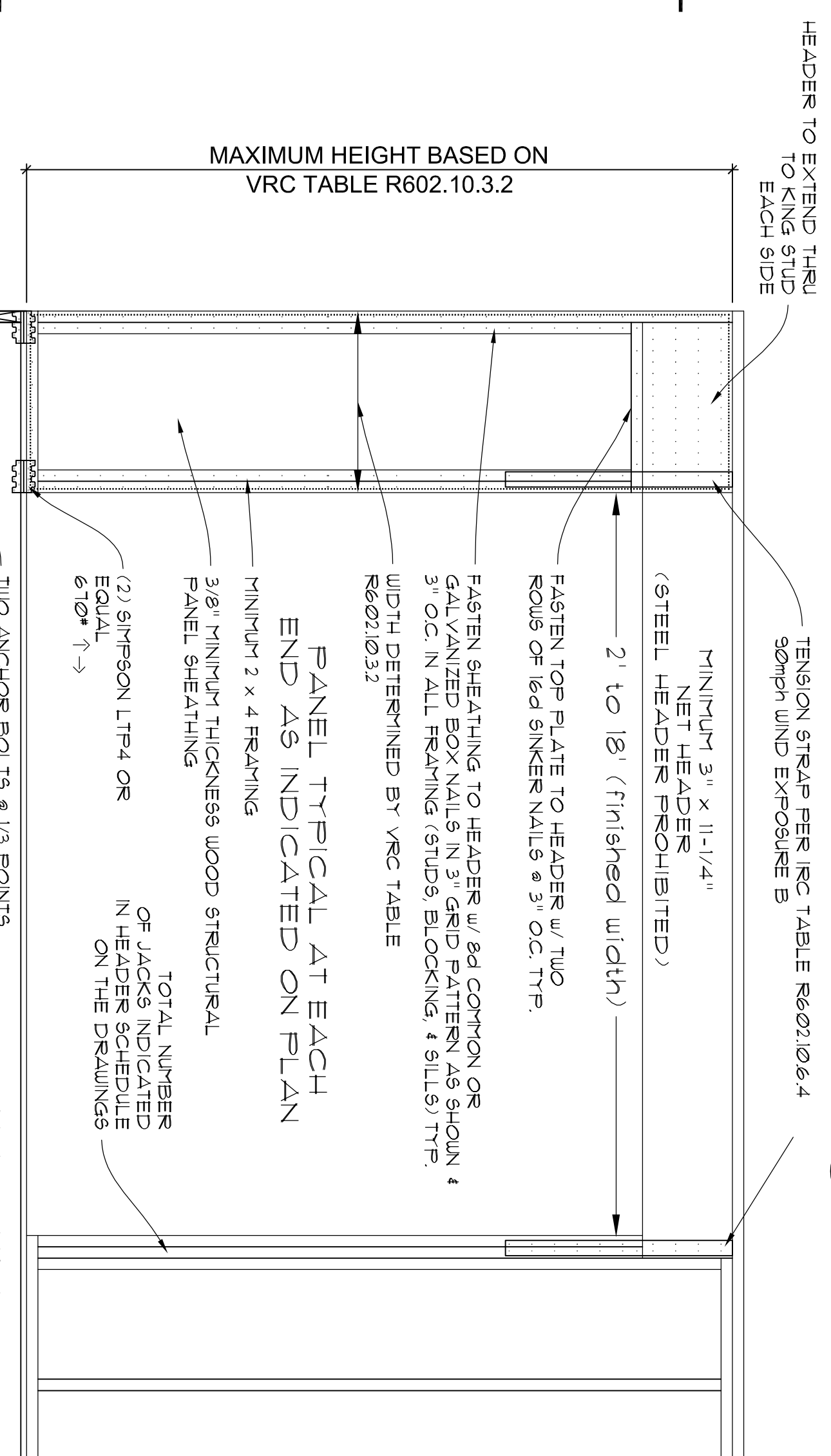
**BRACED WALL PANELS**

VRC SR602.10.4 METHODS CS-WSP AND CS-PF  
(7/16" OSB or 15/32" PLYWOOD)  
CORNERS PER SR602.10.7 AND  
CONNECTIONS PER SR602.10.8.  
ROOF DIAPHRAGM CONNECTION  
PER SR602.10.8.2  
FASTEN PER VRC SR602.3(1)



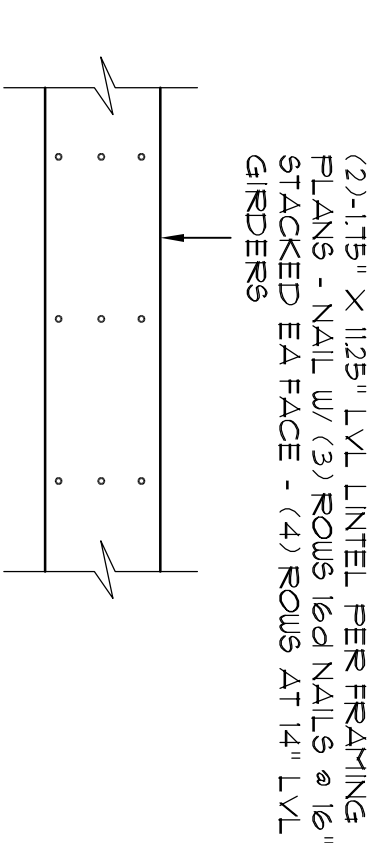
**INSULATED WALL DETAIL**

D2 Scale: 3/4" = 1'-0"



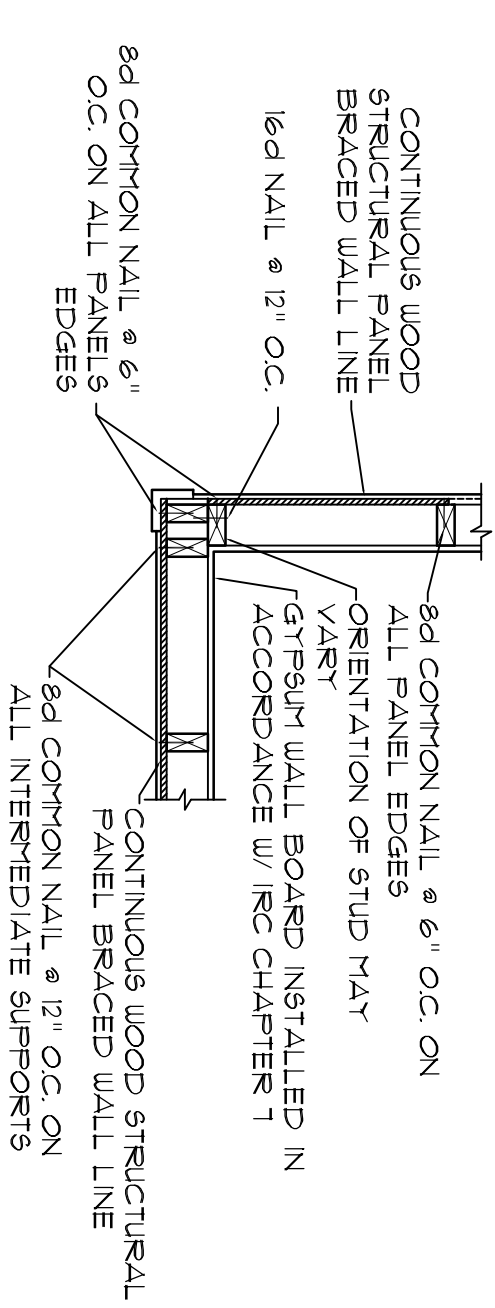
**CONTINUOUSLY SHEATHED PORTAL FRAME OVER RAISED WOOD FLOOR SECTION: VRC FIG. R602.10.6.4**

B1 Scale: 1/2" = 1'-0"  
SEE VRC TEXT FOR ADDITIONAL NOTES AND LIMITATIONS



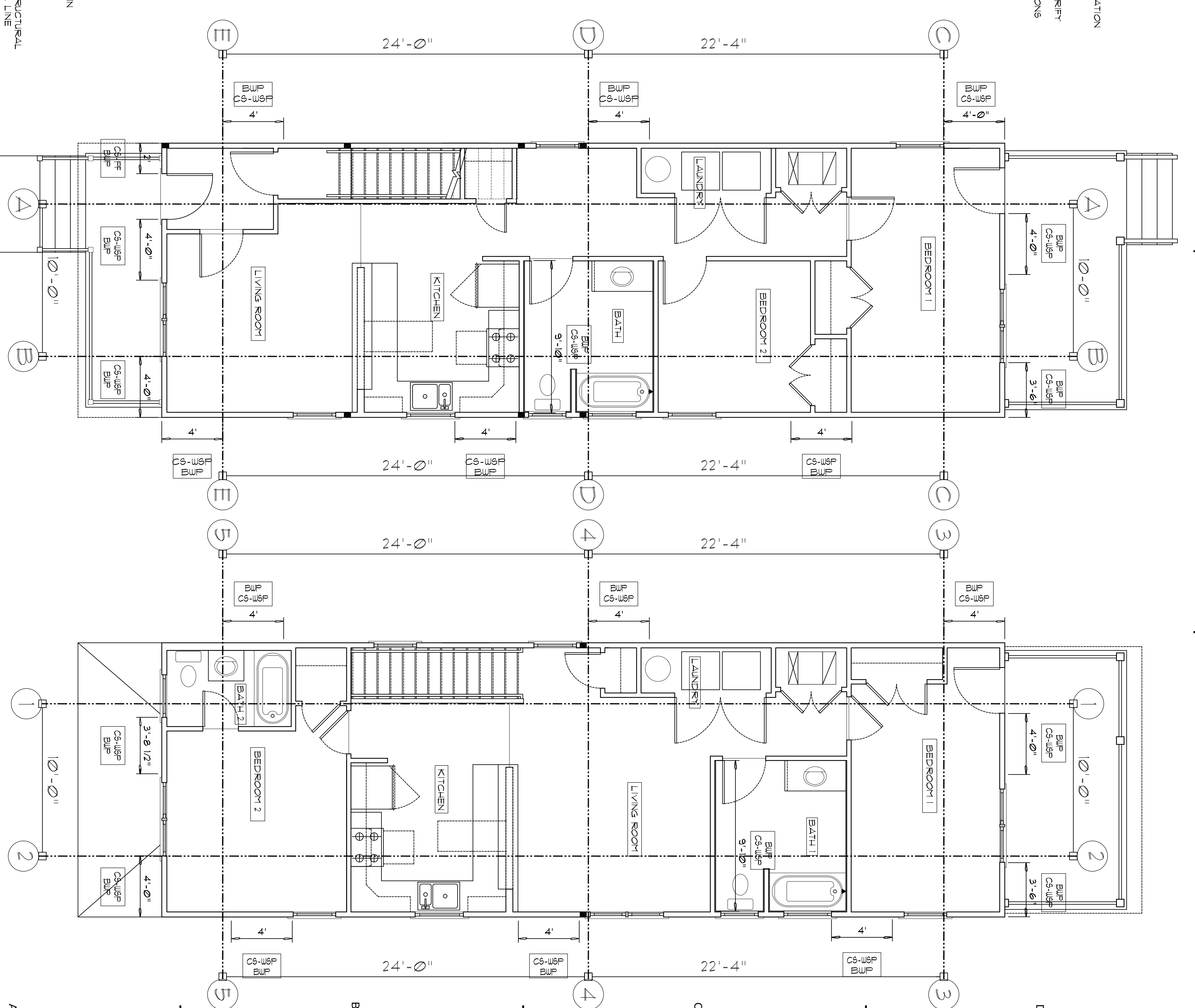
**PORTAL FRAME LINTEL AND LVL GIRDER NAILING**

A1 NOT TO SCALE



**CONTINUOUS SHEATHING OUTSIDE CORNER DETAIL**

A2 3/4" = 1'-0"



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**new two family residence  
615 NORTH 30TH STREET**  
RICHMOND, VIRGINIA  
PREPARED FOR PROJECT:HOMES

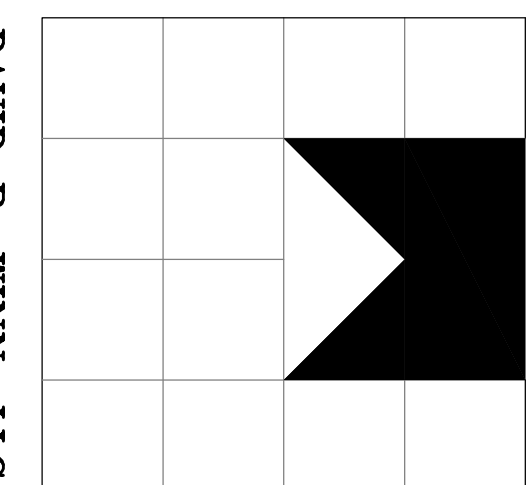
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drawn by:	AW	
check by:	AW	
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**BRACED WALL PANEL DIAGRAMS**

Sheet	<b>A-103</b>
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**new two family residence**  
**615 NORTH 30TH STREET**

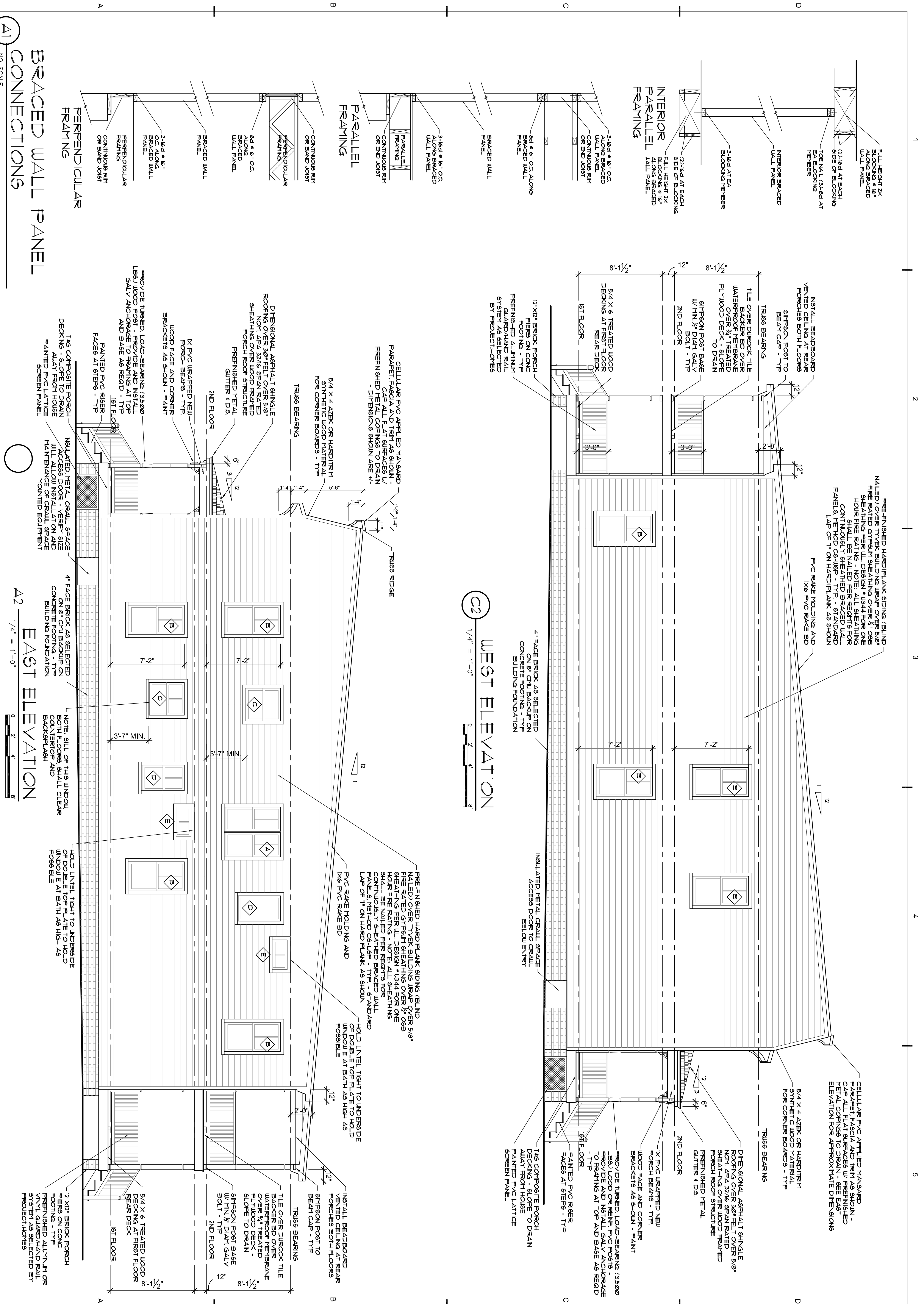
**RICHMOND, VIRGINIA**  
**PREPARED FOR PROJECT: HOMES**

mark	date	description
10.20.21		PERMIT SET

job #: 2021-0007  
dwg #: 4202.DWG  
cd #: 4202.DWG

**ELEVATIONS**

sheet	<b>A-202</b>
of	<b>6 of 7</b>
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**C2**  
1/4" = 1'-0"  
**WEST ELEVATION**

**A2**  
1/4" = 1'-0"  
**EAST ELEVATION**

**BRACED WALL PANEL CONNECTIONS**

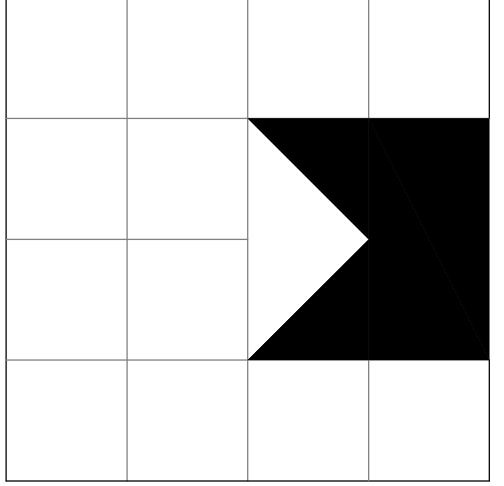
**A1**  
NO SCALE

**PERMIT SET**









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residential design  
10132 BERRYMEADE PLACE  
GLEN ALLEN, VIRGINIA 23060

# new two family residence 615 NORTH 30TH STREET

RICHMOND, VIRGINIA  
PREPARED FOR PROJECT: HOMES

mark	date	description
	10.20.21	PERMIT SET

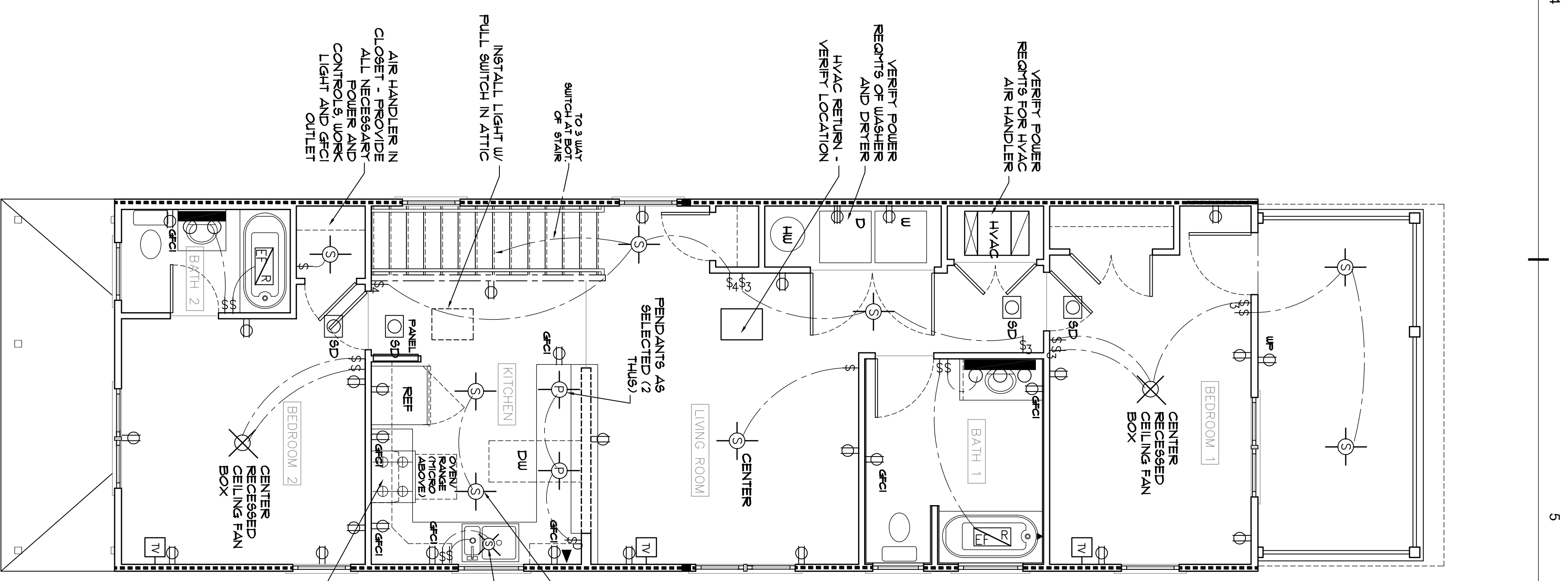
  

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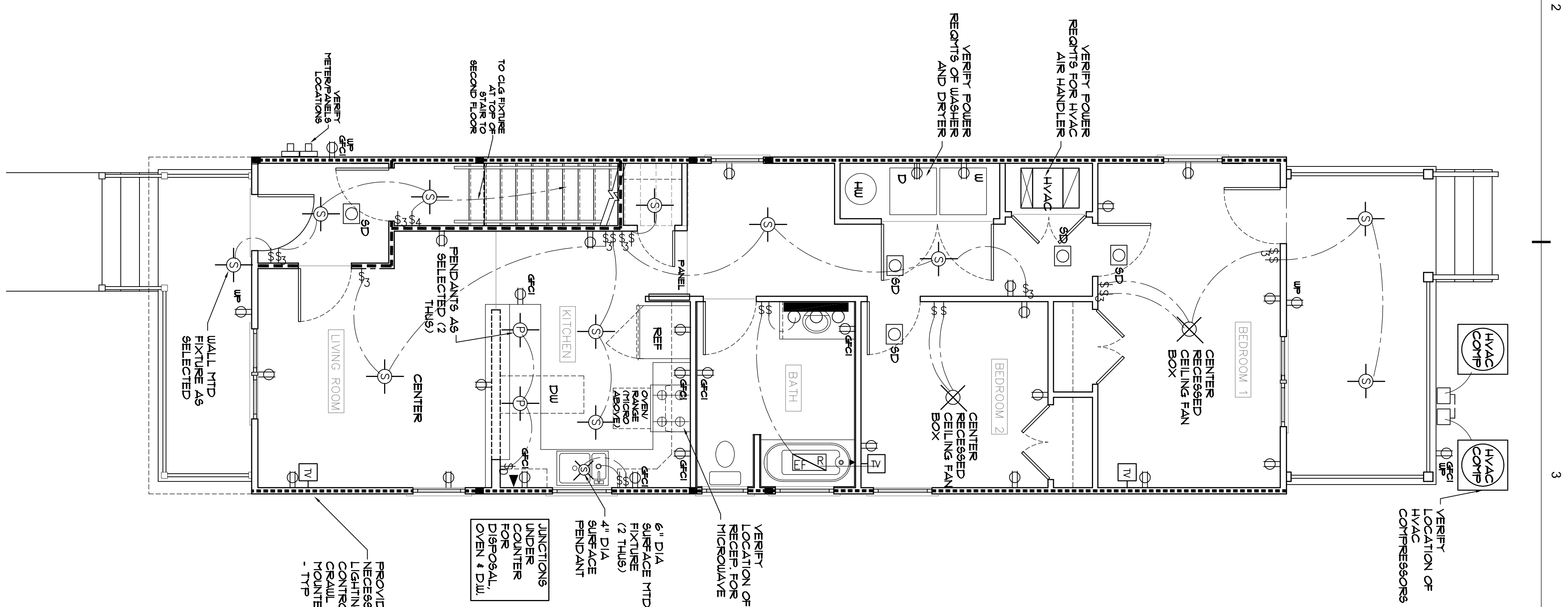
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sheet	1 of 1
E-101	
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NOTE: THIS DRAWING IS PROVIDED FOR GENERAL DESIGN INTENT AND LOCATION OF ELECTRICAL ITEMS. ELECTRICAL SUB-CONTRACTOR SHALL PROVIDE CODE-COMPLIANT DRAWINGS AS REQUIRED FOR BUILDING PERMIT AND CONSTRUCTION.

NOTE: ONE LOWER FIRE RATED EXTERIOR WALLS AND FIRST FLOOR INTERIOR BEARING PARTITIONS AT ENTRY ARE SHOWN BY SHADED LINE AS INDICATED ABOVE. FLOORING ASSEMBLY SEPARATING THE FIRST FLOOR FROM THE LOWER FIRE RATED ASSEMBLY - VERIFY REQUIREMENTS FOR ANY PENETRATIONS OF THESE ITEMS FOR LIGHTING OR POWER AS REQUIRED BY 2018 VIRGINIA RESIDENTIAL EDITION OF THE NATIONAL ELECTRICAL CODE



### ELECTRICAL LEGEND

	COAXIAL TELEVISION CABLE		WALL MTD VANITY LIGHT
	TELEPHONE RECEPTACLE		CLOSET FLUORESCENT STRIP (VERIFY IF ANY)
	CEILING OR WALL SURFACE MTD LIGHT W/ RATED RECESSED BOX		MOTION ACTIVATED YARD LIGHT - WIRED TO SWITCH IN KITCHEN
	RECESSED LIGHT		SWITCH SINGLE POLE WITH DIMMING (D)
	PENDANT LIGHT		SWITCH THREE WAY
	CEILING FAN LIGHT W/ RATED RECESSED BOX AND FAN SEPARATELY - TYP		SWITCH FOUR WAY
	DUPLEX RECEPTACLE		SMOKE ALARM - ALL BE INTERCONNECTED
	DUPLEX RECEPTACLE ON GROUND FAULT INTERRUPTION CIRCUIT		BATH COMBO RECESSED LIGHT/EXHAUST FAN - BROWN MODEL 144
	220 VOLT RECEPTACLE		
	DUPLEX RECEPTACLE ON GROUND FAULT INTERRUPTION CIRCUIT IN WATER PROOF ENCLOSURE		

NOTE: ELECTRICAL SUBCONTRACTOR SHALL VERIFY AND COORDINATE WITH PROJECT: HOMES THE LOCATION AND TYPE OF ALL ELECTRICAL DEVICES INCLUDING FIXTURES, SWITCHES, RECEPTACLES AND WIRING RUNS  
NOTE: ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE 2018 VIRGINIA RESIDENTIAL CODE AND CURRENT ED. OF THE NATIONAL ELECTRICAL CODE  
NOTE: PROVIDE FIRE RATED BOXES AND ENCLOSURES FOR ALL ELECTRICAL COMPONENTS THAT MUST BE LOCATED ON FIRE RATED WALLS OR FIRE RATED FLOOR/CEILING ASSEMBLY - SEE THIS DRAWING AND ARCHITECTURAL.

**A2** ELECTRICAL FIRST FLOOR PLAN  
1/4" = 1'-0"

**A4** ELECTRICAL SECOND FLOOR PLAN  
1/4" = 1'-0"