

GRADIENT
1406 Laburnum Park Blvd
Richmond, VA 23227
804.399.0500



REVISIONS	DESCRIPTION	PER CITY SUP COMMENTS
DATE	07.15.21	

Richmond, Virginia

6900 PATTERSON

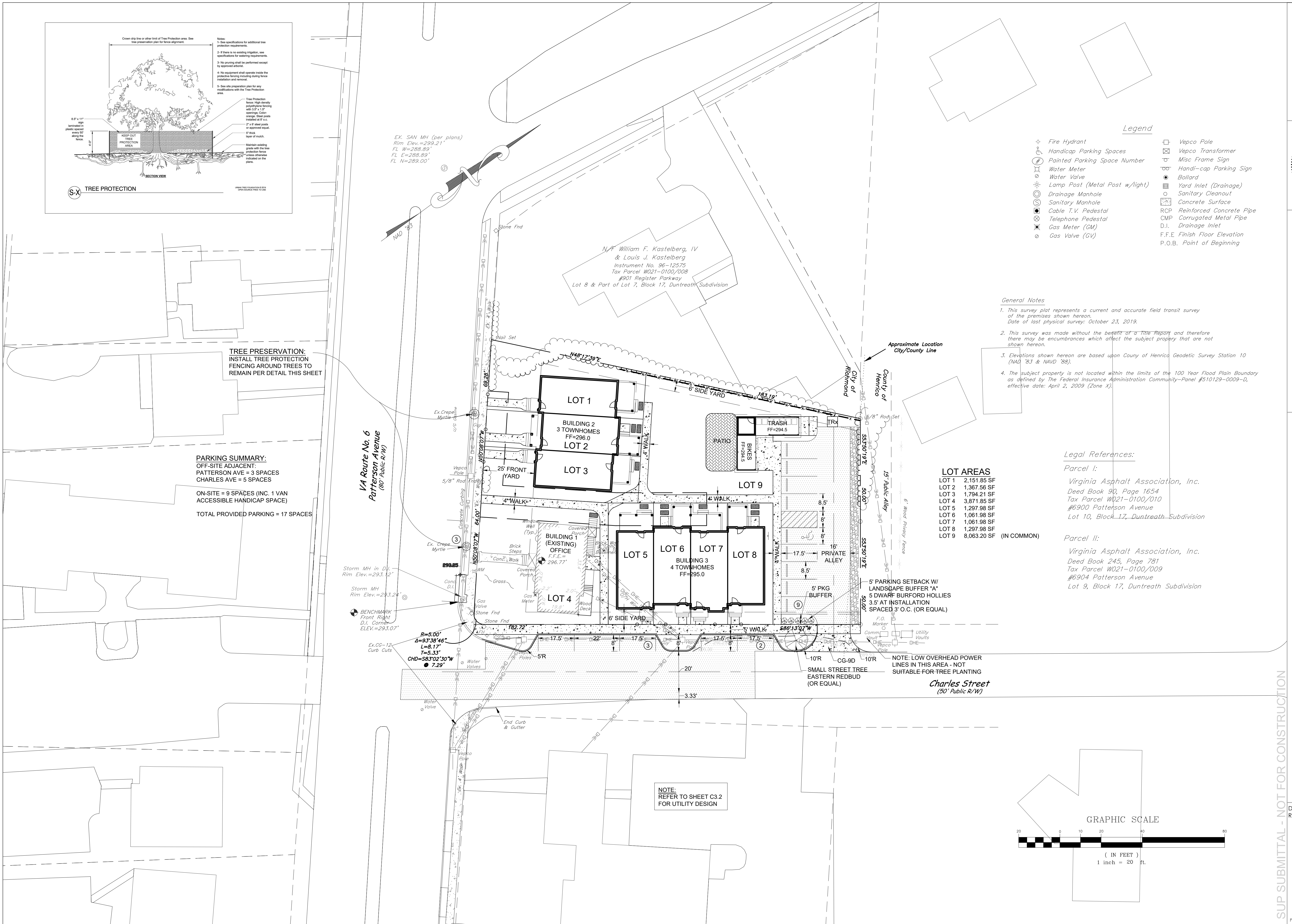
6900 Patterson Avenue

DATE: 01.21.2020
REV 02: 07.15.2021

SITE LAYOUT PLAN

C3.1

Project Number: 2001 © Gradient 2021



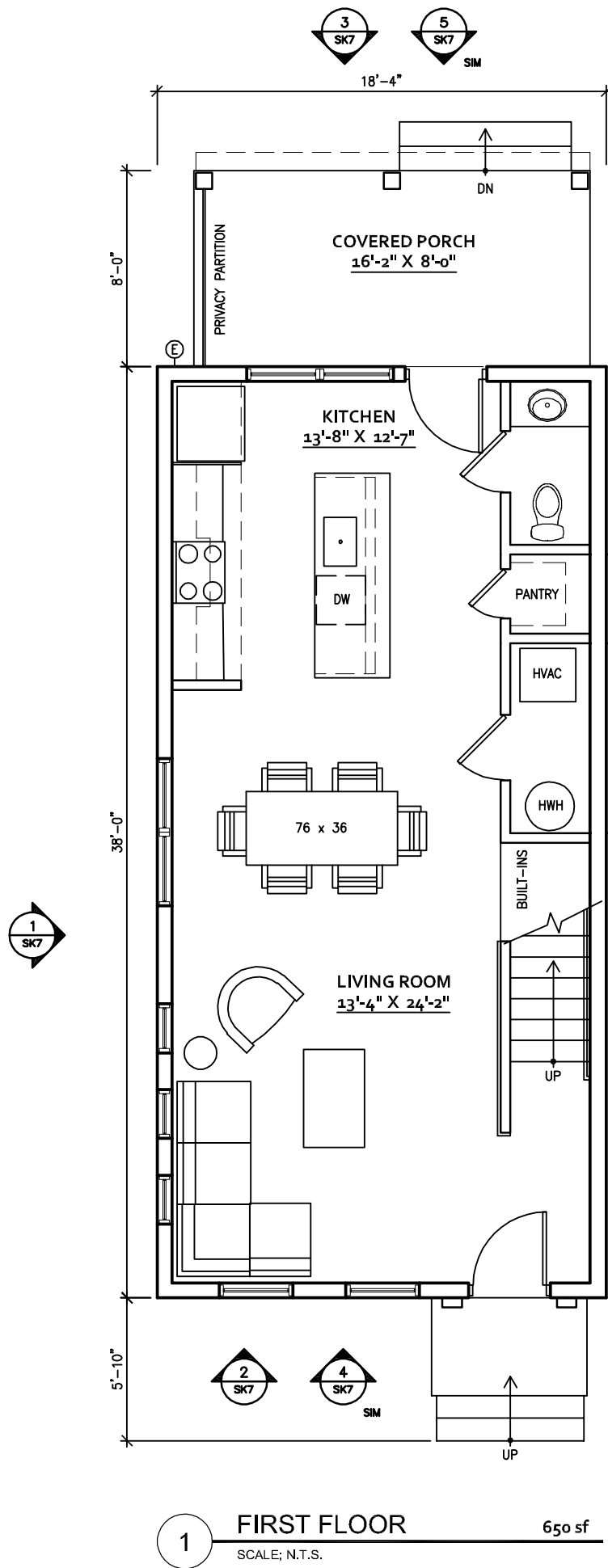
03-17-2021



2731 WEST GRACE STREET
RICHMOND, VIRGINIA
888-501-9526

Patterson Row House
Richmond, Virginia

SK1



03-17-2021



2731 WEST GRACE STREET
RICHMOND, VIRGINIA
888-501-9526

Patterson Row House
Richmond, Virginia

FOUR UNIT
ELEVATION

SK2



1 EAST ELEVATION AT CHARLES STREET
SCALE: 1/4"=1'-0"

03-17-2021



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Richmond, Virginia

FOUR UNIT
ELEVATION

SK3



THIRD FLOOR CEILING
30'-0"

THIRD FLOOR
22'-0"

CEMENTITIOUS SIDING,
OR SIMILAR

SECOND FLOOR
12'-0"

FIRST FLOOR
2'-0"

BRICK MASONRY,
OR SIMILAR

1

WEST ELEVATION AT CHARLES STREET

SCALE: 1/4"=1'-0"

03-17-2021



2731 WEST GRACE STREET
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Richmond, Virginia

THREE UNIT
ELEVATION

SK4



1 NORTH ELEVATION AT PATTERSON AVE
SCALE: 1/4"=1'-0"

03-17-2021



2731 WEST GRACE STREET
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Patterson Row House
Richmond, Virginia

THREE UNIT
ELEVATION

SK5

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1 SOUTH ELEVATION AT PATTERSON AVE
SCALE: 1/4"=1'-0"

03-17-2021



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Patterson Row House
Richmond, Virginia

TRPICAL CORNER
UNIT ELEVATION

SK6



03-17-2021



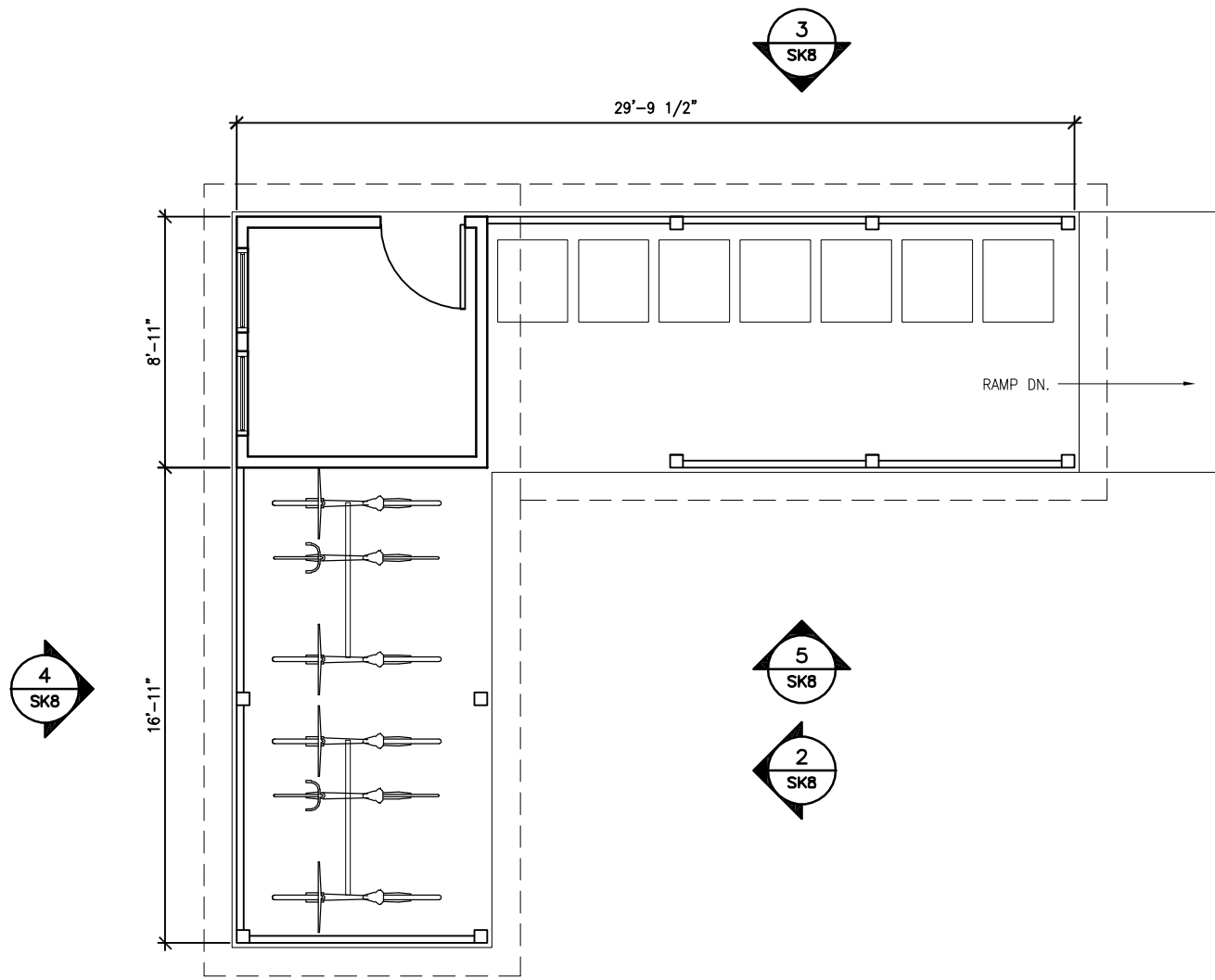
2731 WEST GRACE STREET
RICHMOND, VIRGINIA
888-501-9526

Patterson Row House
Richmond, Virginia

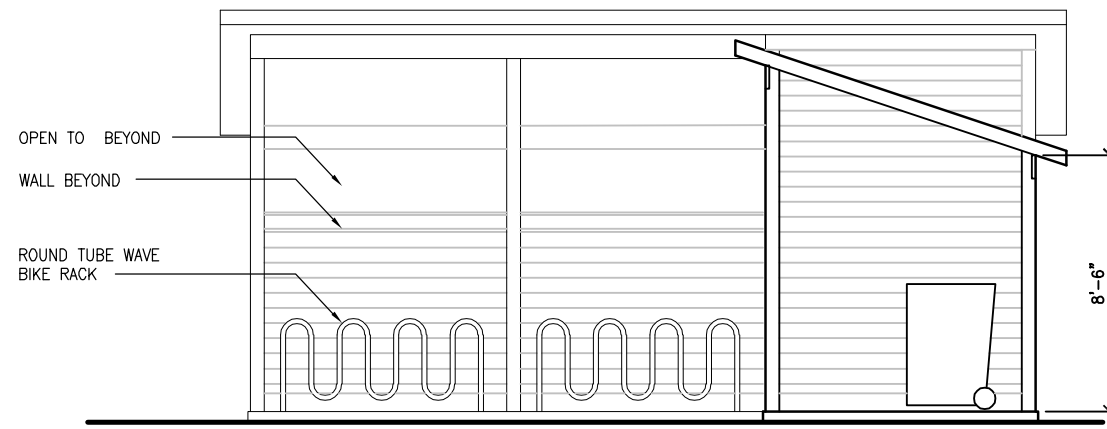
BIKE AND TRASH
PAVILION

SK8

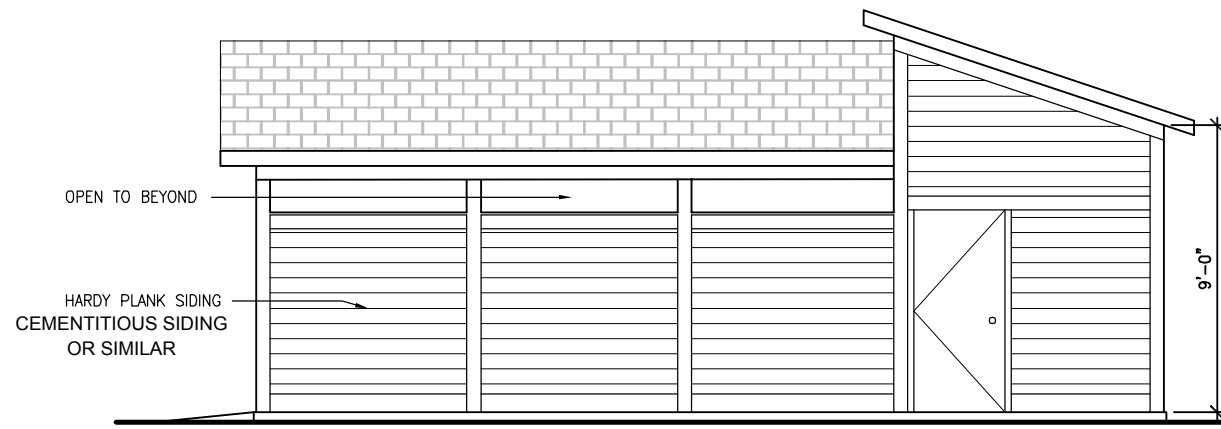
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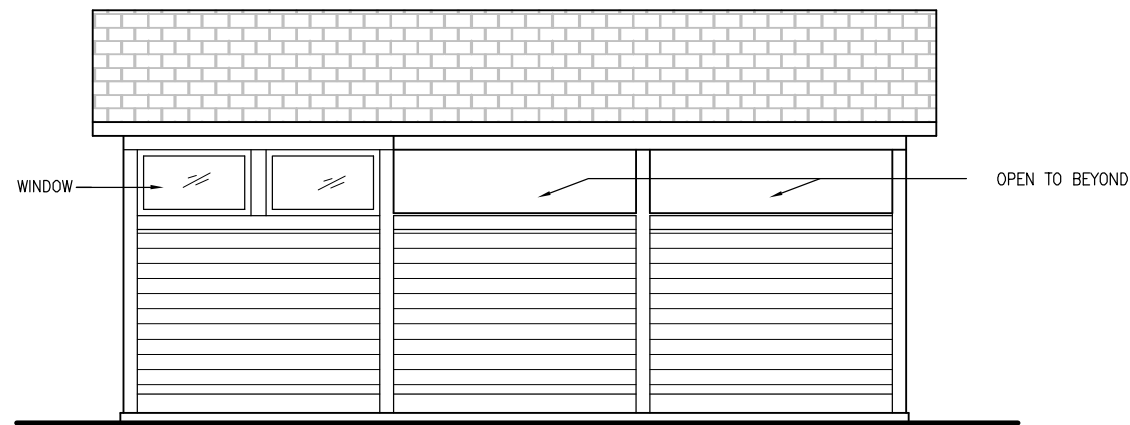
1 BIKE AND TRASH PAVILION
SCALE: N.T.S.



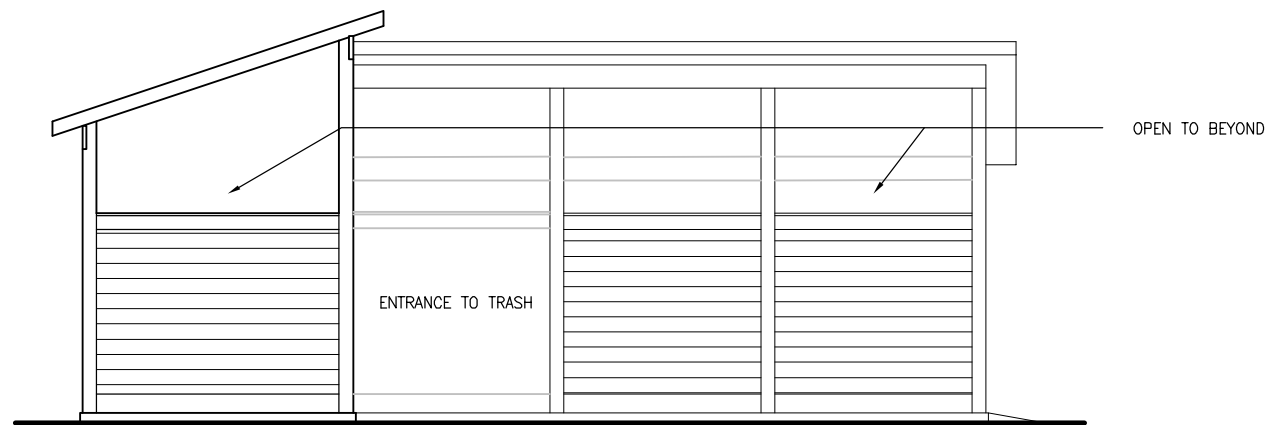
2 ELEVATION
SCALE: N.T.S.



3 ELEVATION
SCALE: N.T.S.



4 ELEVATION
SCALE: N.T.S.



5 ELEVATION
SCALE: N.T.S.

VA Route No. 6
Patterson Avenue
(80' Public R/W)

1 NYS

Existing fence, typ.
Existing tree save, typ.

5 MAB
8 ILS
6 IGC

1 ILS
3 BGV
5 PAC
7 RME

3 BGV
5 PAC
4 PAC

3 BGV
5 PAC
7 RME
1 ILS

1 NYS

7 BGV
7 NEP
5 RME

1 MAN
1 ILS
4 BGV
9 NEP

7 NEP
3 BGV

6 BGV
9 NEP
7 PAC
1 ILS
1 HPJ

1 ILS
3 BGV
5 PAC
7 RME

3 BGV
7 RME
11 NEP
3 PAC

1 ILS
3 BGV
5 PAC
7 RME

4 BGV
5 PAC

6900 PATTERSON AVE. PLANT SCHEDULE			
Overall Landscape Plan			
LARGE DECIDUOUS TREES			
QTY	KEY	BOTANICAL NAME	COMMON NAME
2	NYS	Nyssa sylvatica 'Wildfire'	Wildfire Tupelo
ORNAMENTAL TREES			
QTY	KEY	BOTANICAL NAME	COMMON NAME
5	MAB	Magnolia 'Butterflies'	Butterflies Magnolia
1	MAN	Magnolia 'Ann'	Ann Magnolia
SHRUBS			
QTY	KEY	BOTANICAL NAME	COMMON NAME
45	BGV	Buxus 'Green Velvet'	Green Velvet Boxwood
1	HPJ	Hydrangea paniculata 'Jane'	Little Lime Hardy Hydrangea
6	IGC	Ilex glabra 'Chamzini'	Nordic Inkberry Holly
14	ILS	Ilex crenata 'Steeds'	Steeds Upright Japanese Holly
40	RME	Rosa 'Meibenhino'	Petite Knockout Rose
PERENNIALS, ORNAMENTAL GRASSES, FERNS			
QTY	KEY	BOTANICAL NAME	COMMON NAME
52	NEP	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint
44	PAC	Pennisetum alopecuroides 'Cassian'	Dwarf Fountain Grass

15' Public Alley

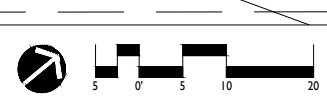
NOTE: LOW OVERHEAD POWER LINES IN THIS AREA - NOT SUITABLE FOR TREE PLANTING

5' PARKING SETBACK W/
LANDSCAPE BUFFER "A"
5 DWARF BURFORD HOLLIES
3.5' AT INSTALLATION SPACED
3' O.C. (OR EQUAL)
SMALL STREET TREE
EASTERN REDBUD
(OR EQUAL)

Charles Street
(50' Public R/W)

CITE DESIGN

Project:	6900 Patterson Ave.
Location:	City of Richmond, Virginia
Overall Landscape Plan	
DATE:	04.27.21
DESIGNED BY:	REVISION DESCRIPTION
CHECKED BY:	
DRAWINGS WERE PREPARED AT THE CITE DESIGN OFFICE 310 N. MAIN STREET, RICHMOND, VA 23220 P.804.340.2848	
URBAN DESIGN TOWN PLANNING LANDSCAPE ARCHITECTURE	



Scale
1" = 10'
Sheet #
L100

Legal Description

Parcel I – 6900 Patterson Avenue

ALL that certain lot, piece or parcel of land, with all improvements thereon, known as 6900 Patterson Avenue, lying and being partly in the City of Richmond, Virginia and partly in Henrico County, Virginia, being more particularly described on a certain plat of survey dated June 11, 1986 by Bodie Taylor and Puryear, Inc., Engineers and Surveyors, entitled "Survey and Map Showing improvements thereon of part of Lot 10, Block 17, Duntreath in the City of Richmond, Virginia", a copy of which is attached to and made a part of a Deed recorded in Deed Book 90, page 1654 in the City of Richmond and Deed Book 2022, page 654 in the County of Henrico, reference to which is hereby made for a more particular description of the land.

BEING the same real estate conveyed to Virginia Asphalt Association, Inc. by deed from Hazel R. Parrish, widow, dated August 12, 1986, recorded August 20, 1986 in the Clerk's Office, Circuit Court, City of Richmond, Virginia in Deed Book 90, page 1654 and also recorded on September 2, 1986 in the Clerk's Office, Circuit Court, Henrico County, Virginia in Deed Book 2022, page 652.

Parcel II – 6904 Patterson Avenue

ALL that certain lot or parcel of land lying and being in the City of Richmond, Virginia, situated on the northern line of Patterson Avenue between Charles Street and Register Parkway, designated as Lot No. 9, in Block 17, in Subdivision "B" on the Plan of Duntreath, plat of which is recorded in Plat Book 11, page 40, Clerk's Office, Circuit Court of Henrico County, Virginia, less and except that portion of land approximately 16 feet wide along and fronting on Patterson Avenue acquired by the City of Richmond, Virginia, by condemnation, described as follows:

BEGINNING on the northern line of Patterson Avenue at a point marked by a rod, 69.53 feet west of the western line of Charles Street; thence running westwardly along and fronting on the northern line of Patterson Avenue 69.28 feet to a point marked by a rod; thence in a northerly direction 183.19 feet to a point marked by a rod; thence running eastwardly along and fronting on the southern line of an alley 50 feet to a point marked by a rod; thence in a southerly direction 184.59 feet to the point and place of beginning; all as more particularly shown on a Plat of Survey of the Remaining Portion of Lot 9, Block 17, Duntreath, made by A. G. Harocopos and Associates, dated July 26, 1990, a copy of which is attached to and made a part of deed recorded in the Clerk's Office, Circuit Court, City of Richmond, Virginia in Deed Book 245, page 781.

BEING the same real estate conveyed to Virginia Asphalt Association, Inc. by deed from Raffaele Bucci and Lidia B. Bucci, his wife and Bambina Bucci, widow, dated August 7, 1990, recorded August 24, 1990 in the Clerk's Office, Circuit Court, City of Richmond, Virginia in Deed Book 245, page 781.

ALSO BEING FURTHER DESCRIBED AS

PARCEL I:

BEGINNING at the point of intersection of the northern boundary of the right of way line of Patterson Avenue and the western boundary of the right of way line of Charles Street, thence proceeding along the northern boundary of the right of way line of Patterson Avenue in a northwesterly direction N 50°08'07" W 64.00 feet to a point;

Thence leaving the northern boundary of the right of way line of Patterson Avenue and proceeding in a northeasterly direction N 42°11'02" E 184.59 feet to a point on the southern boundary of the right of way line of a 15' Public Alley; Thence proceeding along the southern boundary of the right of way line of the 15' Public Alley in a southeasterly direction S 53°50'19" E 50.00 feet to a point on the western boundary of the right of way line of Charles Street;

Thence proceeding along the western boundary of the right of way line of Charles Street in a southwesterly direction the following two (2) courses and distances:

- 1) S 36°13'07" W 182.72 feet to a point;
2) Thence along a curve to the right having a radius of 5.00 feet, a delta angle of 93°38'46" and an arc length of 8.17 feet to a point, said point being the Point and Place of Beginning of Parcel I, containing 0.255 Acres, more or less.

Parcel II:

BEGINNING at the point of intersection of the northern boundary of the right of way line of Patterson Avenue and the western boundary of the right of way line of Charles Street, thence proceeding along the northern boundary of the right of way line of Patterson Avenue in a northwesterly direction N 50°08'07" W 64.00 feet to a point; said point being the Actual Point and Place of Beginning of Parcel II;

Thence continuing along the northern boundary of the right of way line of Patterson Avenue in a northwesterly direction N 50°08'07" W 69.28 feet to a point; Thence leaving the northern boundary of the right of way line of Patterson Avenue and proceeding in a northeasterly direction N 48°17'39" E 183.19 feet to a point on the southern boundary of the right of way line of a 15' Public Alley; Thence proceeding along the southern boundary of the right of way line of the 15' Public Alley in a southeasterly direction S 53°50'19" E 50.00 feet to a point; Thence leaving the southern boundary of the right of way line of the 15' Public Alley and proceeding in a southwesterly direction S 42°11'02" W 184.59 feet to a point, said point being the Point and Place of Beginning of Parcel II, containing 0.249 Acres, more or less.

BEING the same properties described in Title Commitment issued by Fidelity National Title Insurance Company dated October 15, 2019 (Commitment No. (J)-CJR.Patterson).

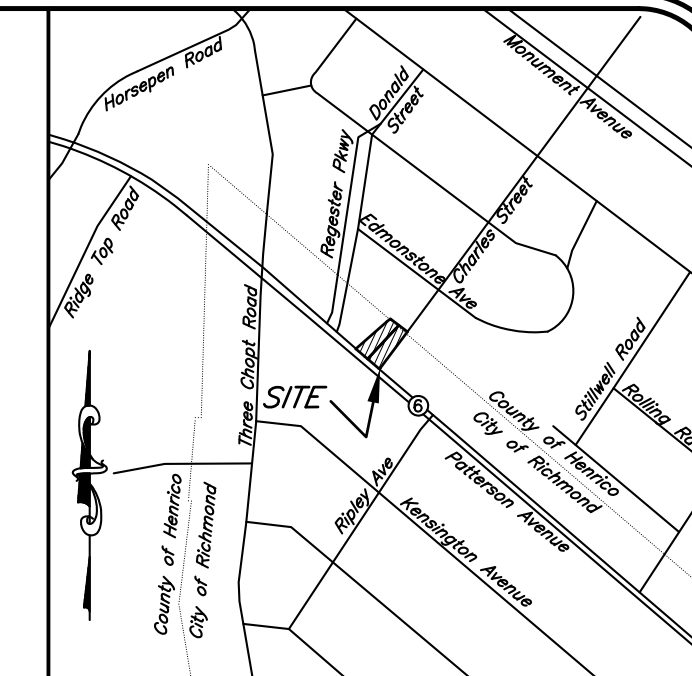
Flood Certification

I have examined the Flood Insurance Rate Map for the City of Richmond, Virginia, Community Panel No. 510129-0009-D, effective April 2, 2009, and hereby certify to the best of my professional knowledge and belief that the property is not located in a Special Flood Hazard Area, but is located in Zone (X) as determined by National Flood Insurance Program, Federal Emergency Management Agency, Department of Housing and Urban Development.

Fidelity National Title Insurance Company
Schedule B – PART II Commitment No. (J)-CJR.Patterson

(Referenced by corresponding number in Commitment)

- 9 Terms, provisions, restrictions, conditions, easements, liens, assessments, developer rights, options, rights of first refusal and reservations contained in instrument recorded in Deed Book 221B, page 7, but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry of source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. Does not affect. Instrument refers to properties along Franklin Street.
10 Easement granted to Virginia Electric and Power Company dated December 15, 1916, Henrico County, Virginia in Deed Book 209-A, page 330 for light and power line along Patterson Avenue, Charles Street and along rear property lot line. Does not affect due to widening of Patterson Avenue and other lines are within public right of ways of adjoining street and alley.
11 Agreement with Board of Supervisors of Henrico County, Virginia dated May 10, 1954, recorded in Deed Book 686, page 374 for establishment of a water system and operation thereof. Affects the subject property is not a plottable item.
12 Plat of survey made by Charles P. Taylor, CLS. dated June 11, 1986 recorded in Deed Book 2022, page 6454 (Henrico County) and in Deed Book 90, page 1657 (City of Richmond) Parcel I shows: a) fences do not coincide with lot line and extend into Charles Street b) street lights on eastern portion of lot with power lines running therefrom c) alley abuts rear lot line Remaining matters plotted and shown hereon.
13 Plat of survey made by A. G. Harocopos & Associates, dated July 26, 1970 recorded in Deed Book 245, page 781 shows: a) alley abuts rear lot line Alley shown hereon.



Scale 1" = 1000'

Notes

- 1. This survey plat represents a current and accurate field transit survey of the premises shown hereon. Date of last physical survey: October 23, 2019.
2. All streets shown hereon are public.
3. There were no delineated wetlands observed on site.
4. The legal description (does) form a mathematically closed figure with no gaps, gores or overlaps.
5. There was no evidence of cemeteries at the time of the survey.
6. There was no observed evidence of current earth moving, building construction or building additions.
7. Surveyor is not aware of any proposed changes in the street right of way and observed no evidence of recent street or sidewalk construction or repairs.
8. There was no observed evidence of the site use as a solid waste dump, sump or sanitary landfill.
9. Parcel I has direct vehicular access from Charles Street. Parcel II does not have direct vehicular access.
10. The subject properties are the same property as described in Title Commitment issued by Fidelity National Title Insurance Company with an effective date of October 15, 2019 (Commitment No. (J)-CJR.Patterson) and are the same properties as described therein.
11. Observed utilities are plotted and shown hereon – Subsurface utility delineation was not performed.

Surveyor's Certificate

This survey is certified to and prepared for the sole exclusive benefit of the entities and/or individuals listed below as of NOVEMBER 9, 2019 and shall not be relied upon by any other entity or individual whomsoever.

To: CJR, LLC, a Virginia limited liability company
To: FIDELITY NATIONAL TITLE INSURANCE COMPANY

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Table A Items 1-4, 6(a), 7(a), 7(b), 7(c) 8, 9, 11, 13, 14, 16-20. The fieldwork was completed on October 23, 2019.

Rodney B. Shadrach, L.S. #2274
Shadrach & Associates, LLC

I hereby certify that this ALTA/NSPS Land Title survey, to the best of my professional knowledge and belief, is correct and complies with the minimum procedures and standards established by the Virginia State Board of Architects, Professional Engineers, Land Surveyors and Certified Landscape Architects.



Zoning

Current Zoning: R-4 (Single Family Residential)

Setbacks:

- Minimum Front Yard: 25 Feet
Minimum Side Yard: 6 Feet
Minimum Rear Yard: 6 Feet
Maximum Height: 35.0 Feet

Parking

No delineated parking

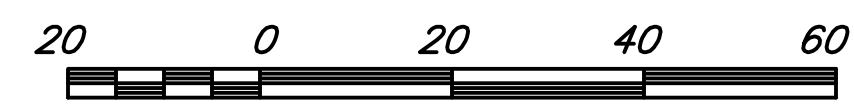
*ZONING TO BE VERIFIED BY ZONING CONFIRMATION LETTER

For further clarification of Zoning Requirements – Contact:

City of Richmond Zoning Division
900 E. Broad St., Room 110
Richmond, VA 23219
(804) 646-6340

ALTA/NSPS LAND TITLE SURVEY
SHOWING EXISTING IMPROVEMENTS TO TAX
PARCELS W021-010/0010 & W021-010/0009
BEING #6900 & #6904 PATTERSON AVENUE
CITY OF RICHMOND VIRGINIA

DATE: NOVEMBER 9, 2019

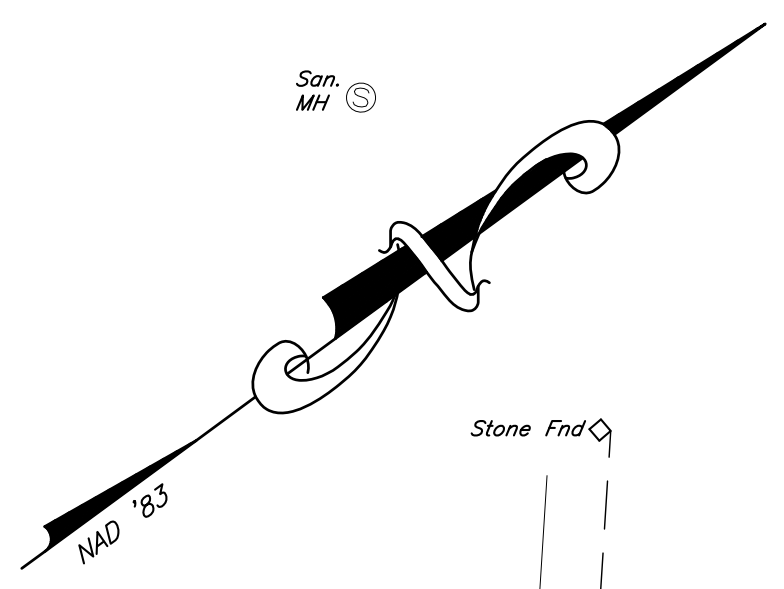


Scale: 1" = 20'



Shadrach & Associates LLC

LAND SURVEYING
430 Southlake Blvd., Suite 10-B • Richmond, Virginia 23236
Phone: (804)379-9300 • Email: rod@shadrachsveys.com

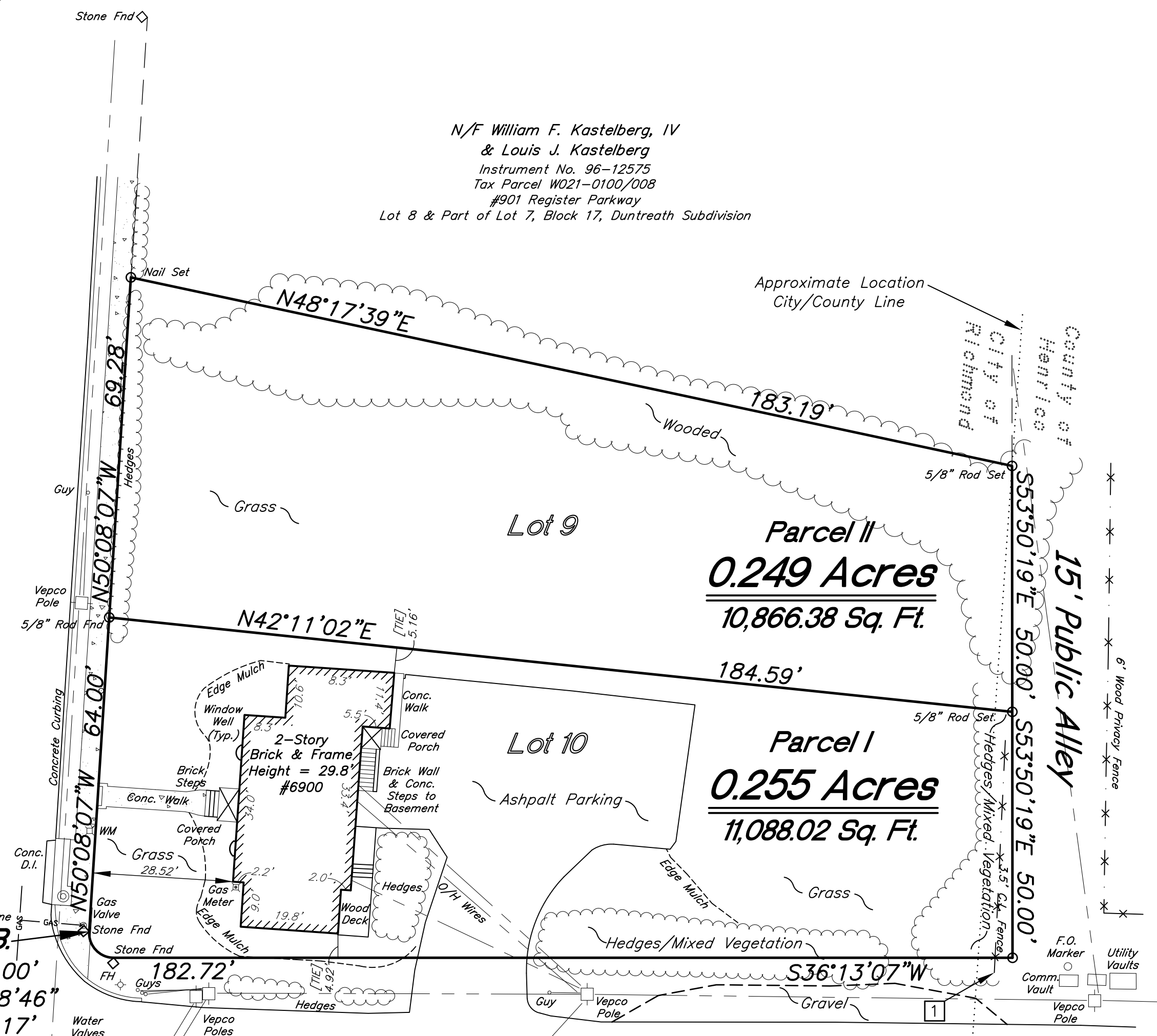


Legend

- | | |
|----------------------------------|------------------------------|
| ⊕ Fire Hydrant | ⊠ Vepco Pole |
| ♿ Handicap Parking Spaces | ⊞ Vepco Transformer |
| Ⓝ Painted Parking Space Number | ⊔ Misc Frame Sign |
| ⊙ Water Meter | ♿ Handi-cap Parking Sign |
| ⊙ Water Valve | ● Bollard |
| ⊙ Lamp Post (Metal Post w/light) | ⊠ Yard Inlet (Drainage) |
| ⊙ Drainage Manhole | ○ Sanitary Cleanout |
| ⊙ Sanitary Manhole | ⊠ Concrete Surface |
| ⊙ Cable T.V. Pedestal | RCP Reinforced Concrete Pipe |
| ⊙ Telephone Pedestal | CMP Corrugated Metal Pipe |
| ⊙ Gas Meter (GM) | D.I. Drainage Inlet |
| ⊙ Gas Valve (GV) | F.F.E Finish Floor Elevation |
| | P.O.B. Point of Beginning |

N/F William F. Kastelberg, IV
 & Louis J. Kastelberg
 Instrument No. 96-12575
 Tax Parcel W021-0100/008
 #901 Register Parkway
 Lot 8 & Part of Lot 7, Block 17, Duntreath Subdivision

VA Route No. 6
 Patterson Avenue
 (80' Public R/W)



P.O.B.
 R=5.00'
 Δ=93°38'46"
 L=8.17'
 T=5.33'
 CHD=S83°02'30"W
 @ 7.29'

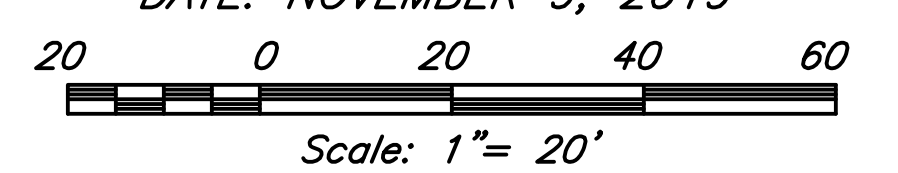
Charles Street
 (50' Public R/W)

Statement of Encroachments
 1 Corner 3.5' Chain Link Fence 3.02' Outside Subject R

Legal References:
Parcel I:
 Virginia Asphalt Association, Inc.
 Deed Book 90, Page 1654
 Tax Parcel W021-0100/010
 #6900 Patterson Avenue
 Lot 10, Block 17, Duntreath Subdivision

Parcel II:
 Virginia Asphalt Association, Inc.
 Deed Book 245, Page 781
 Tax Parcel W021-0100/009
 #6904 Patterson Avenue
 Lot 9, Block 17, Duntreath Subdivision

ALTA/NSPS LAND TITLE SURVEY
 SHOWING EXISTING IMPROVEMENTS TO TAX
 PARCELS W021-0100/010 & W021-0100/009
 BEING #6900 & #6904 PATTERSON AVENUE
 CITY OF RICHMOND VIRGINIA
 DATE: NOVEMBER 9, 2019



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