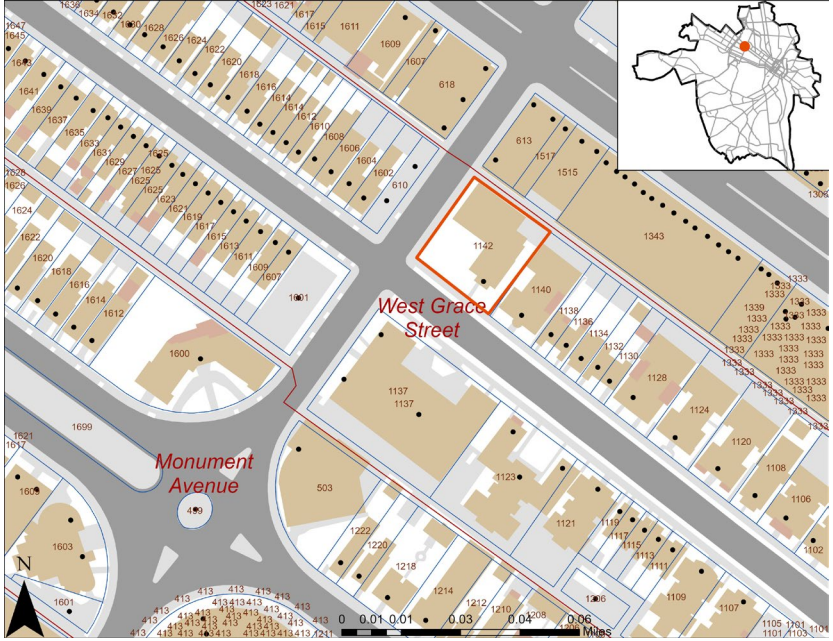




Commission of Architectural Review

| | |
|--|--|
| 2. COA-137122-2023 | Final Review Meeting Date: 10/24/2023 |
| Applicant/Petitioner | Nathan March, Johannas Design |
| Project Description | Alter an existing brick retaining wall, adding stairs; install front and side yard hardscaping. |
| Project Location |  |
| Address: 1142 West Grace Street | |
| Historic District: West Grace Street | |
| High-Level Details: <ul style="list-style-type: none"> The new owner plans to add a brick patio in the corner, where the Lombardy and Grace Street sections meet. The house was built in 1817 and expanded in 1924, to serve as the University of Richmond Law School. The building was converted to apartments in 1968. The owner will also be repairing the front porch on West Grace Street. | |
| Staff Recommendation | Approval |
| Staff Contact | Annie Delaroderie, anne.delaroderie@rva.gov , 804-646-6335 |
| Previous Reviews | In March 2006, the Commission approved a project for installing two new exterior rear doors on the building. The doors provided an additional exit for an interior stair and elevator lobby. In January 2015, the Commission approved plans for an exterior stair system located at the rear of the building. |
| Conditions for Approval | Staff approves the project as submitted. |

Staff Analysis

| Guideline Reference | Reference Text | Analysis |
|--|--|---|
| Standards For Site Improvements: Sidewalks & Curbs, page 76. | <i>4. Brick or granite pavers are the most appropriate choice in most Old and Historic Districts. 6. Sidewalk design should allow for the installation of the appropriate urban landscaping. 7. Sidewalks and curbs should be built of common building materials found throughout the District. Generally, simple paving designs are more compatible with the diverse building styles and better unify</i> | A brick patio is proposed for the West Grace Street side which will look toward the intersection of West Grace and North Lombardy Streets. Brick is an appropriate material since a small brick wall surrounds part of the site and there is a large amount of historic brick elements throughout the district. A path with 2'x2' paver blocks will begin just west of the stairs from the building on West Grace Street, to the new brick patio. The paver |

| | | |
|--|--|---|
| | <i>the various elements found on streets throughout Old and Historic Districts. The use of more than two paving materials within an area is discouraged.</i> | path will be minimally visible as it will be set in the landscaping and will not be obtrusive to the site. A new sidewalk will lead from the new brick patio to the public sidewalk along North Lombardy Street. |
| Standards and Site Improvements: Fences & Walls, page 78. | <i>1. Original fences should be retained and maintained whenever possible. 2. Existing brick or stone walls, boxwood hedges, wooden picket fences and cast or wrought-iron fences should not be removed or replaced with contemporary features.</i> | As part of this project, the applicant plans to construct a new staircase, connecting the new sidewalk with the public sidewalk on North Lombardy Street. The new staircase will be constructed similarly to the staircase on West Grace Street for this property. The side walls for the new brick staircase will be designed to match the pavers, as a way to differentiate from the historic brick sidewalls. A black, metal pipe handrail will be added to the staircase. The small brick retaining wall around the site will be retained and repaired after the completion of the new staircase. |
| Maintenance and Repair: Wood, page 91. | <i>Typical Problems- Cracked or warped boards may result from long-term exposure to the extremes of weather or from pressure-stresses. Some boards were cracked or warped at the time of installation. Removal and replacement with sound boards is often the only solution. Cracked, peeling or blistered paint signals excessive moisture, improperly prepared paint surfaces or chemical incompatibility of paint layers.</i> | The porch on West Grace Street needs to be repaired. Several of the decking boards are cracked and have peeling paint. The freestanding columns are also in need of repair. The owner plans to repair the porch and columns with in-kind materials. He also plans to replace the porch steps with in-kind materials. |
| Maintenance and Repair: Porches, Doors and Entrances, page 101 | <i>Masonry, wood and metal elements of porches and entrances should be inspected for signs of rust, peeling paint, wood deterioration, open joints around frames, old putty and inadequate caulking. Painted surfaces should be kept painted, and caulk and glazing putty should be intact and in good condition.</i> | The preservation of this porch will help sustain this historic building for many more years. |

It is the assessment of staff that, with the conditions above, the application is consistent with the Standards for Rehabilitation and New Construction outlined in Section 30-930.7 (b) and (c) of the City Code, as well as with the Richmond Old and Historic Districts Handbook and Design Review Guidelines, specifically the pages cited above, adopted by the Commission for review of Certificates of Appropriateness under the same section of the code.

Figures



Figure 1. Façade, south side of 1142 West Grace Street

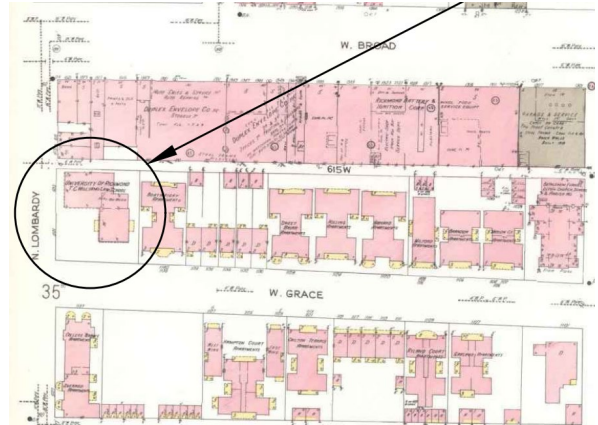


Figure 2. Sanborn Map from 1924 showing 1142 West Grace Street, at the corner of North Lombardy and West Grace Streets.



Figure 3. Location for the proposed brick patio. The paver path will be located along the side of the Grace Street façade, on the right side of the photograph. The new sidewalk will lead from the proposed brick patio, in between the two trees, to the new staircase.



Figure 4. Approximate location of the proposed staircase that will connect the new sidewalk with the public sidewalk. The brick wall will be repaired after the completion of the new staircase.



Figure 5. Brick staircase located in front of the West Grace Street entrance of 1142 West Grace Street. The new staircase proposed for this project will be similar to this staircase.



Figure 6. Example of a brick paver for the path from the Grace Street side.



Figure 7. View of the brick wall on the west side of the property. The wall will be repaired and retained after the new staircase is added to the wall.



Figure 8. View of deteriorated wooden board on the porch facing Grace Street. This porch will be repaired with in-kind materials.



Figure 9. View of deteriorated wooden deck boards and a deterioration at the bottom of the southwest column. The owner plans to repair the deck boards and column with in-kind materials.



Figure 10. View of the southeast column and further deterioration of the deck boards.



Figure 11. View of the project site, looking northeast from the corner of West Grace Street and North Lombardy Streets. The proposed brick patio and new pathways will be located behind the apartment sign.