



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 2716 Monument Avenue DATE: 05/02/2014

OWNER'S NAME: Adrian & Ilvy Cotterell TEL NO.: 804.353.6300

AND ADDRESS: 2716 Monument Avenue EMAIL: kplane@visibleproof.net

CITY, STATE AND ZIPCODE Richmond, Va. 23221

ARCHITECT/CONTRACTOR'S NAME: Visible Proof TEL. NO. 804.353.6300

AND ADDRESS: 3324 West Cary Street, Suite D EMAIL: kplane@visibleproof.net

CITY, STATE AND ZIPCODE Richmond, Va. 23221

Would you like to receive your staff report via email? Yes No

REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Proposed modification includes new garage, tying into existing north & west site wall, requiring partial removal and rebuilding of the site wall. The rebuilt portion of the wall would use salvaged masonry and would be executed to match the current masonry detailing. The existing rear swing gate would be relocated, and two new garage doors would open onto the alley. A new, pntd wood lattice would be attached to the top of the north masonry site wall, for additional privacy, in such a way that it could be removed without damaging the masonry wall. The new lattice would be similar to the existing lattice at the east site wall, but would be significantly lower. The new garage would match the masonry of the existing site wall and would have a standing seam copper roof and pntd steel doors that are visible from the alley side.

Signature of Owner or Authorized Agent:

Name of Owner or Authorized Agent (please print legibly): Kristi Pipes Lane

(Space below for staff use only)

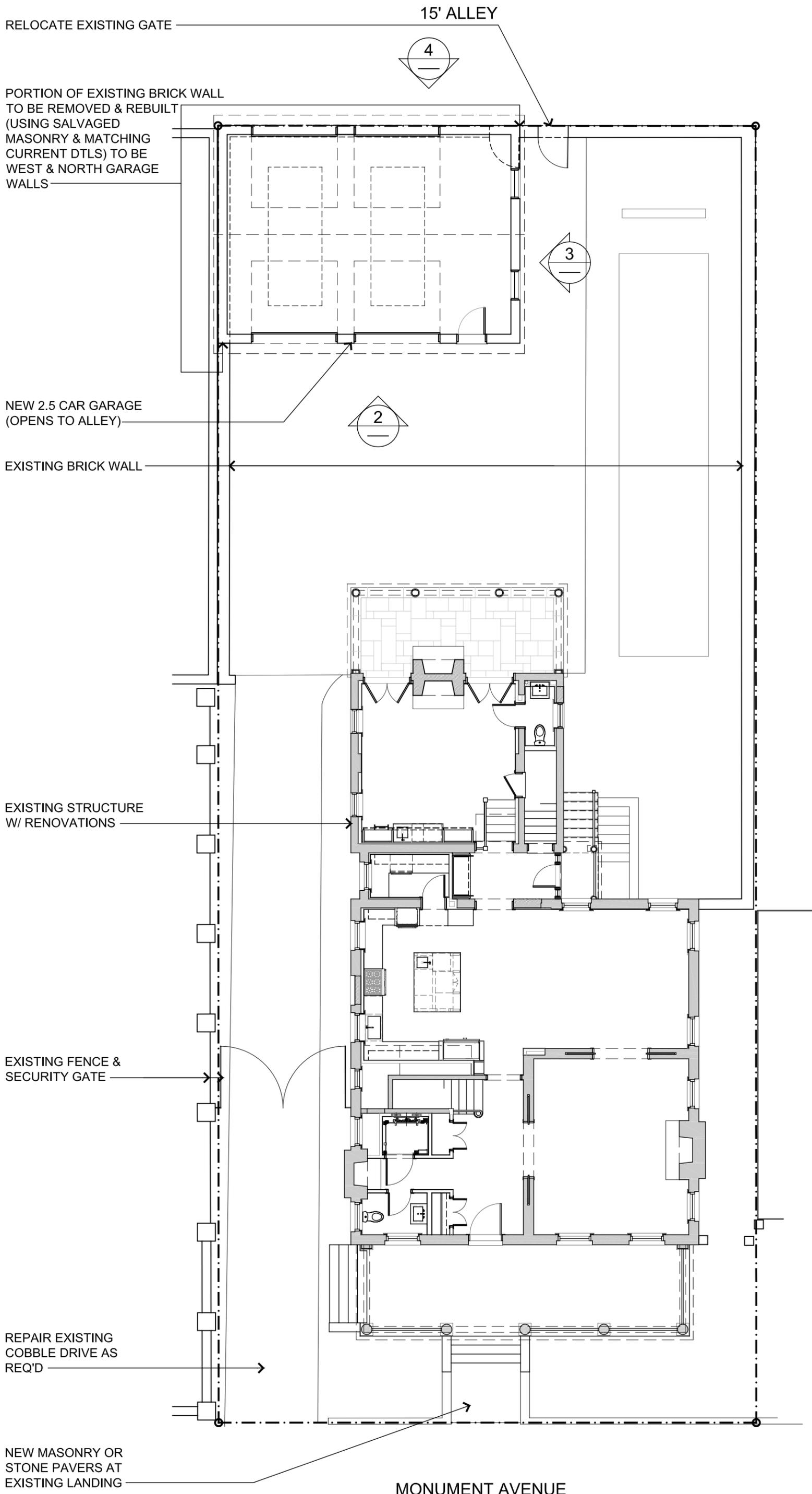
Received by Commission Secretary

APPLICATION NO. 14-42

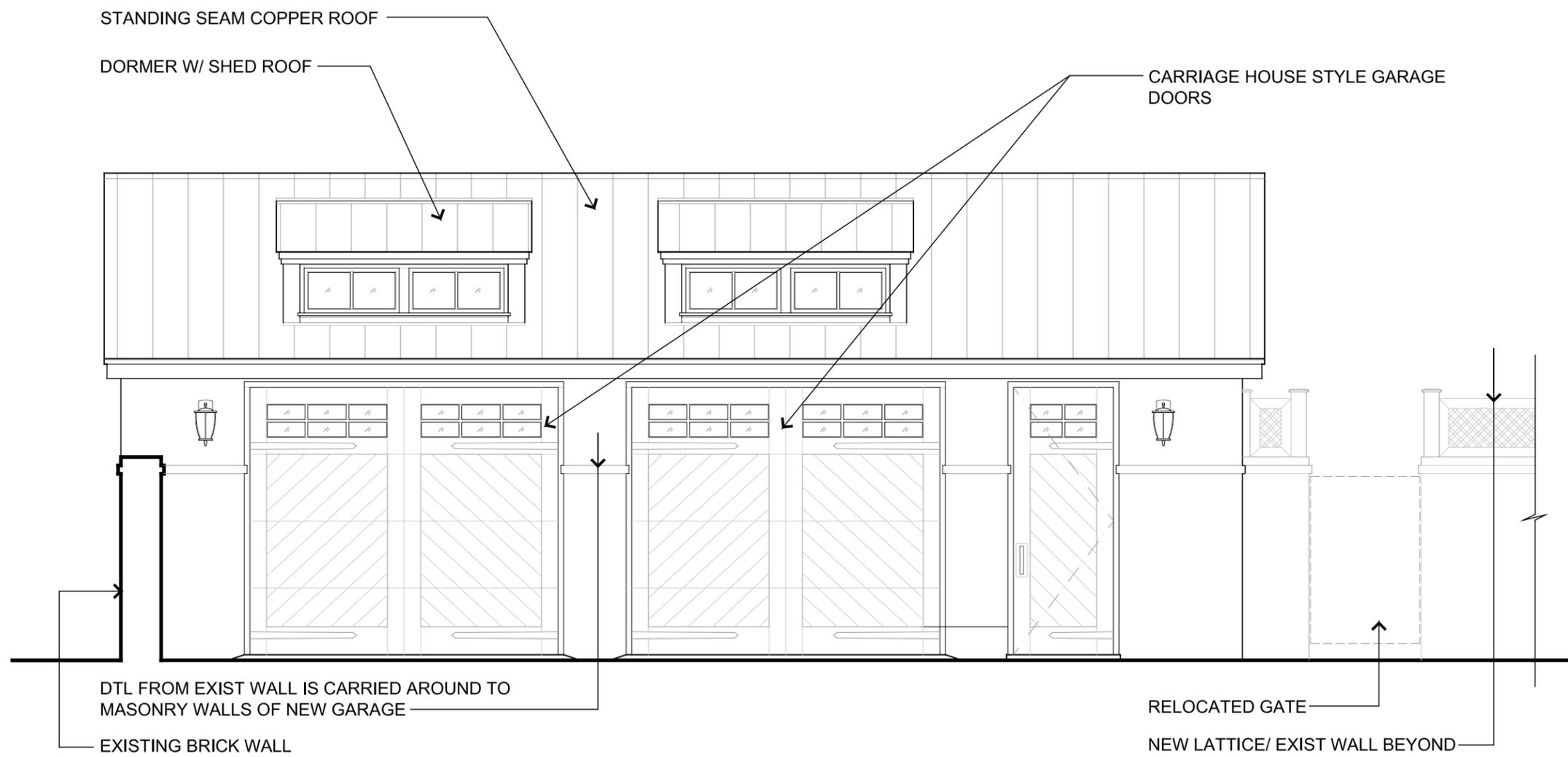
DATE 5/2/14

SCHEDULED FOR 5/27/14

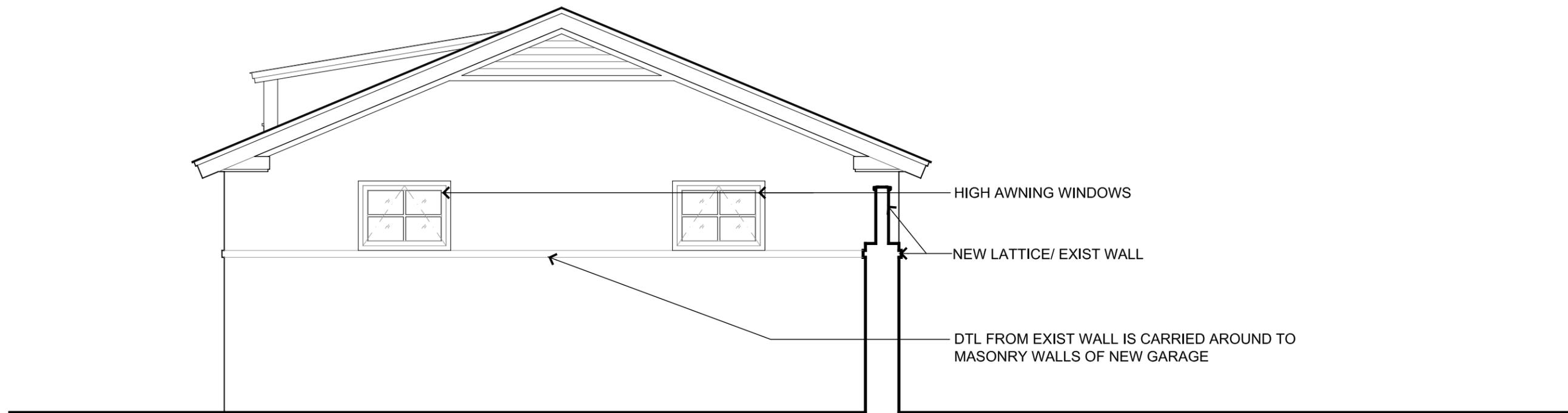
Note: CAR reviews all applications on a case-by-case basis.



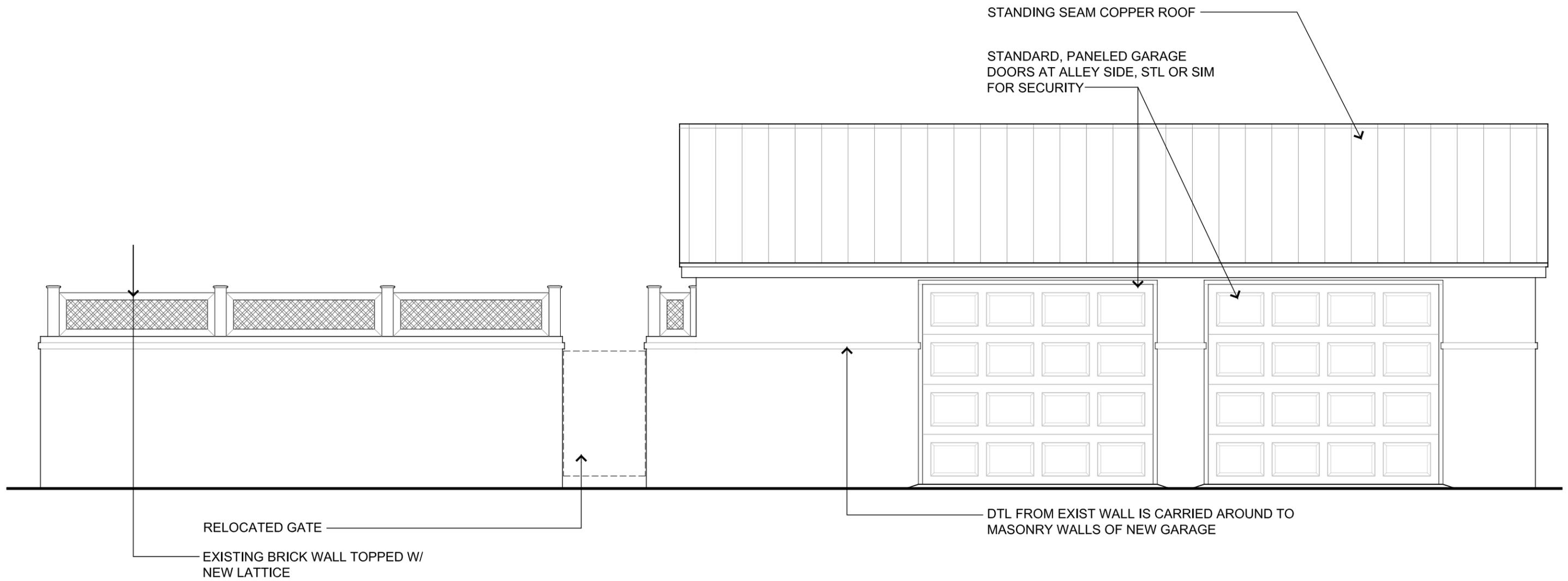
1 SITE PLAN
 3/32" = 1'-0"



 **GARAGE - SOUTH ELEVATION**



3 GARAGE - EAST ELEVATION
1/4" = 1'-0"



4 **GARAGE - NORTH ELEVATION**
 1/4" = 1'-0"