



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 2117 & 2119 Carrington St

Historic district Union Hill

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name Tiffany Person

Phone 804-644-0546

Company Better Housing Coalition

Email t.person@betterhousingcoalition.org

Mailing Address 23 W Broad St. Ste 100
Richmond, VA 23220

Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify): _____

OWNER INFORMATION (if different from above)

Name _____

Company Richmond Affordable Housing

Mailing Address same as above

Phone _____

Email _____

PROJECT INFORMATION

Review Type: Conceptual Review Final Review

Project Type: Alteration Demolition New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)
See attached description

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner Tiffany Person

Date 10/30/19

2117 & 2119 Carrington St

CAR Revised Review

11/04/19

The proposed project is two two-story attached single-family residences located at the corner of Carrington & Tulip Streets, Carrington being the primary street. The design is a contemporary and streamlined version of the Italianate homes common throughout the Union Hill Historic District, with similar massing, symmetry, and proportions. The applicant is this aesthetic after discussion with City Staff to be complementary to both the new multifamily construction on the block (Goodwyn at Union Hill) as well as the historic buildings in the adjacent area.

The building will have a two (2) bay façade along the front elevation, defined by vertical seams as shown on the attached plans. Siding will be cementitious lap at 5 ½" reveal, one color will be chosen for both houses per the *CAR Color Palette* for Italianate style buildings.

The foundation height will be set to meet site conditions and enhance the pedestrian experience at an appropriate scale, as suggested on page 48 of the *Richmond Old and Historic Districts Handbook and Design Review Guidelines*.

Front porch columns are to be squared, 6x6.. With the Commission's approval, the porch pickets will be vertical and painted black in keeping with a contemporary/modern aesthetic. Windows are 1 over 1 and standard size panes.

Facing south on Carrington



View facing West from corner
of Tulip,



View from N 22nd south
towards Carrington & Tulip

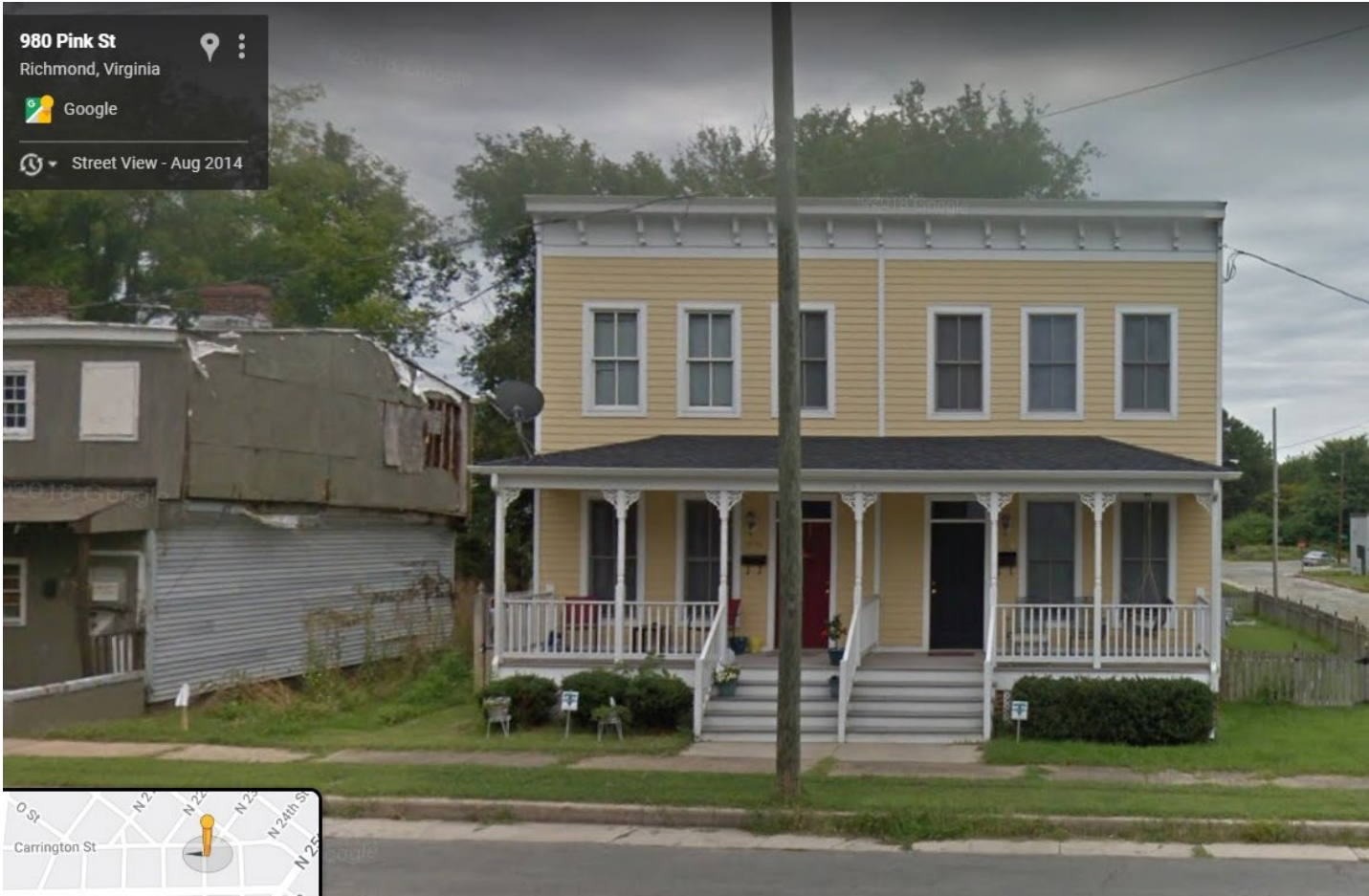


Facing North on Tulip





Aerial view via Richmond City GIS
Carrington along right side, Tulip at bottom



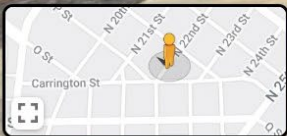
980 Pink St
Richmond, Virginia
Google
Street View - Aug 2014







1014 N 22nd St
Richmond, Virginia
Google
Street View - May 2019



Google

Image capture: May 2019 © 2019 Google United States



1014 N 22nd St
Richmond, Virginia
Google
Street View - May 2019



Project Name: 2117-2119 Carrington St

Revised Application Narrative

Porch Roof- Needs to be in keeping with the modern design while still providing mass to the front elevation as it does currently. Make porch line squared edges. **Removed crown and made the porch roof profile square.**

Siding- At the top of the windows to the cornice the gap needs to be less. The amount of siding between the cornice and the top of the windows is too large and needs to be reduced. Needs to be a simple horizontal design element (The siding) **Reduced the height of the parapet and removed siding. Makes the gap between the windows and cornice much smaller. It's now a much simpler design element.**

Side Elevation- Needs to have vertically aligned windows. Add additional windows to the 2nd story of the visible bays and that the window heads be aligned on the side elevations. **Added one more window to the side elevations and aligned it with the window below.**

Need to specify in the window schedule what the window design will be. All windows on the plans need to match the window schedule. ALL windows need to be 1 over 1. **Changed all windows to 1 over 1 and made them standard size panes, revised schedule accordingly.**

The building should be one solid color **OK**

The left bay elevation (Street Corner side) needs to include Design specifications from the city of Richmond are attached. Please review and design based on that. **Foundation materials, (brick), are compatible with other area homes**

Provide information on the location of any mechanical equipment on the building set of plans (Warren to provide location) **We are now indicating that the A/C units will be located behind the house, beyond the deck.**

- Change the porch roof **Revised roof plan, noted TPO roof and 1:12 slope to shed water.**
- Change siding material above the notch **See above.**
- Window heads be revealed **They are.**
- Note gutter and downspouts per historic guidelines attached **Can not find a gutter and downspout attachment that speaks to modern/contemporary design homes**
- Single line of color for entire building **Ok**
- Make the building into two bays instead of the 3 as designed since only 2 units. **Revised plan to cantilever second floor over recessed front doors. Added trim to separate units so they appear as just two bays.**
- Add slight slope to roof of porch to accommodate water **See above.**
- Use square columns **They are square 6x6 columns. They were reduced in size in accordance with previous review.**

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Harrison
Checked	Chris Jefferson
Coordinator	Warren Thomas
Date	04.23.2019 R 10.21.2019
Project	Carrington Drive



Residential Design Services
11924 Longfellow Drive
Midlothian, Virginia 23112
804.334.7413

Project: 2117 & 2119 CARRINGTON RICHMOND, VIRGINIA 23223
 Title: SITE PLAN, CODE NOTES AND FRONT ELEVATION

Drawing No. 1.0

PROJECT DATA

LIST OF DRAWINGS

- 1.0 SITE PLAN, CODE NOTES, LEGEND, ELEVATION
- 2.0 FOUNDATION AND ROOF PLAN, DETAILS
- 3.0 FIRST AND SECOND FLOOR PLAN, SECTIONS
- 4.0 ELEVATIONS AND DETAILS
- 5.0 ELEVATIONS AND WALL SECTION
- 6.0 BRACED WALL PLANS AND SECTIONS

CODE NOTES

- 1.0 2012 VIRGINIA UNIFORM BUILDING CODE
2012 IRC
- 2.0 BUILDING USE GROUP: RESIDENTIAL - MULTI FAMILY ATTACHED
- 3.0 BUILDING AREA:

FIRST FLOOR	918 SQ FT
SECOND FLOOR	918 SQ FT
TOTAL SQ FT	1,836 SQ FT

DESIGN LOADS

SNOW	25P.S.F.
DEAD LOAD	10P.S.F.
SEISMIC	0.5P.S.F.
WIND	90P.S.F.
LIVE (EXCEPT BEDROOMS)	40P.S.F.
DEAD	10P.S.F.
LIVE (BEDROOMS)	30P.S.F.
GARAGE	50P.S.F.
STAIRS	40P.S.F.

NOTE

THESE DRAWINGS ARE INTENDED TO PORTRAY THE WORK SHOWN. THEY DO NOT SHOW EVERY CONSTRUCTION DETAIL. THE GENERAL CONTRACTOR BY TAKING ON THIS PROJECT, IS RESPONSIBLE FOR ALL CONSTRUCTION. THE G.C. ACKNOWLEDGES THAT HE IS EXPERIENCED WITH CONSTRUCTION OF THIS TYPE AND IS FULLY CAPABLE OF IMPLEMENTING SUCH WORK SO AS TO IMPLEMENT ITS CONSTRUCTION AND COMPLETION IN A TIMELY MANNER.

SCHEDULES

WINDOW SCHEDULE

WIN	SIZE	MATERIAL	GRILLE	MODEL
①	3/0X6/0	ANOD ALUMINUM	1/1	-
②	-	-	-	-
③	-	-	-	-
④	3/0X4/2	ANOD ALUMINUM	1/1	-
⑤	-	-	-	-

ALL WINDOW HEADERS ARE (2) 2 X 8 SOUTHERN PINE NO. 2

DOOR SCHEDULE

DOOR	SIZE	TYPE
①	3/0X6/8	EXTERIOR INSULATED METAL WITH TRANSOM
②	2/10X6/8	INTERIOR 5 PANEL
③	2/0X6/8	INTERIOR 5 PANEL
④	(2) 2/6X6/8	EXTERIOR FRENCH - FULL LT
⑤	2/6X6/8	INTERIOR 5 PANEL
⑥	2/6X6/8	INTERIOR 5 PANEL POCKET
⑦	(2) 2/0X6/8	INTERIOR 5 PANEL

ALL DOOR HEADERS ARE (2) 2 X 8 SOUTHERN PINE NO. 2

LEGEND

	BRICK VENEER		RECESSED CAN LIGHT
	C.M.U.		EXHAUST FAN
	NON-LOAD BEARING INTERIOR WALLS - 2X4 STUDS @ 24" O.C.		GARBAGE DISPOSAL
	EXTERIOR BRICK VENEER WITH 2X6 STUDS @ 16" O.C.		110VOLT RECEPTACLE
	"8C.M.U. WALL AND FOOTING		GROUND FAULT INTERUPTION WEATHER PROOF
	SECTION DESIGNATION		GROUND FAULT INTERUPTION DRYER RECEPTACLE
	DOOR DESIGNATION		DRYER RECEPTACLE
	WINDOW DESIGNATION		RANGE RECEPTACLE
	LIGHT FIXTURE		TELEPHONE
	WALL MTD LIGHT FIXTURE		CABLE TELEVISION
	LIGHT FIXTURE		SWITCH @ 50" A.F.F.
	EXTERIOR DBL FLOOD LIGHT WITH MOTION SENSOR		3-WAY SWITCH @ 50" A.F.F.
	SURFACE MTD FLORESCENT NO. INDICATES LENGTH		SMOKE DETECTOR
			DOOR BELL TRANSFORMER
			RECESSED ELECTRICAL PANEL
			CEILING FAN - WHEN DASHED, ROUGH-IN AND PROVIDE BLANK COVER FOR FUTURE USE, OTHER WISE INSTALL WHERE SHOWN



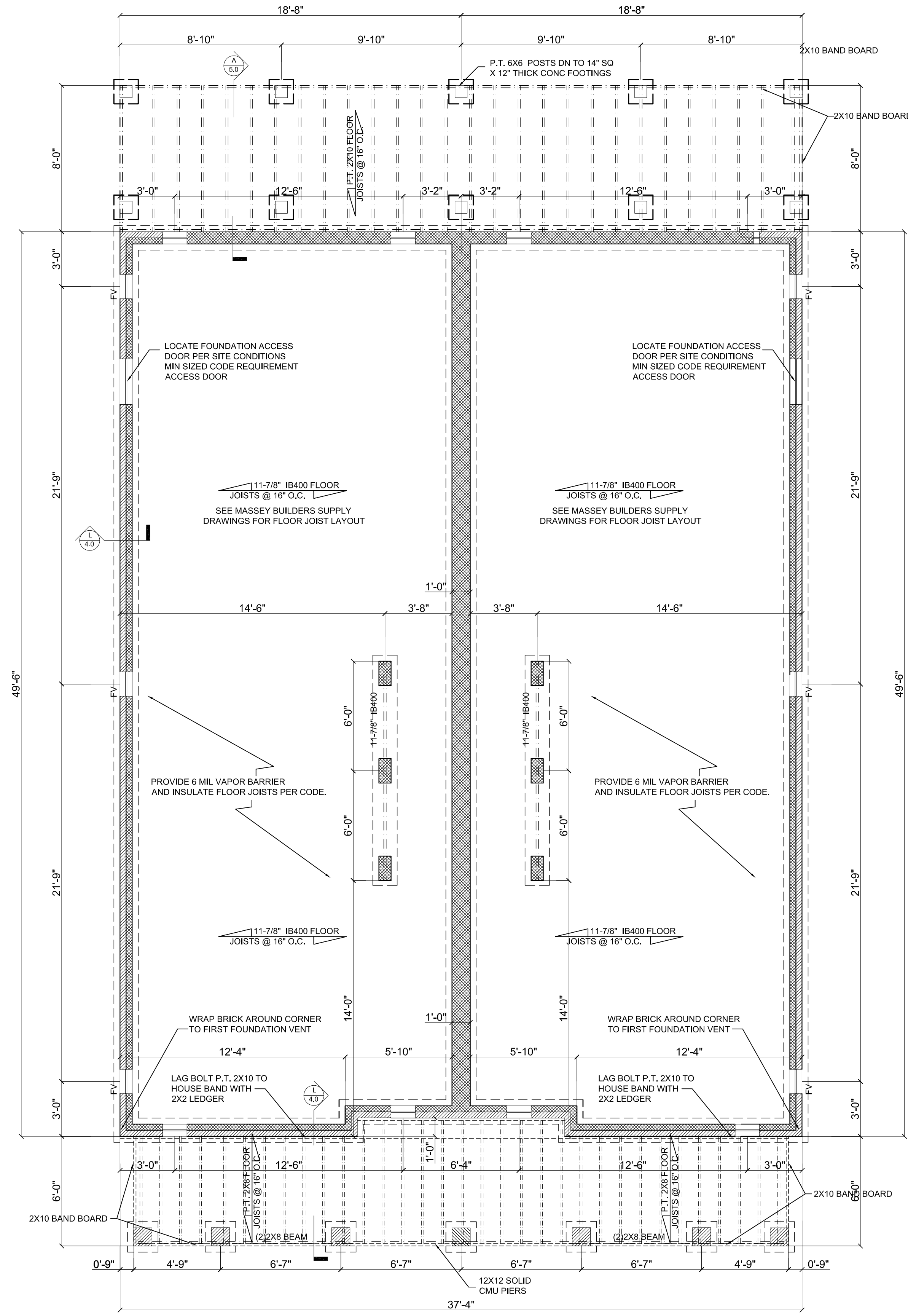
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

SP SITE PLAN

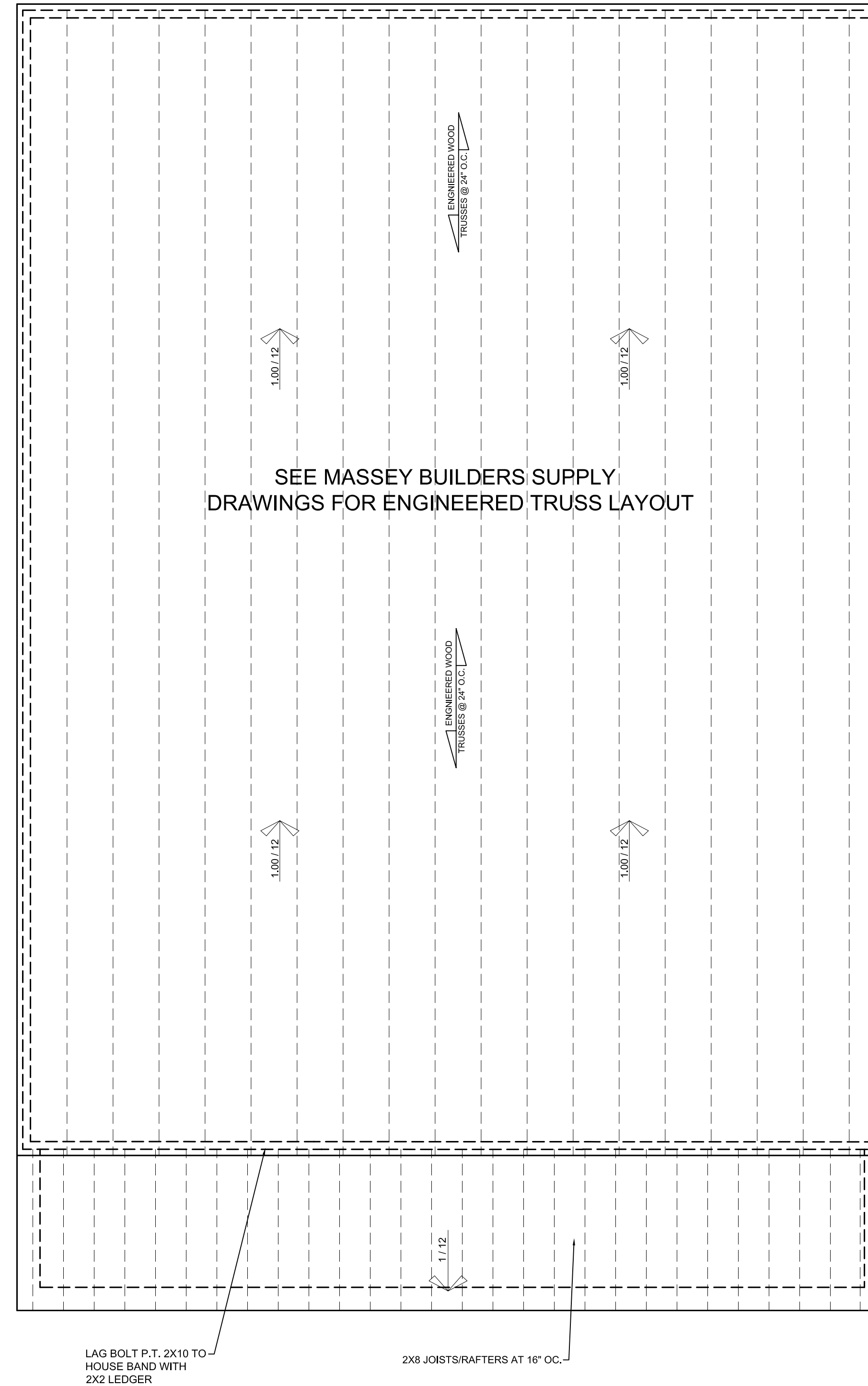
1.0 SCALE: 1/16" = 1'-0"

FOUNDATION NOTES

1. ALL CONCRETE @ SLABS AND FOUNDATION SHALL BE 3000 PSI MINIMUM AT 28 DAYS SHALL BE 3000 PSI MINIMUM AT 28 DAYS
2. FOUNDATION VENTS SHALL BE INSTALLED TO SUIT FIELD CONDITIONS 1:150 SF
3. FOOTINGS SHALL BE STEPPED IN 8" INCREMENTS TO SUIT FIELD CONDITIONS AND SHALL HAVE (2) #4 REINFORCING BARS CONTINUOUS AT BOTTOM (TYPICAL)
4. FINISHED GRADE @ CRAWL SPACE AREA SHALL BE LEVELED AND EQUAL TO OR HIGHER THAN EXTERIOR FINISHED GRADE
5. ENTIRE CRAWL SPACE SHALL BE COVERED WITH A 6 MIL THICK POLYETHYLENE VAPOR BARRIER
6. ACCESS DOOR IS SHOWN ONLY TO INDICATE THAT ONE IS REQUIRED AND IS TO BE INSTALLED TO CRAWL SPACE. IT SHALL BE INSTALLED TO SUIT FIELD CONDITIONS.



1 FOUNDATION PLAN
2.0 SCALE: 1/4" = 1'-0"



2 ROOF PLAN
2.0 SCALE: 1/4" = 1'-0"

RMT X RP

DRAWING INFORMATION	
Scale	Noted
Drawn	LP Hartson
Checked	Chris Jefferson
Coordinator	Warren Thomas
Date	04.23.2019 R 10.21.2019
Project	Carrington Drive

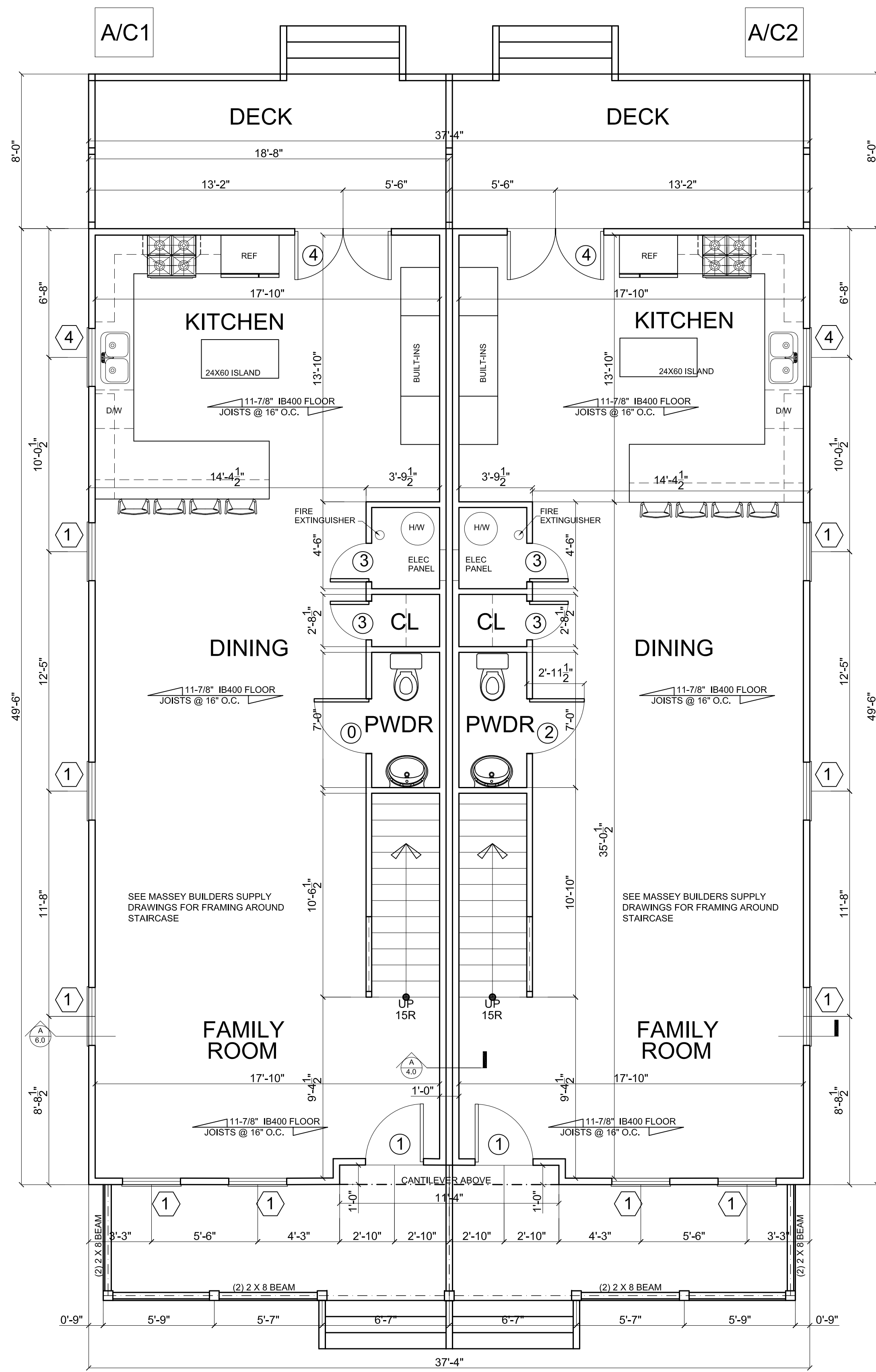


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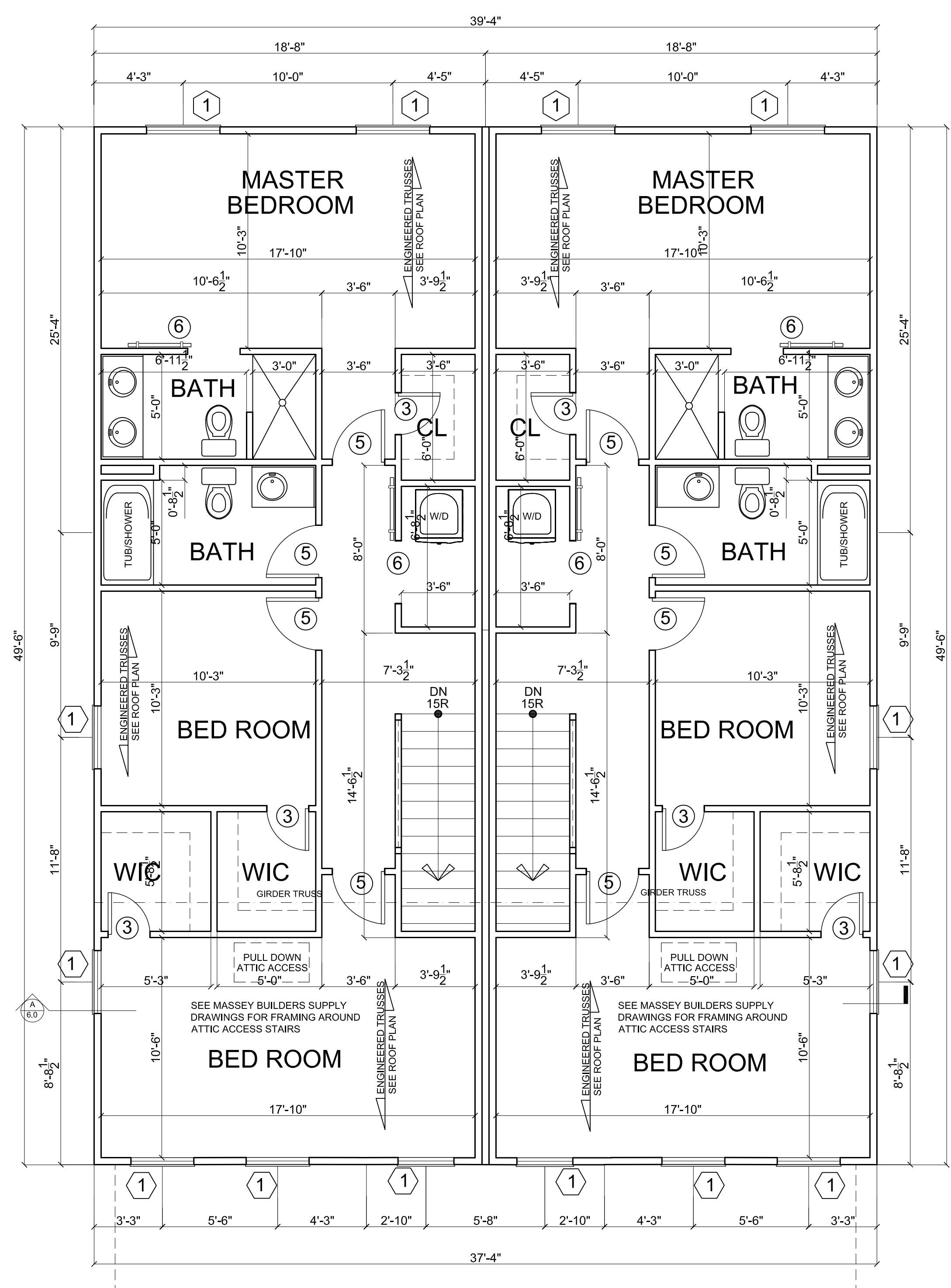
Project
**2117 & 2119 CARRINGTON
RICHMOND, VIRGINIA 23223**

Title
**FOUNDATION AND ROOF PLANS
SECTIONS AND DETAILS**

Drawing No.
2.0



1
3.0
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2
3.0
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

RMT X RP

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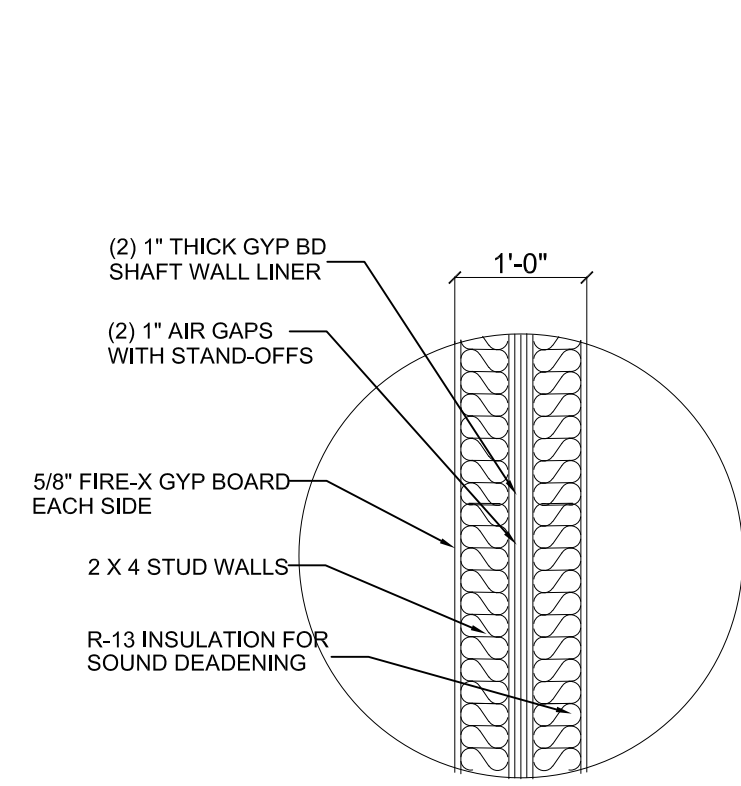
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FIRST AND SECOND FLOOR PLANS SECTIONS AND NOTES

Drawing No.
3.0

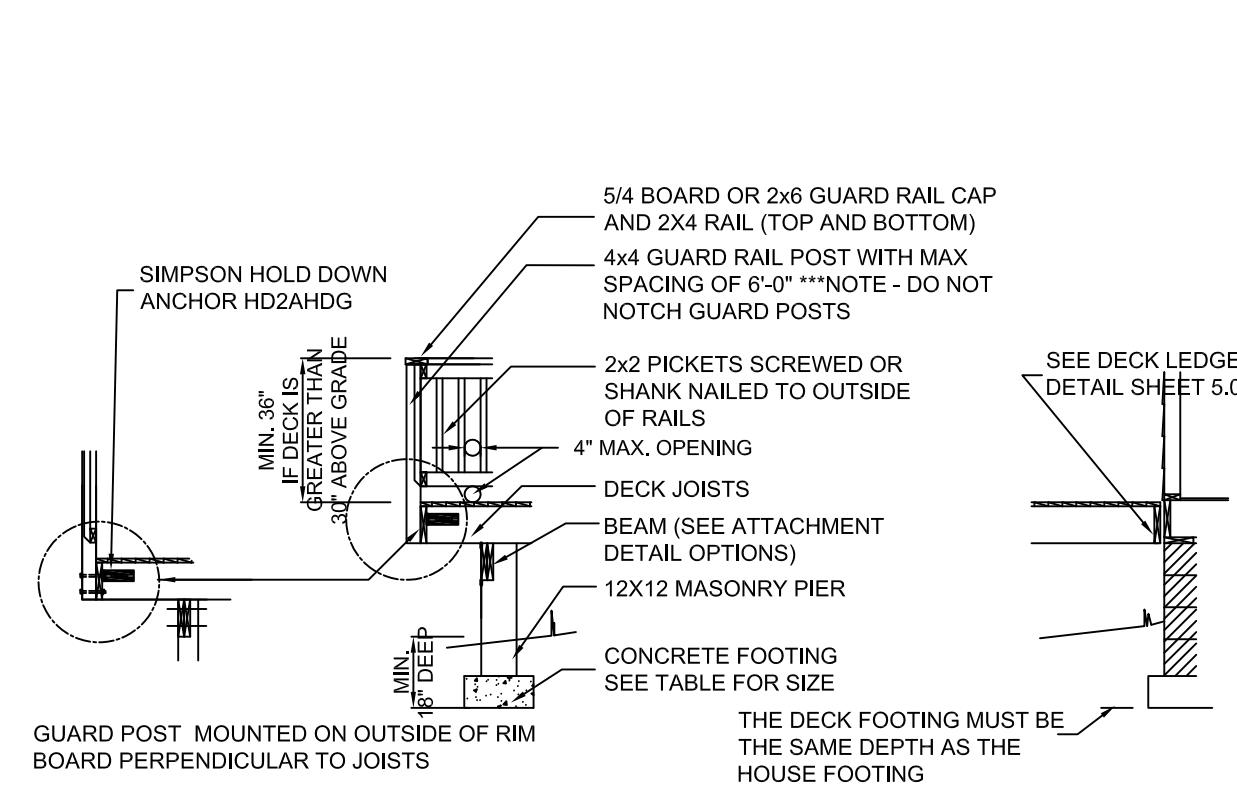
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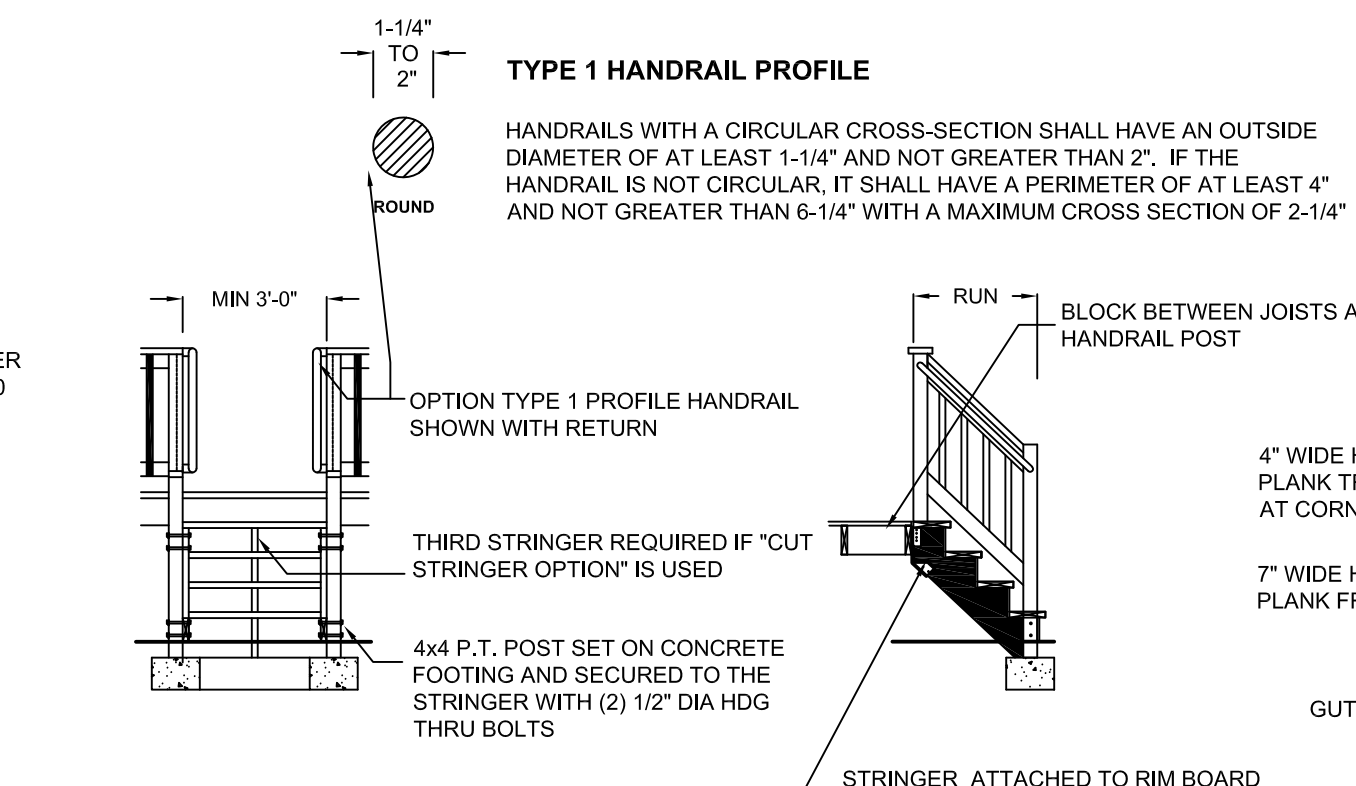
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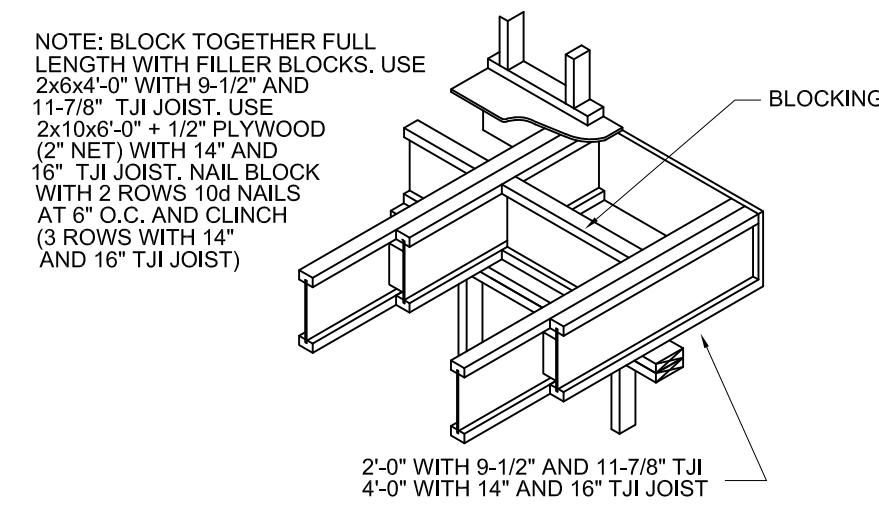
A FIREWALL DETAIL
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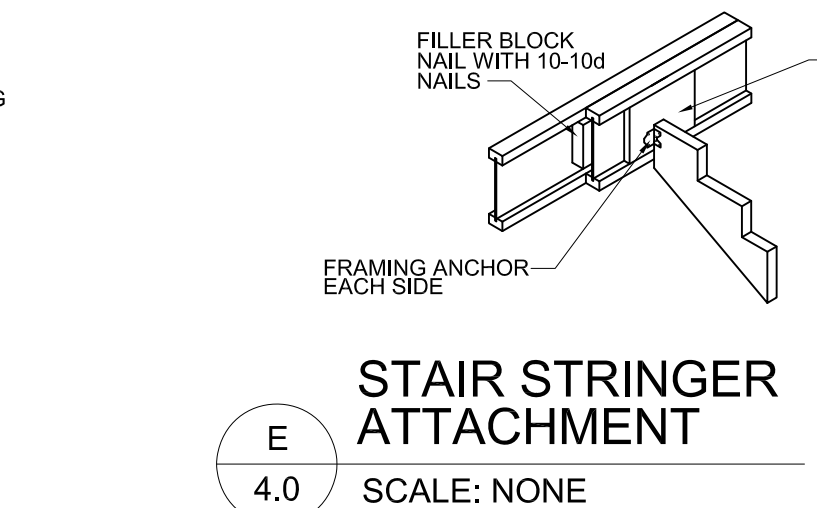
B TYPICAL SECTION @ FREE STANDING DECK
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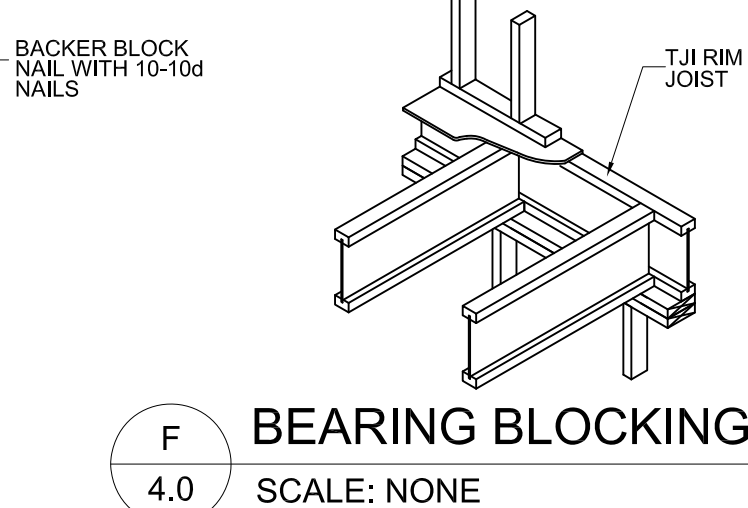
C TYPICAL DECK DETAILS
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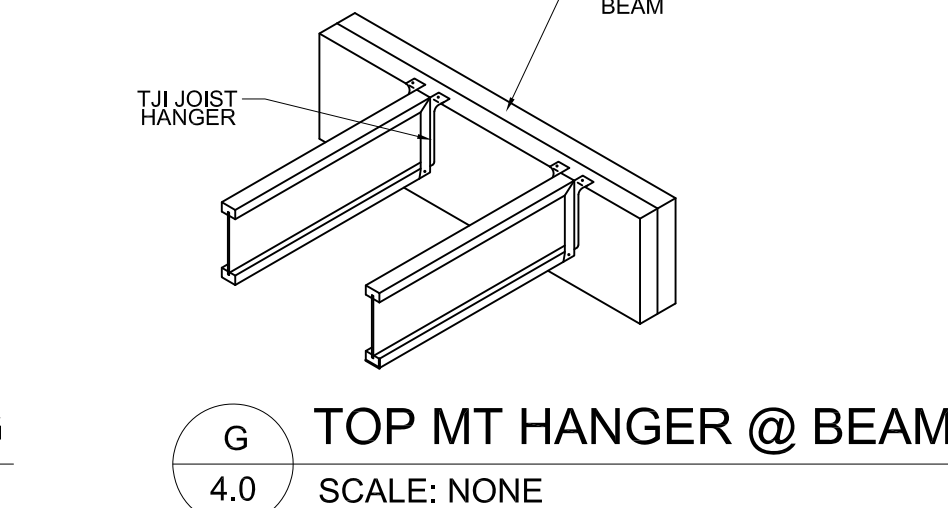
D CANTILEVER STRENGTHENING WITH TJI JOISTS
4.0 SCALE: NONE



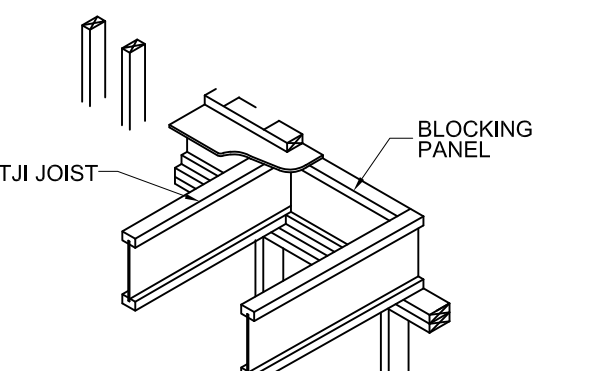
E STAIR STRINGER ATTACHMENT
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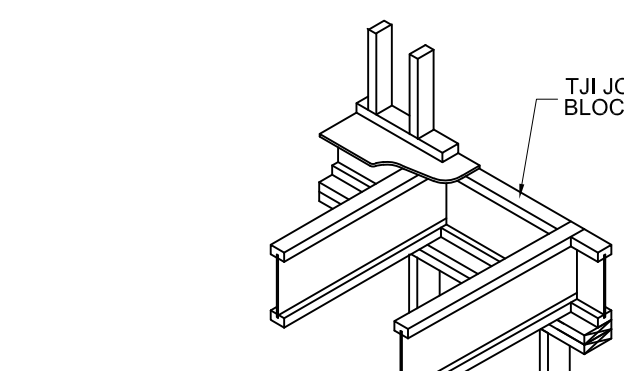
F BEARING BLOCKING
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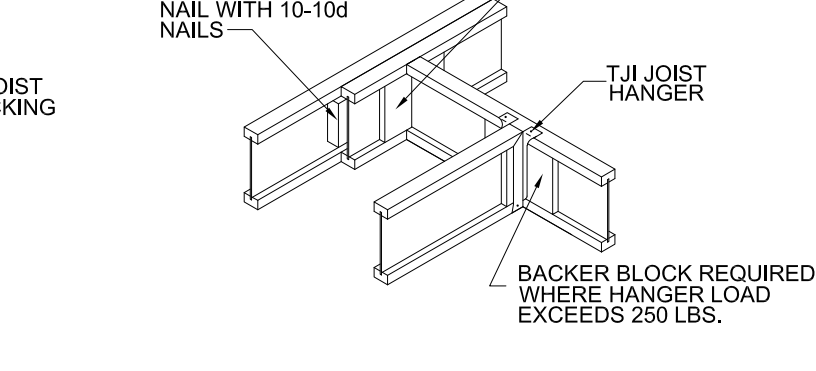
G TOP MT HANGER @ BEAM
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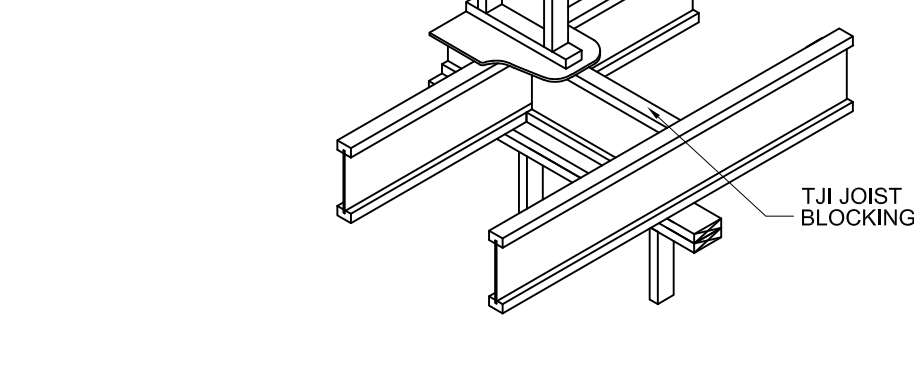
H BLOCKING PANEL
4.0 SCALE: NONE



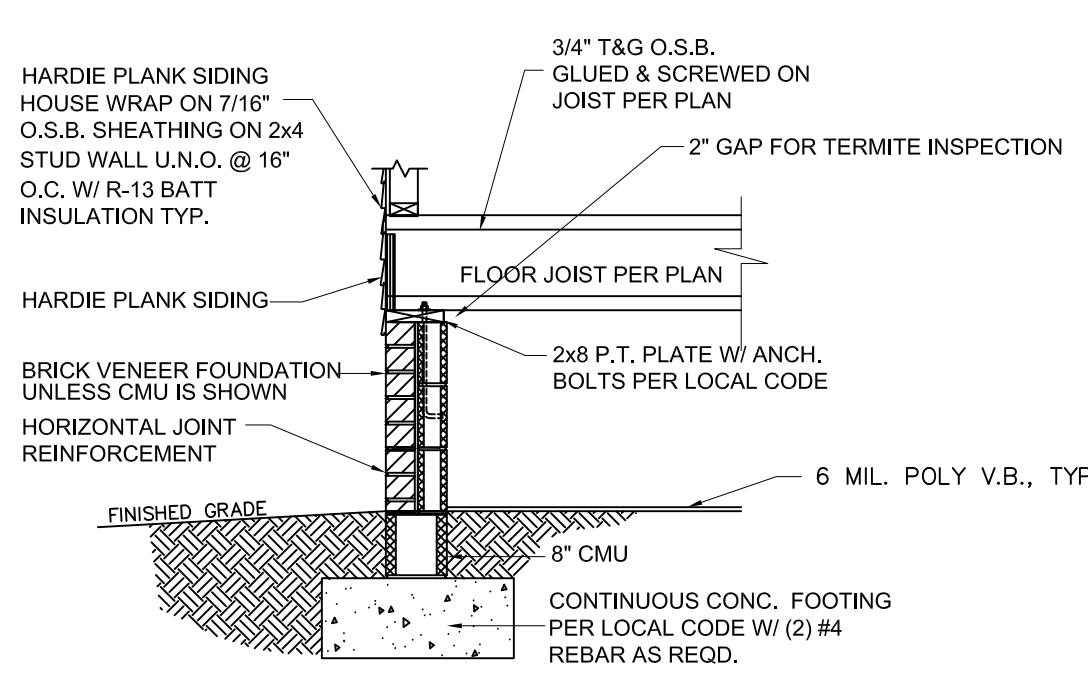
I RIM JOIST
4.0 SCALE: NONE



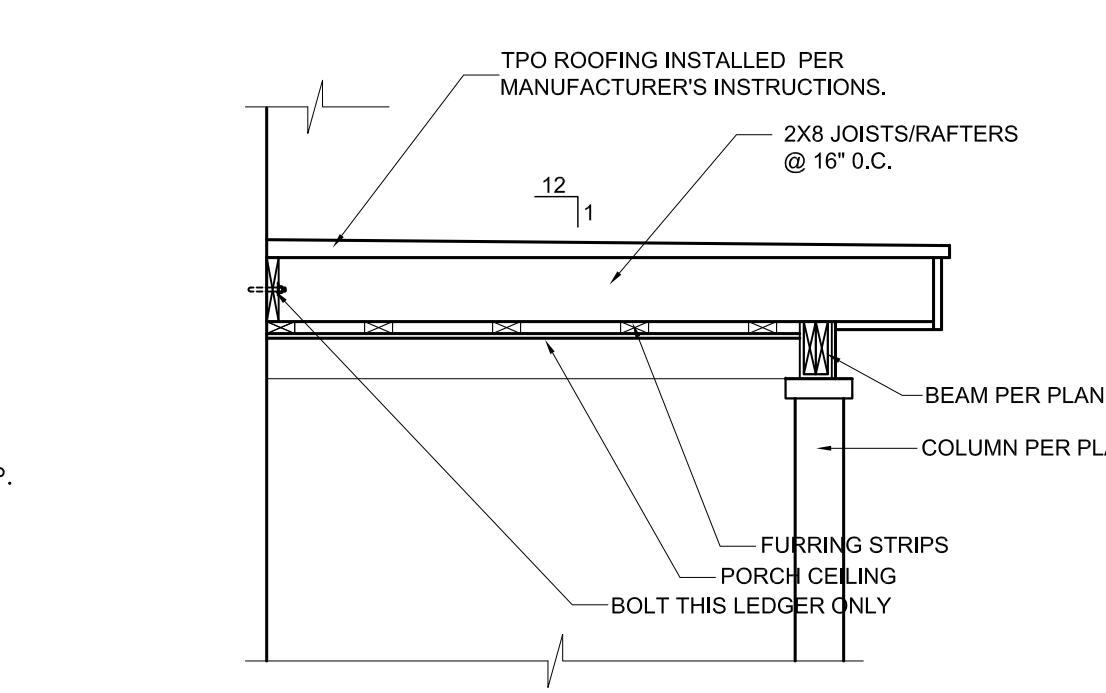
J HEADER OPENING WITH DBL TJI JOISTS
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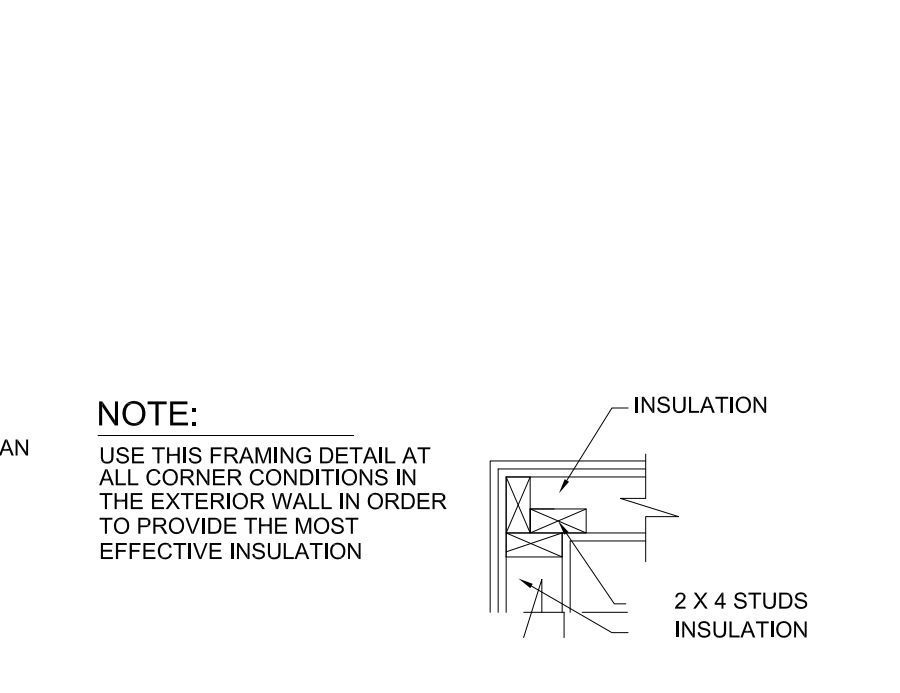
K INTERMEDIATE BEARING WITH TJI JOIST BLOCKING
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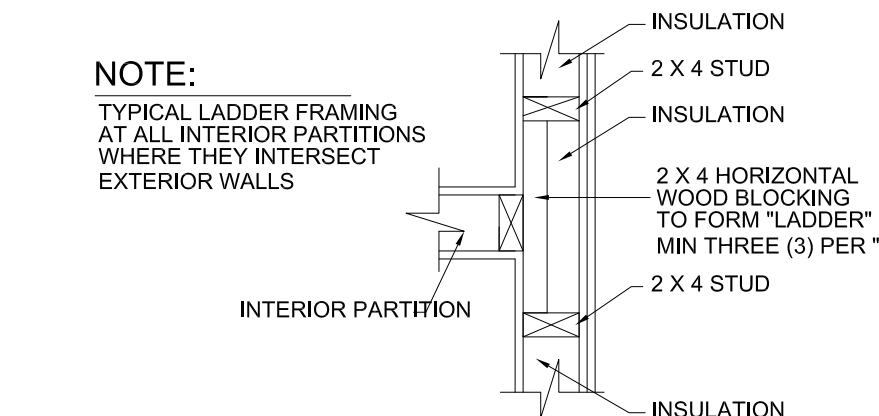
L CRAWL SPACE DETAIL
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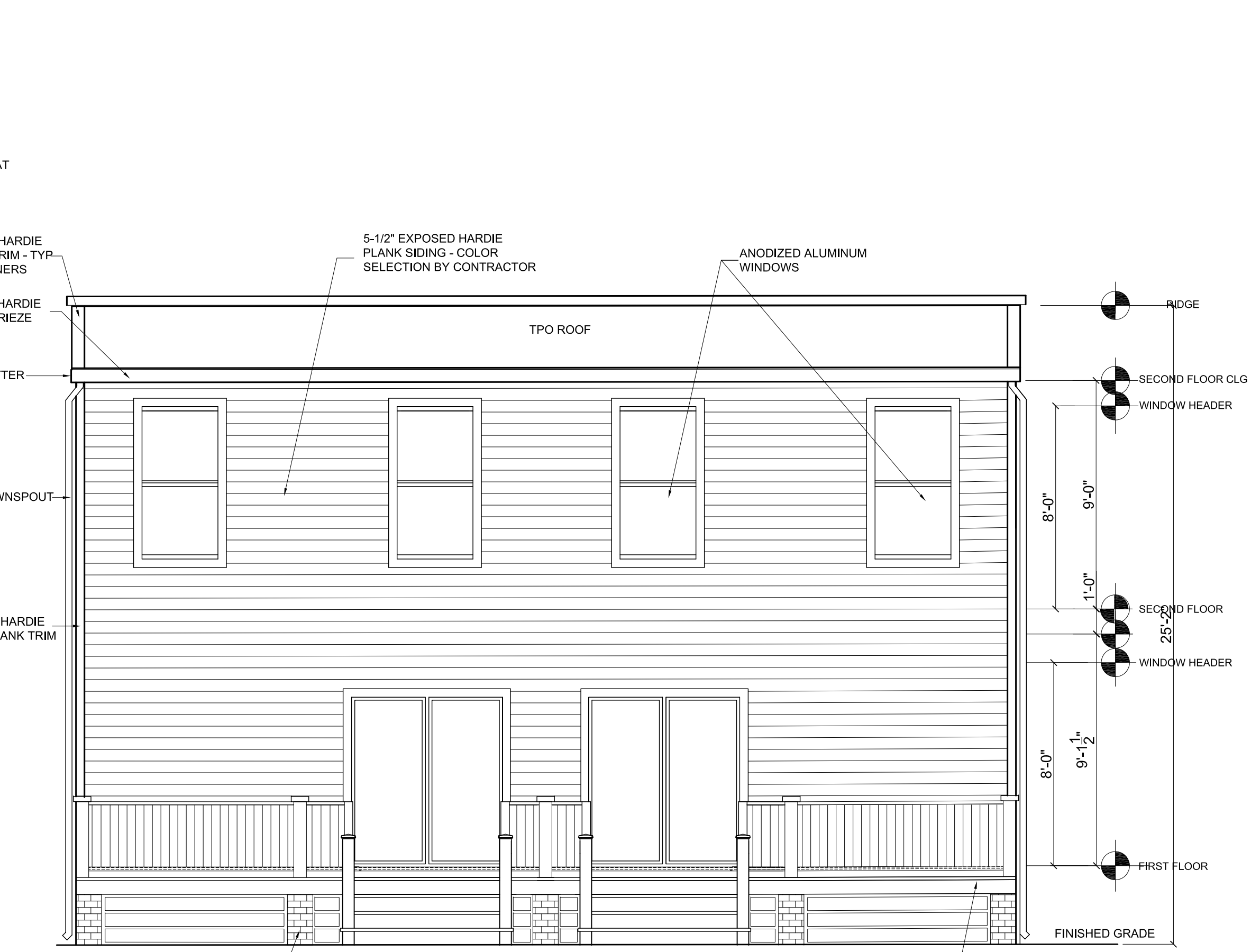
D PORCH ROOF DETAIL
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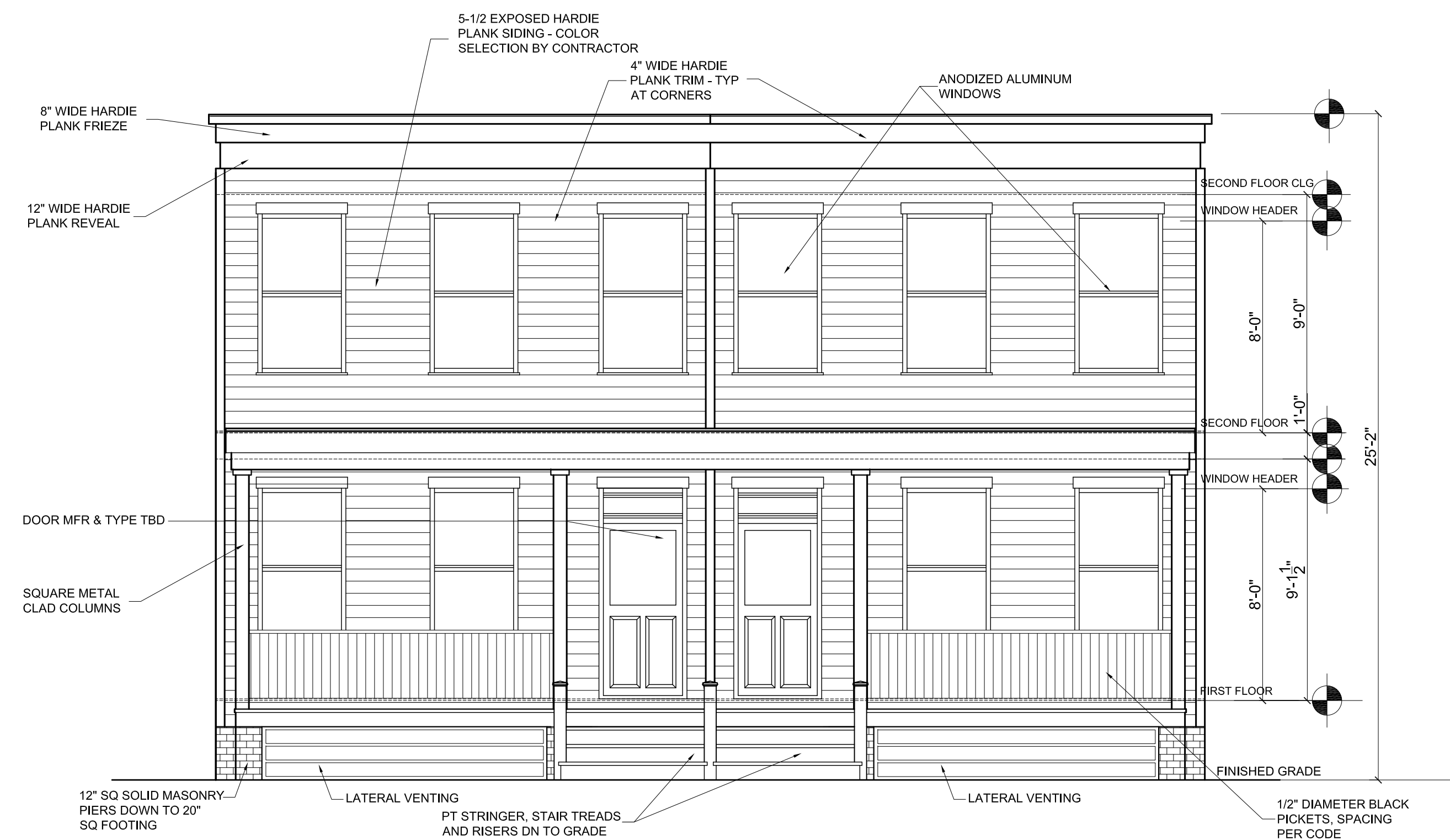
N CORNER FRAMING DETAIL
4.0 SCALE: 1\"/>



O PLAN FRAMING DETAIL
4.0 SCALE: 1\"/>



2 REAR ELEVATION
4.0 SCALE: 1/4\"/>



1 FRONT ELEVATION
4.0 SCALE: 1/4\"/>

Project
2117 & 2119 CARRINGTON RICHMOND, VIRGINIA 23223

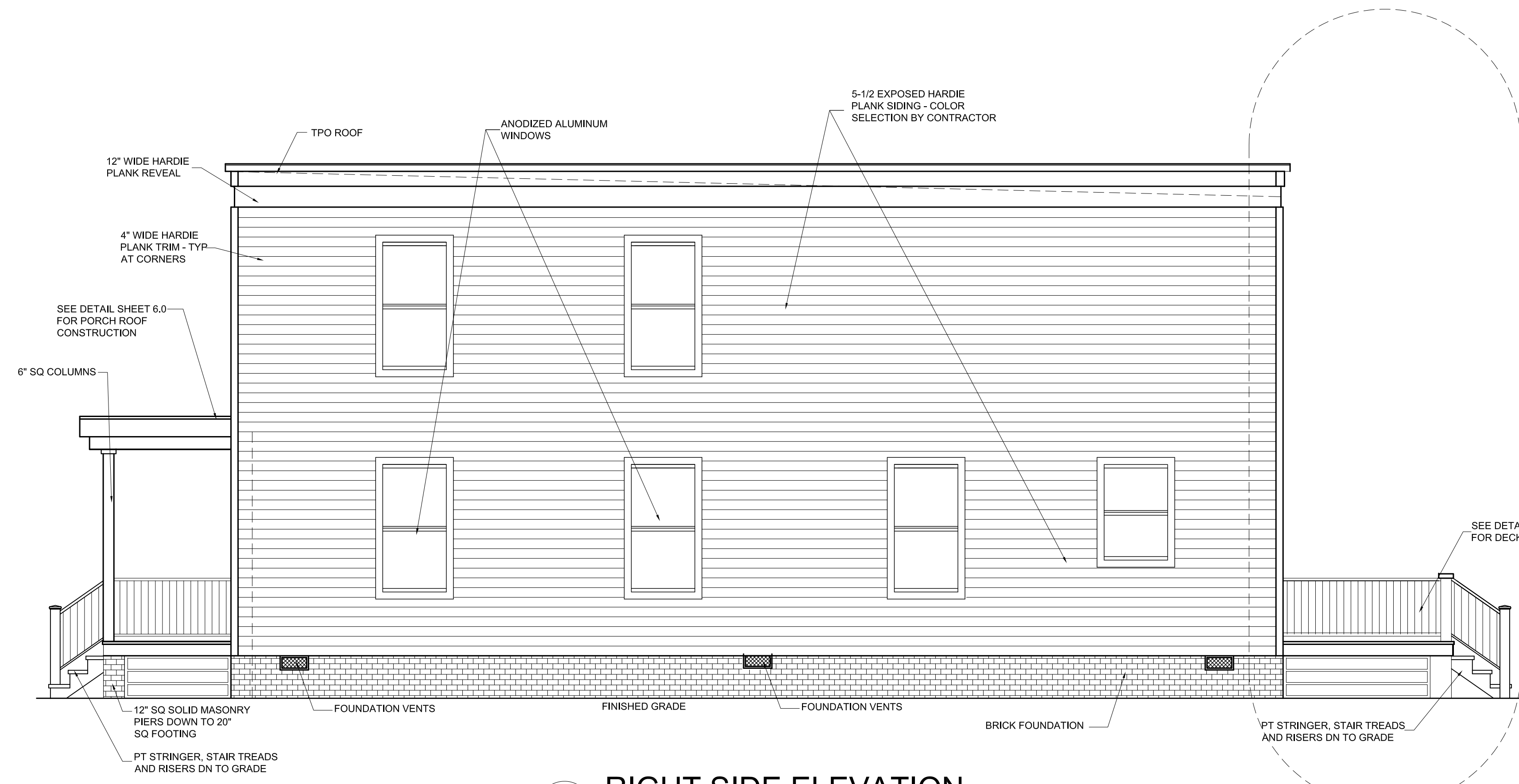
Title
ELEVATIONS AND DETAILS

Drawing No.
4.0

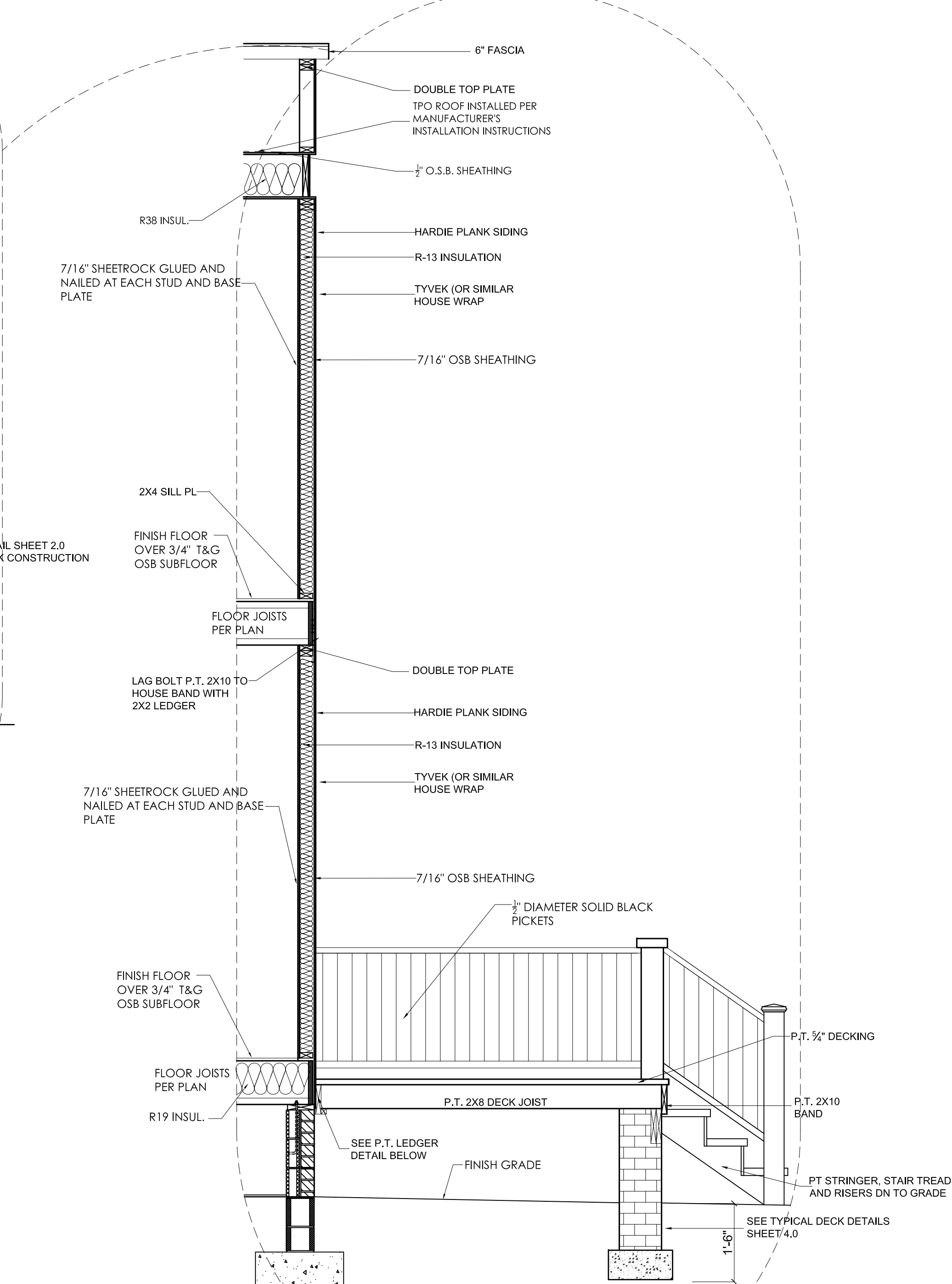
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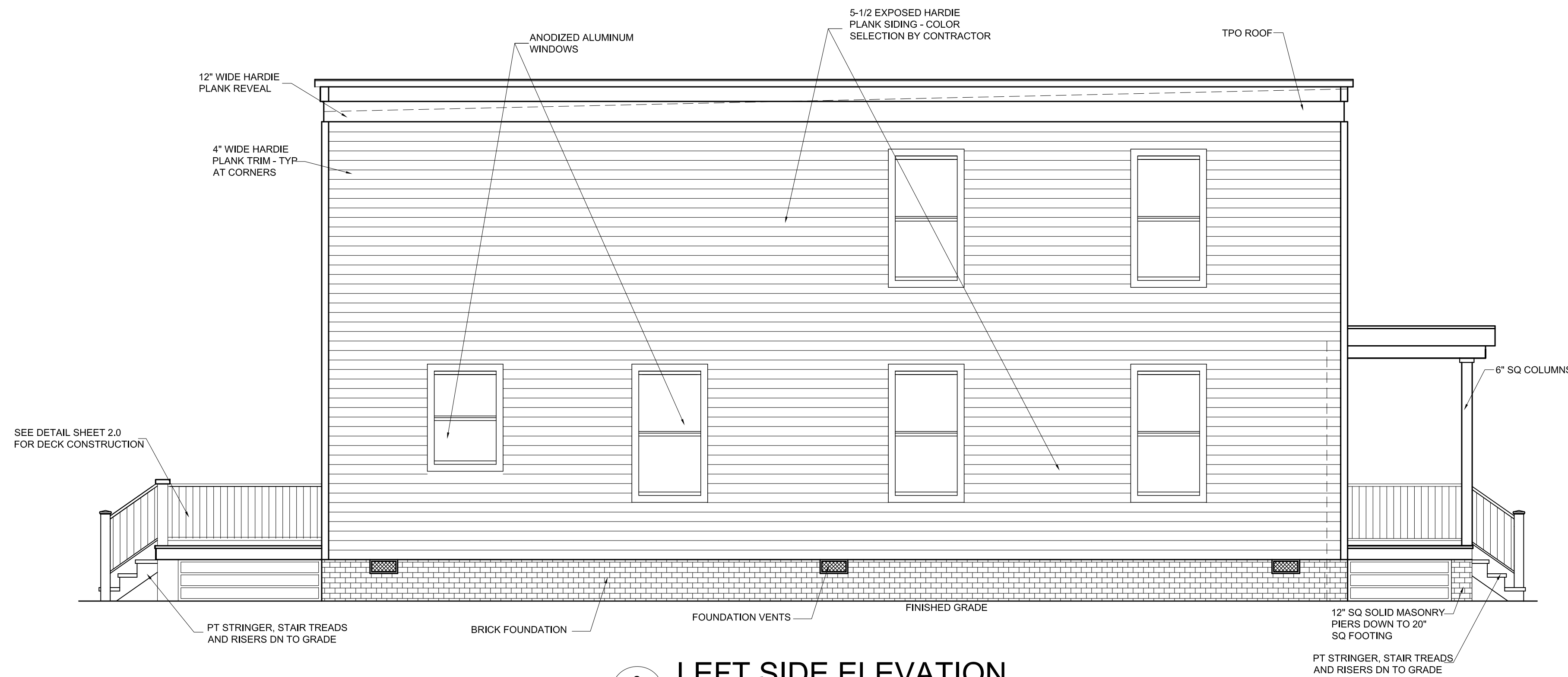
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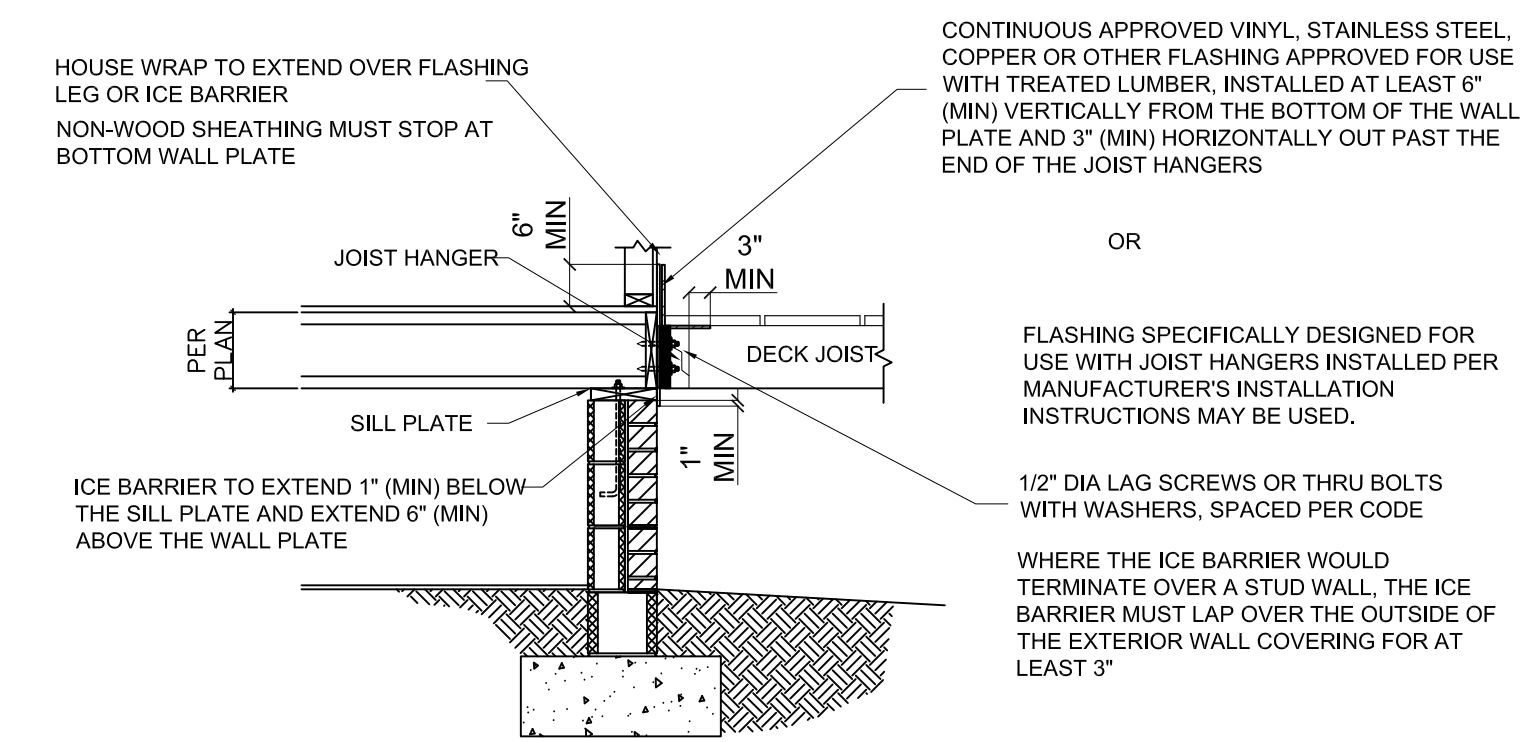
3 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



A DECK DETAIL
SCALE: 1/2" = 1'-0"



2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



B DECK LEDGER DETAIL
SCALE: NONE

Project
**2117 & 2119 CARRINGTON
RICHMOND, VIRGINIA 23223**

Title
ELEVATIONS AND WALL SECTION

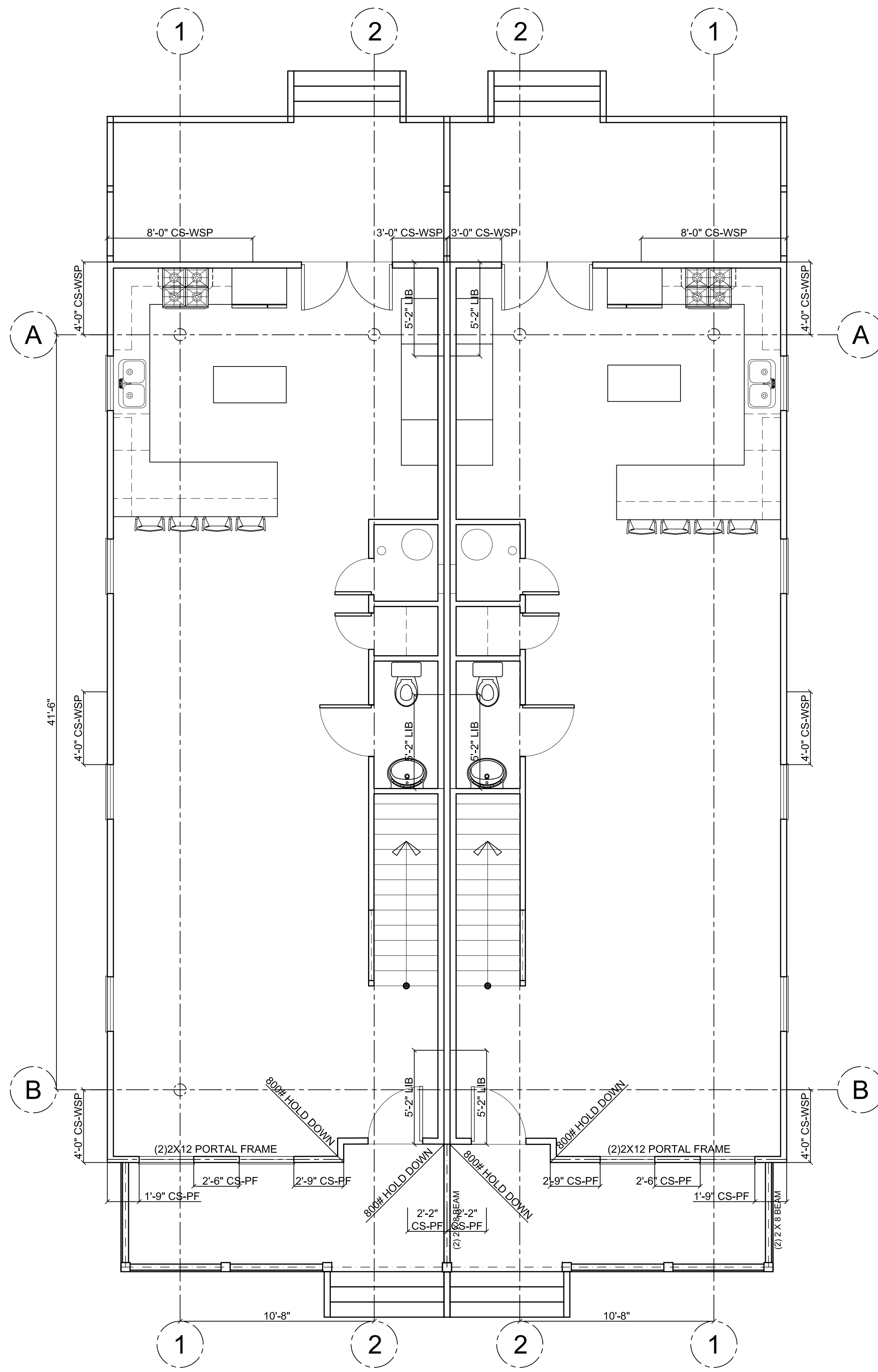
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5.0

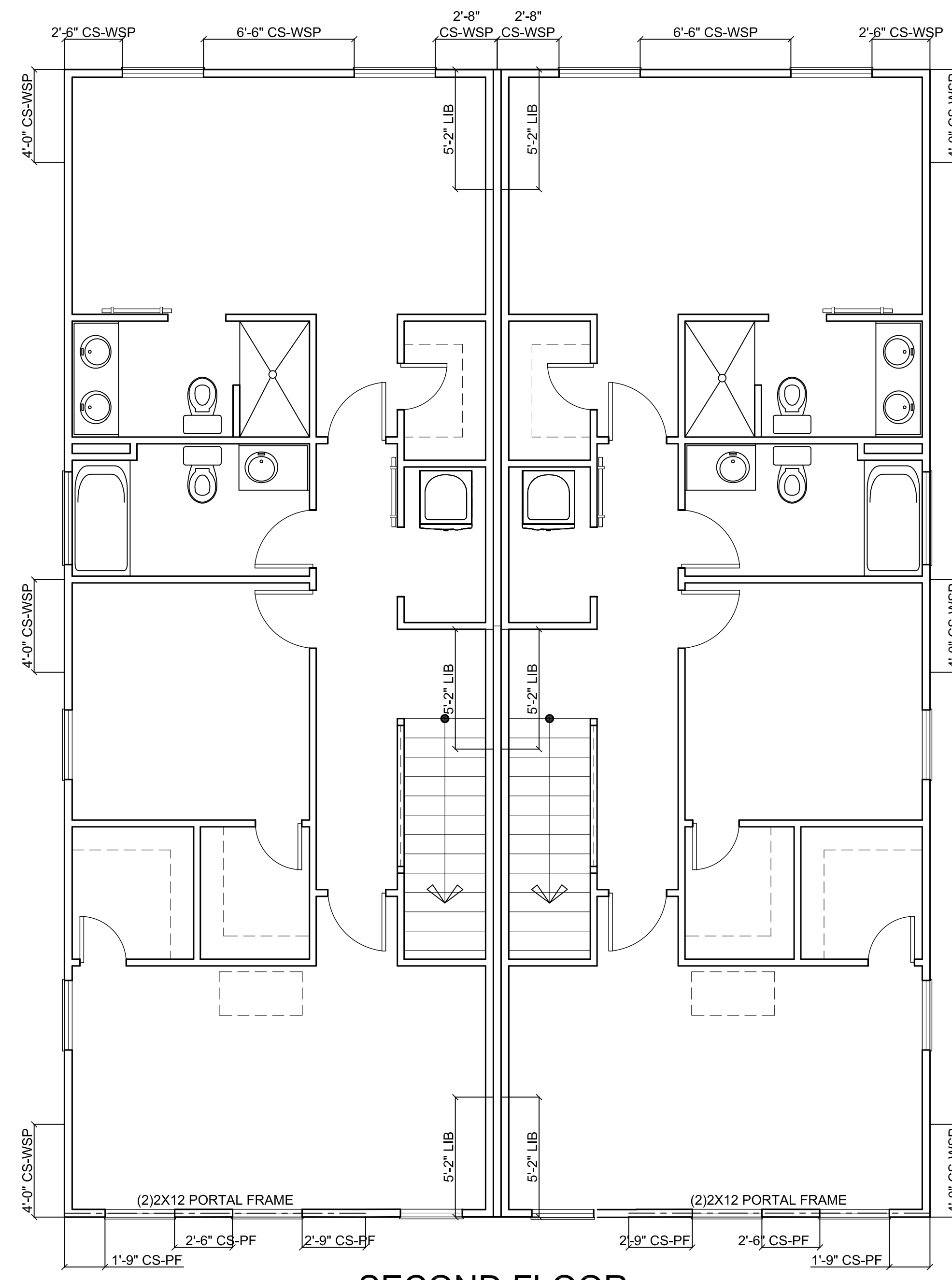
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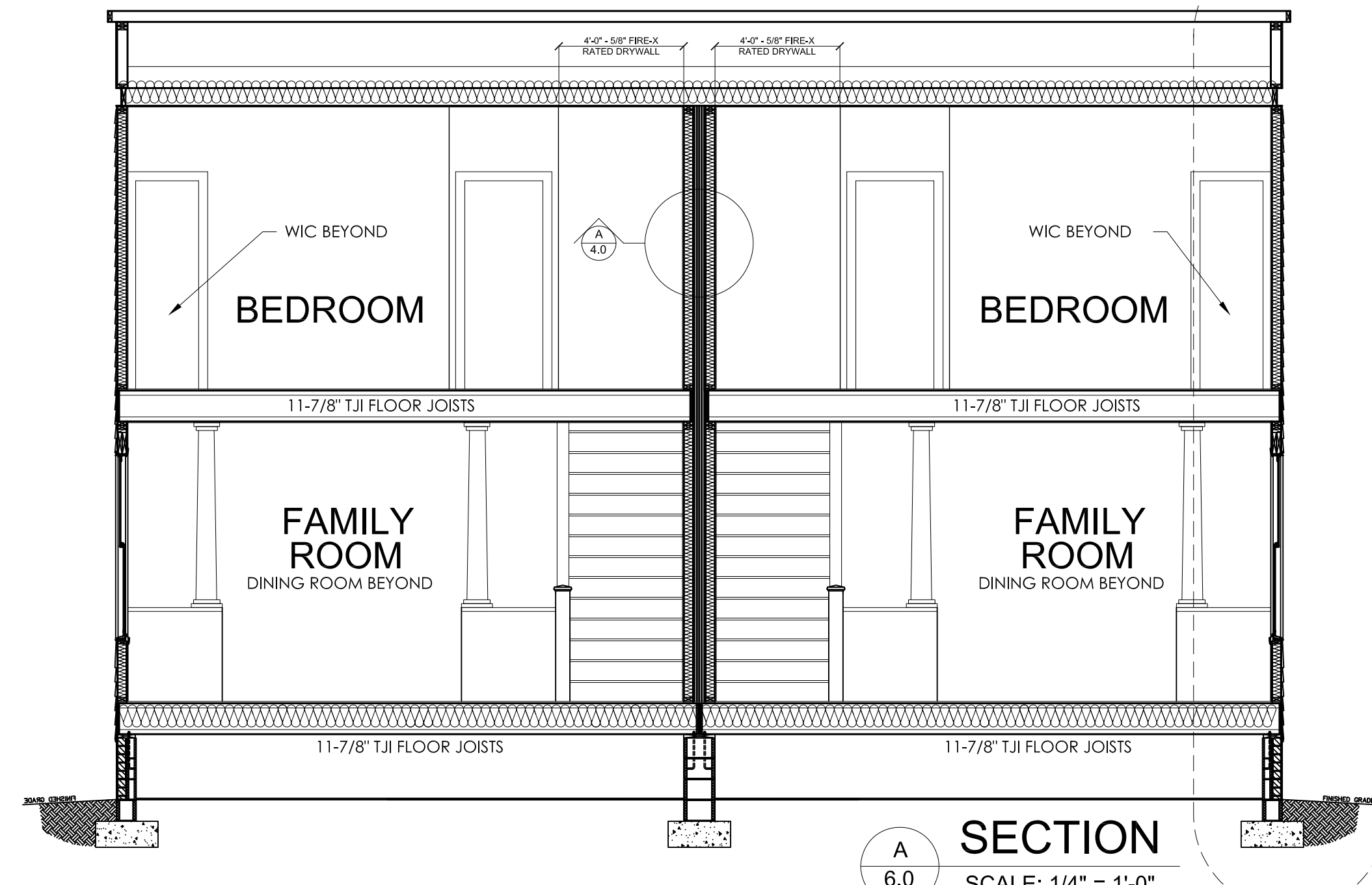
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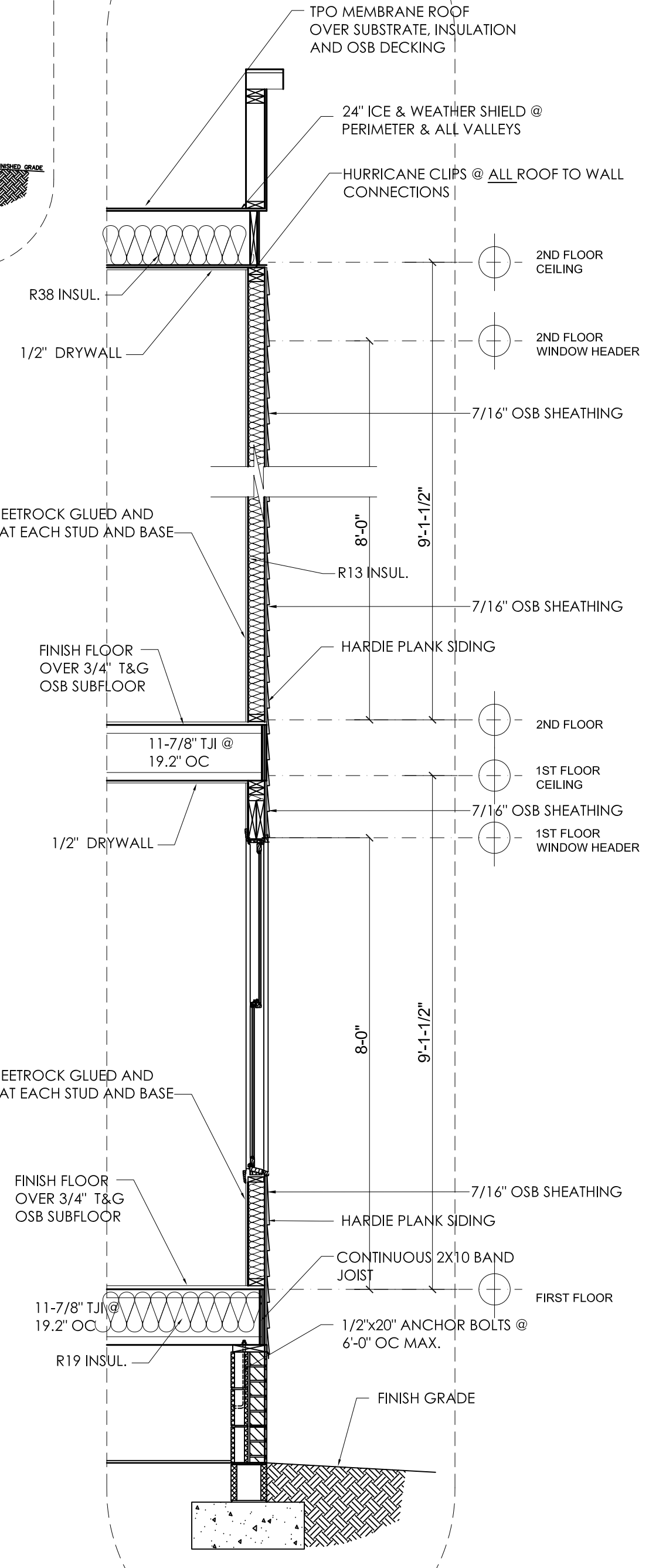
FIRST FLOOR BRACED WALL PLAN
1
6.0
SCALE: 3/16" = 1'-0"



SECOND FLOOR BRACED WALL PLAN
2
6.0
SCALE: 3/16" = 1'-0"



SECTION 6.0
SCALE: 1/4" = 1'-0"

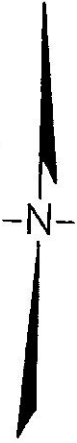


WALL SECTION 6.0
SCALE: 1/2" = 1'-0"

Project
2117 & 2119 CARRINGTON RICHMOND, VIRGINIA 23223

Title
SECTIONS AND BRACED WALL PLANS

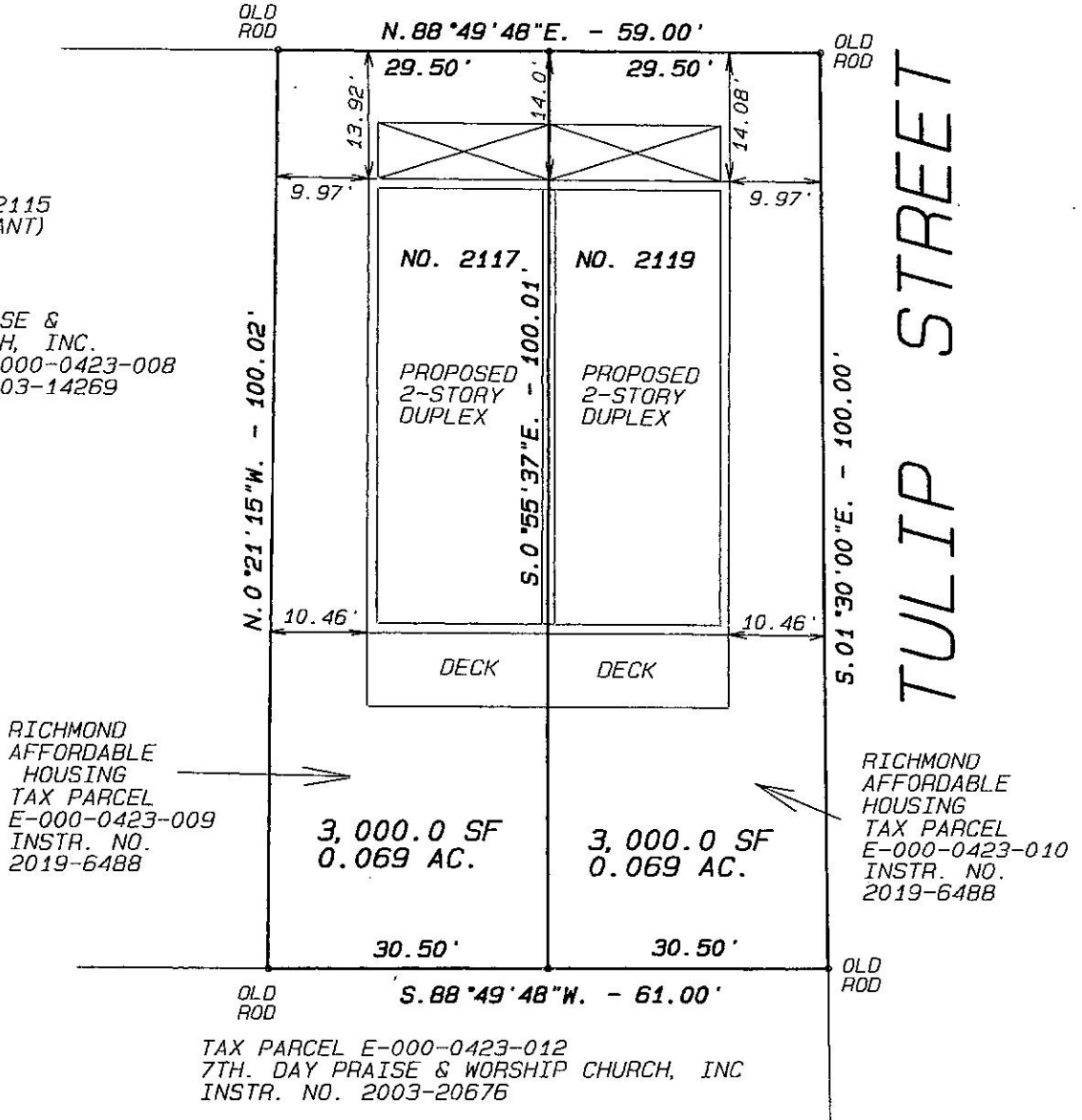
Drawing No.
6.0



CARRINGTON STREET

NO. 2115
(VACANT)

7TH. DAY PRAISE &
WORSHIP CHURCH, INC.
TAX PARCEL E-000-0423-008
INSTR. NO. 2003-14269



NOTE:
THIS SURVEY HAS BEEN
PREPARED WITHOUT THE
BENEFIT OF A TITLE REPORT
AND DOES NOT, THEREFORE,
NECESSARILY INDICATE
ALL ENCUMBRANCES
ON THE PROPERTY.

PLAT OF PROPERTY SITUATED
ON THE SOUTHWEST CORNER
OF CARRINGTON STREET AND
TULIP STREET
CITY OF RICHMOND, VIRGINIA
MAY 31, 2019 SCALE: 1"=20'



STEVEN B. KENT & ASSOCIATES, P.C.
LAND SURVEYORS
1521 Brook Road
Richmond, VA 23220
PH. 804-643-6113

CERTIFICATION

THIS IS TO CERTIFY THAT WE MADE AN ACCURATE FIELD SURVEY OF THE PREMISES SHOWN HEREON, THAT ALL IMPROVEMENTS AND VISIBLE EASEMENTS ARE SHOWN HEREON, THAT THERE ARE NO ENCROACHMENTS BY IMPROVEMENTS EITHER FROM ADJOINING PREMISES, OR FROM SUBJECT PREMISES, OTHER THAN SHOWN HEREON.

FILE E-423