

INTRODUCED: January 12, 2026

AN ORDINANCE No. 2026-026

To authorize the special use of the property known as 715 Mosby Street for the purpose of a mixed-use building, upon certain terms and conditions, and to repeal Ord. No. 2010-128-172, adopted Oct. 11, 2010, and all amendatory ordinances thereto. (7th District)

Patron – Mayor Avula (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: FEB 9 2026 AT 6 P.M.

WHEREAS, the owner of the property known as 715 Mosby Street, which is situated in a R-63 Multifamily Urban Residential District, desires to use such property for the purpose of a mixed-use building, which use, among other things, is not currently allowed by section 30-419.2 of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not

AYES: _____ NOES: _____ ABSTAIN: _____

ADOPTED: _____ REJECTED: _____ STRICKEN: _____

create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 715 Mosby Street and identified as Tax Parcel No. E000-0327/035 in the 2026 records of the City Assessor, being more particularly shown on an untitled survey, prepared by Timothy Ray Miller, and dated March 26, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a mixed-use building, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “715 Mosby St Apartments, Layout Plan, Church Hill District, City of Richmond, Virginia,” prepared by Silvercore, and dated July 1, 2025, “715 Mosby St Apartments, Landscape Plan, Church Hill District, City of Richmond, Virginia,” prepared by Silvercore, and dated July 1, 2025, and “715 Mosby, Revised CAR Application,” prepared by smbw, and dated May 30, 2025, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. Special Terms and Conditions. This special use permit is conditioned on the following special terms and conditions:

- (a) The Special Use of the Property shall be as a mixed-use building, substantially as shown on the Plans.
- (b) The height of the Special Use shall not exceed three stories, substantially as shown on the Plans.

(c) All building materials, elevations, and site improvements, including landscaping, shall be substantially as shown on the Plans, subject to the applicable regulations of Chapter 30, Article IX, Division 4 of the Code of the City of Richmond (2020), as amended.

(d) Signs on the Property shall be limited to signs permitted in the R-63 Multifamily Urban Residential District, pursuant to section 30-507.1 of the Code of the City of Richmond (2020), as amended.

(e) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

§ 4. Supplemental Terms and Conditions. This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the right-of-way, including the installation of new sidewalk and the installation of two street trees along Mosby Street, substantially as shown on the Plans, which improvements may be completed in one or more phases as approved by the Director of Public Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works or the designee thereof that such improvements and work are in accordance with such requirements, and (iii) transferred to the City following the written confirmation by the Director of Public Works or the designee thereof pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. General Terms and Conditions. This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 1,096 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Repeal of Prior Ordinances.** That Ordinance No. 2010-128-172, adopted October 11, 2010, and all amendatory ordinances thereto, be and are hereby repealed.

§ 8. **Effective Date.** This ordinance shall be in force and effect upon adoption.

City of Richmond

Intracity Correspondence

O&R Transmittal

DATE: November 12, 2025

TO: The Honorable Members of City Council

THROUGH: The Honorable Dr. Danny Avula, Mayor (by request)

(This is no way reflects a recommendation on behalf of the Mayor)

THROUGH: Odie Donald II, Chief Administrative Officer

FROM: Kevin J. Vonck, Director of Planning & Development Review

RE: To authorize the special use of the property known as 715 Mosby Street for the purpose of a mixed-use building, upon certain terms and conditions, and to repeal Ord. No. 2010-128-172, adopted Oct. 11, 2010, and all amendatory ordinances thereto.

ORD. OR RES. No. _____

PURPOSE: The applicant is requesting a Special Use Permit to authorize a mixed-use building within an R-63 Multifamily Urban Residential District which use, among other things, is not currently allowed by section 30-419.2, regarding permitted principal uses, of the Code of the City of Richmond (2020), as amended. Commercial uses are not permitted within the center of a block. A Special Use Permit is therefore required.

BACKGROUND: The applicant is proposing the construction of a three-story mixed-use building containing twenty-two dwelling units and a 1,178 square foot ground-floor commercial space. The property is located in the Union Hill neighborhood between Venable and Carrington Streets. The property is currently a 15,364 sq. ft. (.40 acre) vacant parcel of land. The City's Richmond 300 Master Plan designates a future land use for the subject property as Neighborhood Mixed-Use, which is defined as "Existing or new highly walkable urban neighborhoods that are

predominantly residential with a small, but critical, percentage of parcels providing retail, office, personal service, and institutional uses.” Intensity: Building heights are generally two to four stories. Buildings taller than four stories may be found along major streets. Parcels are generally between 1,500 and 5,000 sq. ft. Primary Uses: Single-family houses, accessory dwelling units, duplexes, small multi-family buildings (typically 3-10 units), and open space. Secondary Uses: Large multi-family buildings (10+units), retail/office/personal service, institutional, cultural, and government.

The current zoning for this property is R-63 Multifamily Urban Residential District. All adjacent and nearby properties are located within the same R-63 zone. The area is a mixture of neighborhood commercial with a variety of housing densities. The proposed density of the parcel is 22 units upon .4 acres, or 55 units per acre.

COMMUNITY ENGAGEMENT: The Union Hill Civic Association was notified. Letters of notification shall be sent to nearby property owners, and a sign noting this request shall be placed on the property once the ordinance is introduced to City Council.

STRATEGIC INITATIVES AND OTHER GOVERNMENTAL: None

FISCAL IMPACT: The Department of Planning and Development Review does not anticipate any impact to the City’s budget for this or future fiscal years.

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: January 12, 2026

CITY COUNCIL PUBLIC HEARING DATE: February 9, 2026

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: Planning Commission, February 3, 2026

AFFECTED AGENCIES: Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant’s Report, Plans, Survey, Map

STAFF: Jonathan Brown, Senior Planner, Land Use Administration (Room 511) 646-5734



CITY OF RICHMOND, VA
Department of Planning and Development Review
Land Use Administration Division
900 East Broad Street, City Hall - Room 511, Richmond, Virginia 23219

AUTHORIZATION FROM PROPERTY OWNER

TO BE COMPLETED BY THE APPLICANT
Applicant must complete ALL items

HOME/SITE ADDRESS: 530 E Main Street APARTMENT NO/SUITE Suite 730
APPLICANT'S NAME: Will Gillette EMAIL ADDRESS: [REDACTED]
BUSINESS NAME (IF APPLICABLE): Baker Development Resources
SUBJECT PROPERTY OR PROPERTIES: 715 Mosby Street

APPLICATION REQUESTED

- Plan of Development (New or Amendment)
- Wireless Plan of Development (New or Amendment)
- Special Use Permit (New or Amendment)
- Rezoning or Conditional Rezoning
- Certificate of Appropriateness (Conceptual, Administrative Approval, Final)
- Community Unit Plan (Final, Preliminary, and/or Amendment)
- Subdivision (Preliminary or Final Plat Correction or Extension)

TO BE COMPLETED BY THE AUTHORIZED OWNER
Owner must complete **ALL** items

Signing this affidavit acknowledges that you, as the owner or lessee of the property, authorize the above applicant to submit the above selected application/s on your behalf.

PROPERTY OWNER: 715 MOSBY LLC

PROPERTY OWNER ADDRESS: 615 N 25TH ST, RICHMOND, VA 23223

PROPERTY OWNER EMAIL ADDRESS:

PROPERTY OWNER PHONE NUMBER: _____

Property Owner Signature: *Sam Nible*

The names, addresses, telephone numbers, and signatures of all owners of the property are required. Please attach additional sheets if necessary.

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney.

APPLICANT'S REPORT

March 21, 2025

*Special Use Permit Request
715 Mosby Street, Richmond, Virginia
Map Reference Number: E000-0327/035*

Submitted to:	City of Richmond Department of Planning and Development Review Land Use Administration 900 East Broad Street, Suite 511 Richmond, Virginia 23219
Submitted by:	Mark Baker Baker Development Resources 530 East Main Street, Suite 730 Richmond, VA 23219

Introduction

The applicant is requesting a special use permit (the “SUP”) for the property known as 715 Mosby Street (the “Property”). The SUP would authorize the construction of a three-story mixed-use building containing 22 dwelling units and roughly 1,076 square feet of commercial area. While the underlying R-63 Multifamily Urban Residential Zoning District permits the proposed mixed-use building, some of the underlying feature requirements cannot be met, and therefore, a SUP is required

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The Property is located along the eastern line of Mosby Street between Carrington and Venable Streets and is referenced by the City Assessor as tax parcel number of E000-0327/035. It has roughly 119 feet of frontage along Mosby Street and contains approximately 15,364 square feet of lot area. The Property is currently undeveloped and alley access is provided along the southern and eastern property lines.



The properties in the vicinity are developed with a range of uses and forms. Single- and two-family dwellings as well as large multifamily dwellings can be found in the immediate area. Mixed-use and commercial uses are also found nearby and provide a range of smaller-scale neighborhood serving uses.

EXISTING ZONING

The Property and the surrounding properties to the north and south on the eastern line of Mosby Street are zoned R-63 Multifamily Urban Residential District which permits the proposed multifamily and commercial uses. Across Mosby Street lies a R-53 Multifamily Residential District.

MASTER PLAN DESIGNATIONS

Land Use

The Richmond 300 Master Plan (the “Master Plan”) suggests “Neighborhood Mixed-Use” for the Property. The Master Plan describes this land use designation as “existing or new highly-walkable urban neighborhoods that are predominantly residential with a small, but critical, percentage of parcels providing retail, office, personal service, and institutional uses.” Recommended development styles are described as featuring “a variety of building types that are close to one another and create a unified street wall.” Multi-family buildings are contemplated as a secondary uses in these areas.”

Street Typology

Mosby Street is classified as a “Major Mixed-Use Street” which are described as “carry[ing] high volumes of vehicles, pedestrians, and bicycles, through commercial and mixed use areas.” Major Mixed-Use Streets also “[r]equire for elements, such as buildings to the street with parking in the rear, as well as building windows and entrances on the street.”

Node

The Property is also located near the Micro Node located at the intersection of Mosby and E Leigh Streets. Nodes are described as “places in Richmond that can... accommodate additional growth in jobs and population” while Micro Nodes are specifically described as “a notable place in a neighborhood that provides goods and services primarily to the immediate residents but may also attract visitors.”

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request.

- Page 109 (Equitable Transportation Chapter), Objective 6.1 to “Increase the number of residents and jobs at Nodes and along enhanced transit corridors in a land development pattern that prioritizes multi-modal transportation options.”
 - b. Develop housing at all income levels in and near Nodes and along major corridors (see strategies Goal 14).
- Page 136 (Diverse Economy Chapter), Objective 11.1 to “Increase the areas of appropriately zoned land near various transportation modes and housing to retain, create, and attract employers.”
 - d. Encourage the development of a variety of quality housing types to house employees across the economic spectrum (see Goal 14).
- Page 150 (Inclusive Housing Chapter), Objective 14.1 to “Increase city-wide awareness of the importance of integrating housing at all income levels into every residential neighborhood so every household has housing choice throughout the city.”
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.5 to “Encourage more housing types throughout the city and greater density along enhanced transit

corridors and at Nodes (shown in Figure 38 [p.153]) by amending the Zoning Ordinance.”

- Page 159 (Thriving Environment Chapter) Objective 15.1 to “Reduce air pollution related to transportation.”
 - a. Increase the number of Richmonders living in a development pattern that encourages density and reduces dependency on single-occupancy vehicles (see Goal 1, Goal 8, Goal 14).
- Page 86 (High-Quality Places Chapter), Objective 1.4, to “maintain and improve primarily residential areas by increasing their linkages to...corridors...and maintaining high-quality design standards.”
- Page 100 (High Quality Places Chapter), Objective 4.1, to “create and preserve high-quality, distinctive, and well-designed neighborhoods and nodes throughout the City,” as the request introduces thoughtfully designed new construction in a manner not otherwise assured by-right.

Proposal

PURPOSE OF REQUEST

The SUP would permit the construction of three-story mixed-use building containing twenty-two dwelling units and a small commercial space. While mixed-use buildings are permitted by the underlying zoning, some of the underlying feature requirements cannot be met, and therefore, the SUP is required. As part of the SUP request, the applicant would also like to permit outdoor dining in the patio area in front of the commercial space should the space be occupied by a restaurant or café in the future.

PROJECT DETAILS/DESIGN

The proposed mixed-use building would be three stories tall and contain twenty-two dwelling units as well as a +/- 1,076 square foot commercial space located on the first floor. The residential units would consist of fourteen (14) one-bedroom units, four (4) two-bedroom units, and four (4) one-bedroom units which would also contain an office. The residential units would range from 596 to 812 square feet with balconies provided for all rear-facing dwellings and all two-bedroom units at the front of the building.

The first-floor commercial space would be located on the southern side of the building and contain roughly 1,076 square feet of floor area. The commercial space would be accessible from both Mosby Street as well as from the parking area in the rear. A patio area out front would provide additional space for a future tenant and help to activate the street.

Finally, fourteen parking spaces, located at the rear of the building would be provided for the building. The spaces would be accessible from the alley to the south of the Property and would have access to both the residential and commercial portions of the building.

Findings of Fact

The following are factors indicated in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- ***Be detrimental to the safety, health, morals and general welfare of the community involved.***

The proposed SUP for high-quality infill construction will not impact the safety, health, morals and general welfare of the nearby neighborhoods.

- ***Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.***

The proposed SUP will not result in significant traffic impacts to nearby neighborhoods. The negligible traffic generation and off-street parking spaces which exceed the zoning requirements will create no congestion on streets, roads, alleys or any other public right of way.

- ***Create hazards from fire, panic or other dangers.***

The property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- ***Tend to overcrowding of land and cause an undue concentration of population.***

The proposed SUP will not tend to over crowd the land or create an undue concentration of population.

- ***Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences, and improvements.***

The proposed SUP would not adversely affect the above referenced City services.

- ***Interfere with adequate light and air.***

The light and air available to the subject and adjacent properties will not be affected. The proposed buildings are of compatible massing and spacing to the existing in the vicinity and setbacks would be provided on all sides of the building. As a result, this request will not interfere with the provision of adequate light and air to the adjacent buildings.

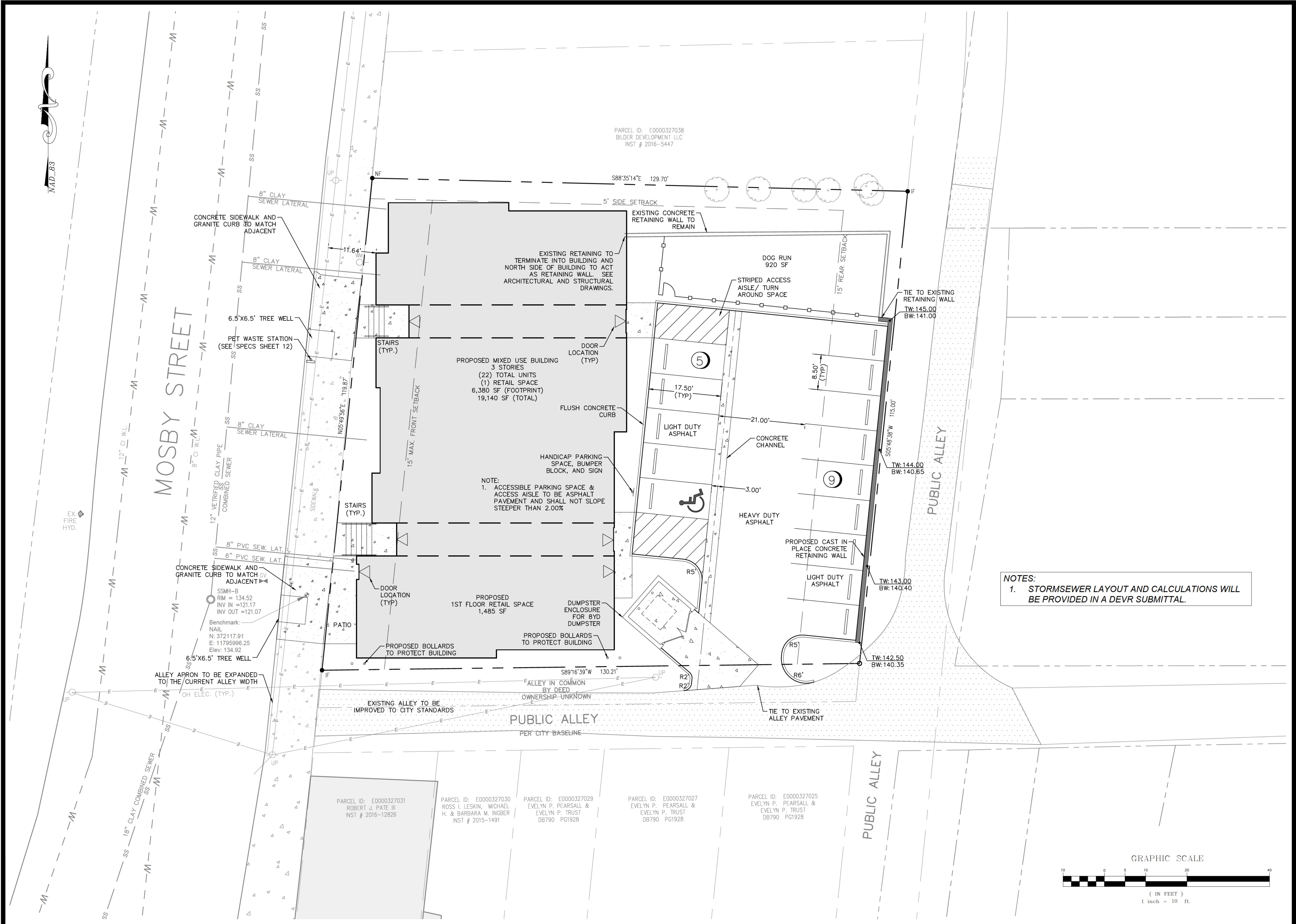
Summary

In summary we are enthusiastically seeking approval for the construction of a mixed-use building containing 22 dwelling units and a commercial space. The SUP represents an ideal, small-scale infill urban development for this location which meet the needs of today's market. These dwellings provide updated housing opportunities for the neighborhood and are consistent with the goals of the Richmond 300 Master Plan. In exchange for the SUP, the quality assurances conditioned therein would guarantee the construction of high-quality residences consistent with Master Plan guidance.



715 MOSBY ST APARTMENTS LAYOUT PLAN

CHURCH HILL DISTRICT CITY OF RICHMOND, VIRGINIA





LANDSCAPE PLAN

CHURCH HILL DISTRICT CITY OF RICHMOND, VIRGINIA

DESIGN BY: Steve King
CHECKED BY: Jeff Staub
DRAWING SCALE: 1"=10'
DATE: 7/1/2025

SHEET
2

JOB #:250730

PLANT LIST

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COVER	REMARKS
TREES & SHRUBS						
	2	Tilia cordata	Little Leaf Linden	2" CAL.	175 SF	
	2	Prunus serrulata 'Kwanzan'	Kwanzan Cherry	2" CAL.	175 SF	
	16	Buxus sempervirens	Common Boxwood	36" HT		

PARCEL ID: E0000327038
BILDER DEVELOPMENT LLC
INST # 2016-5447

MOSBY STREET

12" CL. W.L.

8" CL. W.L.

18" CL. COMBINED SEWER

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ALLEY IN COMMON
BY DEED
OWNERSHIP UNKNOWN

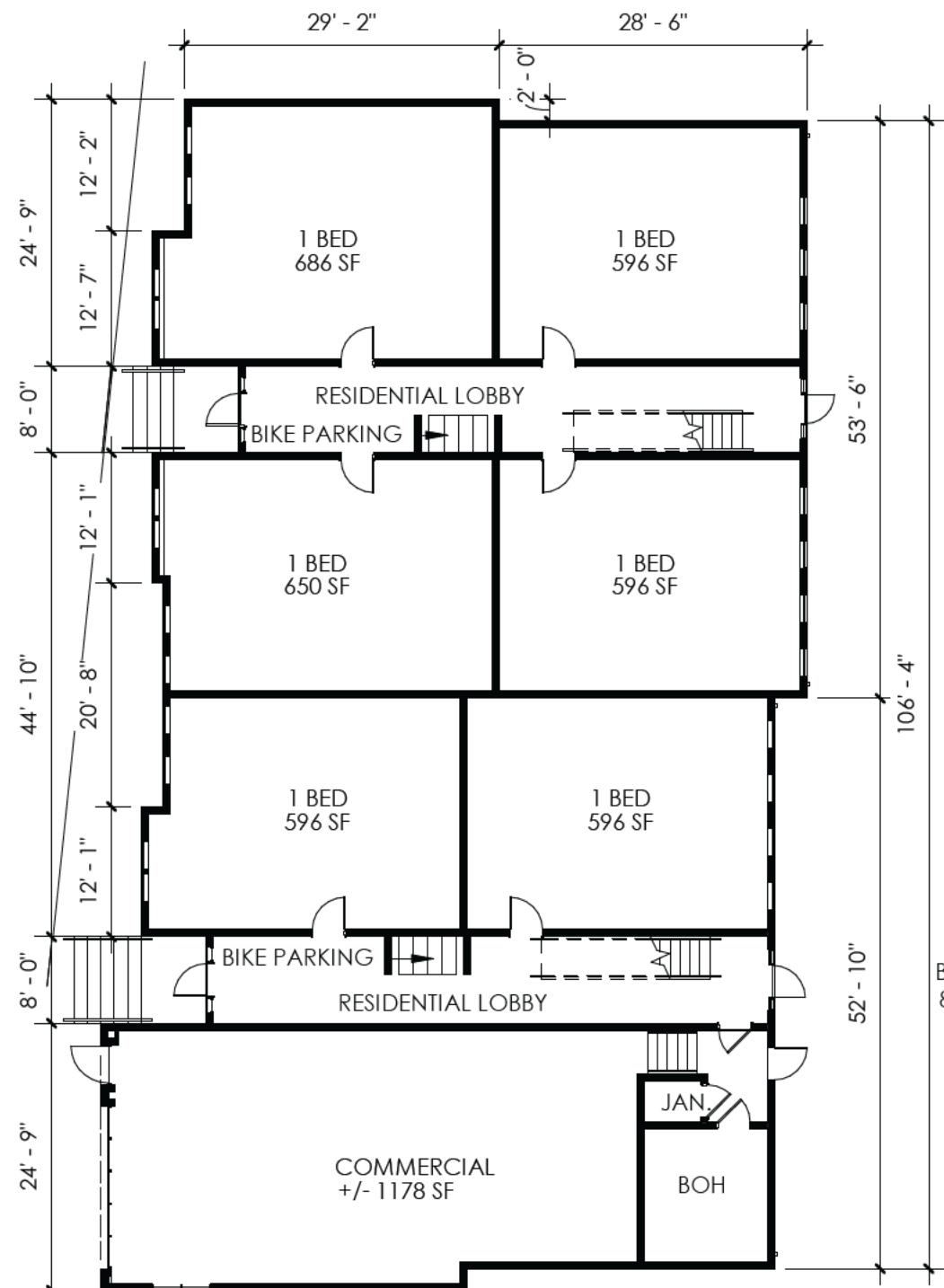
PER CITY BASELINE

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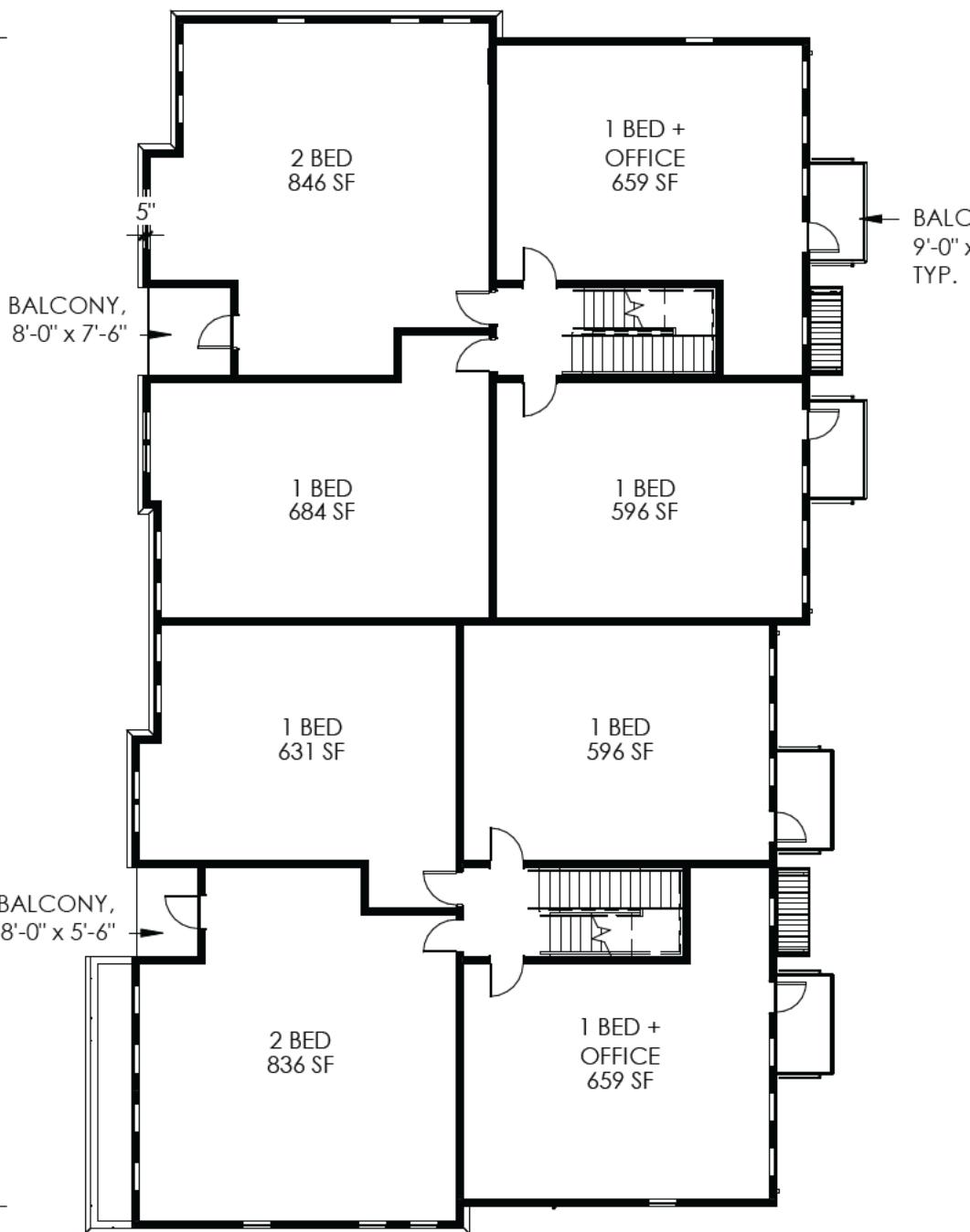
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Plans

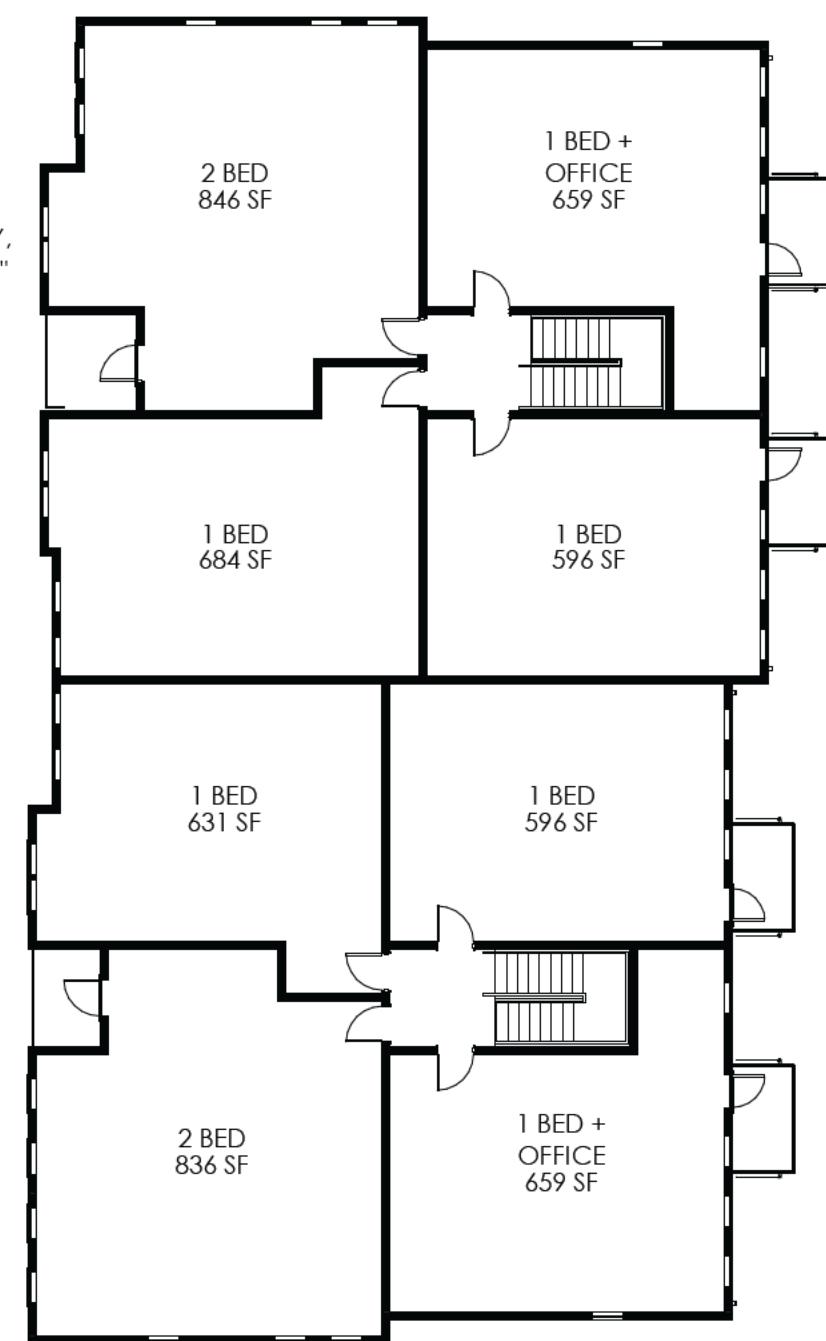
Proposed Design Approach



01 - FIRST / GROUND FLOOR PLAN



02 - SECOND FLOOR PLAN



03 - THIRD FLOOR PLAN

Building Elevations

Proposed Design Approach

- 1 FIBER CEMENT LAP SIDING - WHITE PAINT COLOR TBD
- 2 CORNICE A - SEE DETAIL
- 3 SIGNAGE BY FUTURE TENANT TBD <16 SF
- 4 PARGED FOUNDATION WALL
- 5A SINGLE HUNG WINDOW (2'-8" X 6'-0")
- 5B SINGLE HUNG WINDOW (2'-8" X 5'-6")
- 6 STOREFRONT ASSEMBLY
- 7 BOLT-ON BALCONY ASSEMBLY
- 8 CONDUCTOR BOX & DOWNSPOUT
- 9 PATIO DOOR
- 10 HOLLOW METAL DOOR, PAINTED
- 11 EXTERIOR WALL SCONCE
- 12 DUMPSTER ENCLOSURE SHOWN DASHED FOR CLARITY. PARGED CMU WALLS
- 13 WOOD PANEL WITH APPLIED TRIM MOLDING, PAINT COLOR TBD
- 14 ELECTRICAL METER BANK - FINAL LAYOUT TO BE COORDINATED WITH DOMINION
- 15 WOOD FRAMED BALCONY W/ METAL RAILING
- 16 CAST IN PLACE CONCRETE STEPS W/ STEP LIGHT
- 17 METAL CANOPY ASSEMBLY
- 18 LANDSCAPING
- 20 ROOF PLANE BEYOND SHOWN DASHED
- 21 CORNICE B - SEE DETAIL
- 22 WINDOW TRIM
- 23 TRANSOM WINDOW
- 24 PAINTED CEMENTITIOUS SIDING



A - NORTH ELEVATION



B - EAST / MOSBY ELEVATION

Building Elevations

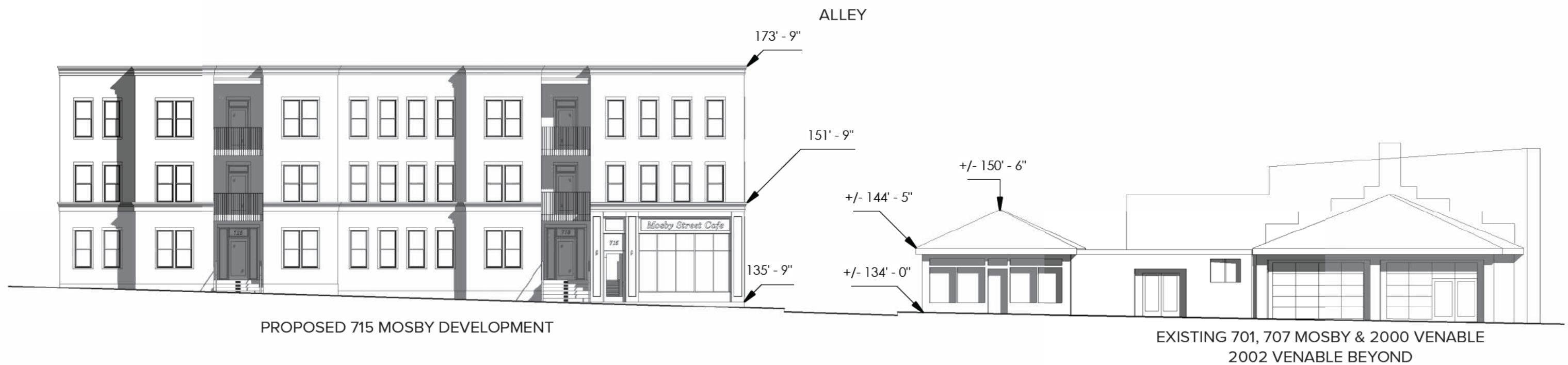
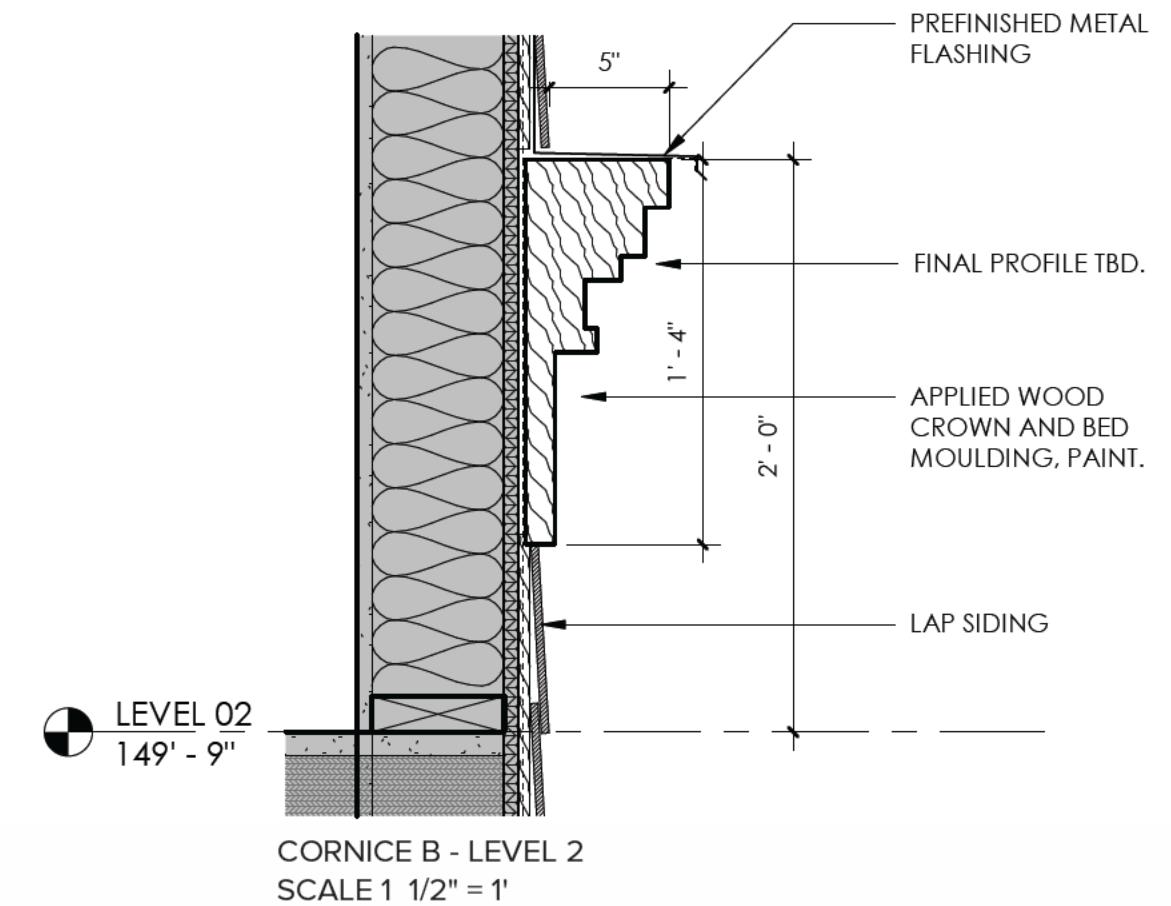
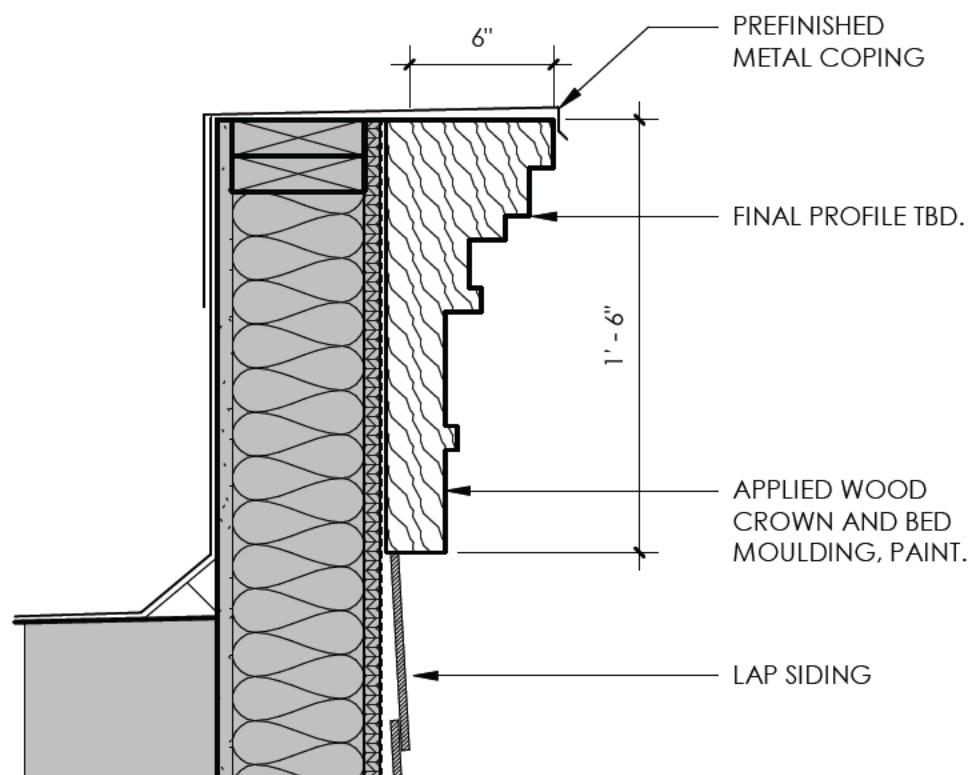
Proposed Design Approach

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- 23 TRANSOM WINDOW
- 24 SIDING
PAINTED CEMENTITIOUS SIDING



Details & Mosby St. Elevation

Proposed Design Approach



Perspectives

View From Mosby & Alley



Perspectives

View from Mosby



Perspectives

View down Alley



Perspectives

Mosby Commercial Corner View



Perspectives

Rear View



SSMH-A
RIM = 138.97
INV IN = 130.67
INV OUT = 129.60

PARCEL ID: E0000327038
BLIDER DEVELOPMENT LLC
INST # 2016-5447

10 IN TREE 15 IN TREE 18 IN TREE
10 IN TREE 12 IN TREE 15 IN TREE
10 IN TREE 5 IN TREE 18 IN TREE
10 IN TREE CHAINLINK FENCE

LEGEND

P.O.B. = POINT OF BEGINNING
* = LIGHT POLE
IF = IRON SET
IS = MONUMENT FOUND
MF = PARCEL LINE
• = BOLLARD
■ = GAS VALVE
◎ = GAS METER
— = OVERHEAD UTILITY LINE
○ = UTILITY POLE
Y = GUY
O-MM = WATER METER
F.F.E. = FINISHED FLOOR ELEVATION
CONCRETE = CONCRETE
ASPHALT = ASPHALT
ASPHALT = BUILDING
GRAVEL = GRAVEL
— = FENCE LINE
— = TREE/SHRUB (TO SCALE)
— = EDGE OF LANDSCAPED AREA/TREE DRIPLINE
— = BUILDING OVERHANG
— = HEAT PUMP
— = WATER VALVE
— = FIRE HYDRANT
— = WATER LINE
— = STORM SEWER PIPE
— = HEAT PUMP
— = SANITARY SEWER PIPE
— = GAS LINE

PARCEL ID: E0000327035
STREETCAR PROPERTIES LLC
INST # 2018-13104
ZONE: R-63

MOSBY STREET

119.87

115.00

58.3'

36.0

18.7

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