



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

**PROPERTY** (location of work)

Address \_\_\_\_\_

Historic district \_\_\_\_\_

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

**APPLICANT INFORMATION**

Check if Billing Contact

Name \_\_\_\_\_

Phone \_\_\_\_\_

Company \_\_\_\_\_

Email \_\_\_\_\_

Mailing Address \_\_\_\_\_

Applicant Type:  Owner  Agent  
 Lessee  Architect  Contractor  
 Other (please specify): \_\_\_\_\_

**OWNER INFORMATION** (if different from above)

Check if Billing Contact

Name \_\_\_\_\_

Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone \_\_\_\_\_

\_\_\_\_\_

Email \_\_\_\_\_

**PROJECT INFORMATION**

**Project Type:**

Alteration

Demolition

New Construction

(Conceptual Review Required)

**Project Description:** (attach additional sheets if needed)

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

**Compliance:** If granted, you agree to comply with all conditions of the certificate of appropriateness (COA). Revisions to approved work require staff review and may require a new application and approval from the Commission of Architectural Review (CAR). Failure to comply with the conditions of the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request and payment of associated fee.

**Requirements:** A complete application includes all applicable information requested on checklists available on the CAR website to provide a complete and accurate description of existing and proposed conditions, as well as payment of the application fee. Applicants proposing major new construction, including additions, should meet with Staff to review the application and requirements prior to submitting an application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to Commission review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

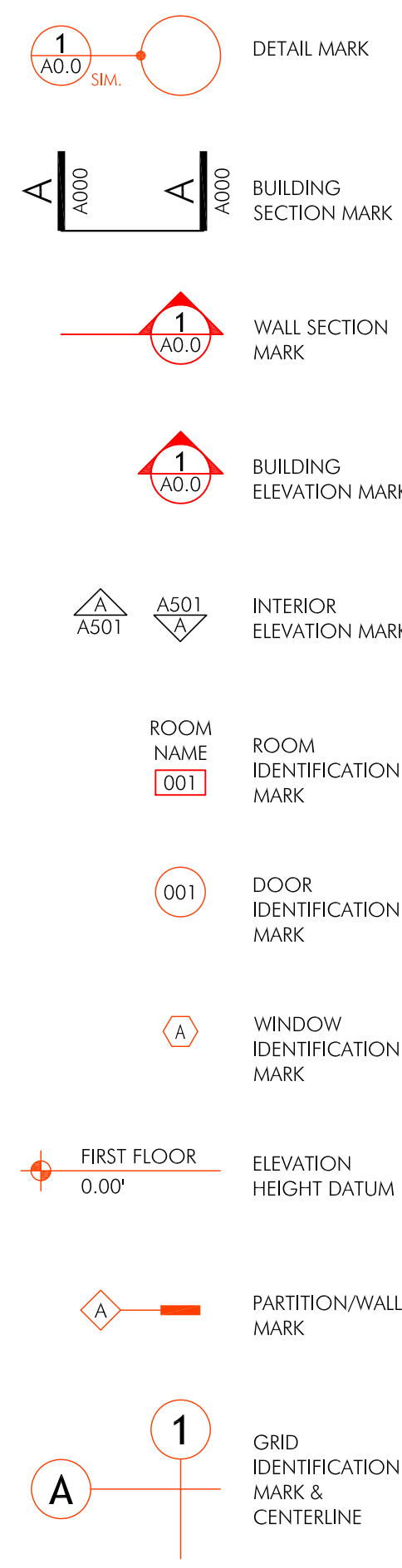
Signature of Owner

Date

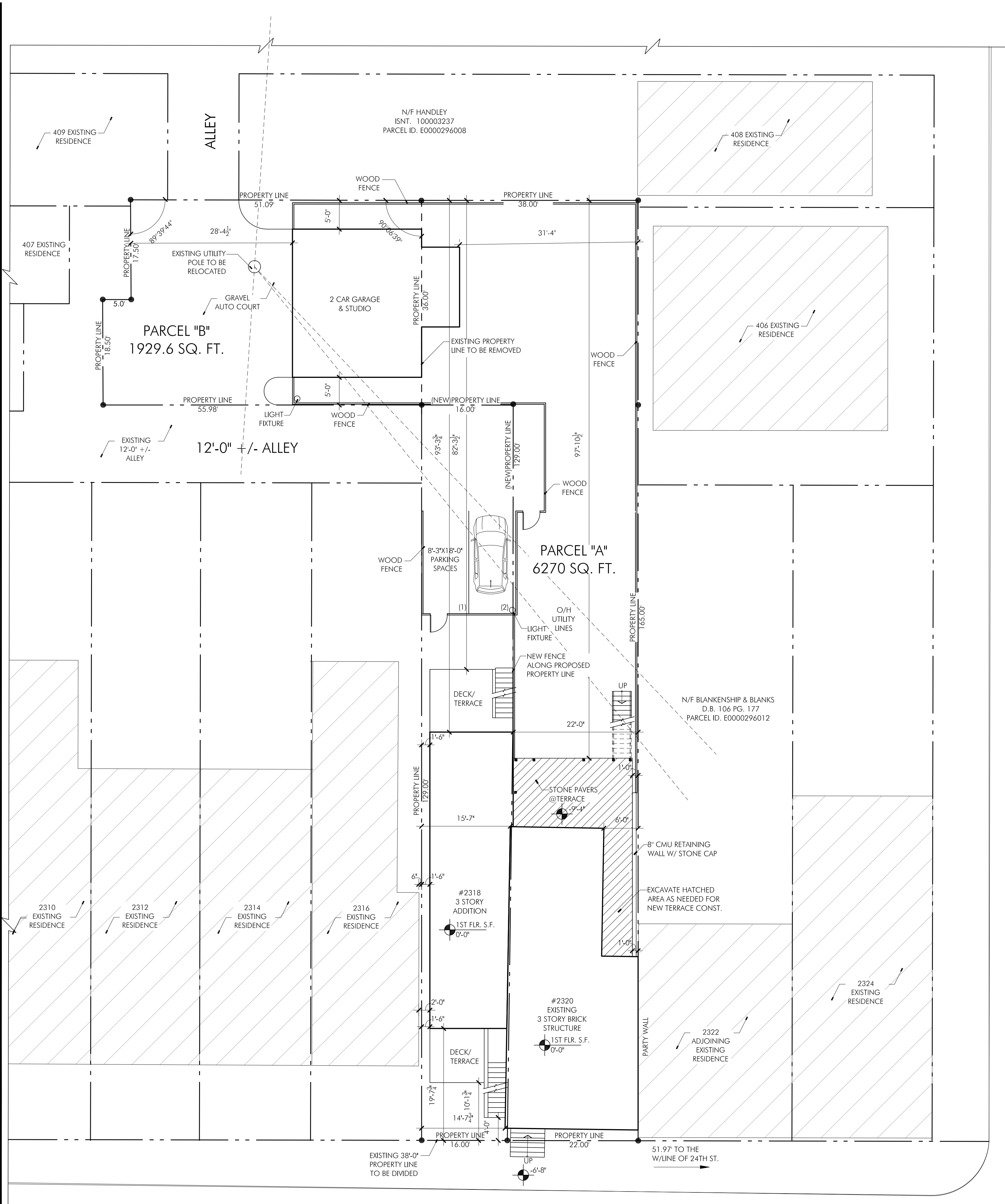
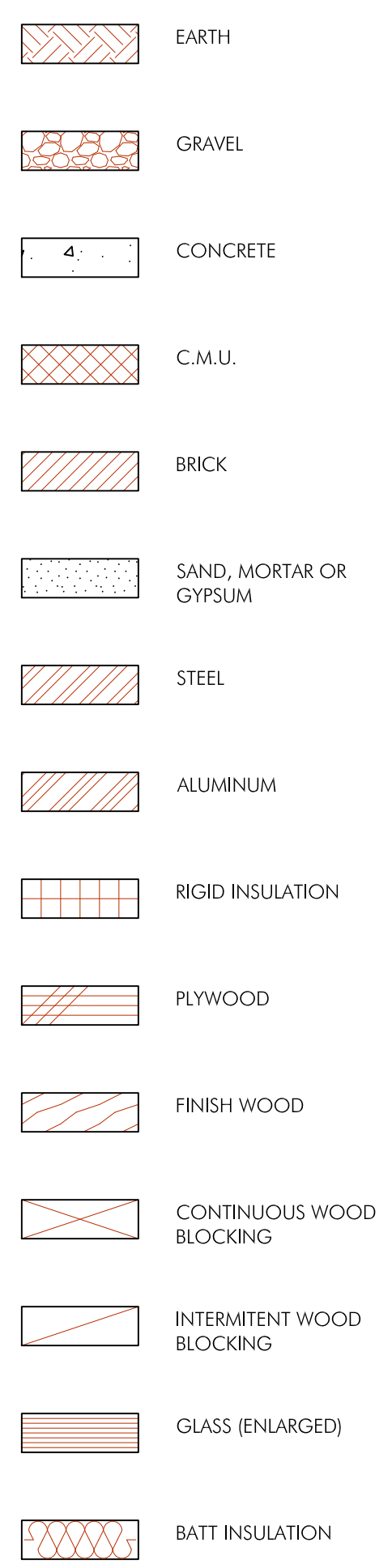
**ABBREVIATIONS**

A.B. ANCHOR BOLT	MECH. MECHANICAL
ACCUS. ACCOUSTICAL	MTL. METAL
ACC. ACCESSORY	MFR. MANUFACTURER
A.C.T. ACoustical CEILING TILE	MIN. MINIMUM
A.D. AREA DRAIN/ACCESS DOOR	MISC. MISCELLANEOUS
ADJ. ADJACENT	M.C. MASONRY OPENING
A.F.F. ABOVE FINISH FLOOR	M.O.D. MODULE, (AR)
AL. ALUMINUM	MUL. MULLION
ALT. ALTERNATE	N. NORTH
APPROX. APPROXIMATE	N.I.C. NOT IN CONTRACT
ARCH. ARCHITECTURAL	No. NUMBER
AUTO. AUTOMATIC/ AUTOMOBILE	N.T.S. NOT TO SCALE
BD. BOARD	O.C. ON CENTER
BLDG. BUILDING	O.D. OUTSIDE DIAMETER
BM. BEAM	OFF. OFFICE
BOT. BOTTOM	OH. OVERHEAD
BRK. BRICK	OPG. OPENING
BRDM. BEDROOM	PERP. PERPENDICULAR
BRG. BEARING	PL. PLATE
BSMT. BASEMENT	PLAM. PLASTIC LAMINATE
CAB. CABINET	PLAS. PLASTER/PLASTIC
C.C. CENTER TO CENTER	PLB. PLUMBING
CLG. CEILING	PLYWD. PLYWOOD
CEM. CEMENT	PNT. PAINT
CER. CERAMIC	PTD. PAINTED
C.F. CUBIC FEET	PTN. PARTITION
C.F.M. CUBIC FEET PER MINUTE	PREFAB. PREFABRICATED
C.Y. CUBIC YARD	PROJ. PROJECT
C.I. CAST IRON	P.S.F. POUNDS PER SQUARE FOOT
C.J. CONTROL JOINT	P.S.I. POUNDS PER SQUARE INCH
C.L. CENTER LINE	PT. POINT
CLR. CLEAR	P.T.D. PAPER TOWEL DISPENSER
C.M.U. CONCRETE MASONRY UNIT	Q.T. QUARRY TILE
COL. COLUMN	QTR. QUARTER
CONC. CONCRETE	R. RADIUS/RISER
CONT. CONTINUOUS	R.D. ROOF DRAIN
CORR. CORRIDOR	REF. REFERENCE
C.T. CERAMIC TILE	REFR. REFRIGERATOR
CTR. CENTER	REINF. REINFORCE
DBL. DOUBLE	REQD. REQUIRED
D.F. DRINKING FOUNTAIN	RES. RESILIENT
DIA. DIAMETER	REV. REVERSE/REVERSE
DIAG. DIAGONAL	R.M. ROOM
DIM. DIMENSION	R.O. ROUGH OPENING
DN. DOWN	R.O.W. RIGHT OF WAY
DR. DOOR	S.C. SOLID CORE
DS. DOWNSPOUT	SCH. SCHEDULE(D)
DTL. DETAIL	SEAL. SEALANT
DWG. DRAWING	SECT. SECTION
EA. EACH	S.A. SOAP DISPENSER
E.J. EXPANSION JOINT	S.F. SQUARE FEET
EL. ELEVATION	SH. SHELF
ELEV. ELEVATOR	SHR. SHELF & ROD
ELEC. ELECTRICAL	SHT. SHEET
ENGR. ENGINEER	SIM. SIMILAR
EQ. EQUAL	S.M. SHEET METAL
EQUIP. EQUIPMENT	SPEC. SPECIFICATION
EXH. EXHAUST	SQ. SQUARE
EXIST. EXISTING	S.S. STAINLESS STEEL
EXP. EXPANSION	STD. STANDARD
EXT. EXTERIOR	STL. STEEL
F.B.O. FINISHED BY OWNER	STO. STORAGE
F.D. FLOOR DRAIN	SUP. SUPPLY
FDN. FOUNDATION	SUSP. SUSPENDED
F.A. FIRE EXTINGUISHER	SW. SWITCH
F.A.-C. FIRE EXTINGUISHER CABINET	SYM. SYMMETRICAL
FIN. FINISH	SYS. SYSTEM
FKT. FIXTURE	T. TREAD
FLR. FLOOR	T&B TOP & BOTTOM
FLUOR. FLUORESCENT	T&G TONGUE & GROOVE
F.P.M. FEET PER MINUTE	T.B. TOWEL BAR
FR. FRAME	T.C. TOP OF CURB
FT. FOOT/FEET	TEL. TELEPHONE
FTG. FOOTING	TEMP. TEMPERED
FUR. FURRING	THK. THICKNESS
FURN. FURNITURE	T.O.B. TOP OF BLOCK
GA. GALLON	T.O.F. TOP OF FOOTING
GALV. GALVANIZED	T.O.S. TOP OF SLAB
G.A. GRAB BAR	T.O.W. TOP OF WALL
G.B. GENERAL CONTRACTOR	TYP. TYPICAL
GEN. GENERAL	U.H. UNIT HEAT
GL. GLASS	UL. UNDERWRITERS
GR. GRADE	LABORATORIES
GYP. GYPSUM	V. VOLT/MINYL
H. HANDICAP	VAR. VARNISH/VARIES
H.B. HOSE BIB	V.C.T. VINYL COMPOSITION TILE
HD.BD. HARD BOARD	VERT. VERTICAL
HDWR. HARDWARE	VEST. VESTIBULE
H.M. HOLLOW METAL	V.S. VENT STACK
HOR. HORIZONTAL	W/ WITH
H.P. HIGH POINT	W/O WITHOUT
HT. HEIGHT	W.C. WATER CLOSET
HTR. HEATER	WD. WOOD
H.W. HOT WATER	WIDW. WINDOW
I.D. INSIDE DIAMETER	W.H. WATER HEATER
IN. INCH	W.W.F. WELDED WIRE FABRIC
INC. INCLUDE(D), (ING)	YD. YARD
INST. INSTALLED	@ AT
INSUL. INSULATE(D), (ING), (ION)	# NUMBER
INT. INTERIOR	/ PER
J.C. JANITOR CLOSET	
JT. JOINT	
JST. JOIST	
KIT. KITCHEN	
LAM. LAMINATE(D)	
LAV. LAVATORY	
LB. LBS. POUND	
LOC. LOCATION	
LT. LIGHT	
L.W. LIGHT WEIGHT	
MIR. MIRROR	
MAS. MASONRY	
MAT. MATERIAL	
MAX. MAXIMUM	

**SYMBOLS**



**MATERIALS**



**SITE PLAN 1**  
1" = 10'

**DRAWING INDEX**

Sheet Number	Sheet Title
CS	COVER SHEET
A101	PROJECT INFORMATION & SITE PLAN
A102	SCHEDULES & DETAILS
D201	DEMOLITION FLOOR PLANS
D301	DEMOLITION ELEVATIONS
A201	FLOOR PLANS
A301	ELEVATIONS
A401	BUILDING SECTIONS
A402	WALL SECTIONS
A501	INTERIOR ELEVATIONS
A502	INTERIOR ELEVATIONS
A601	DETAILS
A801	STRUCTURAL PLANS
A802	STRUCTURAL NOTES

**LOCATION**

2320 EAST MARSHALL STREET  
RICHMOND, VA 23223  
RICHMOND CITY

**BUILDING DATA**

CODE	VIRGINIA RESIDENTIAL CODE 2015
ZONING	RICHMOND CITY R-63 - RESIDENTIAL (MULTI-FAMILY URBAN)
SETBACKS	
FRONT YARD	REQUIRED 0'-0"
	PROVIDED 0'-0"
SIDE YARD	REQUIRED 0'-0" IF ATTACHED
	PROVIDED 0'-0"
REAR YARD	REQUIRED 5'-0"
	PROVIDED 21'-5"

**BUILDING AREA**

EXISTING:	
LOWER LEVEL AREA-	1,082 SQ. FT.
1ST FLOOR AREA-	1,043 SQ. FT.
2ND FLOOR AREA-	1,043 SQ. FT.
TOTAL-	3,168 SQ. FT.
ADDITION:	
TOTAL-	2,092 SQ. FT.

**GENERAL NOTES**

- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED. ELEVATIONS ARE TO SUB FLR AND TOP OF INTERIOR FRAMING UNLESS OTHERWISE NOTED. CEILING HEIGHT DIMENSIONS ARE TO FRAMING SURFACES UNLESS NOTED OTHERWISE.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE PROCEEDING WITH THE INSTALLATION OF ANY MECHANICAL, PLUMBING AND ELECTRICAL WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTS AND CONSULTING ENGINEERS DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER OR ARCHITECT.
- DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY INDICATED OTHERWISE.
- ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE, CONDUITS AND DUCTWORK WITH A MINIMUM OF CUTTING. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACES, BACK-UP PLATES AND SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT. ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL CAPACITY PRIOR TO SUBMITTING BID, AND TO FURNISH NECESSARY DRAWINGS TO BUILDING DEPARTMENT AND PAY FOR ALL NECESSARY INCOMING SERVICE AND PAY FOR ANY RELATED FEES NECESSARY FOR HOOK-UP. ALL ELECTRICAL WORK IS TO CONFORM WITH FIRE UNDERWRITERS CODES AND ALL LOCAL CODES IN JURISDICTION.

2320 E. MARSHALL ST.  
RENOVATION  
RICHMOND, VIRGINIA

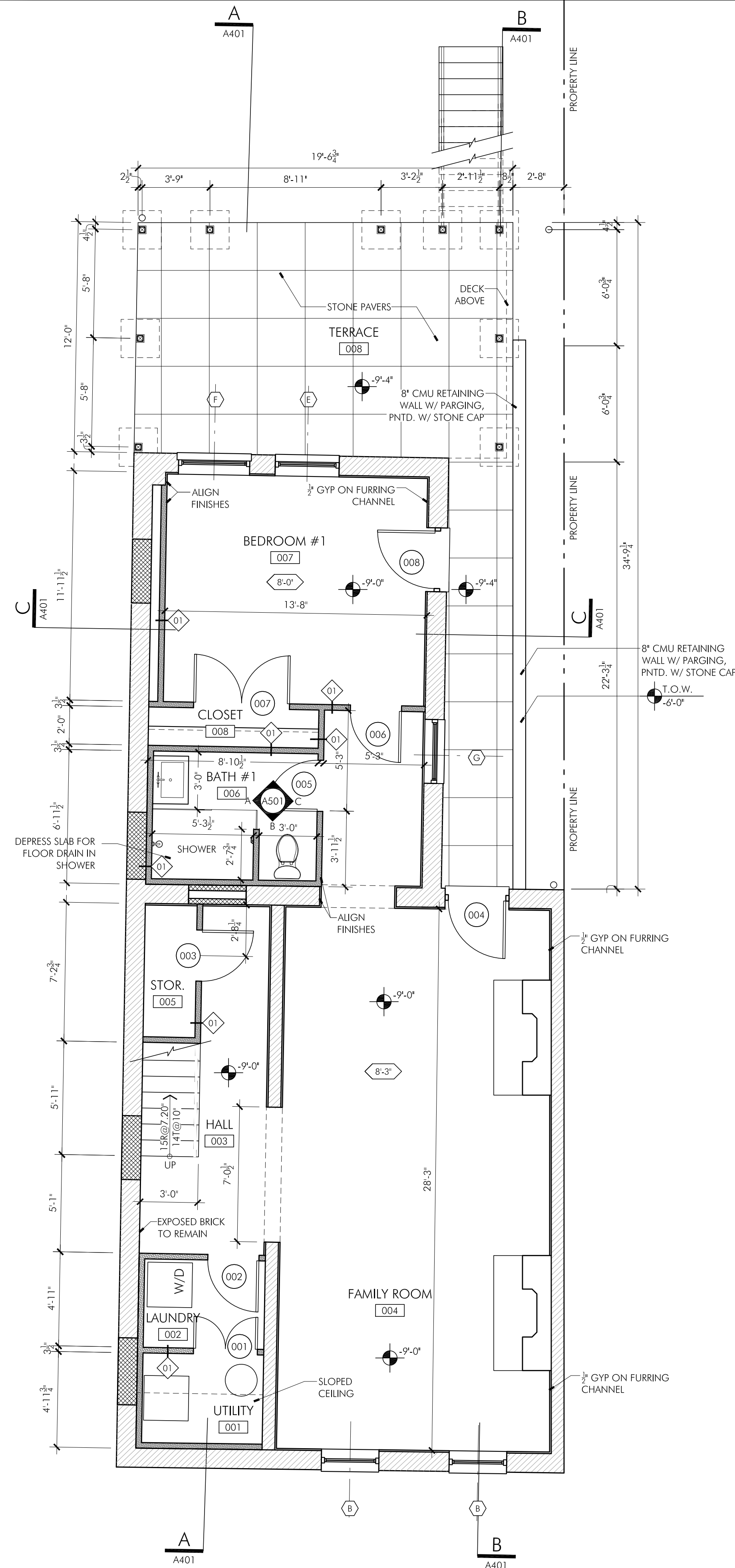
108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219

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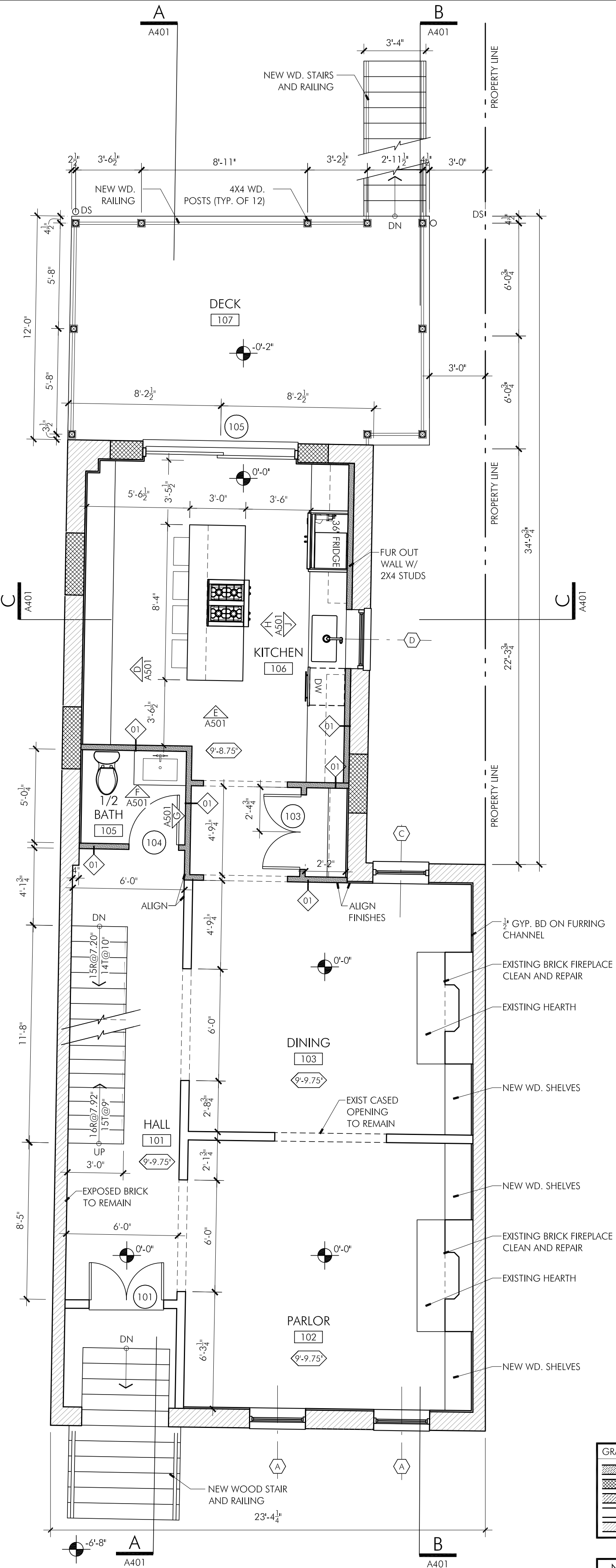
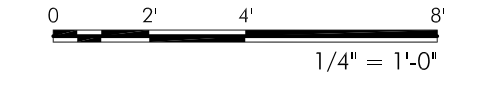
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DATE: 04.06.2021

**SITE PLAN**

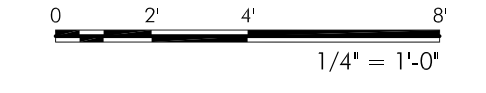
**A101**



**BASEMENT FLOOR PLAN 3**



**FIRST FLOOR PLAN 2**

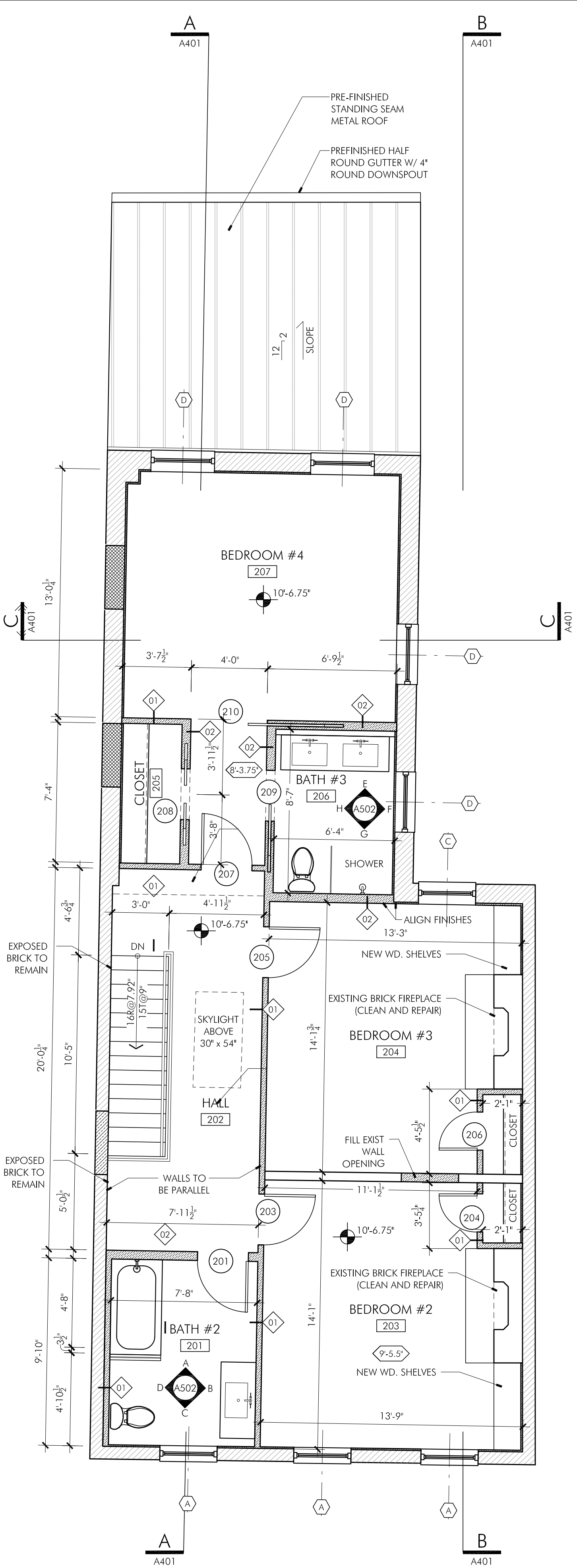


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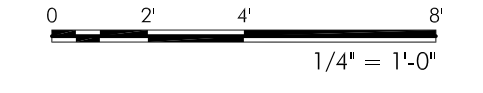
- NEW STUD WALL
- NEW CMU WALL
- NEW BRICK WALL
- EXIST. STUD WALL
- EXIST. BRICK WALL

**NOTES**

- ALL INTERIOR BRICK WALLS, UNLESS OTHERWISE NOTED, ARE TO HAVE 1/2\"/>



**SECOND FLOOR PLAN 1**



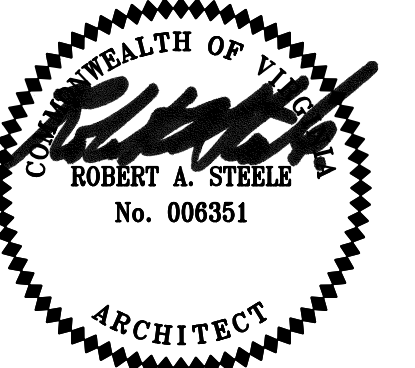
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DATE: 03.10.2021

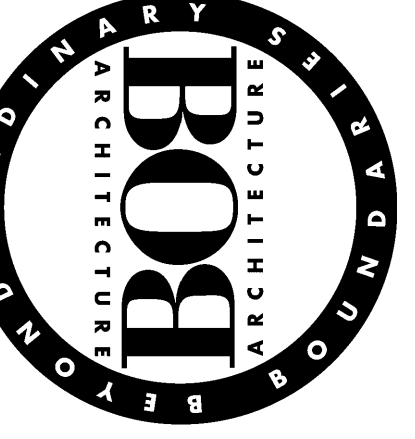
BUILDING PLANS

**A201**

2320 E. MARSHALL ST.  
RENOVATION  
RICHMOND, VIRGINIA



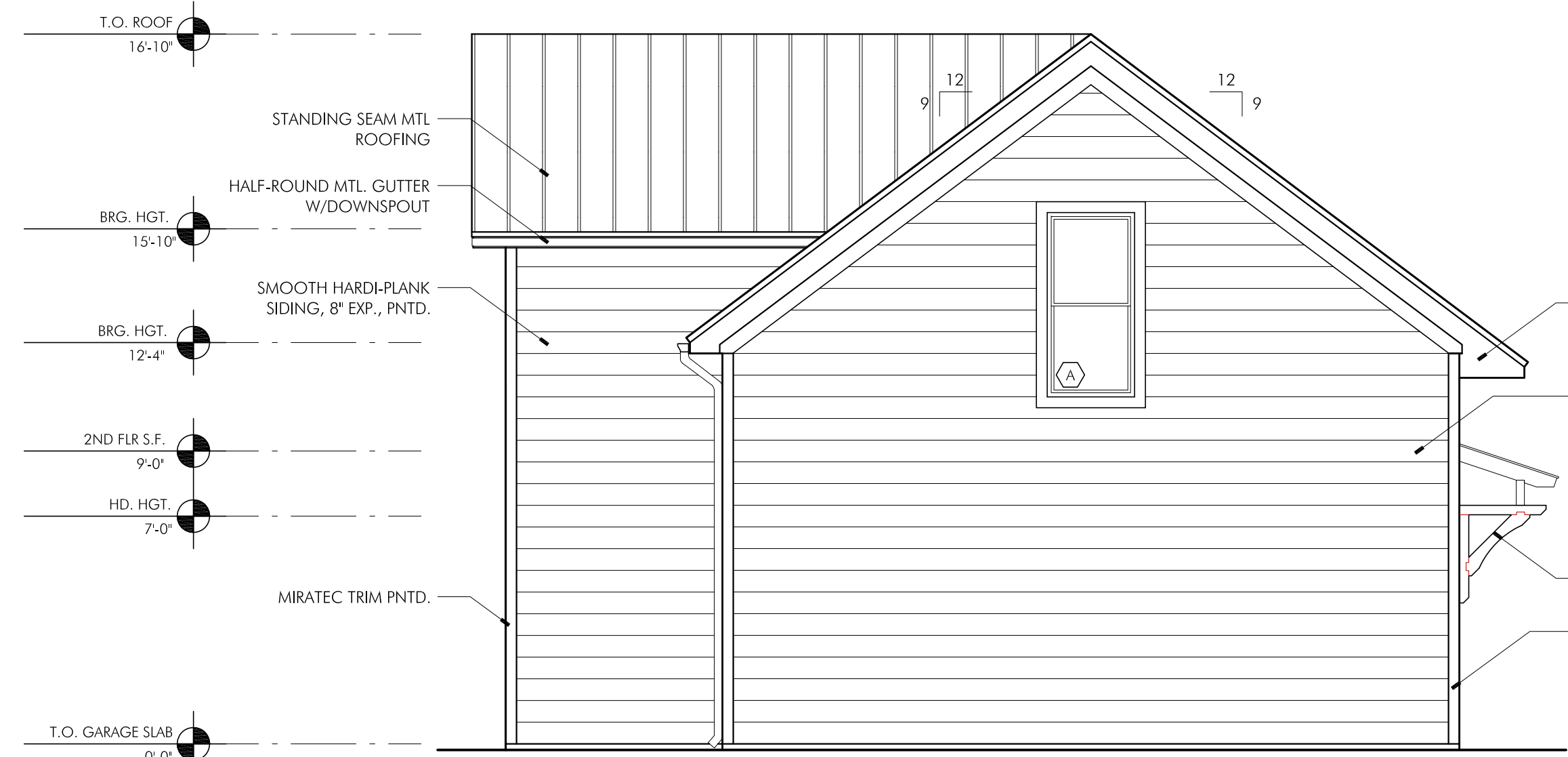
108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219  
Fon 804.344.0060  
email: bobstudio@bobarchitecture.net





A  
B  
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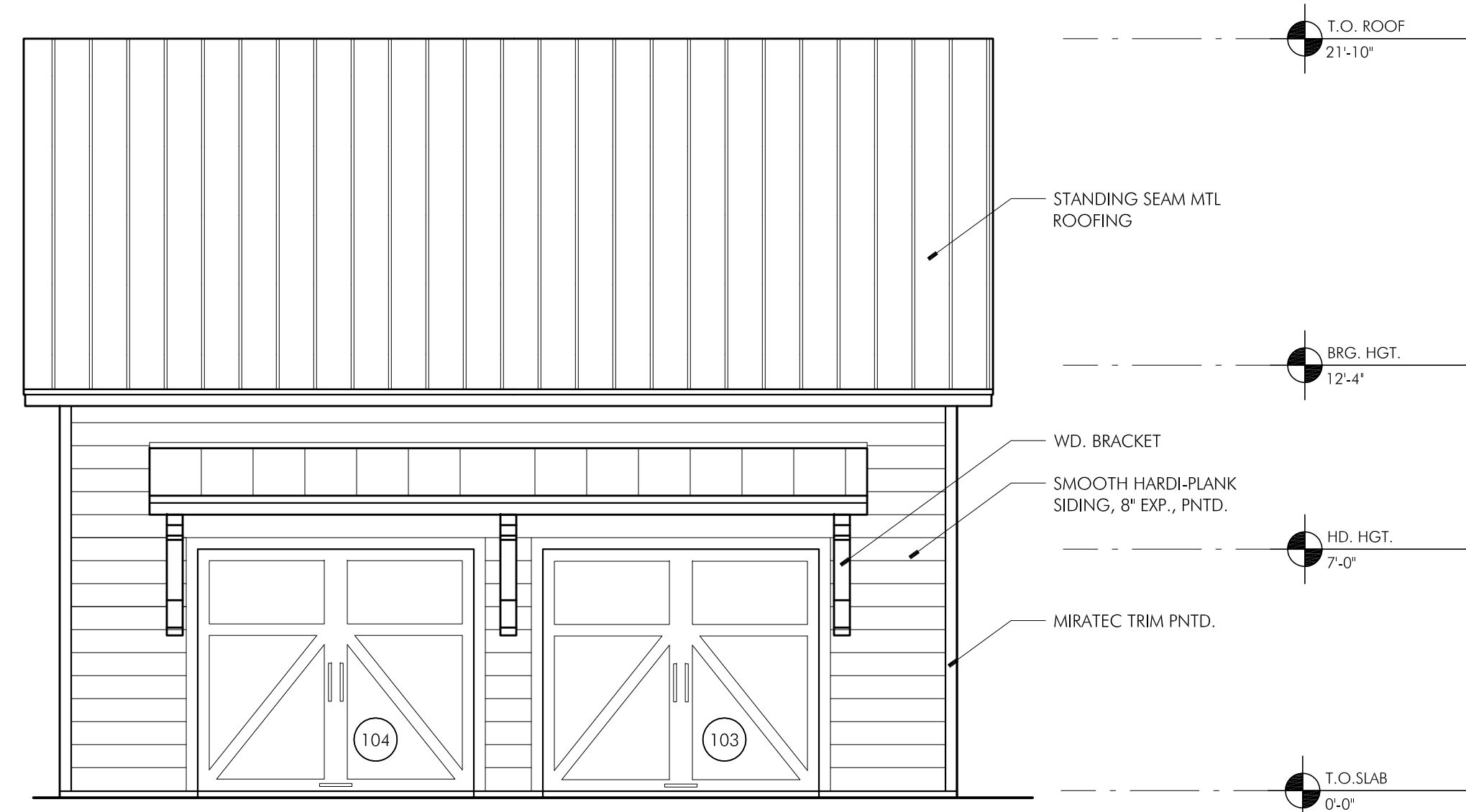
SIDE ELEVATION 4  
1/4"=1'-0"



SIDE ELEVATION 3  
1/4"=1'-0"



REAR ELEVATION 2  
1/4"=1'-0"



FRONT ELEVATION 1  
1/4"=1'-0"

2320 E. MARSHALL ST.  
RENOVATION  
RICHMOND, VIRGINIA



108 NORTH FIRST STREET  
RICHMOND, VIRGINIA 23219  
Fon 804.344.0060  
email: bobstudio@bobarchitecture.net



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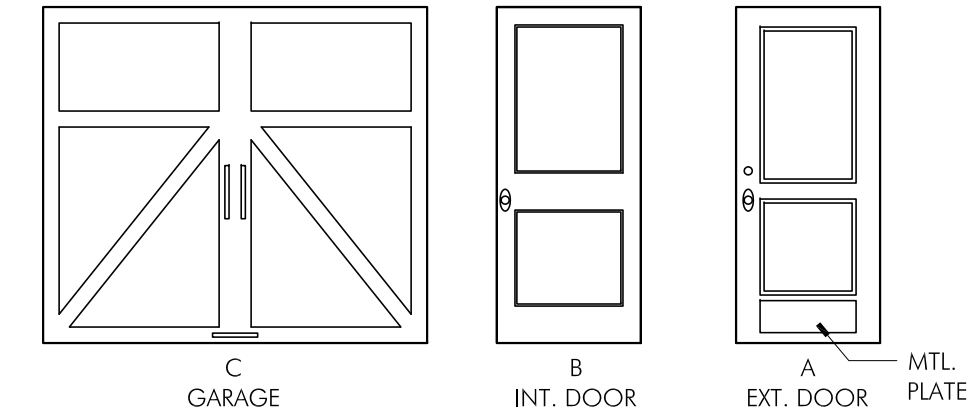
JOB NO: 20.012  
DATE: 04.06.2021

GARAGE ELEVATIONS

A301

DOOR SCHEDULE										
DR. #	SIZE (W X H)	R.O. SIZE	TYPE	THK.	MATERIAL	GLASS	FRAME TYPE	REMARKS	HARDWARE	THRESHOLD
FIRST FLOOR										
101	3'-0"x7'-0"		A	1 3/4"	ALUM.	3/8" TEMP		EXT. GARAGE ENTRY DOOR		
102	2'-4"x7'-0"		B	1 3/4"	ALUM.	3/8" TEMP		EXT. GARAGE ENTRY DOOR		
103	8'-0"x7'-0"		C	1 3/4"	WD.	-		GARAGE DOOR		
104	8'-0"x7'-0"		C	1 3/4"	WD.	-		GARAGE DOOR		
105										
SECOND FLOOR										
201	3'-0"x7'-0"		B	1 3/4"	WD.			INT. DOOR		
202	2'-8"x7'-0"		B	1 3/4"	WD.			INT. DOOR		
203	2'-8"x7'-0"		B	1 3/4"	WD.			INT. DOOR		
204	2'-0"x6'-0"		B	1 3/4"	WD.			INT. DOOR		
205	2'-8"x7'-0"		B	1 3/4"	WD.			INT. DOOR		
206										

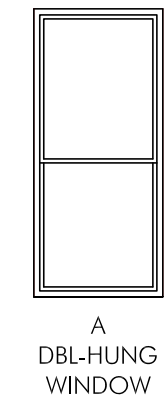
DOOR NOTES:  
 1) EXTERIOR DOORS, OTHER THAN NOTED, ARE TO BE ALUM. CLAD FULL HGT. TEMPERED GLASS W/ WD. PRIMED INTERIOR. TEMPERED GLASS TO BE 3/8" INSUL. LOW-E COATED & ARGON FILLED.  
 2) ALL INTERIOR DOORS TO BE 1 3/4" THK. - SOLID CORE WD.  
 3) ALL INTERIOR DOORS FINISH TO BE WD. VENEER W/CLEAR FINISH



DOOR TYPES  
NTS

WINDOW SCHEDULE			
WDW.	R.O. SIZE (WxH)	TYPE	REMARKS
A	2'-8 1/2" X 5'-8"	DOUBLE HUNG	

WINDOW NOTES:  
 1) ALL WINDOWS TO BE ALUM. CLAD W/ 3/8" INSUL. GLASS W/ LOW-E COATING & ARGON FILLED W/ SIMULATED DIVIDED LITES W/ SPACER BARS W/ 1/8" GRILLES  
 2) EXTERIOR WINDOW CLADDING COLOR TBD.  
 3) SEE ELEVATIONS & PLANS FOR WINDOWS TO BE TEMPERED. SEE KEY DESIGNATION



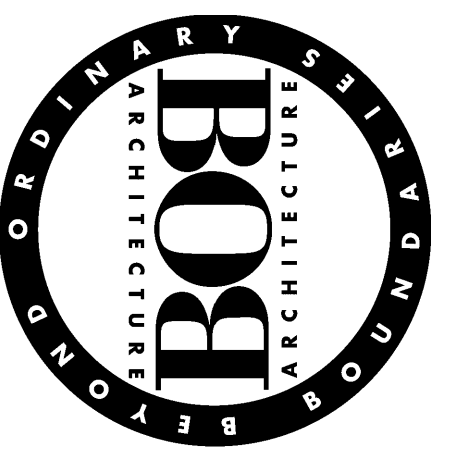
WINDOW TYPES  
NTS

MATERIAL SCHEDULE	
MATERIAL	REMARKS
ROOFING	STANDING SEAM METAL ROOFING - MANUF. ATAS OR EQUAL
SIDING	FIBER CEMENT COMPOSITE SIDING - JAMES-HARDIE OR EQUAL
TRIM	COMPOSITE TRIM PNTD. - MANUF. MIRATEC OR EQUAL
DOORS	ALUM CLAD DOORS - MANUF. MARVIN OR EQUAL
WINDOWS	ALUM CLAD WINDOWS - MANUF. MARVIN OR EQUAL

2320 E. MARSHALL ST.  
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108 NORTH FIRST STREET  
 RICHMOND, VIRGINIA 23219  
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DOOR & WINDOW SCHEDULES

A102



**E Marshall St. Garage & Studio**  
2320 E Marshall Street, Richmond, VA 23223

**1** Brick

Manuf: Acme Brick or equal



Velour Finish



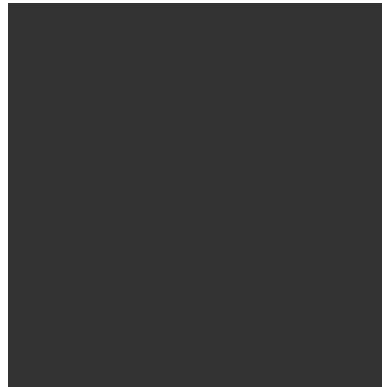
Texas Rosewood  
Velour Finish

**2** Standing Seam Metal Roof

Manuf: ATAS or equal



Standing Seam Metal Roof



Matte Black Finish

**3** Siding

Manuf: James Hardie



Hardie Plank Lap Siding



Aged Pewter Cedarmill Finish



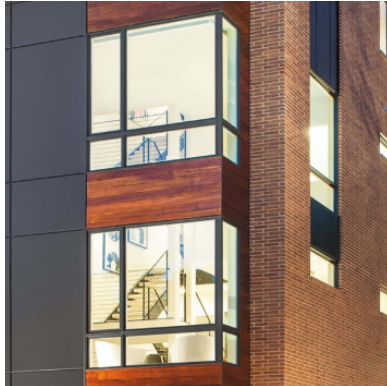
**E Marshall St. Garage & Studio**  
2320 E Marshall Street, Richmond, VA 23223

**4** Windows

Manuf: Marvin or equal



Aluminum Clad Wood Windows



**5** Doors

Manuf: Marvin or equal

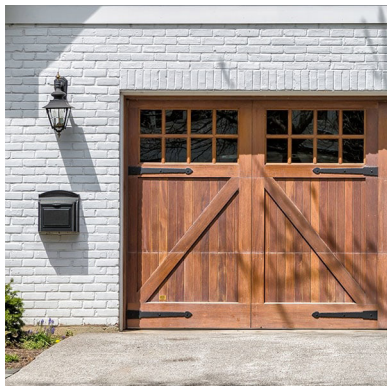


Aluminum Clad Wood Doors



**6** Garage Doors

Manuf: Clopay







**E Marshall St. Garage & Studio**  
2320 E Marshall Street, Richmond, VA 23223

Colors

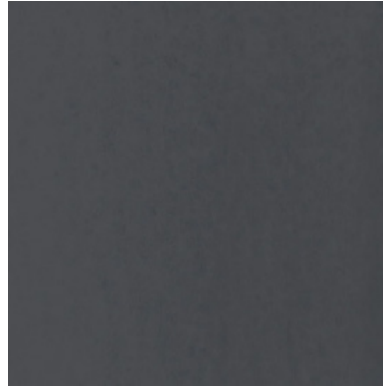
Siding

- James Hardie Aged Pewter



Windows & Doors

- Marvin Gunmetal



Standing Seam Metal Roof

- Matte Black



Garage Doors

- Teak Color

