

**COMMISSION OF ARCHITECTURAL REVIEW
STAFF REPORT
August 28, 2018 Meeting**

8. COA-039289-2018 (M. Jarreau)

517 North 26th Street
Church Hill North Old and Historic District

Project Description: **Reconstruct existing front porch,
construct a two-story addition at the rear of the existing structure,
and add two windows on the right side elevation.**

Staff Contact:

C. Jones

The applicant requests approval to reconstruct an existing front porch, construct a 24'-4" by 16', two-story addition at the rear of the existing structure, and add two windows on the right side elevation. The building is a double house, two stories in height, brick construction, and with a sloped roof. The existing three-bay porch spans the width of the first floor. Other decorative details include an Italianate cornice.

The existing one-story addition on the rear appears to have been enlarged with unsympathetic materials and modern windows and a door. It is currently in fair condition.



517 N. 26th Street.



517 N. 26th Street - Right Elevation.



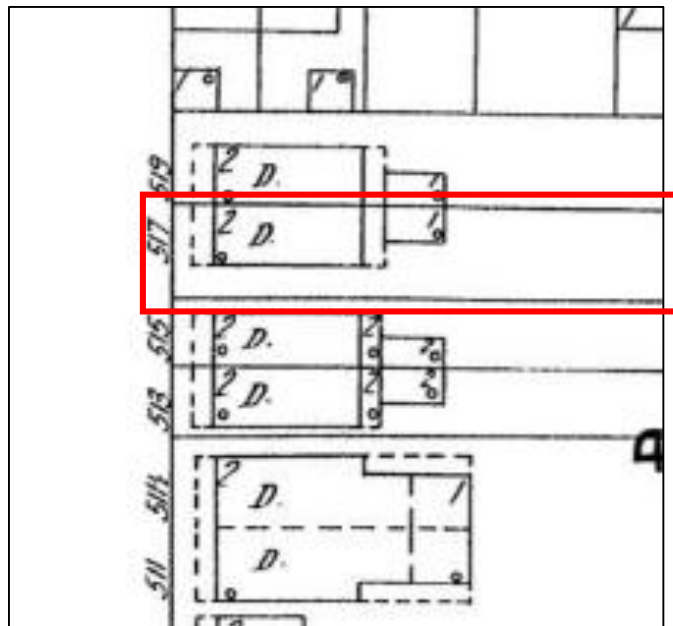
517 N. 26th Street - Rear Elevation.

The applicant proposes the following scope of work:

- Demolition of the existing one-story rear addition;
- Removal of two historic windows on the rear elevation;
- Construction of a two-story addition at the rear of the existing building;
- Reconstruction of the existing front porch; and
- Addition of two window openings on the right side elevation.

The new porch columns will be 6x6 square posts, framing, with tongue-and-groove decking painted white, front porch railing will be Richmond Rail painted white.

Due to lot setback requirements, the addition will project approximately 2'-8" feet past the wall of the east elevation. The applicant proposes to use hardie plank as the exterior cladding material for the addition and to use TPO membrane for the roof. All windows, both in the addition and the two new windows, will be PVC-clad. The roof configuration of the addition will replicate the existing roof.



1925 Sanborn Map

Staff recommends approval of the following:

1. Demolition of the rear addition. The *Guidelines* state that the Commission can approve requests for demolition when a building or structure is deemed not to be a contributing part of the historic character of a City Old and Historic District (pg. 82, #2). The existing section at the rear of the building has been enlarged with modern materials, utilizes non-historic windows and doors, and it in fair condition. Staff recommends approval of the proposed demolition.

Staff recommends approval of the following with conditions:

2. Reconstruction of the front porch to match the existing porch at 519 North 26th Street (pg. 71# 5.). The current porch does not appear to maintain many historic materials and the roof appears to be sagging. The new porch will utilize Richmond Rail as recommend by the *Guidelines* (pg. 49 #2). Staff recommends standing- of flat-lock metal seam roofs that are hand-seamed, or closely approximate hand-seaming or a membrane roof as a substitute for flat-lock seamed metal roofs (pg. 49 #5). Staff recommends approval of the porch rehabilitation on the condition that a context drawing of that illustrates the porch detail in relation to the neighboring porch and the roof, railing, and column materials be submitted to staff for administrative approval.
3. Construction of a two-story addition on the rear elevation. Staff finds the new addition is located to rear of the building and will be as inconspicuous as possible due to site constraints (pg. 46 #1). Staff recommends the insertion of two narrow, stacked windows on the projecting bay on the north facing elevation to be in keeping with other fenestration patterns for projecting bays found in the district. Staff further recommends the fenestration pattern on the right side elevation be consistent, notably that windows “F” replicate windows “C”.

Staff recommends denial of the following:

4. Insertion of new windows into the solid masonry wall. Staff finds the removal of original features and materials and the insertion of new window openings in masonry walls are not keeping with the Guidelines (pg. 59 #1 and pg. 69 #8).
5. The use of PVC-clad windows. Staff recommends either wood or aluminum-clad windows be utilized (pg. 69 #s10-11). Staff recommends the window materials be submitted for administrative approval.

It is the assessment of staff that, with these conditions, the application is consistent with the Standards for Rehabilitation and New Construction outlined in Sections 30-930.7 (b) and (c) of the City Code, as well as with the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*, specifically the pages cited above, adopted by the Commission for review of Certificates of Appropriateness under the same section of the code.