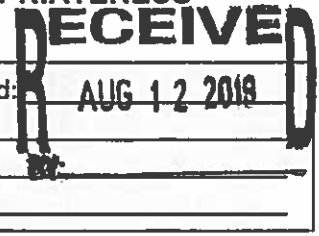




COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS



PROPERTY (location of work)

Address 3101-3105 E Marshall St, Richmond, VA, 23223

Historic district _____

Date/time rec'd: AUG 12 2018
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name Bryon Jefferson

Phone (804) 938 8469

Company 301 Digital Design Group

Email bryon@3di-studio.com

Mailing Address 1901 E. Franklin St.
Richmond VA 23003

Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): _____

OWNER INFORMATION (if different from above)

Name Datapro Investments LLC

Company _____

Mailing Address 4445 CORPORATION LN, STE264

Phone 5302202348

VIRGINIA BEACH, VA 23462

Email jingjingreallor@gmail.com

PROJECT INFORMATION

Review Type: Conceptual Review Final Review

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

ACKNOWLEDGEMENT OF RESPONSIBILITY

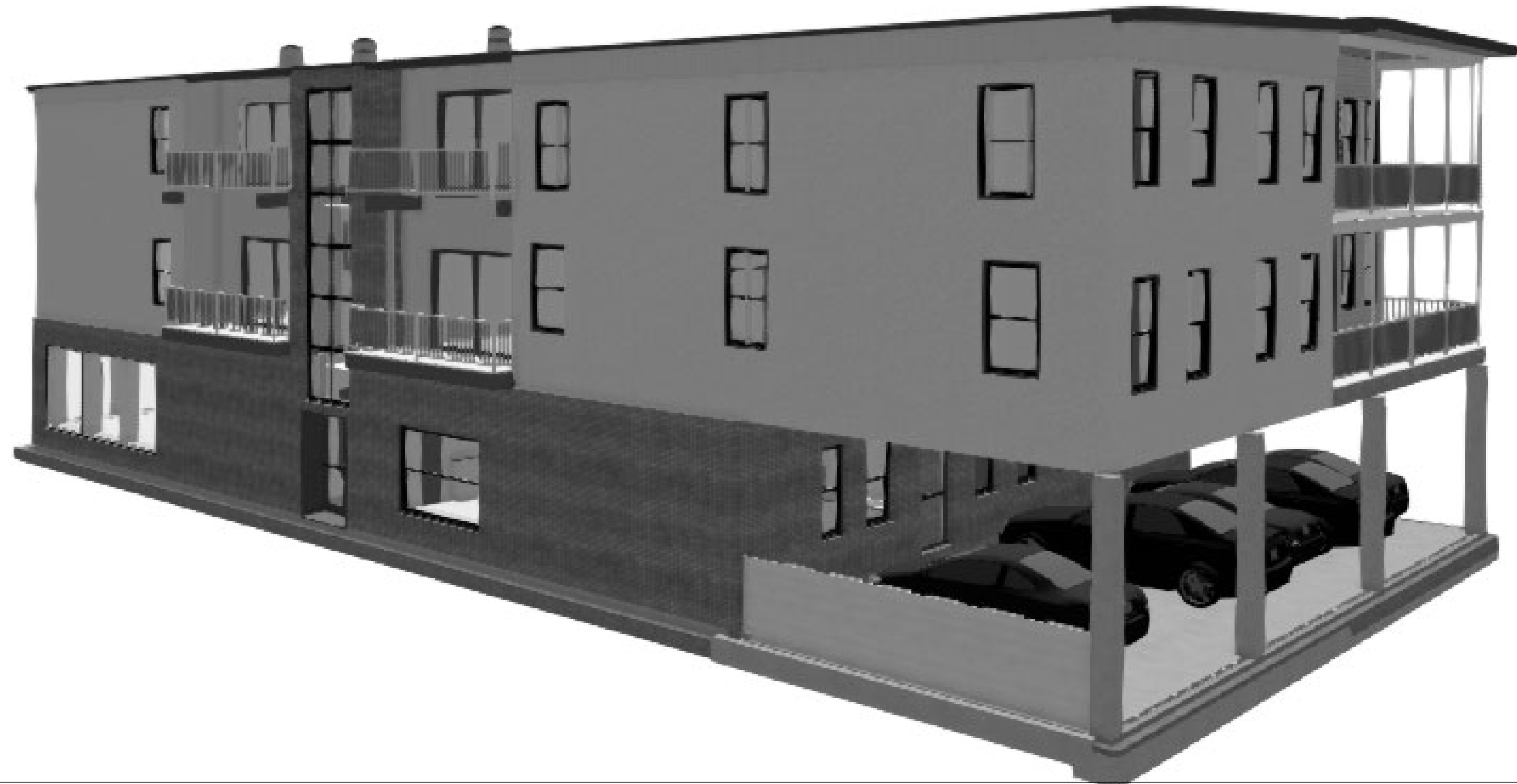
Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner _____

Date 7/26/2019



REVISION TABLE	
NUMBER	DATE

REVISION BY	DESCRIPTION

OWNER: DATA PRO
 PROJECT: 3101 - 3107 EAST MARSHALL ST. CONCEPT PLANS
 DRAWINGS PROVIDED BY: SEAN JEFFERSON

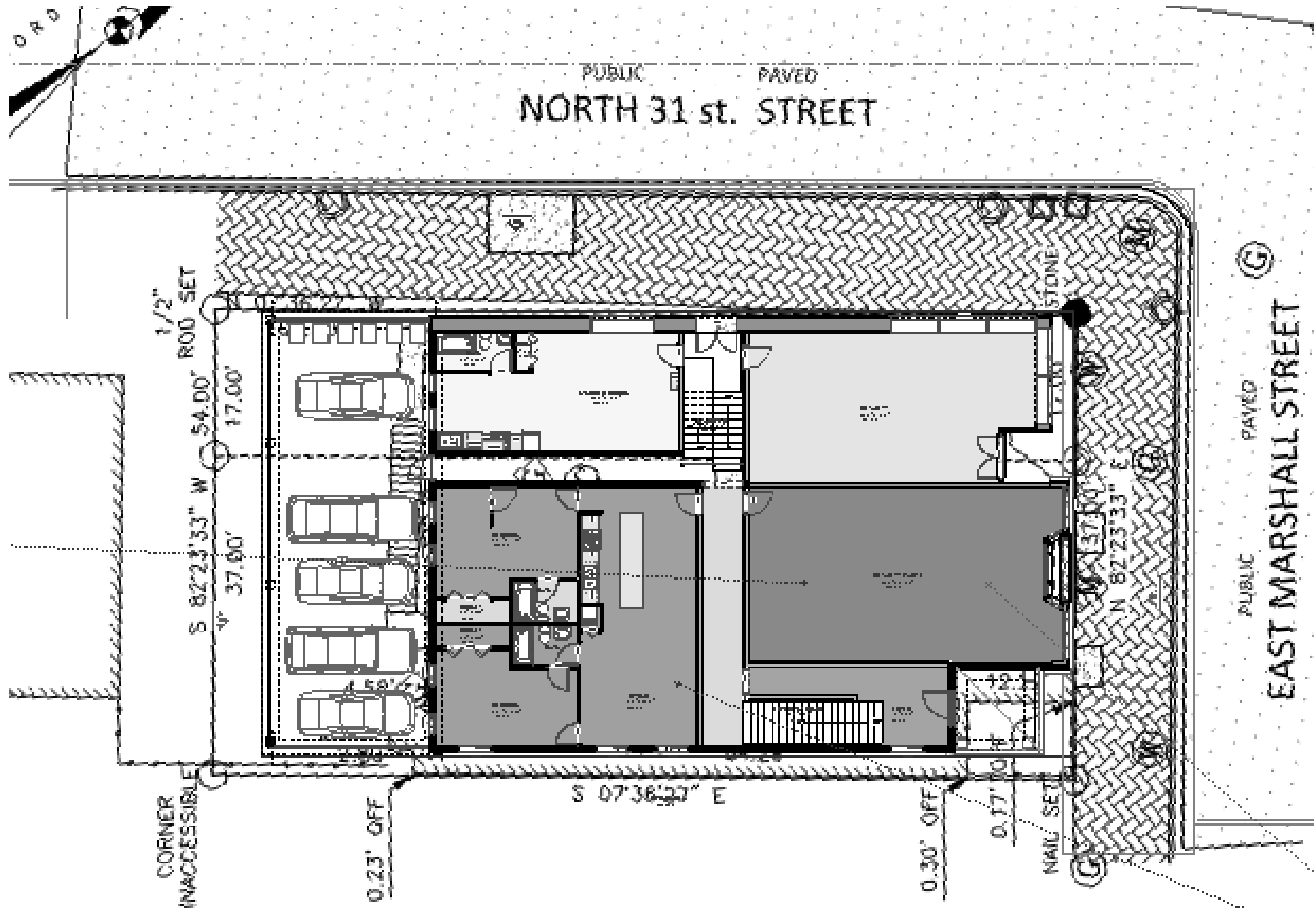
DATE:

10/8/2019

SCALE:

SHEET:

P-1



NUMBER	DATE	REVISOR	DESCRIPTION

OWNER: DATA PRO
 PROJECT: 3101 - 3107 EAST MARSHALL ST. CONCEPT PLANS
 DRAWINGS PROVIDED BY: SEAN JEFFERSON

DATE:

10/8/2019

SCALE:

SHEET:



NOTE SCHEDULE	
2,2,2,2	BLACK ALUMINUM STOREFRONT / CLEAR GLAZING
3,3,3,3	CORRUGATED METAL GRAY SOFFIT TRIM
4,4,4,4	HARDY BOARD 4' X 10' PANELS
5,5,5,5	REMOVE EXISTING EXTERIOR FACADE REPLACE WITH BLACK STOREFRONT / CLEAR GLAZING
7,7,7,7	TAN HARDIE PLANK LAP SIDING
8,8,8,8	COMPOSITE DECKING KNEE WALL
9,9,9,9	MASONRY TO MATCH EXISTING

North Elevation (Front)

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

OWNER: DATA PRO
 PROJECT :3101 - 3107 EAST MARSHALL ST. CONCEPT PLANS
 DRAWINGS PROVIDED BY: SEAN JEFFERSON

DATE:

10/8/2019

SCALE:

SHEET:



NOTE SCHEDULE	
2,2,2,2	BLACK ALUMINUM STOREFRONT / CLEAR GLAZING
3,3,3,3	CORRUGATED METAL GRAY SOFFIT TRIM
4,4,4,4	HARDY BOARD 4' X 10' PANELS
5,5,5,5	REMOVE EXISTING EXTERIOR FACADE REPLACE WITH BLACK STOREFRONT / CLEAR GLAZING
7,7,7,7	TAN HARDIE PLANK LAP SIDING
8,8,8,8	COMPOSITE DECKING KNEE WALL
9,9,9,9	MASONRY TO MATCH EXISTING

West Elevation (Right Side)

REVISION TABLE			
NUMBER	DATE	REVISOR	DESCRIPTION

OWNER: DATA PRO
 PROJECT :3101 - 3107 EAST MARSHALL ST. CONCEPT PLANS
 DRAWINGS PROVIDED BY: SEAN JEFFERSON

DATE:
 10/8/2019
 SCALE:
 SHEET:



NOTE SCHEDULE	
2,2,2,2	BLACK ALUMINUM STOREFRONT / CLEAR GLAZING
3,3,3,3	CORRUGATED METAL GRAY SOFFIT TRIM
4,4,4,4	HARDY BOARD 4' X 10' PANELS
5,5,5,5	REMOVE EXISTING EXTERIOR FACADE REPLACE WITH BLACK STOREFRONT / CLEAR GLAZING
7,7,7,7	TAN HARDIE PLANK LAP SIDING
8,8,8,8	COMPOSITE DECKING KNEE WALL
9,9,9,9	MASONRY TO MATCH EXISTING

South Elevation (Rear)

NUMBER	DATE	REVISION BY	DESCRIPTION

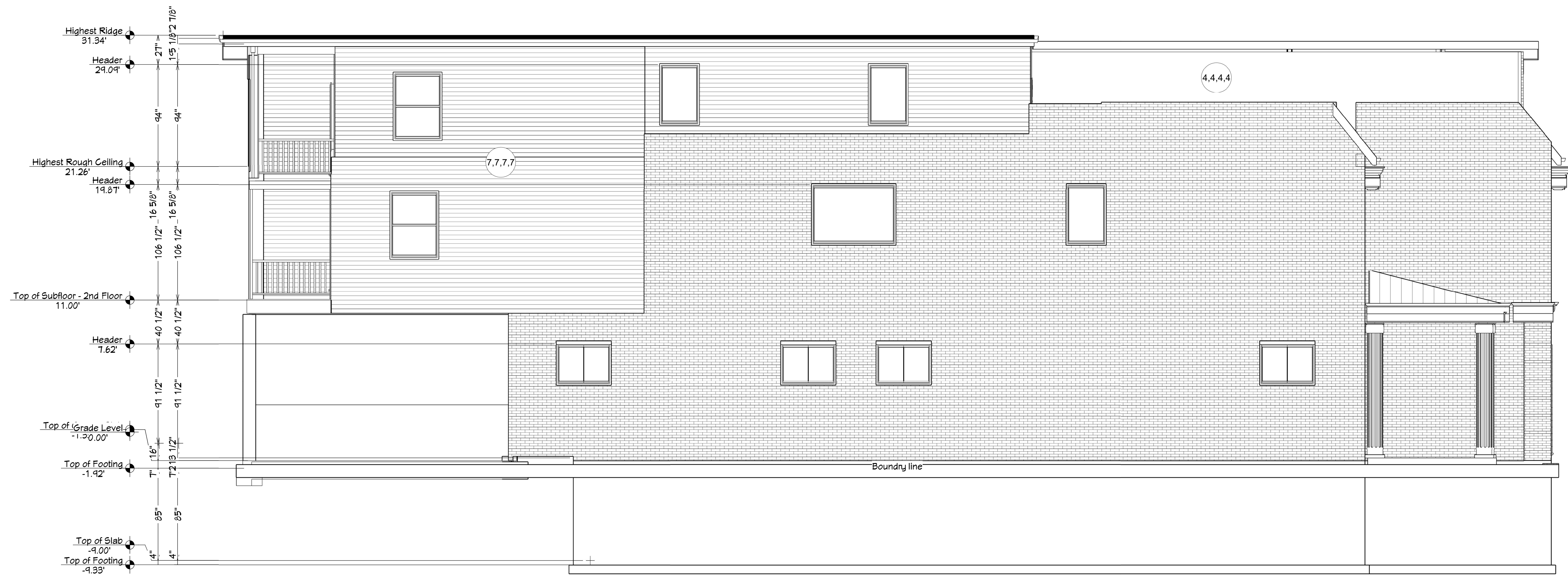
OWNER: DATA PRO
 PROJECT : 3101 - 3107 EAST MARSHALL ST. CONCEPT PLANS
 DRAWINGS PROVIDED BY: SEAN JEFFERSON

DATE:

10/8/2019

SCALE:

SHEET:



NOTE SCHEDULE	
2,2,2,2	BLACK ALUMINUM STOREFRONT / CLEAR GLAZING
3,3,3,3	CORRUGATED METAL GRAY SOFFIT TRIM
4,4,4,4	HARDY BOARD 4' X 10' PANELS
5,5,5,5	REMOVE EXISTING EXTERIOR FACADE REPLACE WITH BLACK STOREFRONT / CLEAR GLAZING
7,7,7,7	TAN HARDIE PLANK LAP SIDING
8,8,8,8	COMPOSITE DECKING KNEE WALL
9,9,9,9	MASONRY TO MATCH EXISTING

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

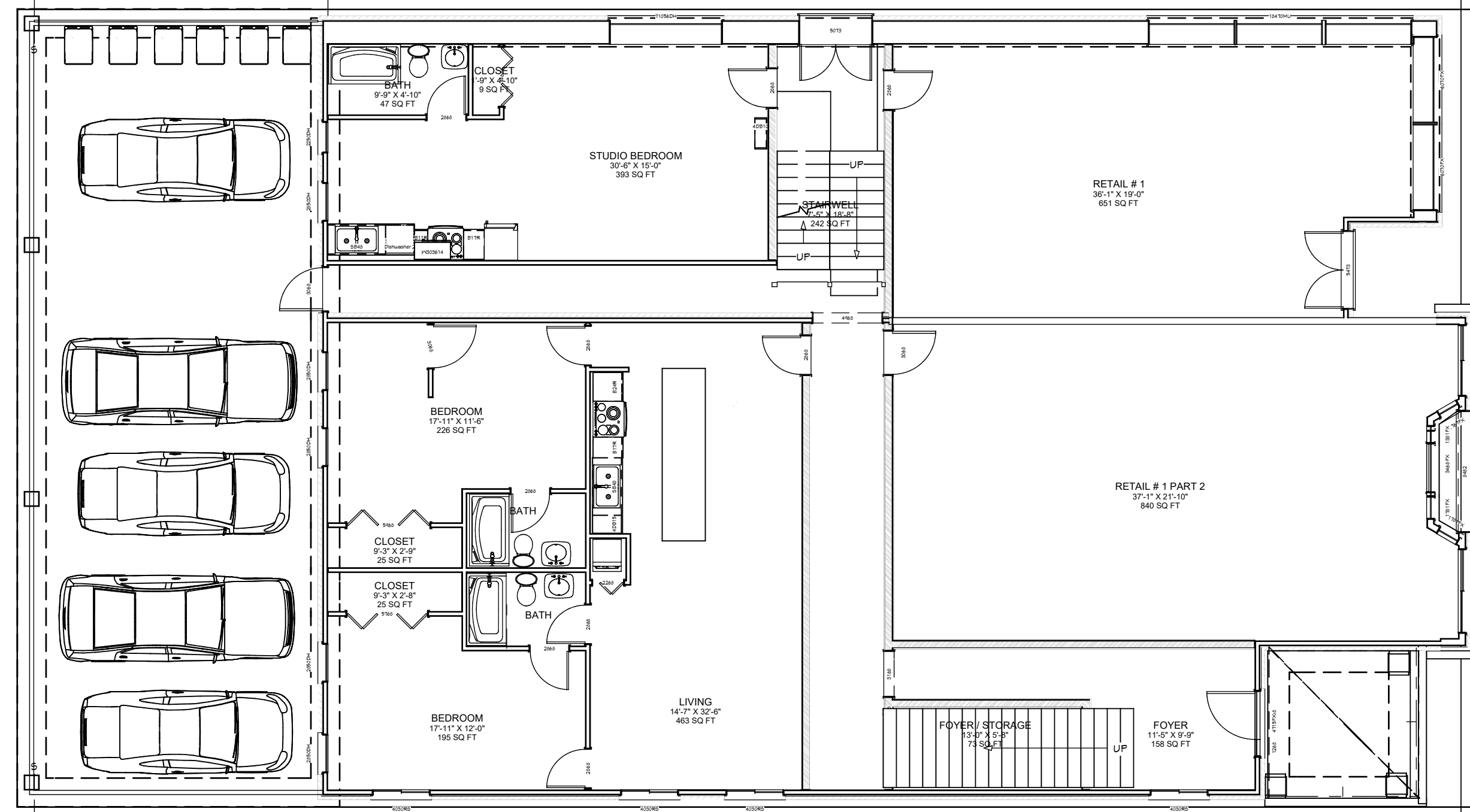
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 PROJECT :3101 - 3107 EAST MARSHALL ST. CONCEPT PLANS
 DRAWINGS PROVIDED BY: SEAN JEFFERSON

DATE:
 10/8/2019

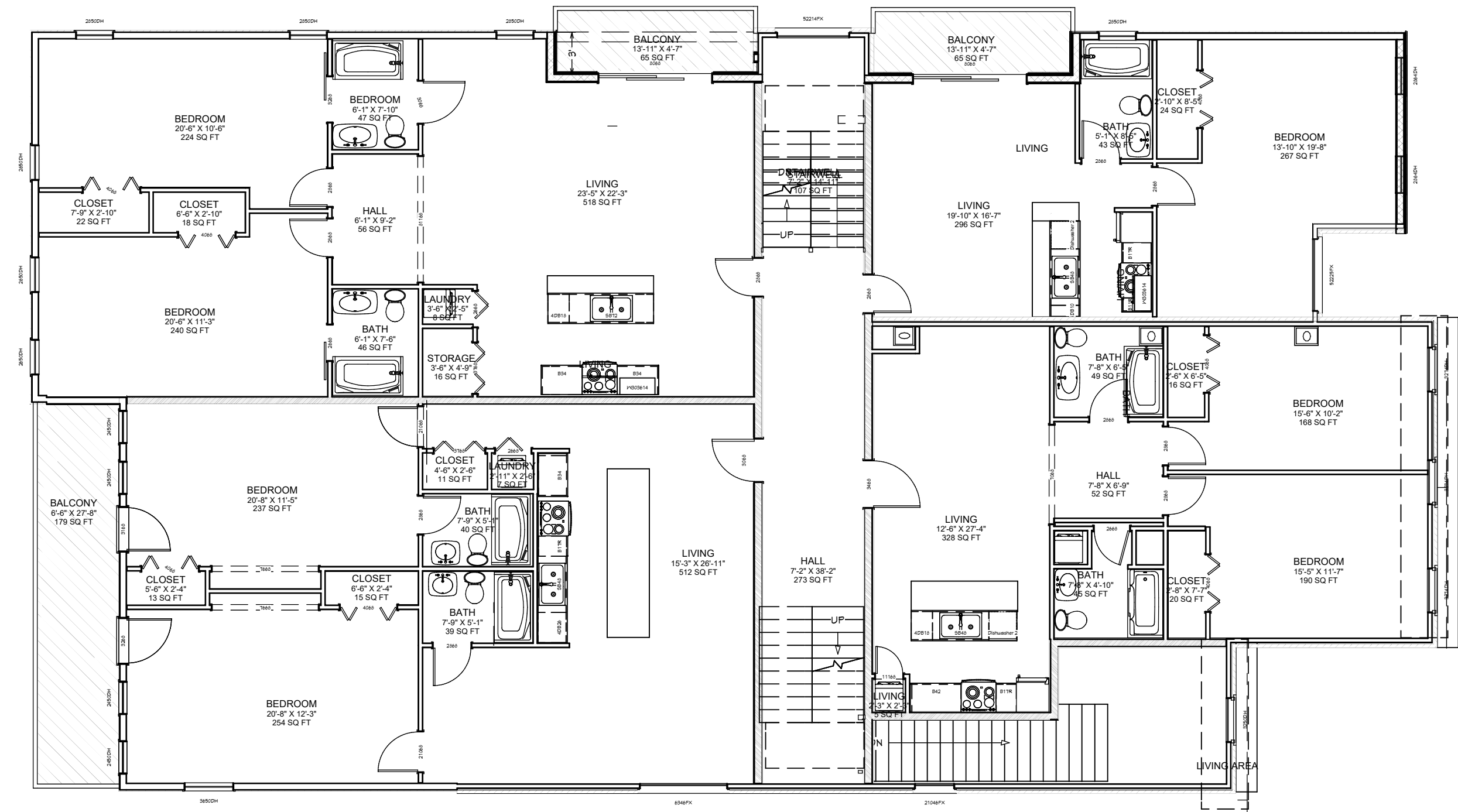
SCALE:

SHEET:

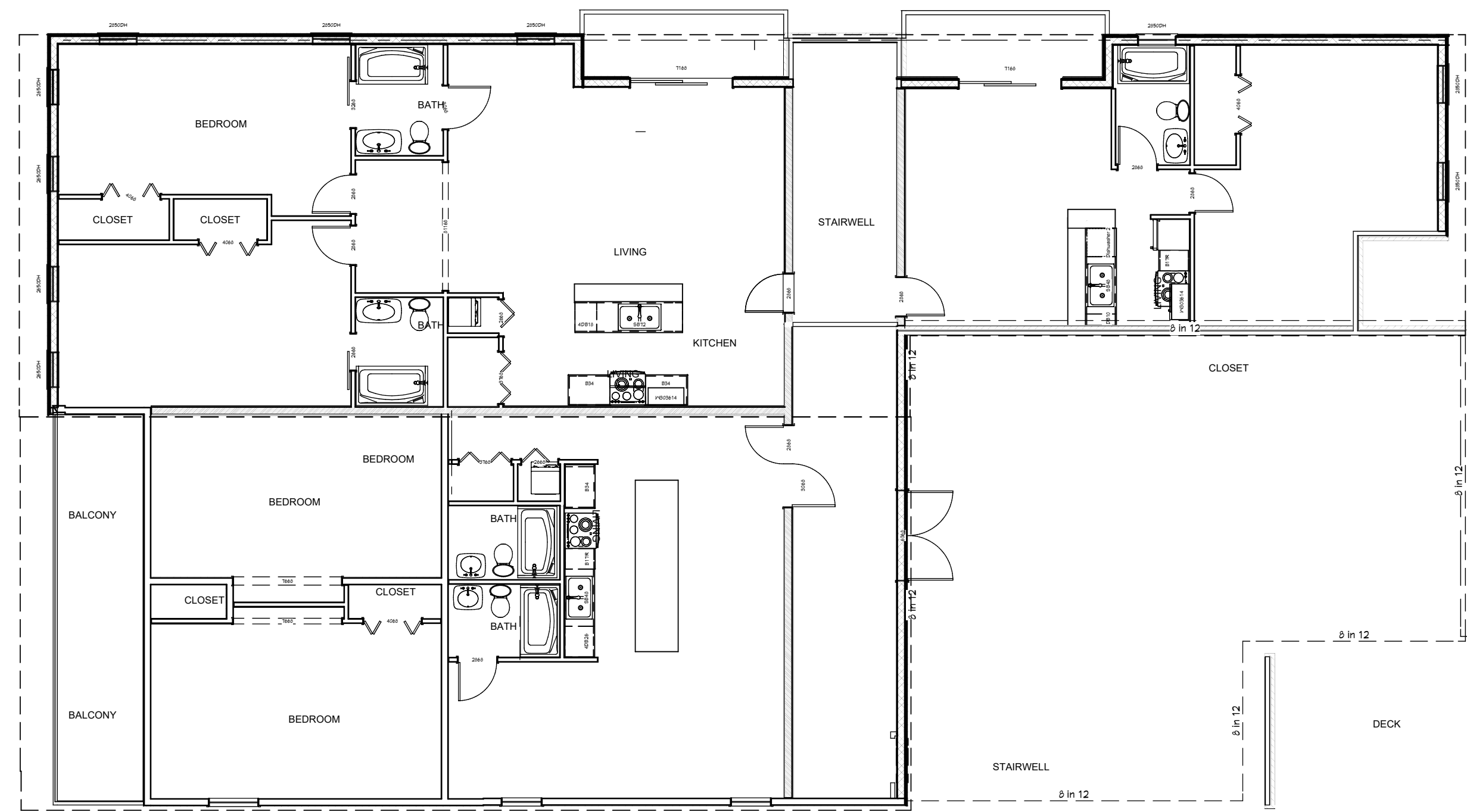
East Elevation (Left Side)



1st Floor



2nd Floor



3rd Floor

NUMBER	DATE	REVISION BY	DESCRIPTION

OWNER: DATA PRO
 PROJECT : 3101 - 3107 EAST MARSHALL ST. CONCEPT PLANS
 DRAWINGS PROVIDED BY: SEAN JEFFERSON

DATE:

10/8/2019

SCALE:

SHEET: