



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 14 West Duval Street, Richmond VA
Historic district Jackson Ward District

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

APPLICANT INFORMATION

Name Roy L. Delph
Company DePasquale Delph Gentilhomme Group
Mailing Address 0 East 4th Street Studio 39, Richmond VA 23224

Phone 804-347-7330
Email rdelph@dgrouparchitects.com
Applicant Type: Owner Agent
 Lessee Architect Contractor
 Other (please specify):

OWNER INFORMATION (if different from above)

Name Robert Brown, Jr.
Mailing Address 14 W Duval Street
Richmond, VA 23220

Company Sixth Mount Zion Baptist Church
Phone 804-648-7511
Email webmaster@smzbc.org

PROJECT INFORMATION

Review Type: Conceptual Review Final Review
Project Type: Alteration Demolition

New Construction
(Conceptual Review Required)

Project Description: (attach additional sheets if needed)

See Attached Plans

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner 

Date August 27, 2019

SIXTH MOUNT ZION BAPTIST CHURCH

14 WEST DUVAL STREET

RICHMOND, VA 23220



SIXTH MOUNT ZION
BAPTIST CHURCH
14 WEST DUVAL STREET
RICHMOND, VA 23220

PROJECT TEAM

OWNER:

SIXTH MOUNT ZION BAPTIST CHURCH
18 WEST DUVAL STREET
RICHMOND, VA 23220
PHONE 804.648.7511
CONTACT: ROBERT BROWN
EMAIL: advisorrob@comcast.net

ARCHITECT:

DEPASQUALE DELPH GENTILHOMME GROUP
18 WEST FRANKLIN STREET
RICHMOND, VA 23220
PHONE 1.804.649.2192
CONTACT: ROY L. DELPH III
EMAIL: RDELPH@DGGROUPARCHITECTS.COM

STRUCTURAL ENG.:

LYNCH MYKINS
4198 COX ROAD
SUITE 110
GLEN ALLEN, VA 23060
PHONE 1.804.346.3935
CONTACT: JOHN HANCOCK
EMAIL: JHANCOCK@STROUDPENCE.COM

HISTORIC TAX CREDIT CONSULTANT

COMMONWEALTH PRESERVATION GROUP
P.O. BOX 11083
NORFOLK, VA 11083
Phone 1.757.923.1900
Contact: PAGE POLLARD
Email: PAGE@COMMONWEALTHPRESERVATIONGROUP.COM

GENERAL CONTRACTOR

CENTURY CONSTRUCTION INC
7416 FOREST HILL AVENUE
RICHMOND, VA 23225
Phone 1.804.330.4400
Contact: NEIL PALMER
Email: N.PALMER@CENTURYCONSTRUCTIONINC.COM

CODE ANALYSIS

CODE ANALYSIS
APPLICABLE CODE: INTERNATIONAL BUILDING CODE 2015
VIRGINIA UNIFORM STATEWIDE BUILDING CODE, 2015,

1. USE GROUP: A - 3

2. CONSTRUCTION CLASSIFICATION: 3B

3. BUILDING AREA (SECTION 503):

EQUATION 5-1 AREA MODIFICATIONS (506.1)

$A(A) = \{AT + [ATXIF] + [ATXIS]\}$

WHERE: $A(T) = 9,500$ (TABLE 503 VALUE FOR 3B CONSTRUCTION)
 $I(S) = 0$

$A(A) = 9,500 + [9,500 * 0 + [0]$

$A(A) = 9,500 + 0$

$A(A) = 9,500$ SF/FLOOR

EXISTING BUILDING AREA: 8,904 S.F. < A(A)

4. EXIT REQUIREMENTS PER TABLE 1019.1 REFER TO SHEET LS1.1 & LS1.2

5. PLUMBING FIXTURE CALCULATIONS REFER TO SHEET LS1.1 & LS1.2

INDEX OF DRAWINGS

COVER

T1.1 : COVER SHEET

ARCHITECTURAL

LS1.1 : FIRST AND SECOND FLOOR LIFE SAFETY PLAN

LS1.2 : BALCONY LIFE SAFETY PLAN

ASP : ARCHITECTURAL SITE PLAN

D1.1 : FIRST AND SECOND FLOOR DEMOLITION PLAN

D1.2 : BALCONY DEMOLITION PLAN

A1.1 : FIRST AND SECOND FLOOR PLANS

A1.2 : BALCONY FLOOR PLAN

A1.3 : ENLARGED RESTROOM PLAN / FIRST FLOOR FINISH SCHEDULE / DOOR SCHEDULE

A1.4 : ENLARGED STAIR PLAN / SECTION / SECOND FLOOR FINISH SCHEDULE / DOOR SCHEDULE

A3.1 : EXTERIOR SOUTH AND EAST BUILDING ELEVATIONS

A3.2 : EXTERIOR NORTH AND WEST BUILDING ELEVATIONS

STRUCTURAL

S1.1 : STAIR FRAMING PLAN

S1.2 : TRUSS CONNECTION DETAIL

LEGEND

 EXISTING WALL

 DEMO WALL

 NEW WALL

 EXISTING DOOR

 DEMO DOOR

 NEW DOOR

PROJECT SCOPE

SCOPE OF THE PROJECT :

1. RENOVATION OF THE EXISTING FIRST AND SECOND FLOOR RESTROOMS TO COMPLY WITH ADA RESTROOMS REQUIREMENTS, SHEET A1.3. PLUMBING FIXTURE QUANTITIES WILL REMAIN THE SAME.

2. DEMO EXISTING NON EGRESS SHIPS LADDERS (TWO) FROM THE SECOND FLOOR TO THE CHOIR LOFT AND CONSTRUCT TWO NEW CONVENIENCE STAIRS, SHEET A1.4.

3. MAINTENANCE RESTORATION

4. THE SCOPE OF THE PROJECT SHALL NOT INCREASE THE EXISTING OCCUPANT LOAD OF THE BUILDING. NO NEW SQUARE FOOTAGE WILL BE ADDED TO THE EXISTING SQUARE FOOTAGE OF THE BUILDING.

5. THE SCOPE OF THE PROJECT SHALL NOT CHANGE THE PRIMARY USE OF THE BUILDING.

6. SIXTH MOUNT ZION BAPTIST CHURCH REHAB IS A HISTORIC TAX CREDIT PROJECT. THE INTENT IS NOT TO REMOVE AND REPLACE ELEMENTS OF THE BUILDING, BUT TO RESTORE AND RENOVATE USING THE EXISTING ELEMENTS OF THE FACILITY. RENOVATION SHALL BE IN ACCORDANCE WITH APPLICABLE SECTION OF PRESERVATION BRIEFS, PROVIDED BY THE U.S. DEPARTMENT OF INTERIOR (FOLLOW THE LINK TO THE DETAILED DESCRIPTION OF MEANS AND METHODS OF WORK). IN ADDITION, MEANS AND METHODS FOR REHABILITATION SHALL BE APPROVED BY THE OWNER'S HISTORIC TAX CREDIT CONSULTANT. NO HISTORIC REHABILITATION SHALL BE DONE WITHOUT PRIOR APPROVAL OF MEANS AND METHODS FROM THE OWNER'S TAX CREDIT CONSULTANT.

Secretary of the Interior's Standards for Rehabilitation

- A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- Changes to a property that have acquired historic significance in their own right will be retained and preserved.
- Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
- New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Preservation Briefs

<https://www.okhistory.org/shpo/presbriefs.htm>

The following Preservation Briefs are made available by the National Park Service. The HTML links will take you to the National Park Service's website (<http://www.nps.gov/tps/how-to-preserve/briefs.htm>) and will open in a new window so you can easily return to the SHPO website. The PDFs are available on the SHPO website.

- Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings
- Repointing Mortar Joints in Historic Masonry Buildings
- Improving Energy Efficiency in Historic Buildings
- Roofing for Historic Buildings
- Preservation of Historic Adobe Buildings
- Dangers of Abrasive Cleaning to Historic Buildings
- The Preservation of Historic Glazed Architectural Terra-Cotta
- Aluminum and Vinyl Sidings on Historic Buildings: The Appropriateness of Substitute Materials for Resurfacing Historic Wood Frame Buildings
- The Repair of Historic Wooden Windows
- Exterior Paint Problems on Historic Woodwork
- Rehabilitating Historic Storefronts
- The Preservation of Historic Pigmented Structural Glass (Vitrolite and Carrara Glass)
- The Repair and Thermal Upgrading of Historic Steel Windows
- New Exterior Additions to Historic Buildings: Preservation Concerns
- Preservation of Historic Concrete
- The Use of Substitute Materials on Historic Buildings Exteriors
- Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character
- Rehabilitating Interiors in Historic Buildings: Identifying and Preserving Character-Defining Elements
- The Repair and Replacement of Historic Wooden Shingle Roofs
- The Preservation of Historic Bams
- Repairing Historic Flat Plaster Walls and Ceilings
- The Preservation and Repair of Historic Stucco
- Preserving Historic Ornamental Plaster
- Heating, Ventilating, and Cooling Historic Buildings: Problems and Recommended Approaches
- The Preservation of Historic Signs
- The Preservation and Repair of Historic Log Buildings
- The Maintenance and Repair of Architectural Cast Iron
- Painting Historic Interiors
- The Repair, Replacement & Maintenance of Historic Slate Roofs
- The Preservation and Repair of Historic Clay Tile Roofs
- Mothballing Historic Buildings
- Making Historic Properties Accessible
- The Preservation and Repair of Historic Stained and Leaded Glass
- Applied Decoration for Historic Interiors: Preserving Composition Ornament
- Understanding Old Buildings: The Process of Architectural Investigation
- Protecting Cultural Landscapes: Planning, Treatment and Management of Historic Landscapes
- Appropriate Methods for Reducing Lead-Paint Hazards in Historic Housing
- Removing Graffiti from Historic Masonry
- Holding the Line: Controlling Unwanted Moisture in Historic Buildings
- Preserving Historic Ceramic Tile Floors
- The Seismic Retrofit of Historic Buildings: Keeping Preservation in the Forefront
- The Maintenance, Repair and Replacement of Historic Cast Stone
- The Preparation and Use of Historic Structure Reports
- The Use of Awnings on Historic Buildings: Repair, Replacement and New Design
- Preserving Historic Wood Porches
- The Preservation and Reuse of Historic Gas Stations
- Maintaining the Exterior of Small and Medium Size Historic Buildings
- Preserving Grave Markers in Historic Cemeteries
- Historic Decorative Metal Ceilings and Walls: Use, Repair and Replacement
- Lightning Protection for Historic Structures

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COVER TITLE
SHEET

PROJ. NO. 1403

T1.1



SIXTH MOUNT ZION
BAPTIST CHURCH
14 WEST DUVAL STREET
RICHMOND, VA 23220



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ARCHITECTURAL
SITE PLAN

PROJ. NO. 1403

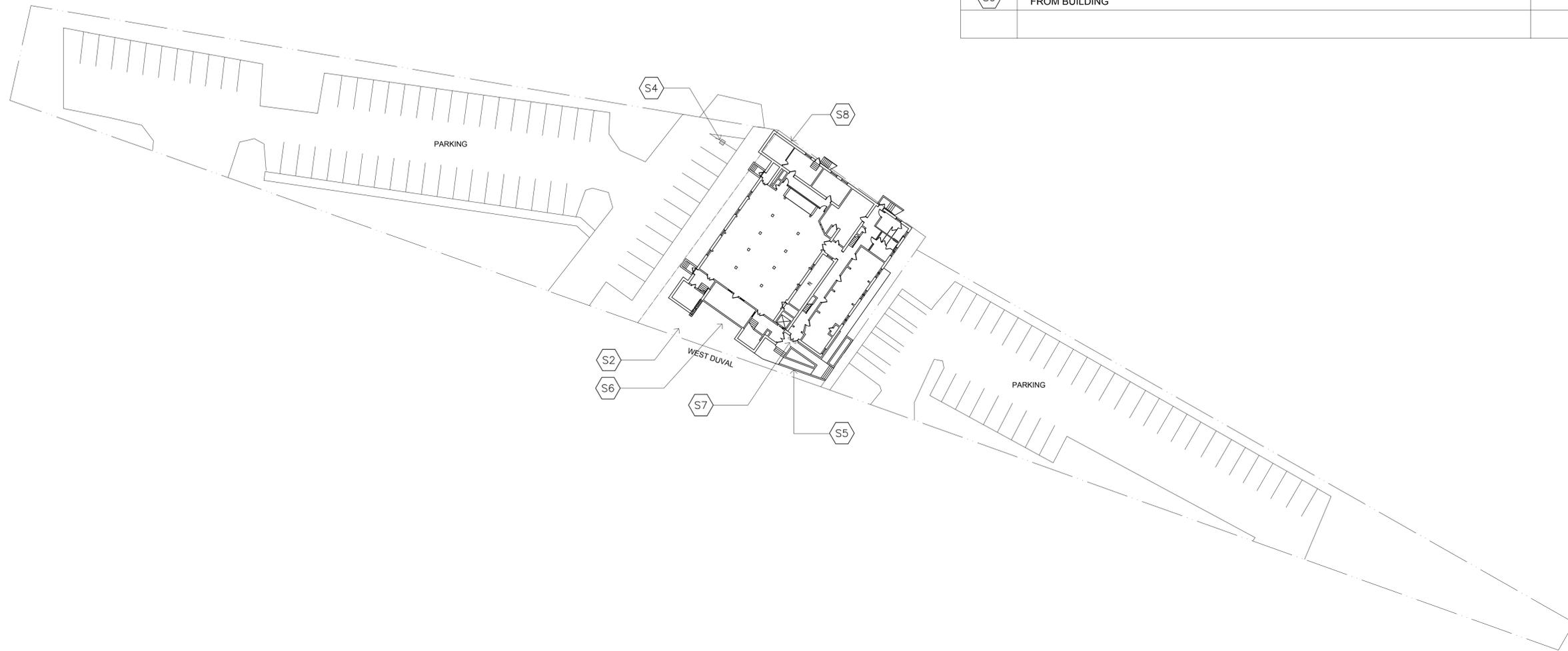


SITE RESTORATION SCHEDULE

SYMBOL	DESCRIPTION	PROJECT MANUAL APPENDIX A PAGE #
S1	NOT USED	4
S2	REPAIR BRICK SIDEWALK	2
S3	NOT USED	5
S4	REPAIR ASPHALT PAVEMENT TO STORM DRAIN	6
S5	REPAIR BRICK AT BASE OF HANDRAILS	3
S6	REPAIR CRACKS IN CONCRETE STEPS	17,20,21
S7	INSTALL STORM DRAIN AT ADIM. ENTRANCE, TIE TO EXISTING STORM DRAIN	
S8	DEMO EXISTING SIDEWALK AND INSTALL NEW LEVEL SIDEWALK, SLOPE 2% AWAY FROM BUILDING	33
S9	CLEAN ALL DOWNSPOUTS AND, STORM DRAINS AND CLEANOUTS TO PROVIDE POSITIVE FLOW AWAY FROM BUILDING	36

GENERAL NOTE :

1. PRIOR TO EXECUTION OF CONTRACT, GENERAL CONTRACTOR SHALL QUANTIFY AMOUNT OF EACH REPAIR, OR PROVIDE ALLOWANCES WHERE QUANTIFYING IS NOT APPLICABLE. UNIT COST SHALL BE INCLUDED IN OWNER / G.C. CONTRACT FOR NON QUANTIFIABLE AMOUNTS.
2. SIXTH MOUNT ZION BAPTIST CHURCH REHAB IS A HISTORIC TAX CREDIT PROJECT. THE INTENT IS NOT TO REMOVE AND REPLACE ELEMENTS OF THE BUILDING, BUT TO RESTORE AND RENOVATE USING THE EXISTING ELEMENTS OF THE FACILITY. RENOVATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTION OF "STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS", PROVIDED BY THE U.S. DEPARTMENT OF INTERIOR AND INCLUDED IN THE APPENDIX A OF THE PROJECT MANUAL. IN ADDITION, MEANS AND METHODS FOR REHABILITATION SHALL BE APPROVED BY THE OWNER'S HISTORIC TAX CREDIT CONSULTANT. NO HISTORIC REHABILITATION SHALL BE DONE WITHOUT PRIOR APPROVAL OF MEANS AND METHODS FROM THE OWNER'S TAX CREDIT CONSULTANT.



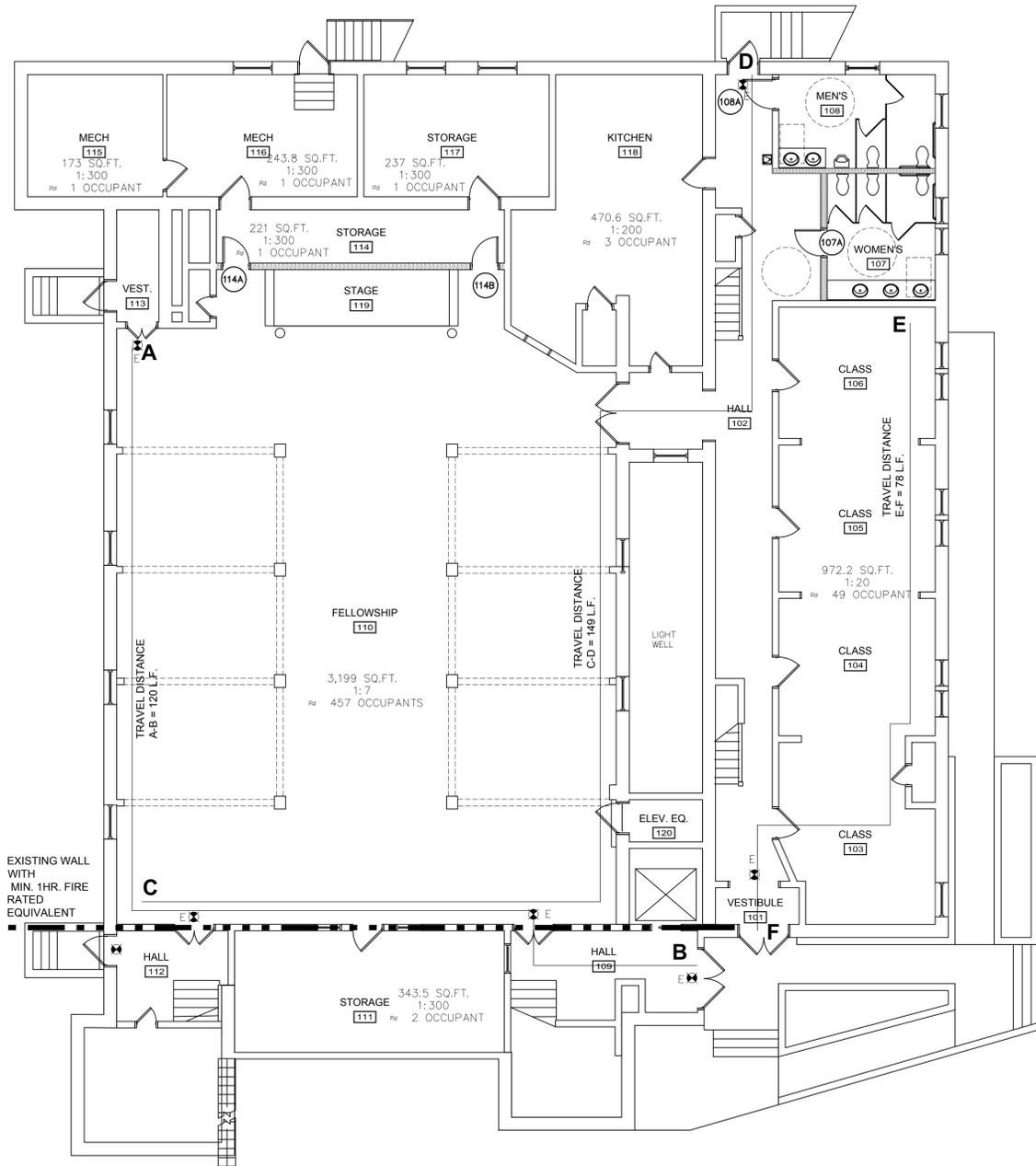
1 ARCHITECTURAL SITE PLAN
1/32" = 1'-0"

BUILDING PLUMBING CALCULATIONS

A3	M	W
WC	$\frac{1}{150}(716) \approx 5$	$\frac{1}{75}(716) \approx 10$
LAV	$\frac{1}{200}(716) \approx 4$	$\frac{1}{200}(716) \approx 4$
DF	$\frac{1}{1000}(1431) \approx 2$	

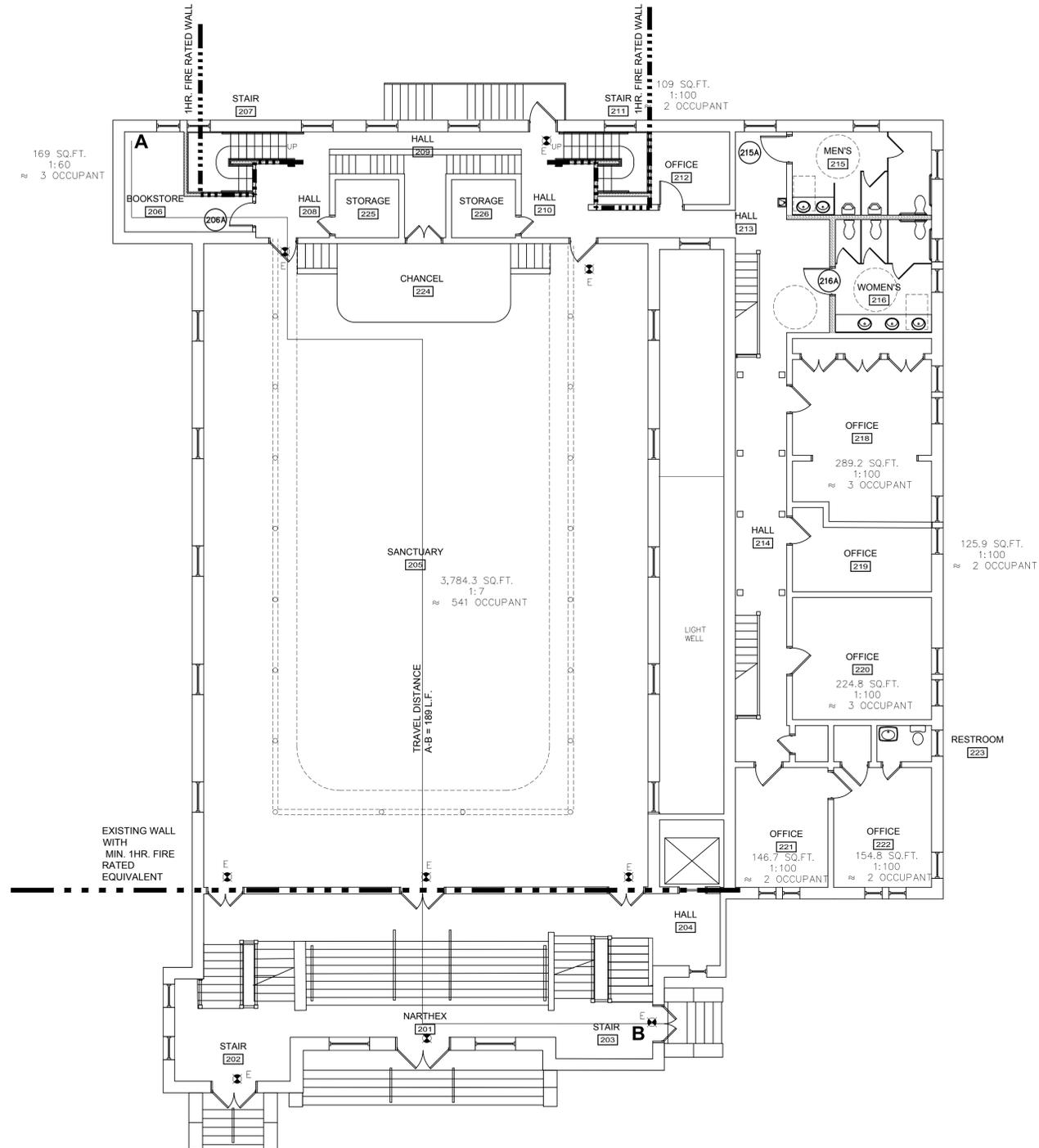
EGRESS NOTE:

- EXISTING EXIT LIGHT
- TABLE 1006.3.1 # OF REQUIRED EXITS PER STORY = 3
EXISTING EXITS = 4
- TABLE 1017.2 REQUIRED EXIT ACCESS TRAVEL DISTANCE
USE GROUP A W/O SPRINKLER = 200 LF.
REFER TO FLOOR PLAN FOR TRAVEL DISTANCES



FIRST FLOOR OCCUPANT LOAD = 515

1 FIRST FLOOR PLAN
1/8" = 1'-0"



SECOND FLOOR OCCUPANT LOAD = 558

2 SECOND FLOOR PLAN
1/8" = 1'-0"



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FIRST AND SECOND
FLOOR
LIFE SAFETY PLAN

PROJ. NO.1403





SIXTH MOUNT ZION
BAPTIST CHURCH
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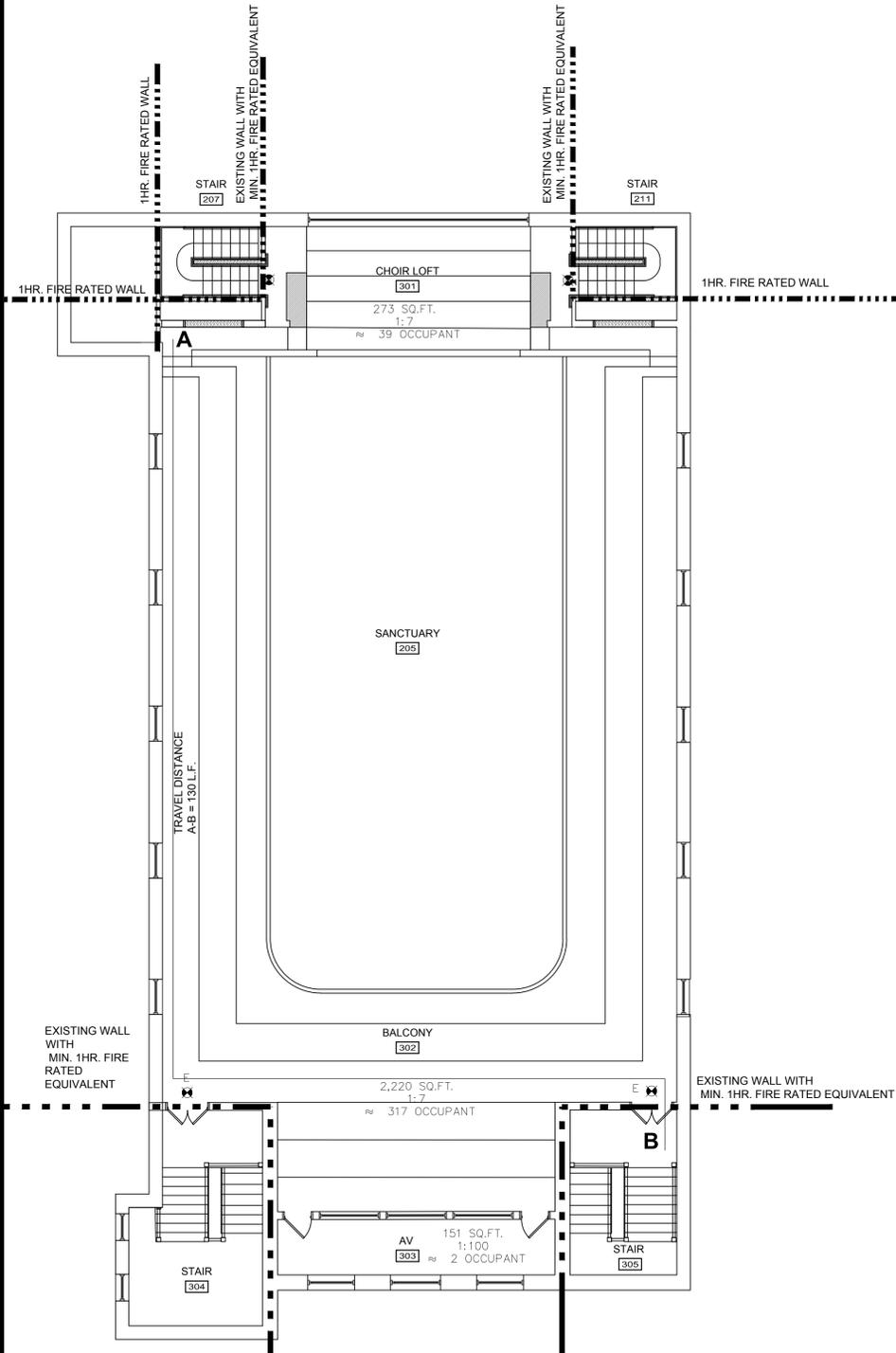
BALCONY
LIFE SAFETY PLAN

PROJ. NO. 1403



EGRESS NOTE:

- E 1. EXISTING EXIT LIGHT
- 2. REFER TO SHEET LS1.1 FOR EGRESS NOTES
- 3. REFER TO SHEET LS1.1 FOR PLUMBING CALCULATIONS



BALCONY OCCUPANT LOAD = 358

1 BALCONY FLOOR PLAN
1/8" = 1'-0"



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FIRST AND SECOND
FLOOR
DEMOLITION PLAN

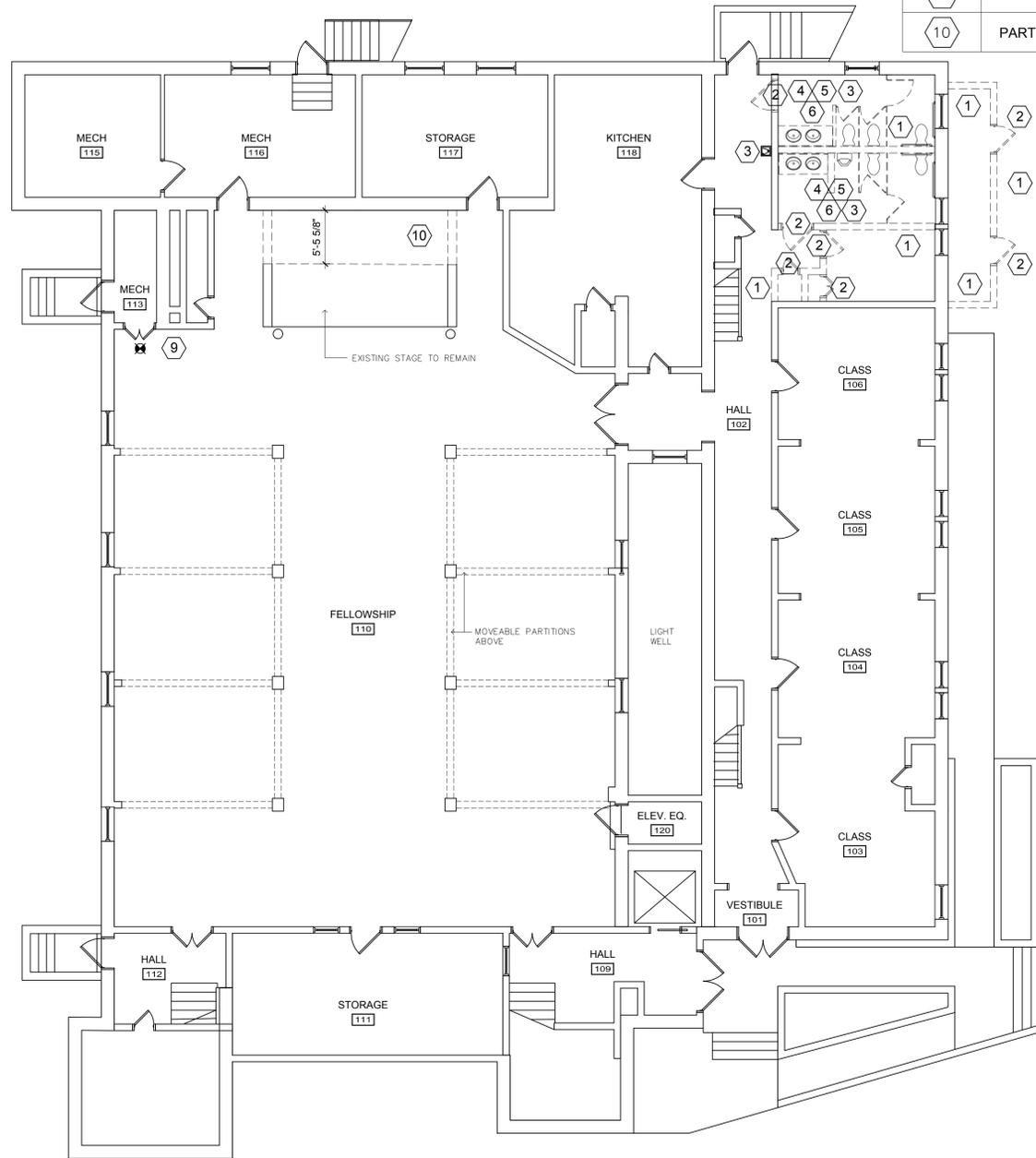
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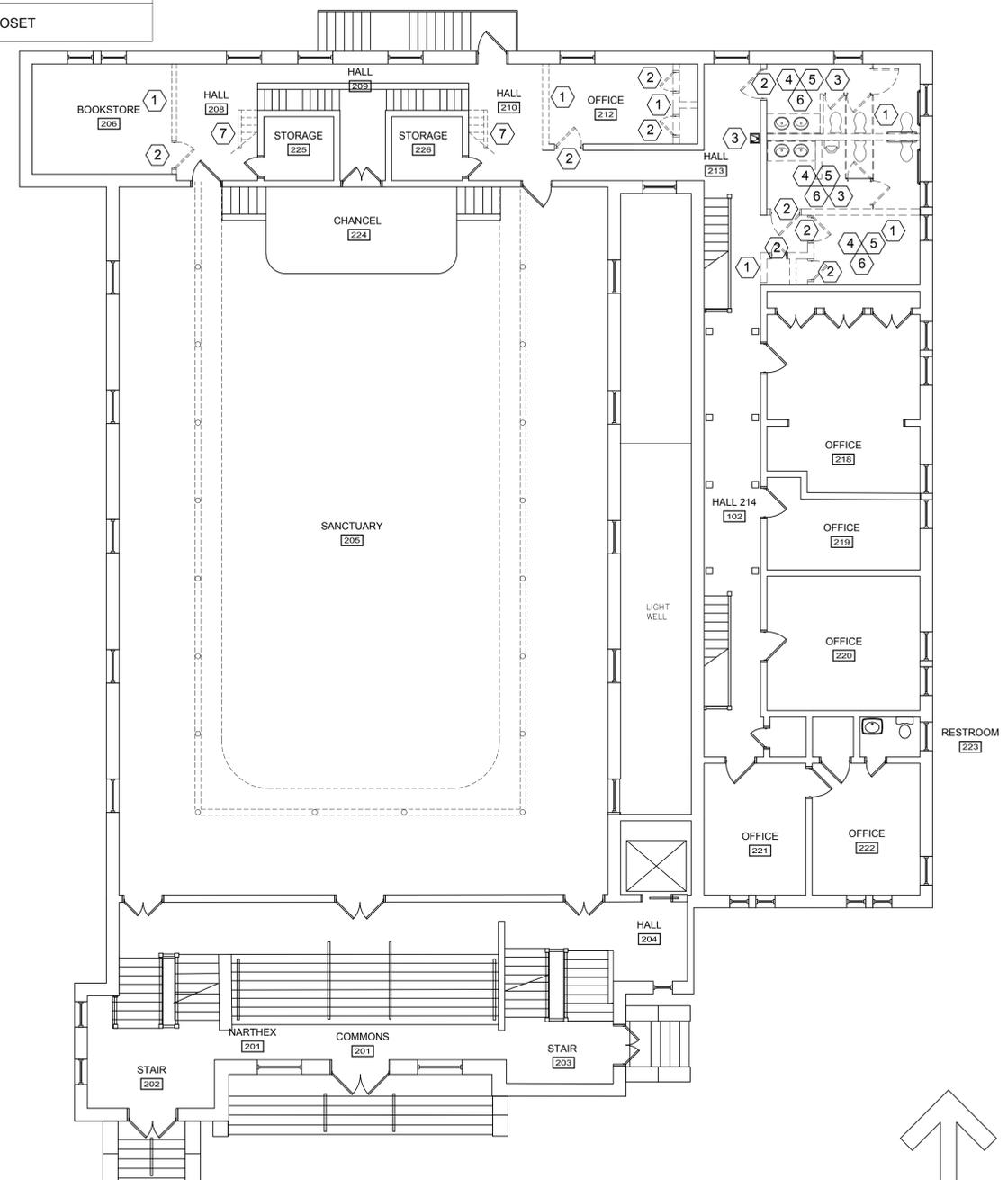
DEMOLITION SCHEDULE	
SYMBOL	DESCRIPTION
1	DEMO WALL
2	DEMO DOOR AND FRAME
3	DEMO ALL PLUMBING FIXTURES AND ASSOCIATED SUPPLY AND DRAINS TO THE EXTENT REFLECTED ON THE PLUMBING DESIGN DOCUMENTS
4	DEMO FINISH CEILING TO INSTALL NEW MECHANICAL AND PLUMBING LINES
5	DEMO FLOOR FINISH TO RELOCATE NEW ADA FIXTURES
6	DEMO WALL FINISHES EXCEPT ON EXTERIOR WALLS
7	DEMO SHIPS LADDER TO PROVIDE AREA FOR NEW EGRESS STAIRS SAVE TREADS TO INSTALL AS FINISH CEILING AT ABANDONED OPENING
9	NOT USED
10	PARTIALLY DEMO STAGE FOR NEW STORAGE CLOSET

NOTE:

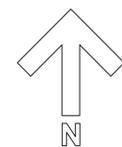
1. PATCH AND REPAIR AREA AFFECTED BY DEMOLITION TO PROVIDE FLUSH FINISH WITH ADJACENT UNDISTURBED SURFACES WHERE NOT CONCEALED BY NEW FINISH.
2. COORDINATE ALL WALLS DEMOLISHED WITH NEW LAYOUT, WALL LOCATIONS / NEW OPENINGS.
3. COORDINATE ALL WORK ASSOCIATED MEP SCOPE WITH MEP DESIGN BUILD DOCUMENTS.



1 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"

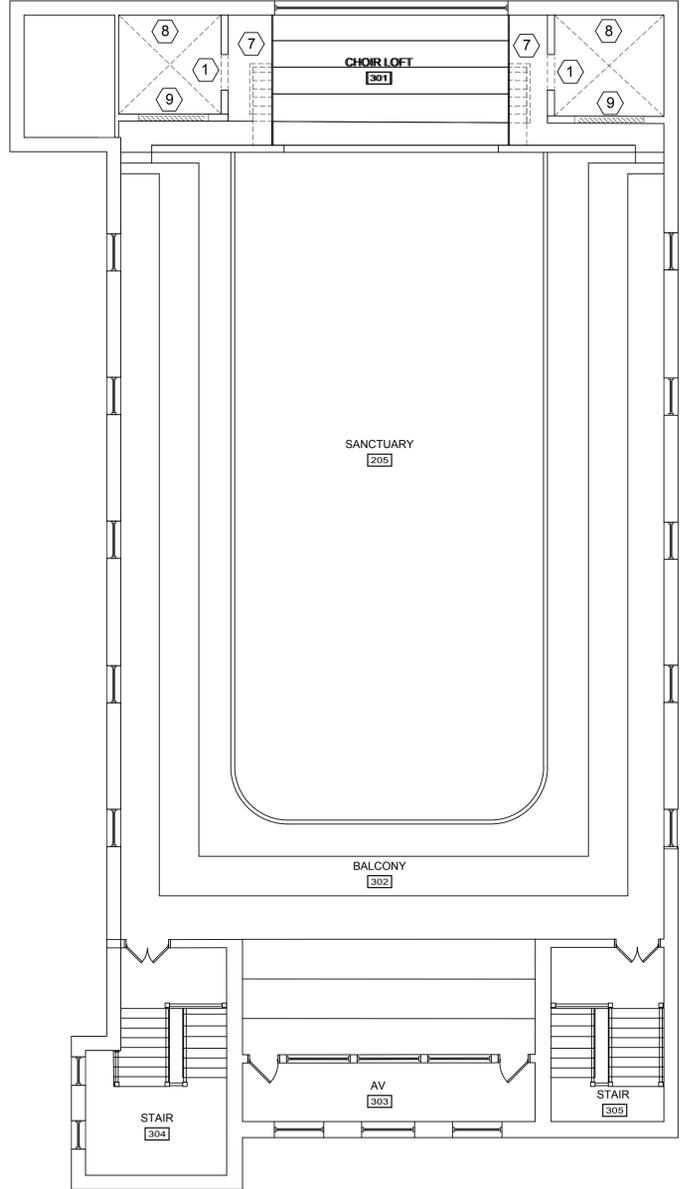


2 SECOND FLOOR DEMOLITION PLAN
1/8" = 1'-0"



DEMOLITION SCHEDULE	
SYMBOL	DESCRIPTION
1	DEMO WALL
7	DEMO SHIPS LADDER TO PROVIDE AREA FOR NEW EGRESS STAIRS SAVE TREADS TO INSTALL AS FINISH CEILING AT ABANDONED OPENING
8	DEMO FLOOR / CEILING FOR NEW EGRESS STAIR
9	DEMO FALSE ORNAMENTAL PIPE ORGAN PIPES E.S. / INFILL OPENING

- NOTE :
- PATCH AND REPAIR AREA AFFECTED BY DEMOLITION TO PROVIDE FLUSH FINISH WITH ADJACENT UNDISTURBED SURFACES WHERE NOT CONCEALED BY NEW FINISH.
 - COORDINATE ALL WALLS DEMOLISHED WITH NEW LAYOUT, WALL LOCATIONS / NEW OPENINGS.



1 BALCONY DEMOLITION FLOOR PLAN
1/8" = 1'-0"



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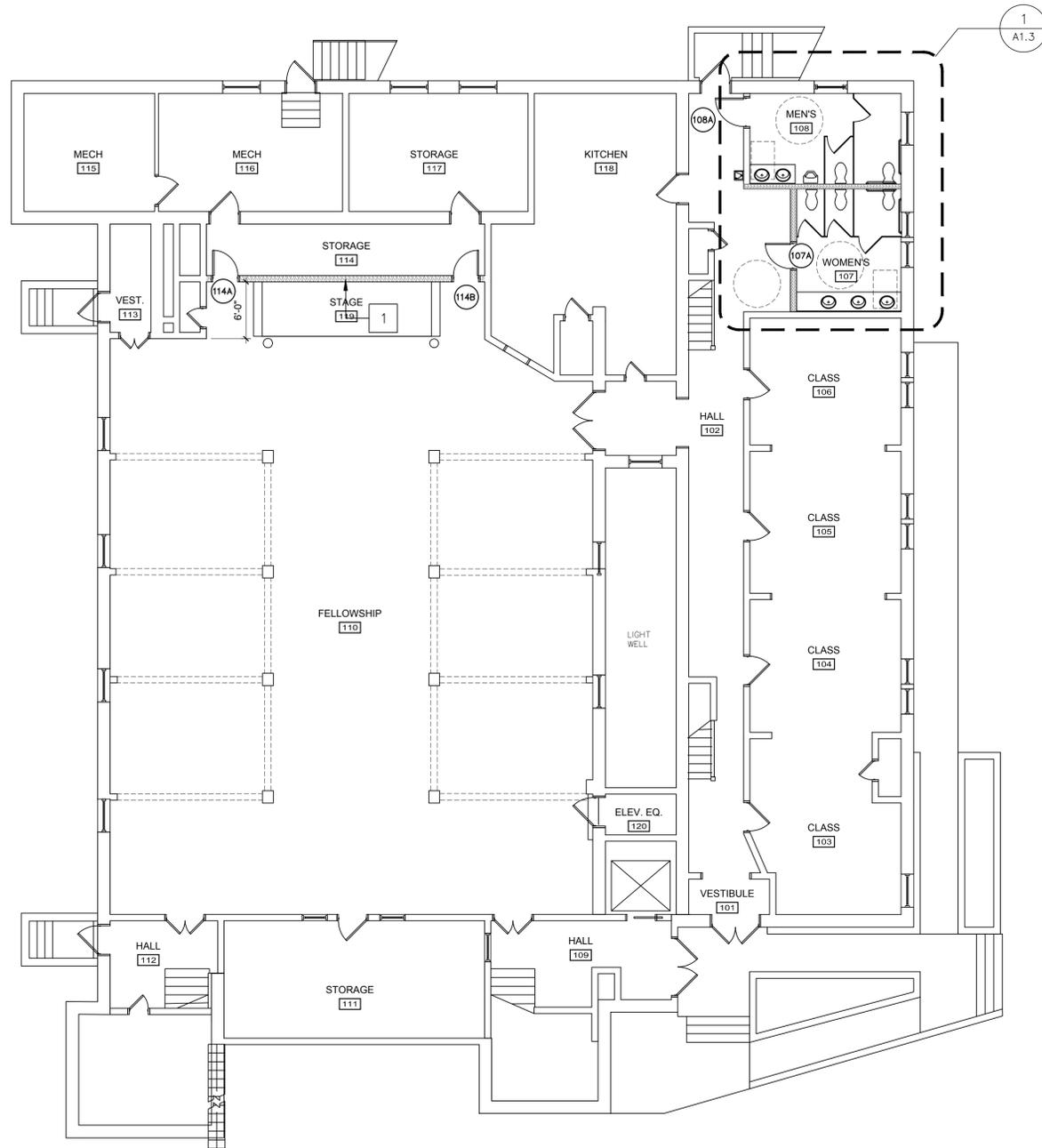
BALCONY
DEMOLITION PLAN

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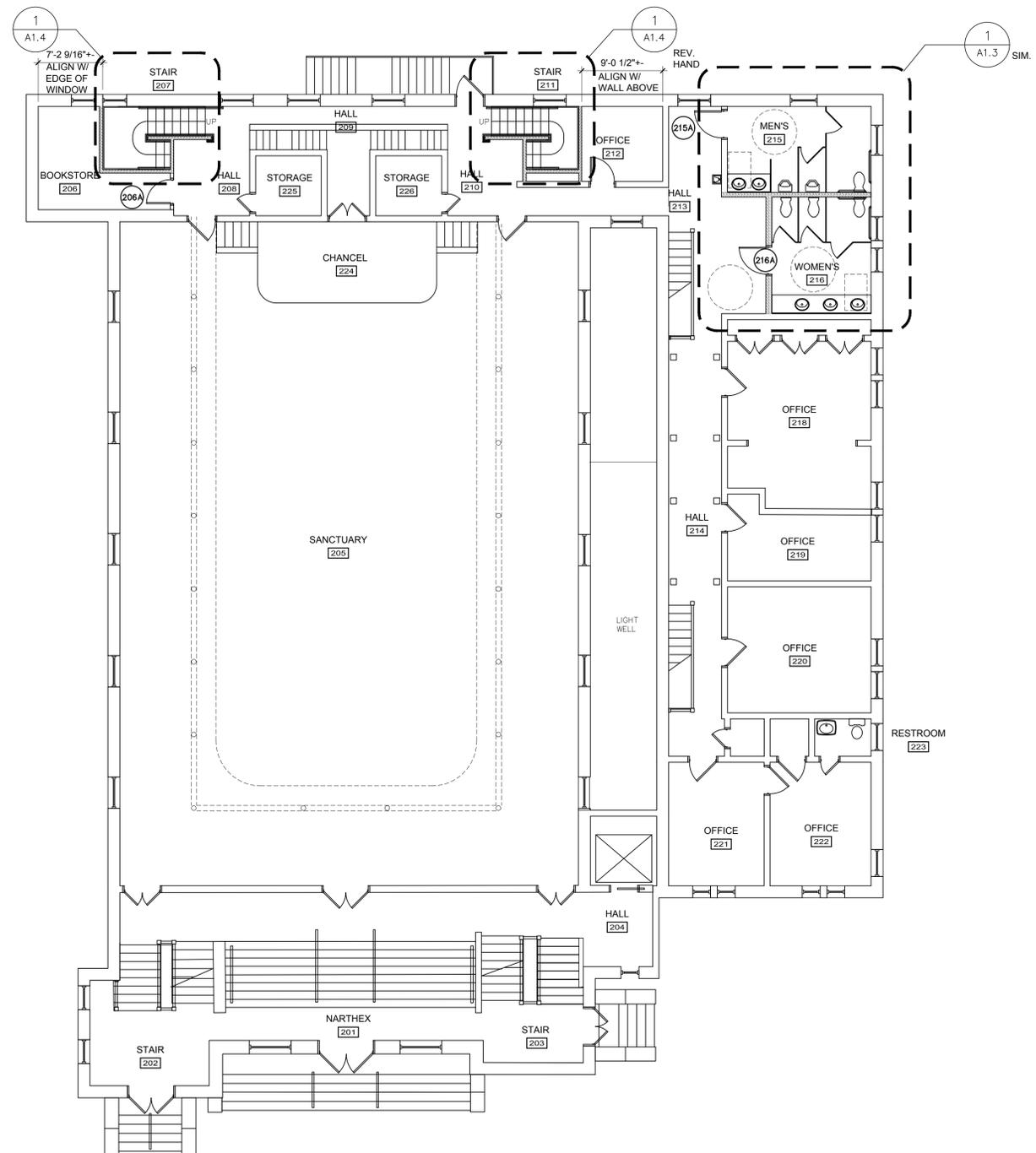


GENERAL NOTES

1. REVERSE SWING ON EXIT DOORS TO DIRECTION OF MEANS OF EGRESS
2. REFER TO SHEET A1.3 FOR WALL TYPES
3. REFER TO SHEET A1.3 FOR DOOR SCHEDULE



1 FIRST FLOOR PLAN
1/8" = 1'-0"



2 SECOND FLOOR PLAN
1/8" = 1'-0"



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FIRST FLOOR PLAN
SECOND FLOOR PLAN

PROJ. NO. 1403





SIXTH MOUNT ZION
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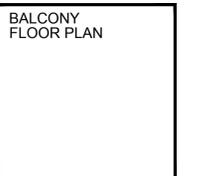
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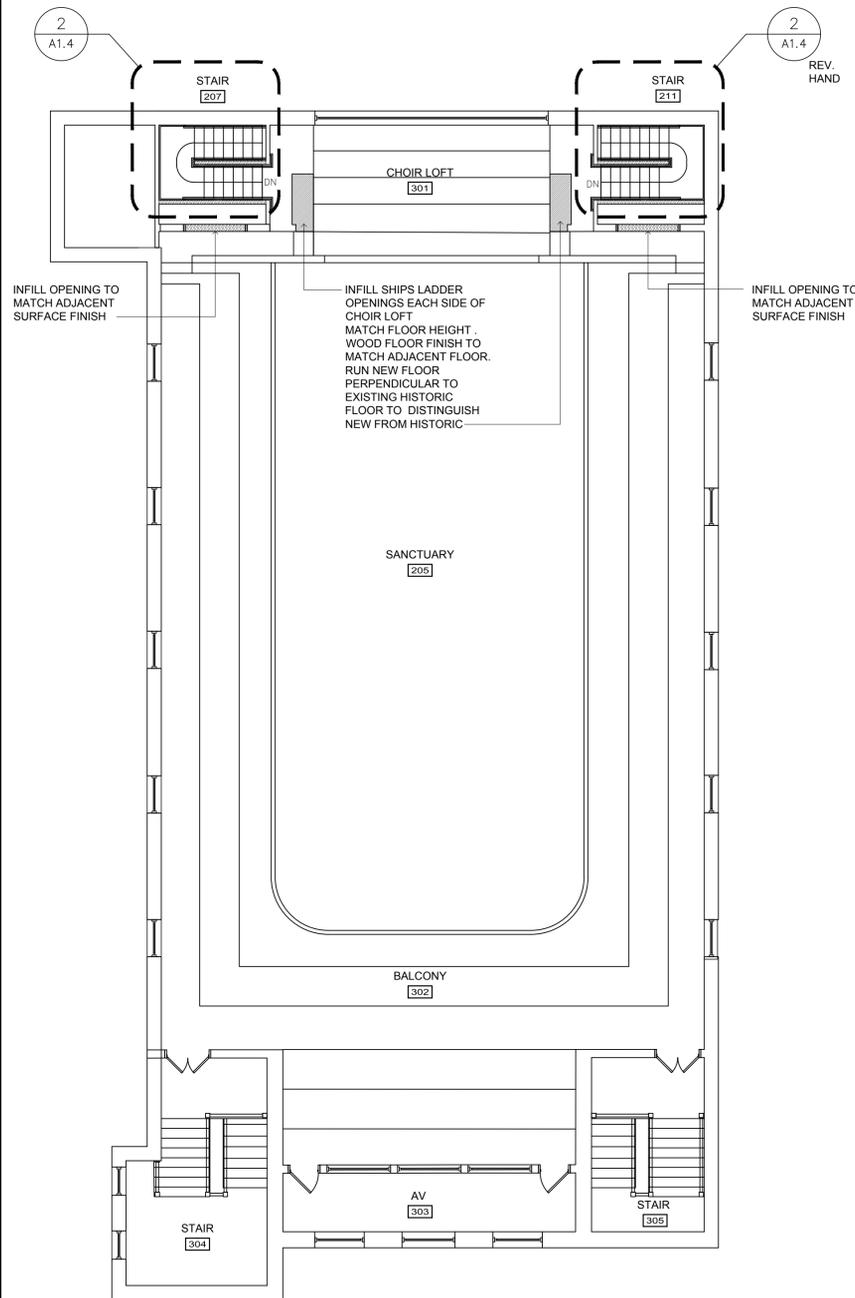
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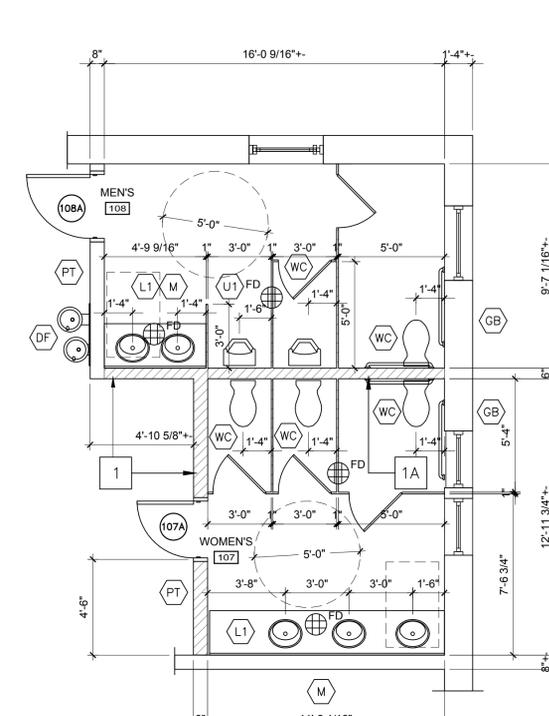


1 BALCONY FLOOR PLAN
1/8" = 1'-0"

PLUMBING ACCESSORIES SCHEDULE

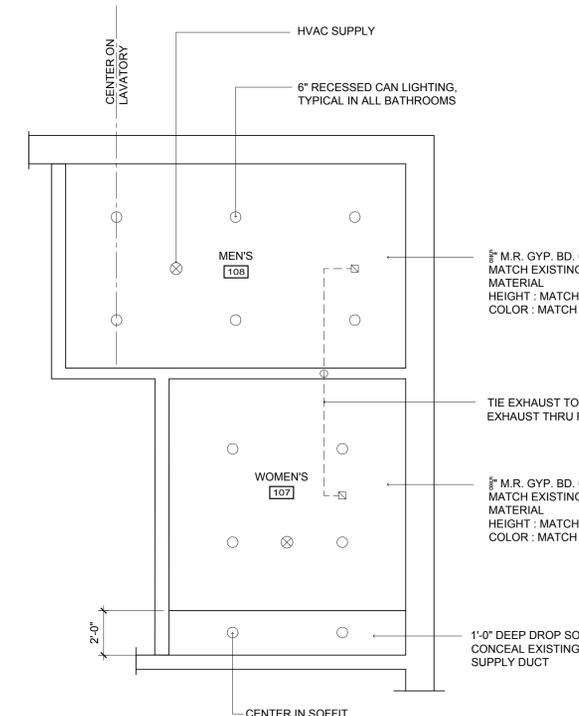
ID	DESCRIPTION	MOUNTING HEIGHT	NOTES
GB	GRAB BARS	39" TO 41" TO BOTTOM VERTICAL GRAB BAR 33" TO 36" CL FOR SIDE AND REAR WALL	B-6806x18 VERTICAL SIDE WALL B-6806x42 SIDE WALL / x36 REAR WALL
TD	DOUBLE ROLL TOILET TISSUE DISPENSER	27.5" TO TOP UNIT	
PT	PAPER TOWEL/ WASTER DISP.	61 1/2" TOP OF UNIT	
RH	ROBE HOOKS	38" TO 40" A.F.F.	B-7682 B (LOCATED ON ALL STALL DOORS)
M	ADD MIRROR	40" MAX. BOTTOM MIRROR TO FLOOR	FULL WIDTH OF SINK x 3'-4" HIGH
WC	ADA WALL MTD WATER CLOSET	RIM HEIGHT 17"	DESIGN BUILD
L-1	ADA LAVATORY	2'-10" A.F.F. MAX.	DESIGN BUILD - COMPLY W/ ANSI A117.1 -BRADLEY MODEL LD3010-SL-TR1
DF	ADA HI/LOW DRINKING FOUNTAIN	2'-10" A.F.F. MAX.	ELKAY VRCHD8S
FD	FLOOR DRAIN		

- NOTE:
- ALL FIXTURES AND ACCESSORIES SHALL COMPLY WITH ADA / ICC/ANSI A117.1
 - TOILET ACCESSORIES SHALL BE CONTURA SERIES BY BOBRICK
 - ALL TOILET PARTITIONS SHALL BE SOLID PHENOLIC. COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURERS STANDARD COLORS
 - G.C. TO PROVIDE LAVATORY DRAIN AND SUPPLY WHEELCHAIR PROTECTION JACKETS.



1 ENLARGED RESTROOM FIRST FLOOR PLAN
1/4" = 1'-0"

- GENERAL NOTES:
- RESTROOM 215 AND 216 ABOVE TO MATCH RESTROOM 107 AND 108



2 RESTROOM REFLECTED CEILING PLAN
1/4" = 1'-0"

- GENERAL NOTES:
- RESTROOM 215 AND 216 ABOVE TO MATCH RESTROOM 107 AND 108

FINISH SCHEDULE

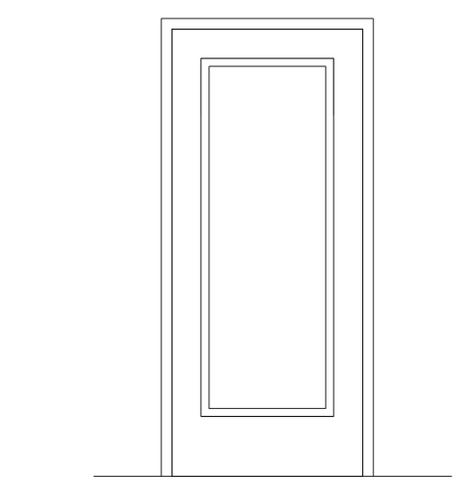
SPACE NUMBER	SPACE NAME	FLOOR		WALLS		CEILING		REMARKS
		MAT'L.	BASE	MAT'L.	FINISH	MAT'L.	FINISH	
FIRST FLOOR								
107	MEN'S	C.T.	C.T.	GYP.BD.*	PAINT	GYP.BD.	PAINT	*4'-0" HIGH C.T. WAINSCOT.
108	WOMEN'S	C.T.	C.T.	GYP.BD.*	PAINT	GYP.BD.	PAINT	*4'-0" HIGH C.T. WAINSCOT.
SECOND FLOOR								
215	MEN'S	C.T.	C.T.	GYP.BD.*	PAINT	GYP.BD.	PAINT	*4'-0" HIGH C.T. WAINSCOT.
216	WOMEN'S	C.T.	C.T.	GYP.BD.*	PAINT	GYP.BD.	PAINT	*4'-0" HIGH C.T. WAINSCOT.

- GENERAL NOTES:
- C.T. TO BE DALE TILE AMBASSADOR SERIES : 12x24 WANDERLUST WHT STD. AM36 - NON-POLISHED

DOOR SCHEDULE

ROOM NUMBER	DOOR NUMBER	SIZE (W X H)	DOOR		FRAME	LABEL	ANSI # FUNCTION	ADA THRESHOLD	CLOSER	REMARKS
			MATERIAL	TYPE						
107	107A	3'-0"x7'-0"	WD	1 PANEL	MTL	-	-	-	YES	
108	108A	3'-0"x7'-0"	WD	1 PANEL	MTL	-	-	-	YES	
114	114A	3'-0"x7'-0"	WD	1 PANEL	MTL	-	-	-	YES	
	114B	3'-0"x7'-0"	WD	1 PANEL	MTL	-	-	-	YES	
215	215A	3'-0"x7'-0"	WD	1 PANEL	MTL	-	-	-	YES	
216	216A	3'-0"x7'-0"	WD	1 PANEL	MTL	-	-	-	YES	

- GENERAL NOTES:
- ANSI LOCK SET # ARE BASED ON CORBIN RUSSWIN CL3400 SERIES HEAVY DUTY CYLINDRICAL LEVER LOCK SET OR EQUAL.
 - DOOR TRIM DESIGN SHALL BE ADA LEVER, FINISH TO MATCH EXISTING FACILITIES HARDWARE FINISH
 - ALL DOOR HARDWARE SHALL COMPLY WITH IBC SECTION 1008.1.9
 - NEW DOORS TO BE KEYED TO MATCH EXISTING FACILITY. G.C. TO SUBMIT KEYING SCHEDULE TO OWNER FOR REVIEW AND APPROVAL.
 - DOOR TO BE BY SIMPSON DOOR COMPANY OR EQUAL. ENGINEERED ALL WOOD STILES AND RAILS WITH DOWEL PINNED STILE/RAIL JOINERY. 3/8" VG FLAT PANEL, OVOLO STICKING. EASTERN WHITE PINE PAINT GRADE. FINISH TO MATCH EXISTING DOORS.



3 DOOR ELEVATION
3/4" = 1'-0"

- GENERAL NOTES:
- SINGLE RAISED PANEL : REFER TO DOOR GENERAL NOTE 5.

WALL TYPE SCHEDULE

ID NUMBER	WALL TYPE
1	<p>SONOBATT 6" METAL STUDS @ 16" O.C. W/ 5/8" GWB EACH SIDE - DEFLECTION TRACK @ TOP - BRACES REQ. BASE AS SCHEDULED EACH SIDE - FINISH FLOOR</p> <p>1 HR RATED PER IBC 2015 TABLE 721.1(2) 13-1.1</p>
1A	SAME AS TYPE 1 EXCEPT NOT RATED
2	<p>SONOBATT 3-1/2" METAL STUDS @ 16" O.C. W/ 1/2" GWB EACH SIDE - DEFLECTION TRACK @ TOP - BRACES REQ. BASE AS SCHEDULED EACH SIDE - FINISH FLOOR</p> <p>1 HR RATED PER IBC 2015 TABLE 721.1(2) 13-1.1</p>



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BAPTIST CHURCH
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RICHMOND, VA 23220



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ENLARGED RESTROOM FLOOR PLAN
R/R REFLECTED CEILING PLAN
FINISH SCHEDULE
DOOR SCHEDULE
WALL TYPES

PROJ. NO. 1403





SIXTH MOUNT ZION
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RICHMOND, VA 23220

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ENLARGED
STAIR FLOOR PLAN
AND DETAILS
REFLECTED CEILING
PLAN
STAIR SECTION
DOOR SCHEDULE
FINISH SCHEDULE

PROJ. NO. 1403

A1.4

FINISH SCHEDULE								
SPACE NUMBER	SPACE NAME	FLOOR		WALLS		CEILING		REMARKS
		MAT'L.	BASE	MAT'L.	FINISH	MAT'L.	FINISH	
206	BOOKSTORE	CPT	WD	GYP.BD.	PAINT	GYP.BD.	PAINT	
207	STAIR	CPT	WD	GYP.BD.	PAINT	GYP.BD.	PAINT	
211	STAIR	CPT	WD	GYP.BD.	PAINT	GYP.BD.	PAINT	

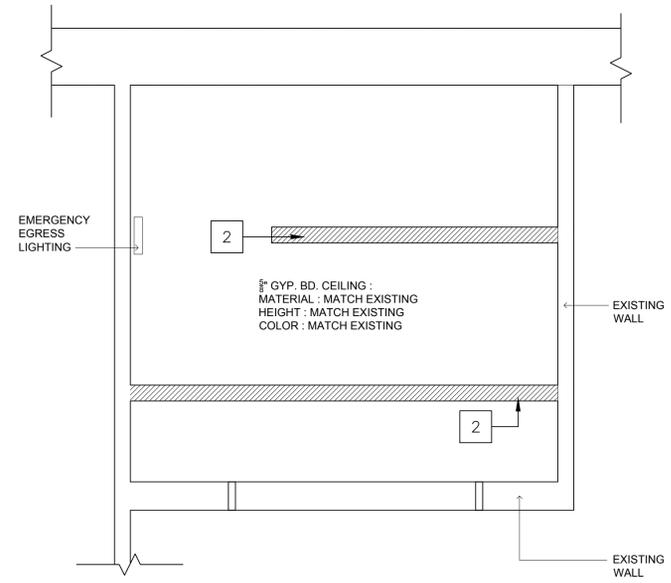
GENERAL NOTES:

- FINISHES TO MATCH EXISTING ADJACENT FINISHES
- C.T. TO BE DALE TILE AMBASSADOR SERIES : 12x24 WANDERLUST WHT STD. AM36 - NON-POLISHED

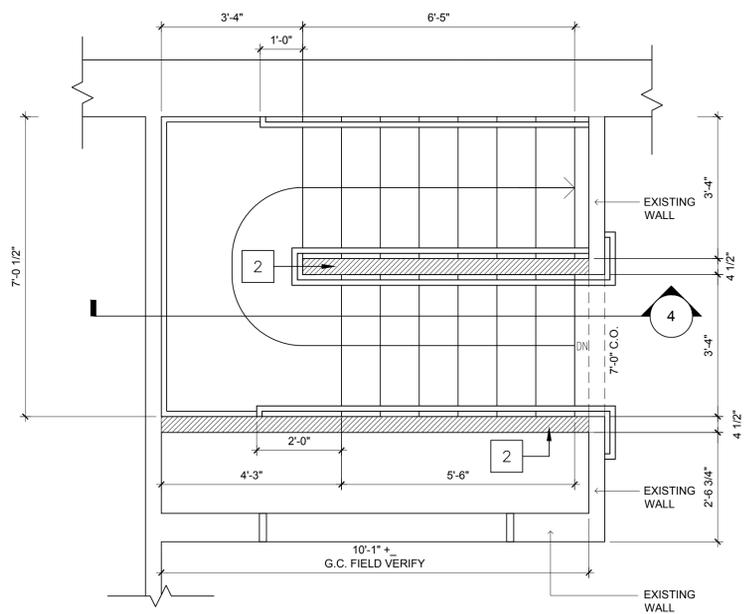
DOOR SCHEDULE										
ROOM NUMBER	DOOR NUMBER	SIZE (W X H)	DOOR		FRAME	LABEL	ANSI # FUNCTION	ADA THRESHOLD	CLOSER	REMARKS
			MATERIAL	TYPE						
206	206A	3'-0"x7'-0"	WD	1 PANEL	MTL	1 HR	-	-	YES	

GENERAL NOTES:

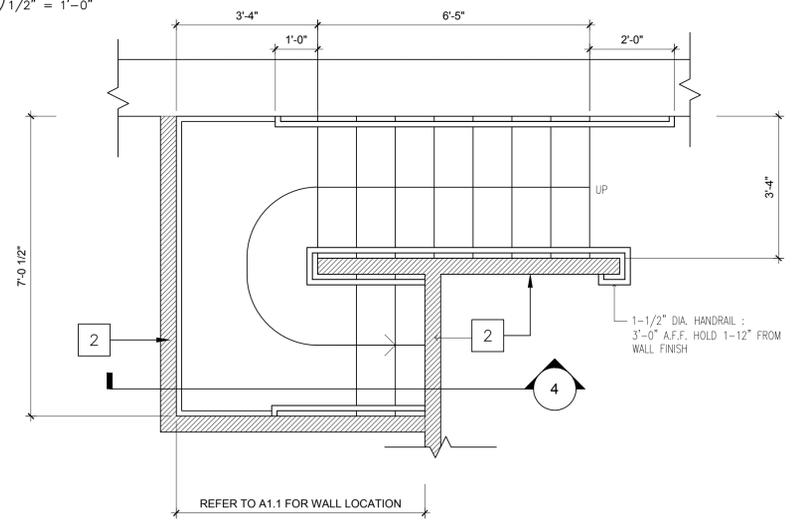
- ANSI LOCK SET # ARE BASED ON CORBIN RUSSWIN CL3400 SERIES HEAVY DUTY CYLINDRICAL LEVER LOCK SET OR EQUAL.
- DOOR TRIM DESIGN SHALL BE ADA LEVER. FINISH TO MATCH EXISTING FACILITY HARDWARE
- ALL DOOR HARDWARE SHALL COMPLY WITH IBC SECTION 1008.1.9
- NEW DOOR TO BE KEYED TO MATCH FACILITY. G.C. TO SUBMIT KEYING SCHEDULE TO OWNER FOR REVIEW AND APPROVAL.
- DOOR TO BE BY SIMPSON DOOR COMPANY OR EQUAL. ENGINEERED ALL WOOD STILES AND RAILS WITH DOWEL PINNED STILE/RAIL JOINERY. 3/8" VG FLAT PANEL, OVOLO STICKING. EASTERN WHITE PINE PAINT GRADE. FINISH TO MATCH EXISTING DOORS.



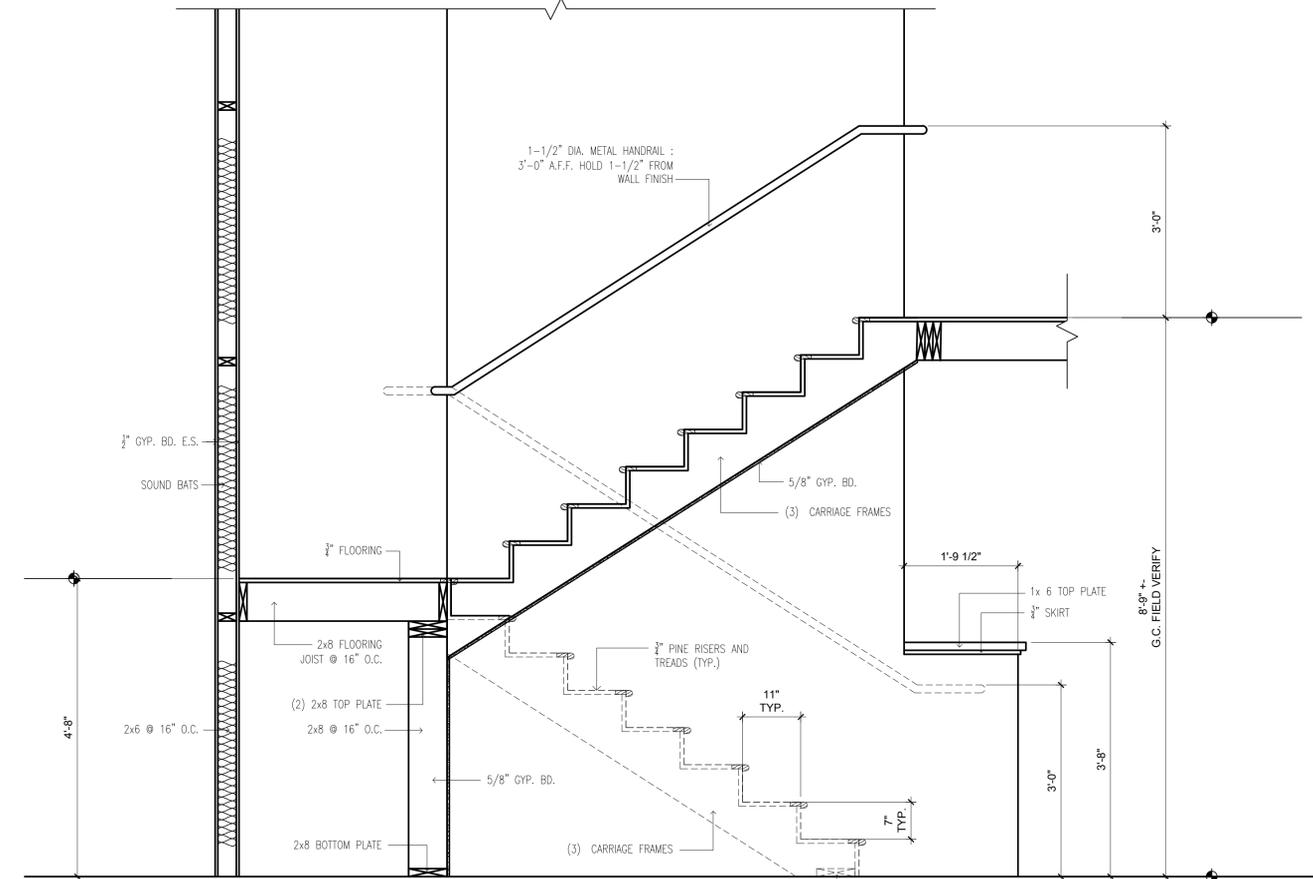
3 STAIR REFLECTED CEILING PLAN
1/2" = 1'-0"



2 ENLARGED STAIR CHANCEL FLOOR PLAN
1/2" = 1'-0"



1 ENLARGED STAIR FIRST FLOOR PLAN
1/2" = 1'-0"



4 STAIR SECTION
3/4" = 1'-0"

GENERAL NOTES:

- GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING AND NEW DIMENSIONS PRIOR TO CONSTRUCTION



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SOUTH ELEVATION
EAST ELEVATION

PROJ. NO. 1403

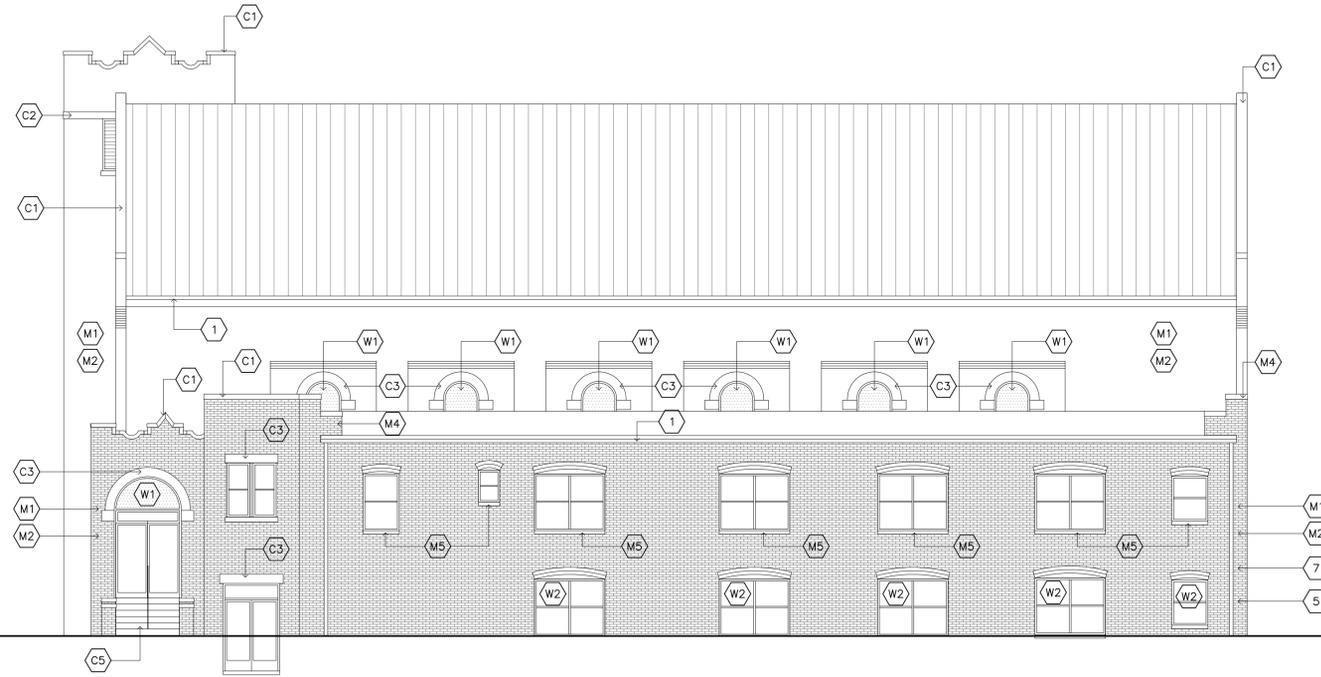


RESTORATION SCHEDULE

SYMBOL	DESCRIPTION	PROJECT MANUAL APPENDIX A PAGE #
MASONRY		
M1	SELECTIVE TUCK POINT MORTAR JOINT	7
M2	INFILL BRICK VOIDS	43,25,39
M3	REMOVE AND REPLACE BRICK INFILL	29
M4	REPAIR BRICK PARAPET	37
M5	REPAIR BRICK SILL	38
WINDOWS		
W1	RESTORE STAIN GLASS WINDOW : PROVIDE 1/4" CLEAR TEMPERED GLASS STORM WINDOW PROTECTION, ALIGN STORM WINDOW HORIZ. JOINTS WITH WINDOW MULLIONS	9-15
W2	RESTORE DOUBLE HUNG WINDOW	40-41
CONCRETE / LIMESTONE		
C1	REPAIR CONCRETE COPING	8,22,26
C2	REPAIR CONCRETE BANDING	28
C3	REPAIR CONCRETE LINTEL /ARCH	23,24
C4	REPAIR CONCRETE SILL	27
C5	REPAIR CONCRETE STEP	17,20,21,31
C6	REPAIR LIMESTONE CAP	18
GENERAL		
1	CLEAN OUT GUTTERS, DOWNSPOUT AND REPAIR DRAINS	36
2	RESTORE WOOD VENTS	16,19
3	REPAIR METAL HANDRAIL	33
4	REPAIR DOWNSPOUT	44
5	DEMO ABANDONED UTILITY LINES AND FILL BRICK VOIDS FROM SUPPORT	32,42
6	RESTORE DOOR WOOD JAMB SURROUND	30
7	NOT USED	
8	SAND AND REPAINT ALL EXTERIOR RAILINGS	
10	PROVIDE 300 PSI TEST PATCH WALL WASH FOR REVIEW WITH HISTORIC TAX CONSULTANT. IF htc APPROVES, PROCEED WITH SELECTIVE ELEVATION WAS PER THE HTC RECOMMENDED AREAS	

GENERAL NOTE :

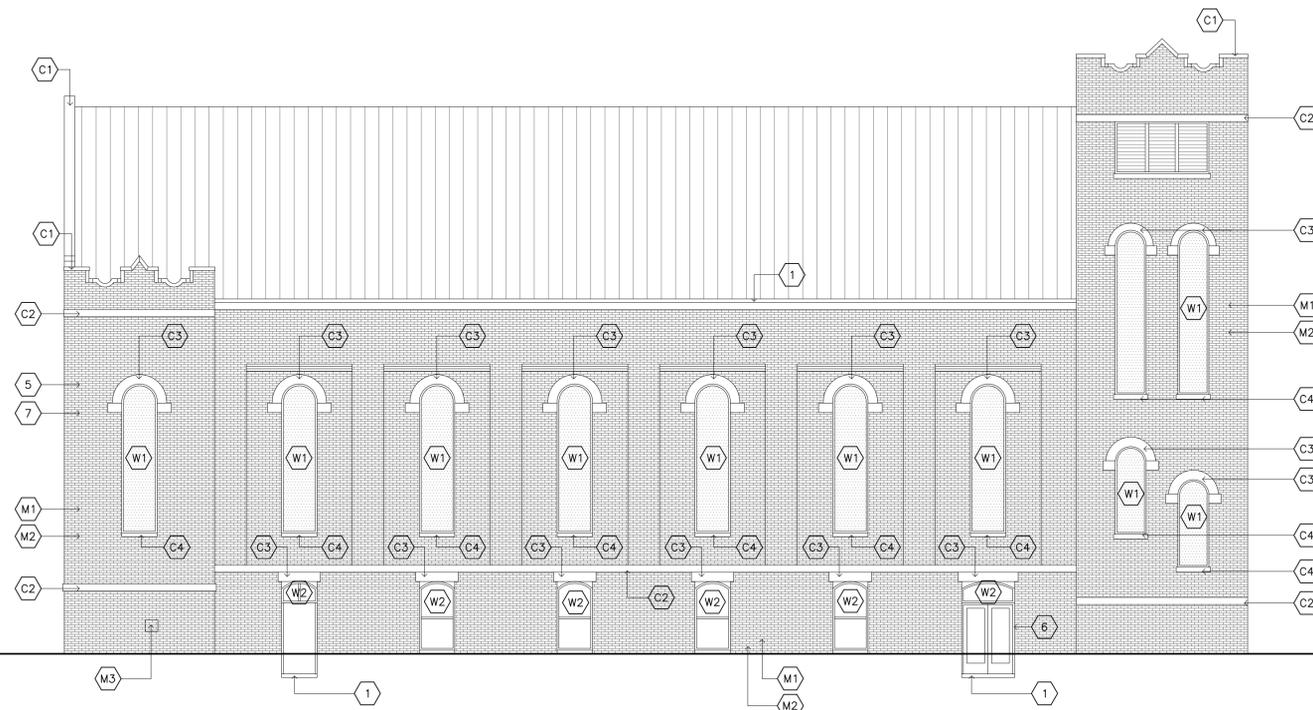
- PRIOR TO EXECUTION OF CONTRACT , GENERAL CONTRACTOR SHALL QUANTIFY O THE WORK ASSOCIATED WITH OF EACH REPAIR, OR PROVIDE ALLOWANCES WHERE QUANTIFYING IS NOT APPLICABLE. UNIT COST SHALL BE INCLUDED IN OWNER / G.C. CONTRACT FOR NON QUANTIFIABLE AMOUNTS.
- SIXTH MOUNT ZION BAPTIST CHURCH REHAB IS A HISTORIC TAX CREDIT PROJECT. THE INTENT IS NOT TO REMOVE AND PLACE ELEMENTS OF THE BUILDING . BUT TO RESTORE AND RENOVATE USING THE EXISTING ELEMENTS OF THE FACILITY. RENOVATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTION OF "STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS" , PROVIDED BY THE U.S. DEPARTMENT OF INTERIOR AND INCLUDED IN THE APPENDIX OF THE SPECIFICATION MANUAL. IN ADDITION, MEANS AND METHODS, FOR REHABILITATION, SHALL BE APPROVED BY THE HISTORIC TAX CREDIT CONSULTANT. NO HISTORIC REHABILITATION SHALL BE DONE WITHOUT PRIOR APPROVAL OF MEANS AND METHODS FROM THE TAX CREDIT CONSULTANT.
- FOR ADDITIONAL DETAILS ON SCOPE OF WORK, REFER TO PROJECT MANUAL APPENDIX A, FACILITY SCOPE OF WORK.



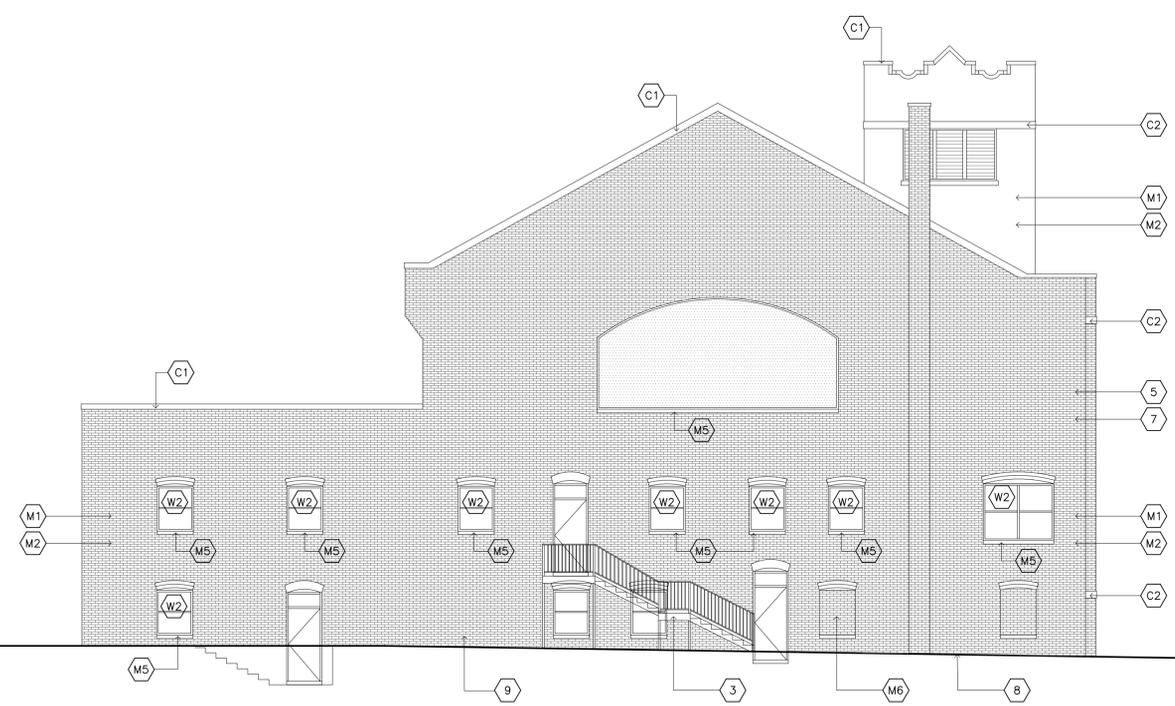
2 EXTERIOR EAST ELEVATION
1/8" = 1'-0"



1 EXTERIOR SOUTH ELEVATION
1/8" = 1'-0"



2 EXTERIOR WEST ELEVATION
1/8" = 1'-0"



1 EXTERIOR NORTH ELEVATION
1/8" = 1'-0"

RESTORATION SCHEDULE		
SYMBOL	DESCRIPTION	PROJECT MANUAL APPENDIX A PAGE #
MASONRY		
M1	TUCK POINT MORTAR JOINT	7
M2	INFILL BRICK VOIDS	43,25,39
M3	REMOVE AND REPLACE BRICK INFILL	29
M4	REPAIR BRICK PARAPET	37
M5	REPAIR BRICK SILL	38
M6	INFILL ABANDONED OPENING	34,35
WINDOWS		
W1	RESTORE STAIN GLASS WINDOW : PROVIDE 1/4" CLEAR TEMPERED GLASS STORM WINDOW PROTECTION, ALIGN STORM WINDOW HORIZ. JOINTS WITH WINDOW MULLIONS	9-15
W2	RESTORE DOUBLE HUNG WINDOW	40-41
CONCRETE / LIMESTONE		
C1	REPAIR CONCRETE COPING	8,22,26
C2	REPAIR CONCRETE BANDING	28
C3	REPAIR CONCRETE LINTEL /ARCH	23,24
C4	REPAIR CONCRETE SILL	27
C5	REPAIR CONCRETE STEP	17,20,21,31
C6	REPAIR LIMESTONE CAP	18
GENERAL		
1	CLEAN OUT GUTTERS, DOWNSPOUT AND REPAIR DRAINS	36
2	RESTORE WOOD VENTS	16,19
3	REPAIR METAL HANDRAIL	33
4	REPAIR DOWNSPOUT	44
5	DEMO ABANDONED UTILITY LINES AND INFILL BRICK VOID FROM SUPPORT	32,42
6	RESTORE DOOR WOOD JAMB SURROUND	30
7	NOT USED	
8	DEMO EXISTING SIDEWALK & INSTALL NEW 5'-0" WIDE ADA CONCRETE SIDEWALK	33
9	REMOVE VEGETATION FROM FACE OF BUILDING	
10	PROVIDE 300 PSI TEST PATCH WALL WASH FOR REVIEW WITH HISTORIC TAX CONSULTANT. IF htc APPROVES, PROCEED WITH SELECTIVE ELEVATION WAS PER THE HTC RECOMMENDED AREAS	

GENERAL NOTE :

- PRIOR TO EXECUTION OF CONTRACT , GENERAL CONTRACTOR SHALL QUANTIFY O THE WORK ASSOCIATED WITH OF EACH REPAIR , OR PROVIDE ALLOWANCES WHERE QUANTIFYING IS NOT APPLICABLE. UNIT COST SHALL BE INCLUDED IN OWNER / G.C. CONTRACT FOR NON QUANTIFIABLE AMOUNTS.
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- FOR ADDITIONAL DETAILS ON SCOPE OF WORK, REFER TO PROJECT MANUAL APPENDIX A, FACILITY SCOPE OF WORK.



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NORTH ELEVATION
WEST ELEVATION

PROJ. NO.1403



PART 2 - DESCRIPTION OF REHABILITATION
STATE HISTORIC REHABILITATION TAX CREDIT PROGRAM
HISTORIC PRESERVATION CERTIFICATION APPLICATION

DHR Project No.: _____

Instructions: Read the instructions carefully before completing application. No certification will be made unless a completed application form has been received. Type or print clearly in black ink. If additional space is needed, use the Continuation/Amendment Form found at the back of this application. A copy of this form may be provided to the Virginia Department of Taxation. The decision by the Virginia Department of Historic Resources with respect to certification is made on the basis of the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form shall take precedence.

1. **Name of property:** Sixth Mount Zion Baptist Church (DHR ID# 127-0472; 127-0237-0482)

Address of property: Street 14 West Duval Street
City Richmond County N/A State VA Zip 23220

Listed individually in the Virginia Landmarks Register: date of listing: 6/19/1996

Located in a registered Historic District: specify: Jackson Ward Historic District

Has a Part 1 Application (Evaluation of Significance) been submitted for this project? yes no
If yes, date Part 1 submitted: N/A – Individually Listed on Registers Date of certification: N/A

NPS Project Number (if application for federal tax credits submitted): N/A

2. **Data on building and rehabilitation project:**

Date building constructed: c1887 Total number of housing units before rehabilitation: 0

Type of construction: Masonry Number that are low-moderate income: 0

Use(s) before rehabilitation: Church Total number of housing units after rehabilitation: 0

Proposed use(s) after rehabilitation: Church Number that are low-moderate income: 0

Estimated cost of rehabilitation: \$3,570,000 Floor area before rehabilitation: 9,024 square feet

Floor area after rehabilitation: 8,904 square feet

Is this a phased project? yes no Number of Phases (include a phasing plan): 3

Project/phase start date (est.): February 2007 Completion date (est.): January 2020

Is the building protected by an easement? yes no If yes, list the easement holder? N/A

3. **Project contact:**

Name Paige Pollard Signature _____ Date _____

Street PO Box 11083 City Norfolk

State VA Zip 23517 Daytime Telephone Number (757)923-1900

Email Address admin@commonwealthpreservationgroup.com

4. **Owner:**

I declare under penalty of law that the information provided is, to the best of my knowledge, correct, and that I own the property described above. I understand that submission of false records or falsification of anything in communications with the department is grounds for denial of the certification of completed work and is punishable under Virginia and federal law.

Name Trustee Robert Brown Signature _____ Date _____

Organization Sixth Mount Zion Baptist Church

Social Security or Taxpayer Identification Number 54-0612200

Street 14 West Duval Street City Richmond

State VA Zip 23220 Daytime Telephone Number (804) 648-7511

Email Address advisorrob@comcast.net

**HISTORIC PRESERVATION
CERTIFICATION APPLICATION
PART 2**

Property Name Sixth Mount Zion Baptist Church

Property Address 14 West Duval Street, Richmond

DHR Project Number: _____

5. DETAILED DESCRIPTION OF REHABILITATION/PRESERVATION WORK – Fully describe all work at the property, including site work, new construction, alterations, etc. Complete below.

<p>Number 1. Architectural feature <u>Sixth Mount Zion Baptist Church</u> Approximate date of feature <u>c1887, 1925</u> Describe existing feature and its condition: Sixth Mount Zion Baptist Church is a c1887 brick masonry Romanesque Revival church located in the Jackson Ward neighborhood of Richmond, Virginia. The original church construction was overseen by the founding pastor, Reverend John Jasper, and builder George Boyd. The exterior of the church was altered significantly during a 1925 renovation, which resulted in the modification of the façade and west elevation, as well as the construction of the adjacent education annex; the interior of the sanctuary largely retains its original c1887 configuration. This renovation was designed by prominent African American architect, Charles T. Russell, and builder I. Lincoln Bailey. Few modifications have been made to the church and annex since 1925; upgrades have been limited to finishes and systems. The building is in good condition, with some areas of deferred maintenance visible, particularly on the interior where there are large areas of deteriorated plaster within the sanctuary.</p> <p>Photo no. <u>All</u> Drawing no. <u>All</u></p>	<p>Describe work and impact on existing feature: The applicant proposes to rehabilitate the historic church building for continued use. This application includes the ongoing maintenance and repairs undertaken in recent years, as well as more significant upcoming repairs. Remaining historic features and finishes will be retained, and proposed alterations will be contemporary yet compatible in order to differentiate them as modern insertions. Modifications are required at the choir loft ship ladders, as they are currently undersized and very steep, posing a significant hazard for the choir. Existing bathrooms will also be updated to better serve the congregation. Impact will be to rehabilitate the historic church building and education annex to support its continued use.</p>
<p>Number 2. Architectural feature <u>Roof, Gutters, and Downspouts</u> Approximate date of feature <u>modern – 2012, unknown</u> Describe existing feature and its condition: The existing modern roof on the church was replaced in 1999 with a new standing seam metal roof with a baked enamel finish. Upon inspection in the 2010s, the church found that the baked enamel finish was failing, and that the recently replaced modern roof required replacement a second time. The education annex had a modern membrane roof which was in deteriorated condition.</p> <p>Photo no. <u>1-2, 8-10, 14, 22</u> Drawing no. <u>A3.1-3.2, S1.2; Roofing Cut Sheet</u></p>	<p>Describe work and impact on existing feature: The applicant replaced the modern (1999) standing seam metal roof on the church in 2012 due to the failure of the baked enamel finish on the 1999 replacement roof; this modern roof was replaced with a new standing seam metal roof with a Kynar finish (cut sheet enclosed). This previously completed work is included in this application in order to capture credits on the expenses incurred during the 2012 replacement. The applicant also replaced the roof over the education annex in 2011 with a modern TPO roof. The northernmost truss is damaged at the bearing point on the west wall; details of the proposed truss end repairs have been provided on S1.2. A thorough inspection of remaining trusses will be conducted, any required repairs will be in keeping with the approach outlined on S1.2. Gutters were repaired in 2016. Gutters and downspouts will be inspected and repaired as needed to ensure that water is being adequately shed from the roofs and away from the building. Gutters will be cleaned out in conjunction with this work. Impact will be to retain the existing modern roofs and to inspect and repair gutters and downspouts as needed.</p>

**HISTORIC PRESERVATION
CERTIFICATION APPLICATION
PART 2**

Property Name Sixth Mount Zion Baptist Church

Property Address 14 West Duval Street, Richmond

DHR Project Number: _____

<p>Number 3. Architectural feature <u>Exterior Walls</u> Approximate date of feature <u>c1887, 1925, modern-unknown</u> Describe existing feature and its condition: The exterior walls of the building are brick masonry; primary elevations (south and west) are laid in a stretcher bond, while secondary (north and east) elevations feature a five-course common bond. A portion of the original east elevation remains visible above and behind the annex; the color of the brick and detailing on the pilasters differ from those seen on the west elevation, which were refaced during the 1925 renovation. Masonry and mortar joints are generally in good condition, although there are areas with severe mortar loss (primarily around downspouts) and voids in brick and mortar where systems are/were attached. In addition to the brick masonry, details appear in the form of bands, coping, steps, and window lintels, arches and sills; these are a combination of limestone and concrete. In many locations, concrete coping pieces have separated. A modern elevator tower was constructed at the connection between the historic church and school annex. The brick color and pattern match the adjacent historic walls. Two modern CMU sheds have been appended to the northeast elevation of the education annex.</p> <p>Photo no. <u>1-4, 7-27, 33-39, 78; Historic photo</u> Drawing no. <u>A3.1-3.2</u></p>	<p>Describe work and impact on existing feature: As a result of this project, the applicant will inspect all exterior masonry walls. Mortar will be inspected and repointed using guidance provided in Preservation Brief No. 2, <i>Repointing Mortar Joints in Historic Masonry Buildings</i>; new mortar will match the historic in color, strength, composition, tooling pattern, and joint profile. Abandoned utility lines will be removed and any voids in the brick or mortar will be repaired using materials that match the adjacent historic materials. Concrete details will be inspected and repaired as necessary using guidance provided in Preservation Brief No. 15, <i>The Preservation of Historic Concrete</i>. Separated concrete coping will be reset. Portions of window arches that have been sealed with caulk rather than mortar will be repaired. Caulk will be removed from joints; mortar which matches the historic in color, strength, and composition, will be inserted, matching the joint profile and tooling pattern of historic joints. Concrete coping that has shifted and separated over time will be removed and reset. The modern CMU sheds will be removed. Impact will be to repair the exterior masonry, concrete, and stone, and to remove the modern CMU sheds.</p>
<p>Number 4. Architectural feature <u>Exterior Doors</u> Approximate date of feature <u>modern - unknown</u> Describe existing feature and its condition: Exterior doors in the building are all modern. Primary entry door openings along the facade are modern aluminum storefront doors or fixed storefront. Secondary entry doors are modern hollow metal doors. All existing exterior doors are in good to fair condition. At the north elevation (rear), a single basement door has been infilled with plywood.</p> <p>Photo no. <u>1-4, 7-12, 14, 19, 21-22, 25, 27, 41, 71, 100, 124, 128, 130, 133, 136</u> Drawing no. <u>D1.1, A1.1, A3.1-3.2</u></p>	<p>Describe work and impact on existing feature: All existing doors will be retained and repaired as needed to ensure they operate properly and are secure. The plywood infill at the north elevation will be replaced as needed to secure this opening. Impact will be to retain and repair existing modern doors.</p>
<p>Number 5. Architectural feature <u>Windows and Louvered Openings</u> Approximate date of feature <u>1925, modern - unknown</u> Describe existing feature and its condition: The historic stained glass remains in the church building, which was installed in conjunction with the 1925 renovation. The bell tower and front-facing gable of the church also contain wooden louvers, which are in fair condition. Other windows include historic six-over-six double hung wood</p>	<p>Describe work and impact on existing feature: As a result of this project, the applicant will restore the historic stained-glass windows located within the church building. Some of this work has already been completed; the large stained-glass window over the choir loft was restored by Jennings Stained Glass and two other windows were repaired by the contractor (see enclosed elevation drawings indicating which windows have already been repaired). The applicant has hired Sanctuary Glass</p>

**HISTORIC PRESERVATION
CERTIFICATION APPLICATION
PART 2**

Property Name Sixth Mount Zion Baptist Church

Property Address 14 West Duval Street, Richmond

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<p>windows, as well as modern six-over-six and one-over-one vinyl replacement windows, which appear primarily at the second floor of the education annex and within the modern elevator tower. The first-floor windows in the annex are wood and feature wood screens and metal security bars. At the north elevation (rear), a single basement window opening has been infilled with plywood.</p> <p>Photo no. <u>1-2, 4, 7-10, 12-18, 21-23, 26, 42, 46, 49-51, 68, 72-73, 92, 111, 116-118, 124-125, 130, 133, 135-136, 139-141, 146-147, 152-153, 155-156, 165, 169, 173-174, 176, 179, 184, 186, 189-191, 193, 195-196, 198, 200-203, 205-209, 211-212, 216, 219-221, 227, 229-230</u></p> <p>Drawing no. <u>D1.1-1.2, A1.1-1.2, A3.1-3.2; Stained glass restoration proposal</u></p>	<p>and Furniture Company of Burlington, North Carolina for the restoration of the remaining stained-glass windows; their proposal is enclosed for review. Once the stained glass is repaired and reinstalled, storm windows will be installed to protect them. The storm windows will have ¼” tempered glass and the storm frames will be narrower than the window frames and will be aligned with the window mullions to reduce visual impact.</p> <p>Wooden louvers will be removed for repairs and reinstalled; rotten pieces will be replaced in kind and once repaired, the louvers will be scraped, primed, and repainted. The openings will be secured to prevent water infiltration while the louvers are being repaired.</p> <p>Double hung windows, both historic wood and modern vinyl, will be retained and repaired as needed. Wood screens and security bars will be repaired as needed and retained.</p> <p>The plywood infill at the north elevation will be replaced as needed to secure this opening.</p> <p>Impact will be to retain and repair all existing windows and louvers in the building.</p>
<p>Number 6. Architectural feature <u>Site</u> Approximate date of feature <u>c1887, 1925, 1957, modern</u> Describe existing feature and its condition: The building sits on its original site, facing West Duval Street, which runs along the south elevation of the church. The church purchased the two adjacent parcels to the east and west, which now contain parking. Concrete sidewalks are in place at all elevations around the building. Along the façade, adjacent to the street, is a brick sidewalk. Stairs up to the entry doors of the church are concrete with metal railings. The limestone cap at the southwest entry steps is damaged. At the southeast corner of the church site, concrete steps and a ramp with metal handrails provide access to the entry level of the annex building; modern brick planters and metal fencing also appear in this area. A historic iron fence rail (salvaged from a different location at an unknown date) is installed in the modern concrete sidewalk at the west elevation. Mechanical units at this elevation are enclosed within a chain link fence. At the north elevation (rear), the sidewalk is pitched towards the building. A chain link fence separates the rear of the parcel from Interstate 95, which was constructed just north of the church, severing the Jackson Ward neighborhood. Overgrown vegetation is growing against the building at this elevation. A modern metal stair provides egress from the first floor to grade at the north elevation; the stair is rusting.</p> <p>Photo no. <u>1-14, 16-17, 19-32</u> Drawing no. <u>ASP; Sealant spec</u></p>	<p>Describe work and impact on existing feature: As a result of this project, the applicant proposes to make limited site improvements: At the façade, the concrete steps and limestone cap will be repaired as necessary. Cracks in the concrete will be sealed and damaged areas will be replaced with concrete to match the existing material. The damage to the limestone cap will be repaired using concrete. At the east elevation, the modern CMU sheds will be removed. Along the west elevation, the applicant will retain existing site features. Cracks in concrete steps and sidewalks will be sealed. At the north elevation, the applicant will remove the existing concrete walkway and repour it so that it slopes away from the building. The exterior metal stair will be repaired as needed, scraped, and repainted. Impact will be to repair modern site features, such as sidewalks, stairs, and exterior stairs, and to remove the modern sheds at the east elevation.</p>



COMMONWEALTH of VIRGINIA

Department of Historic Resources

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July 30, 2019

Mr. Robert Brown, Trustee
Sixth Mount Zion Baptist Church
14 West Duval Street
Richmond, VA 23220

Re: Sixth Mount Zion Baptist Church
14 West Duval Street – Richmond
Part 2 Response
DHR # 2019-093

Dear Mr. Brown –

Thank you for submitting the State Rehabilitation Tax Credit Application, Part 2, “Description of Rehabilitation,” for the property located at 14 West Duval Street in Richmond. We are also in receipt of the necessary State application fee and appreciate its timely submission. Based on the materials provided, the proposed scope of work is consistent with the Secretary of the Interior’s *Standards for Rehabilitation*, and the project is approved as submitted.

Please be aware that DHR is conducting a physical inspection of all properties as part of the Part 3 review process. Consequently, we anticipate that review of completed projects will take approximately 60 days from the date of submission. If determined necessary, DHR may conduct an inspection at the end of an initial phase that is submitted for Part 3 certification.

Please remember to submit an Amendment should the scope of work change from what has been previously reviewed and approved; the appropriate form can be found on page 7 of the Part 2 application. Otherwise, we will look forward to receiving the Part 3 application, “Request for Certification of Completed Work,” upon completion of the project. In the meantime, please feel free to contact me with questions or concerns at 804-482-6095 or by e-mail at Carolyn.Zemanian@dhr.virginia.gov.

Sincerely,

Handwritten signature of Carolyn Zemanian in cursive.

Carolyn Zemanian
Tax Credit Reviewer
Division of Preservation Incentives

cc: Paige Pollard

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