

# ABBREVIATIONS

AB ANCHOR BOLT	d PENNY (NAILS)	FOC FURNISHED BY OWNER INSTALLED BY CONTRACTOR	L LEFT LENGTH	PP PUSH PLATE	STD STANDARD
ACC ACCORDING/ACCORDIAN	db DECEBEL	FTIC FURNISHED BY TENANT INSTALLED BY CONTRACTOR	LAB LABORATORY	PR PAIR	STL STEEL
ACU ACOUSTICAL	D CLOTHES DRYER	FOM FURNISHED BY OWNER INSTALLED BY VENDOR	LAM LAMINATED	PRE FAB PREFABRICATE	STOR STORAGE
AD ACOUSTICAL CEILING TILE	DR DOUBLE	FR FACE OF MASONRY	LAV LAVATORY	PSF POUND PER SQUARE FOOT	STRUCT STRUCTURE/STRUCTURAL
AD AREA DRAIN	DECP DEPARTMENT	FV FLOOR VENT	PH POND	PSF POUND PER SQUARE FOOT	SUBFL SUBFLOOR
ADD ADDENDUM	DEPT DEPARTMENT	FS FACE OF STUDIOS	LH LEFT HAND	PT PRESERVATIVE TREATED/PPOINT/ TENSIONED	SURF SURFACE
ADJ ADJUSTABLE/ADJACENT	DET DETAIL	FR FLOOR FINISH	LHR LEFT HAND REVERSE	PTD TENSIONED	SUSP SUSPENDED
AF ABOVE FINISH FLOOR	DF DRINKING FOUNTAIN/DOUGLAS FIR	FR FLOOR FINISH	LKR LOCKER	PTD PAPER TOWEL DISPENSER	SPECIAL WALL COATING
AG AGGREGATE	DR DIAMETER	FR FLOOR FINISH	LL LIVE LOAD	PTD PAPER TOWEL DISPENSER & WASTE PAVEMENT	SYMMETRAL
AHU AIR-HANDLING UNIT	DR DIAGONAL	FS FULL-SIZE/FLOOR SINK	LP LOW POINT	PTD PARTITION	T THRESHOLD/TREAD/TOILET
AL ALUMINUM	DICA DRILLED IN CONCRETE ANCHOR	FS FOOT OR FEET	LSG LAMINATED SAFETY GLASS	PTD PARTITION	TOP A BOTTOM
ALT ALTERNATE/ALTERATION	DIFF DIFFUSER	FTG FOOTING	LT LIGHT	PTD POLYVINYL CHLORIDE	TAG TONGUE AND GROOVE
AND ANKORIZED	DM DIMENSIONAL	FURR FURNISH	LTWT LIGHTWEIGHT	PTM PAVEMENT	TWB TOWEL BAR/TACK BOARD
AP ACCESS PANEL/APRON PANEL	DISP DISPOSAL	FUT FUTURE	M/S MIRROR WITH SHELF	QT QUARTY QUARTER	TB TIE
APPROX APPROXIMATE	DN DOWN	FUT FLAT WALL PAINT	MACH MACHINE	QTR QUARTER	TBC TIE BACKER BOARD
APT APARTMENT	DR DOOR/DRAIN	G GAS	MAINT MAINTENANCE/MAINTAIN	R RISER	TCC TOP OF CURB/TOP OF CONCRETE
ARCH ARCHITECT/ARCHITECTURAL	DS DOWNSPOUT	GA GAUGE	MAS MASONRY	RBS RACKER ROD AND SEALANT	TCD TOWEL DISPENSER
ASPH ASPHALT	DSP DRY STAND PIPE	GALV GALVANIZED	MAT MATERIAL	RA RETURN AIR	TOWEL DISPENSER & WASTE
AVE AVENUE	DWG DRAWING	GB GENERAL CONTRACTOR	MAX MAXIMUM	RAD RADIUS	TEL TELEPHONE
AVG AVERAGE	DWR DRAWER	G GC	MC MACHINE BOLT/MARKER BOARD	RB RUBBER-BASE	TEMPERED / TEMPORARY / TEMPERATURE
AWP ACOUSTIC WALL PANEL	BC BOTTOM OF CURB	GD GARBAGE DISPOSAL	MW MINERAL CORE WOOD	RCP REFLECTED CEILING PLAN	TER TERRAZZO
B BOARD	B-FOLD DOOR	GF GROUND-FALL INTERRUPTOR	MEF MEDIUM-DENSITY FIBERBOARD	REBAR REINFORCING BAR	TF TOP OF FOOTING
BF BOTTOM OF FINISH	EB EXPANSION BOLT	GRF GLASS FIBER REINFORCED CONCRETE	MDO MEDIUM-DENSITY OVERLAY	RECEPT RECEPTACLE	THK THICK
BITUM BITUMINOUS	EJ EXPANSION JOINT	GFRP GLASS FIBER REINFORCED GYPSUM	MECH MECHANICAL	RECEPT RECEPTACLE	THR THRESHOLD
BL BUILDING LINE	EJ EXPANSION JOINT	GLAZING GLAZING	MEB MEMBRANE	RECT RECTANGULAR	TN TONGUE
BLG BLOCKING	ELEC ELECTRICAL	GLM GLUE-LAMINATED WOOD	MEZ MEZZANINE	REF REFERENCE/REFRIGERATOR	TOO TOP OF DECK
BLVD BOULEVARD	ELEV ELEVATOR	GRD GROUND	MFR MANUFACTURER/MANUFACTURING	REG REGISTRATION/REGISTER	TOL TOLERANCE
BM BEAM/BENCH MARK	EMERG EMERGENCY	GWP GYPSUM WALLBOARD	MG MIRROR GLASS	REIN REINFORCED	TOP TOP OF PAVEMENT
BTM BOTTOM	ENAM ENAMEL	GYP GYPSUM	MN MINIMUM/MINUTE	REIN REINFORCED	TOW TOWEL
BRG BEARING	ENTR ENTRANCE	H HINGE/HIGH	MIR MIRROR	REV REVISION	TOW TOWEL
BSMT BASEMENT	EP ELECTRICAL PANEL/BOARD/END PANEL	HB HOSE BIB	MISC MISCELLANEOUS	RH ROBE HOOK / ROUND HEAD / RIGHT-HAND	UBC UNIFORM BUILDING CODE
BTWN BETWEEN	EQ EQUAL/EARTHQUAKE	HCT HOLLOW CORE WOOD / HARDBOARD	MOD MODULE/MODIFY	RM ROOM	UNDER COUPLER/UNDERCUT
BUR BUILT-UP ROOF	EQJ EARTHQUAKE JOINT	HDRD HARDENER	ND/N NOT TO SCALE	RO ROOF OPENING	UN UNFINISHED
BW BOTTOM OF WALL	EQU EQUIPMENT	HDRD HARDENER	OR OVERALL	ROW RIGHT OF WAY	UNFINISHED UNLESS NOTED OTHERWISE
C CELSIUS/CENTIGRADE	EXC EXCAVATE/EXCAVATION	HDRD HARDENER	OC ON-CENTER	RP RADIUS POINT	UR URINAL
CAB CABINET	EXH EXHAUST	HDRD HARDENER	OD OUTSIDE DIAMETER	ROL RIB RAIL	UTL UTILITY
CAP CAPACITY	EXP EXPANSION	HDRD HARDENER	OF OFFICE	RS ROUGH-SAWN	UV UNIT VENTILATOR/ULTRAVIOLET
CARP CARPET	EXT EXISTING	HDRD HARDWARE	OH OVAL HEAD	RVL RAINWATER LEADER	V VINYL
CB CATCH-BACIN/CHAMBOARD	EXT EXISTING	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	S SOUTH/SHELF	VAR VARIABLE/VARNISH/VARIES
CEM CEMENT	EXT EXISTING	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SA SANITARY	VCT VINYL-COMPOSITION TILE
CEM PL CEMENT PLASTER	FA FIRE ALARM/POWERED AIR FABRIKATE	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SC SANITARY	VERT VERTICAL
CEP CERAMIC	FB FLAT BAR	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SCD SCHEDULE	VEST VESTIBLE
CH CHAIR	FBD FIBER BOARD	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SCS SHOWER CURTAIN ROD	VOL VOLUME
CHL CHAIR RAIL	FDB FLOOR DRAIN	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SCW SCREW	VPL VESTIBLE PLASTER
CI CAST IRON	FDC FIRE DEPARTMENT CONNECTION	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SD SECOND	VV VINYL TILE
CHP CAST IN PLACE	FDN FOUNDATION	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CL CONTROL JOINT	FE FIRE EXTINGUISHER	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CL CENTER LINE	FE FIRE EXTINGUISHER CAB	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CLG CEILING	FF FACTORY FINISH	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CLG CAULKING	FG FLOAT GLASS	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CLO CLOSET	FI FLATHEAD	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CLR CLEAR	FHC FIRE HOSE CABINET	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CLS CLOSER	FHMS FLATHEAD MACHINE SCREW	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CMU CONCRETE MASONRY UNIT	FHWS FLATHEAD WOOD SCREW	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CO CLEAN OUT	FK FURNISHED AND INSTALLED BY CONTRACTOR	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
COB COLUMN	FIN FINISH	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
COM COMPOSITE/COMPOSITION	FIT FURNISHED AND INSTALLED BY OWNER	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CONC CONCRETE	FL FLOOR	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
COND CONDITION	FLASH FLASHING	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CONN CONNECT/CONNECTION	FLOR FLOOR	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CONST CONSTRUCTION	FLOR FLOOR	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CONT CONTINUOUS	FLOR FLOOR	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
COORD COORDINATE	FLOR FLOOR	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CORR CORRIDOR	FLOR FLOOR	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CR COLD ROLLED	FLOR FLOOR	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CT CERAMIC TILE/CURTAIN TRACK	FLOR FLOOR	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CTR CENTER	FLOR FLOOR	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CTS COUNTERSINK	FLOR FLOOR	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CW CUBIC	FLOR FLOOR	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH
CW WATER	FLOR FLOOR	HDRD HARDWARE	OH OVAL HEAD WOOD SCREW	SECT SECTION	W/W WITH

# GENERAL NOTES

- INVOLVED PARTIES: IN THESE DOCUMENTS, "OWNER" SHALL REFER TO DEWORTH RESTORATIONS LLC OR THEIR AUTHORIZED REPRESENTATIVES, AND "ARCHITECT" SHALL REFER TO ARCHITECTURE AF, PLLC.
- UNDERSTANDING OF PROJECT: THE CONTRACTOR SHALL THOROUGHLY REVIEW ALL CONSTRUCTION DOCUMENTS INCLUDING, BUT NOT LIMITED TO, DRAWINGS, NOTES, DIMENSIONS AND SCHEDULES. THE CONTRACTOR SHALL MAKE A DETAILED SITE VISIT, AND SHALL IMMEDIATELY BRING ANY INCONSISTENCY, SITE LAYOUT PROBLEM, OR ANY OTHER REVISION FOR CLARIFICATION TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID OR INITIATION OF WORK. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS.
- DOCUMENT PROPERTIES: THESE DRAWINGS ARE, IN GENERAL, DIAGRAMMATIC. EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR FROM FIELD MEASUREMENTS TAKEN BY CONTRACTOR'S PERSONNEL. ACTUAL ARRANGEMENT OF THE WORK SHALL FOLLOW LOCATIONS SHOWN ON THE DRAWINGS, DRAWINGS AND NOTES TO DRAWINGS ARE CORRELATIVE AND HAVE EQUAL AUTHORITY AND PRIORITY. SHOULD THESE BE DISCREPANCIES IN THEMSELVES OR BETWEEN THEIR CONTRACTOR SHALL SEEK CLARIFICATION FROM ARCHITECT.
- COPYRIGHT: THESE DRAWINGS AS SPECIFICALLY OF SERVICE ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR ANY OTHER BUILDINGS OR PURPOSES WITHOUT THE EXPRESS WRITTEN APPROVAL OF ARCHITECT.
- SCALING: DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WORK.
- CROSS REFERENCE: GENERAL CONTRACTOR AND ALL TRADESMEN SHALL CROSS REFERENCE ALL DRAWINGS, SCHEDULES, NOTES, DIMENSIONS, ETC. NO SINGLE ELEMENT WITHIN THESE DOCUMENTS ARE INTENDED TO BE USED AS AN ISOLATED COMPONENT.
- TRADE COORDINATION: CONTRACTOR SHALL COORDINATE WITH ALL TRADES TO PROVIDE COMPLETE WORKING SYSTEMS.
- INSTALLATIONS: ALL MATERIALS, ENGINES, MANUFACTURED ITEMS, AND EQUIPMENT TO BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THE PRODUCT'S INSTRUCTIONS. WHERE THERE IS MORE THAN ONE PARTY TO THE ARCHITECT OF ANY VARIATION REQUIRED FOR INSTALLATION OF ANY EQUIPMENT BEFORE PROCEEDING WITH INSTALLATION.
- SITE SAFETY: CONTRACTOR IS RESPONSIBLE FOR THE SAFETY ACTIONS AND CONDUCT OF HIS EMPLOYEES AND HIS SUBCONTRACTORS' EMPLOYEES WHILE IN THE PROJECT AREA, ADJACENT AREAS AND IN THE BUILDING AND ITS VICINITY.
- INDEMNIFICATION: THE CONTRACTOR AGREES TO INDEMNIFY AND SAVE HARMLESS THE OWNER/RESIDENT, AND ITS RESPECTIVE OFFICERS, EMPLOYEES AND AGENTS AND THEIR AFFILIATES, SUBSIDIARIES, AND PARTNERS, AND EACH OF THEM, FROM AND WITH RESPECT TO ANY CLAIMS, DEMANDS, SUITS, LIABILITIES, LOSSES, AND EXPENSES, INCLUDING BUT NOT LIMITED TO REASONABLE LEGAL FEES, ARISING OUT OF OR IN CONNECTION WITH THE WORK (AND/OR IMPOSED BY LAW UPON ANY OR ALL OF THEM) BECAUSE OF PERSONAL INJURIES, INCLUDING DEATH AT ANY TIME RESULTING THERE FROM, AND LOSS OF OR DAMAGE TO PROPERTY, INCLUDING CONSEQUENTIAL DAMAGES, WHETHER SUCH INJURIES TO PERSONS OR PROPERTY ARE CLAIMED TO BE DUE TO NEGLIGENCE OF THE CONTRACTOR, OWNER OR ANY OTHER PARTY ENTITLED TO BE INDEMNIFIED EXCEPT TO THE EXTENT SPECIFICALLY PROHIBITED BY LAW (AND ANY SUCH PROHIBITION SHALL NOT VOID THIS AGREEMENT BUT SHALL BE APPLIED ONLY TO THE MINIMUM EXTENT REQUIRED BY LAW).
- WORK PERMITS: THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS PRIOR TO WORK.
- GOVERNING CODES: ALL WORK DESCRIBED BY THESE DOCUMENTS SHALL BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES.
- VERIFICATION: EVERY EFFORT HAS BEEN MADE BY THE ARCHITECT TO ENSURE CODE COMPLIANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE WORK CONFORMS TO ALL APPLICABLE CODES, AND IF DISCREPANCIES ARE OBSERVED, TO NOTIFY THE ARCHITECT PRIOR TO WORK.
- PROJECT DATA PHASING: THIS PROJECT IS TO BE PHASED. THE PHASES GENERALLY ARE TO BE AS FOLLOWS: LIST OF PHASES. CONTRACTOR SHALL PROVIDE A TIME SCHEDULE OF WORK FOR THE WORK, SEQUENCED BY TRADES, AS PART OF THE SUBMISSION OF HIS BID.
- PROJECT ACCESS: CONTRACTOR SHALL PROVIDE ACCESS TO BUILDING AND PROJECT SITE FOR ARCHITECT'S DESIGNATED PROJECT REPRESENTATIVES.
- MATERIALS: CONTRACTOR SHALL SUPPLY ALL ITEMS, MATERIALS, AND PRODUCTS AS SPECIFIED, IMPLIED, OR REQUIRED TO COMPLETE PROJECT.
- SUBSTITUTIONS: REQUESTS TO SUBSTITUTE ANY PRODUCT, TECHNIQUE, OR MATERIAL SHALL BE SUBMITTED IN WRITING TO ARCHITECT FOR APPROVAL. SAMPLES, PRODUCT INFORMATION, AND DRAWINGS SHALL BE REQUIRED PRIOR TO SUBSTITUTION. PROPOSED SUBSTITUTION SHALL BE OF EQUAL QUALITY AND PERFORMANCE SPECIFICATION TO THAT ORIGINALLY SPECIFIED.
- CHANGES: THE OWNER RESERVES THE RIGHT TO MAKE CHANGES IN THE DRAWINGS AND SPECIFICATIONS AS THE WORK PROGRESSES. BULLETINS, CHANGE ORDERS, DRAWINGS, SPECIFICATIONS, OR ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS COVERING SUCH CHANGES WILL BE ISSUED TO THE CONTRACTOR WHOSE RESPONSIBILITY IT WILL BE TO DISTRIBUTE THESE IMMEDIATELY TO ALL SUBCONTRACTORS AFFECTED TO TAKE MEASURES AS NECESSARY TO AVOID ERRORS OR DELAY OF WORK.
- CHANGE ORDERS: WORK AFFECTED BY CHANGES PROPOSED IN ANY REVISED DRAWINGS OR OTHER DOCUMENTS ISSUED TO THE CONTRACTOR SHALL NOT BE EXECUTED UNTIL CHANGES ARE REVIEWED AND APPROVED AND A SIGNED CHANGE ORDER, IF REQUIRED, BY ARCHITECT AND OWNER IS SUBMITTED TO CONTRACTOR. IN CASES WHERE INSTRUCTIONS ACCOMPANYING ANY CHANGES REQUIRES ESTIMATES OF COST INVOLVED, SUCH ESTIMATES SHALL BE PREPARED AND SUBMITTED PROMPTLY SO AS NOT TO UNDULY DELAY THE PROGRESS OF WORK.
- EXTRAS: NO EXTRAS WILL BE PERMITTED UNLESS SUBMITTED IN WRITING BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT AND OWNER.
- OVERTIME: WHEN SO DIRECTED, AND UPON WRITTEN APPROVAL, ALL CONTRACTORS SHALL PERFORM WORK IN OVERTIME AND THE ADDITIONAL COST TO THE OWNER SHALL BE THE ACTUAL DIFFERENCE BETWEEN OVERTIME WAGE COSTS AND REGULAR TIME WAGE COSTS.
- ORDERLY SITE: CONTRACTOR SHALL MAINTAIN CLEANLINESS AND PROTECTION OF ALL AREAS. CONTRACTOR SHALL AT ALL TIMES KEEP PREMISES FREE FROM ACCUMULATION OF WASTE CONSTRUCTION MATERIALS AND RUBBISH. THE CONTRACTOR TO CONTROL CLEANING TO PREVENT DIRT OR DUST FROM LEAVING THE JOB SITE AND CONTAMINATING AREAS OUTSIDE THE JOB SITE. UPON COMPLETION ALL DEBRIS SHALL BE REMOVED AND THE PREMISES LEFT IN A "BROOM CLEAN" CONDITION. ALL RUBBISH SHALL BE DEPOSITED OR IN A LEGAL MANNER.
- WEATHER PROTECTION: CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY WEATHER PROTECTION FOR PORTIONS OF THE WORK THAT BECOME EXPOSED TO THE EXTERIOR AND WILL BE HELD RESPONSIBLE FOR ANY DAMAGE THAT OCCURS DUE TO INSUFFICIENT PROTECTION.
- SUPERVISION: THE CONTRACTOR SHALL HAVE A FULL TIME, ENGLISH-SPEAKING SUPERINTENDENT OR FOREMAN ON THE PREMISES, POLICE THE JOB AT ALL TIMES, CONTINUALLY KEEPING PREMISES ORDERLY AND SECURED.
- CONSIDERATE NEIGHBOR: CONTRACTOR SHALL BE MINDFUL OF NEIGHBORS, TAKING CARE TO AVOID DISTURBANCE. THE CONTRACTOR SHALL MAKE GOOD, AT HIS OWN EXPENSE, ANY DAMAGES TO EXISTING AREAS NOT DESIGNATED FOR REPAIR/REPLACEMENT. THE CONTRACTOR SHALL COORDINATE ALL SPECIAL CONSIDERATIONS OF THE CONSTRUCTION (I.E. NOISY OPERATIONS, INTERFERENCES OF ANY MECHANICAL AND/OR ELECTRICAL SERVICES, MATERIAL DELIVERIES AND OR STORAGE) WITH THE OWNER AND ARCHITECT PRIOR TO THE START OF WORK.
- WARRANTY: ALL WORKMANSHIP, MATERIAL, AND EQUIPMENT SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF OWNER ACCEPTANCE. ANY FAILURE OR DEGRADATION WITHIN THIS PERIOD SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- LICENSES: ALL WORK TO BE PERFORMED BY CONTRACTORS LICENSED IN THE COMMONWEALTH OF VIRGINIA.
- CLEARANCES: MINIMUM CLEARANCE DIMENSIONS INDICATED SHALL BE MAINTAINED, PARTICULARLY AT STAIRS, CORRIDORS, AND RESTROOMS.
- ORDERING: VERIFY ALL DIMENSIONS BEFORE ORDERING AND INSTALLING MATERIALS.
- MINOR DETAILS: MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR THE PROPER CONSTRUCTION FOR ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.
- BLOCKING: PROVIDE BLOCKING AS REQUIRED FOR PROPER SUPPORT OF WALL AND CEILING MOUNTED EQUIPMENT.
- GALVANIC ACTION: DISSIMILAR METALS TO REMAIN SEPARATE TO AVOID GALVANIC ACTION.

# PROJECT INFORMATION

PROJECT DESCRIPTION:	HISTORIC RENOVATION
SITE ADDRESS:	526 N BOULEVARD, RICHMOND, VA 23220
LEGAL DESCRIPTION:	W000249009

# ZONING

ZONING DISTRICT:	R-48
FORMER USE:	PROFESSIONAL OFFICE / RESIDENTIAL
LOT SIZE:	6675 SF
FRONT YARD SETBACK:	25'
SIDE SETBACK:	15'
REAR SETBACK:	15'
REAR YARD SEPARATION:	50% MAX
USABLE OPEN SPACE REQD:	35'
COVERAGE:	50% MAX
HEIGHT:	35'
PARKING:	BOULEVARD
CITY OLD AND HISTORIC DISTRICT:	BOULEVARD
NATIONAL HISTORIC DISTRICT:	BOULEVARD
NEIGHBORHOODS IN BLOOM:	---

# CODE INFORMATION

APPLICABLE CODES:	VIRGINIA UNIFORM STATEWIDE BUILDING CODE (2012) VIRGINIA CONSTRUCTION CODE (2012) VIRGINIA REHABILITATION CODE (2012) ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (2009)
CONSTRUCTION TYPE:	III-B (EXISTING BUILDING)
USE:	MIXED USE: COMMERCIAL OFFICE & MULTIFAMILY
OCCUPANCY LOAD:	MIXED USE: COMMERCIAL OFFICE & MULTIFAMILY
EXIST FIRE SUPPRESSION SYSTEM:	NONE
NEW FIRE SUPPRESSION SYSTEM:	EXEMPT (SECTION 707 VIRGINIA REHABILITATION CODE)
ENERGY REQUIREMENTS:	EXEMPT (SECTION 707 VIRGINIA REHABILITATION CODE)

# ANNOTATIONS

	PARTITION TAG
	WINDOW TAG
	DOOR TAG
	SPECIFICATION REFERENCE, SEE PROJECT SPECS
	SECTION DRAWING REFERENCE
	DETAIL DRAWING REFERENCE
	ELEVATION REFERENCE

# SHEET INDEX

SHEET NO.	SHEET NAME
Architecture	
A-000	Cover Sheet
A-100	Existing Plans

# ARCHITECTURE AF

## 526 N BOULEVARD

No. 1706

Embassy Properties

Architecture:  
Forrest Frazier, AIA  
Architecture AF  
310 N 2nd St  
Richmond, VA 23219  
(804) 774-7100  
info@architecture.af

NOT FOR CONSTRUCTION

REVISIONS

KEY PLAN

NOTES

No. Issue: Initial Filing  
Date: 09.06.2017

Cover Sheet

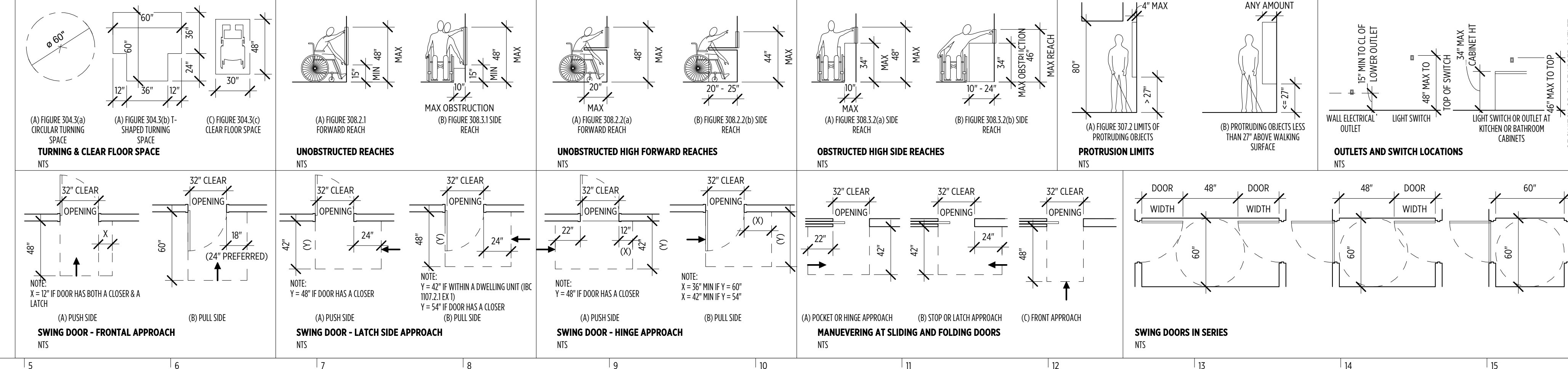
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# ACCESSIBLE REQUIREMENTS

NOTE: ALL REFERENCES TO FIGURE NUMBER REFER TO ANSI 117.1-2009; ALL DIMENSIONS SHOWN ARE MINIMUM PERMITTED UNLESS NOTED OTHERWISE.



526 N BOULEVARD

No: 1706

Embassy Properties

Architecture:  
Forrest Frazier, AIA  
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311 N 2nd St  
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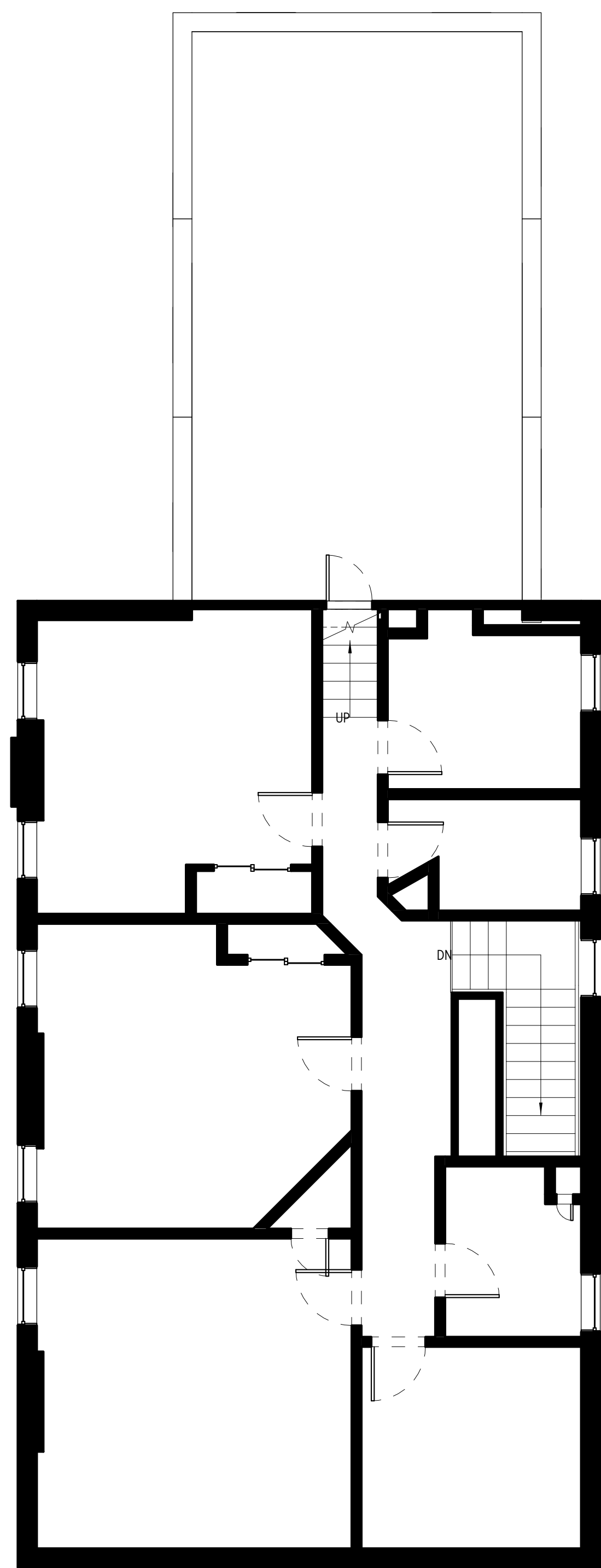
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No. Issue: Date:  
Initial Filing 09.06.2017

Existing Plans

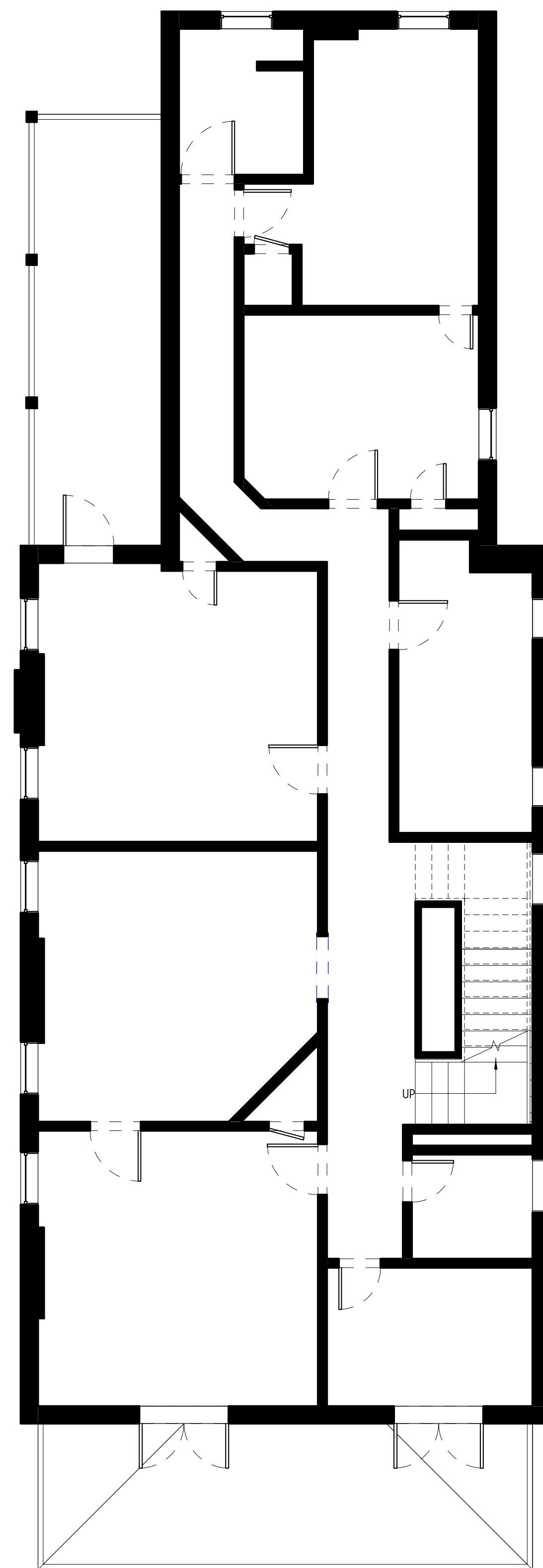
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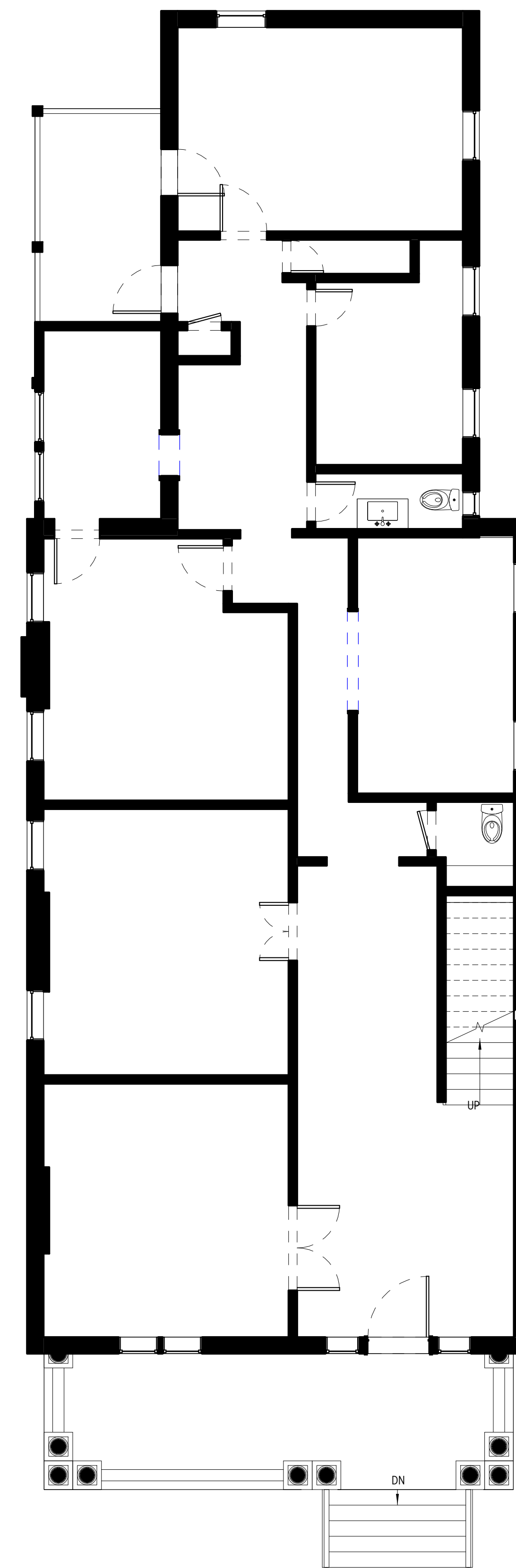
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3/16\"/>



A8 LEVEL 02

3/16\"/>



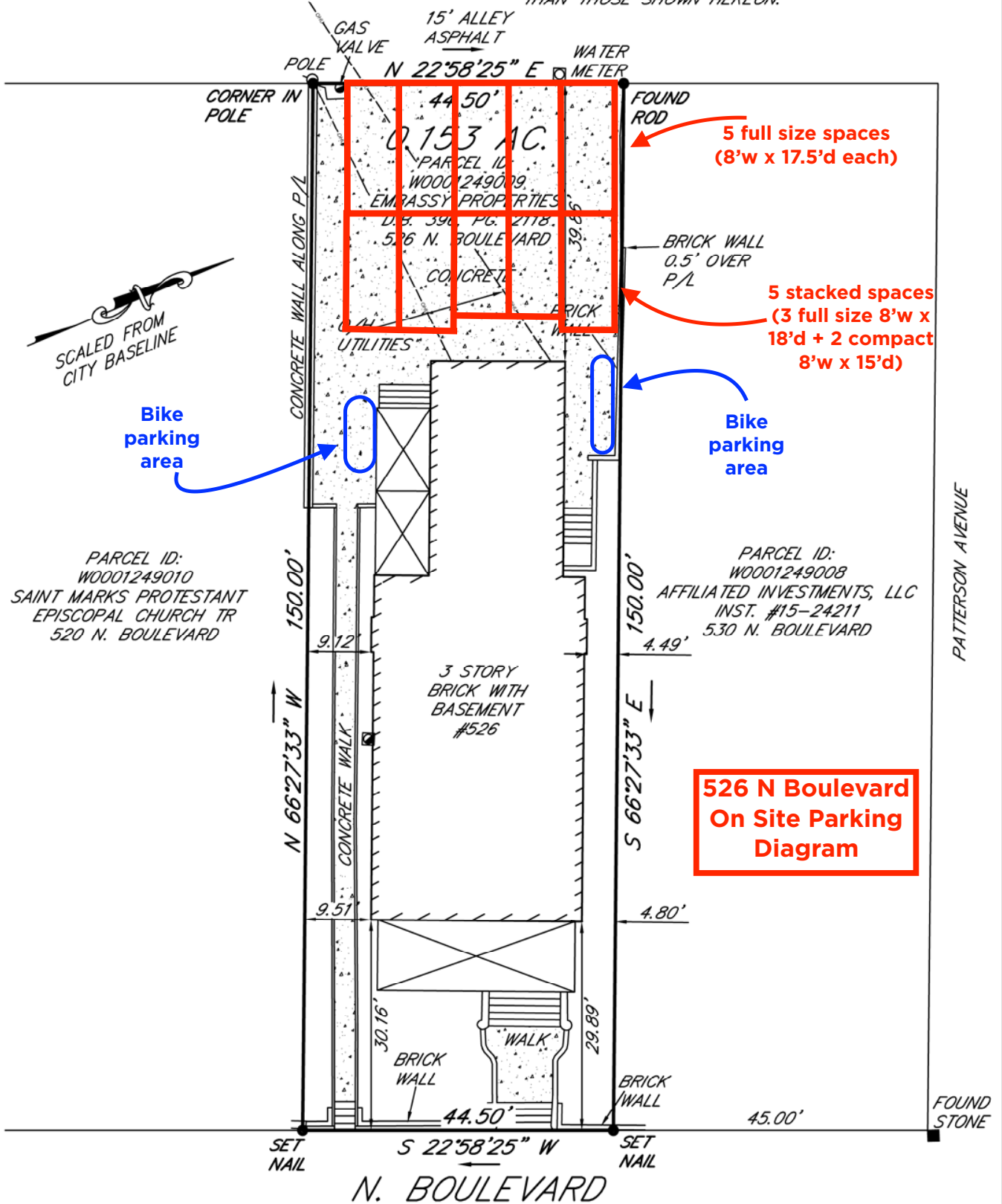
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3/16\"/>

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THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "X" AS SHOWN ON FLOOD INSURANCE RATE MAP (F.I.R.M.) PANEL NUMBER: 5101290036D EFFECTIVE DATE: 4-2-09.

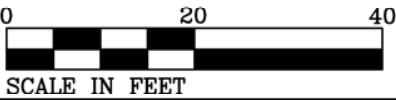
THIS IS TO CERTIFY THAT ON AUGUST 28, 2017 I MADE AN ACCURATE SURVEY OF THE PREMISES SHOWN HEREON AND THAT THERE ARE NO EASEMENTS OR ENCROACHMENTS VISIBLE ON THE GROUND OTHER THAN THOSE SHOWN HEREON.



**526 N Boulevard  
On Site Parking  
Diagram**

PLAT SHOWING SURVEY OF  
526 N. BOULEVARD  
CITY OF RICHMOND, VIRGINIA

THIS SURVEY IS SUBJECT TO ANY EASEMENTS OF RECORD AND OTHER PERTINENT FACTS WHICH A TITLE SEARCH MIGHT DISCLOSE.



**HALDER SURVEYS P.C.**  
10400 CHESTER ROAD  
CHESTER, VA. 23831  
PHONE: 804-748-8707

DATE: SEPTEMBER 1, 2017	SCALE: 1"=20'
DRAWN BY: RLL	
CHECKED BY: RLL	
DWG NAME: 526 N BOULEVARD	