



Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall
900 East Broad Street, Richmond, Virginia 23219
PHONE: (804) 646-6335 FAX: (804) 646-5789

12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION

LOCATION OF WORK: 500 W. Marshall St. DATE: 7/19/2016

OWNER'S NAME: Jay Som TEL NO.: 240-426-8845

AND ADDRESS: 21 W. Clay St. EMAIL: jayansom@gmail.com

CITY, STATE AND ZIPCODE: Richmond Va. 23220

ARCHITECT/CONTRACTOR'S NAME: Amrit Singh TEL. NO.: (804) 304 3571

AND ADDRESS: 3412 WEST LEIGH STREET, SUITE 200 EMAIL: amrit@fultzarchitects.com

CITY, STATE AND ZIPCODE: Richmond Va. 23230

Would you like to receive your staff report via email? Yes No

REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

DETAILED DESCRIPTION OF PROPOSED WORK (Required):

STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK

PROPOSED. (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

The applicant proposes to develop three apartments in a garage located on the northern portion of the lot known as 500 W. Marshall St. Richmond Virginia, 23320. The property is located in the Jackson Ward Historic district and is a contributing building. The applicant shall make three exterior changes to the property and therefore requires CAR approval.

These changes are glass and metal storefronts, the addition of a side walk and the installation of a car pad and curb cut.

Signature of Owner or Authorized Agent: X 

Name of Owner or Authorized Agent (please print legibly): Jay Som

(Space below for staff use only)

Received by Commission Secretary _____ APPLICATION NO. _____

DATE _____ SCHEDULED FOR _____

Note: CAR reviews all applications on a case-by-case basis.

Revised 10-02-2014

RECEIVED 2:18
JUL 25 2016 KC

500 W. Marshall CAR Application

Overview:

The applicant proposes to develop three apartments in a garage located on the northern portion of the lot known as 500 W. Marshall St. Richmond Virginia, 23320. The property is located in the Jackson Ward Historic district and is a contributing building. The applicant shall make three exterior changes to the property and therefore requires CAR approval.

The 500 W. Marshall lot is a corner lot and has a duplex located on the southern portion. A small yard separates the duplex from the garage. The garage has six bay openings facing Henry St. and one facing the alley to the north of the building. The six bays facing East comprise of four bays with plywood walls. The two remaining bays have manually operated roll-up garage doors. The opening to the north facing the alley has a plywood storefront. The garage doors open directly onto the street with a gently downward sloping concrete ramp.

Proposed Rehabilitation 1: Garage Door Storefronts

The applicant shall install metal and glass storefronts consistent with a grid pattern and the aesthetic of similar storefronts in the Jackson ward Historic district. The storefronts shall have metal mullions and double pane gas filled glazing. Three of the storefronts shall also contain one door each for ingress and egress from the apartments. Please see below for product details, site plan and elevation drawings. The storefronts shall be constructed of Kawneer Trifab™ VersaGlaze™ 451/451T Framing System or a similar specification and appearance by another manufacturer such as OldCastle in a dark bronze color similar to color 37 (Caviar, SW #6990, RGB (48, 46, 47)) in the Design Guideline.

Also note that the Storefront may have a stronger grid pattern than shown on the elevations; more reminiscent of a 6x6 window than a panel.

Proposed Rehabilitation 2: Installation and of a new curb/ sidewalk.

The applicant shall add a sidewalk/ curb which shall be at the same grade as the entrance to the apartments. The building is currently 4-6 inches above the street. The concrete sidewalk/ curb will extend the length of the building and terminate at the alley to the north of the building.

Proposed construction 3: Concrete pad and curb-cut.

The applicant shall install a concrete pad in the yard between the duplex and the garage. This area shall provide parking for one vehicle and three air conditioning condensers. An additional function of the pad will be to mitigate water intrusion into the duplex by way of exterior below grade waterproofing. The condensers shall abut the western side of the property. The sidewalk on the West side of Henry St. ends at the southern terminus of the yard. The stone curb

however continues until the garage begins. The applicant shall remove the stone curb and place a concrete curb cut leading to the road. The length of curb lost is approximately 10 feet. The curb cut shall be molded to the curb in proposed rehabilitation 2.

Trifab™ VersaGlaze™ 451/451T Framing System

- 2" (50.8mm) sightline
- 4-1/2" (114.3mm) depth
- High thermal performance
- Center, back, front, multi-plane glazed options
- Blast mitigation (451T), hurricane resistance
- Structural silicone glazed (SSG) options

Key Features Include:

- Hurricane Impact tested on Shutter Application Only
- Trifab™ VG 451/451T Framing is 4-1/2" (114.3) deep with a 2" (50.8) sightline
- Front, Center, Back or Multi-Plane glass applications
- Flush glazed from either the inside or outside
- Screw Spline, Shear Block, Stick or Type-B fabrication
- SSG / Weatherseal option
- Isolock™ lanced and debridged thermal break option with Trifab™ VG 451T Framing
- Infill options up to 1-1/8" (28.6) thickness
- Permanodic™ anodized finishes in 7 choices
- Painted finishes in standard and custom choices

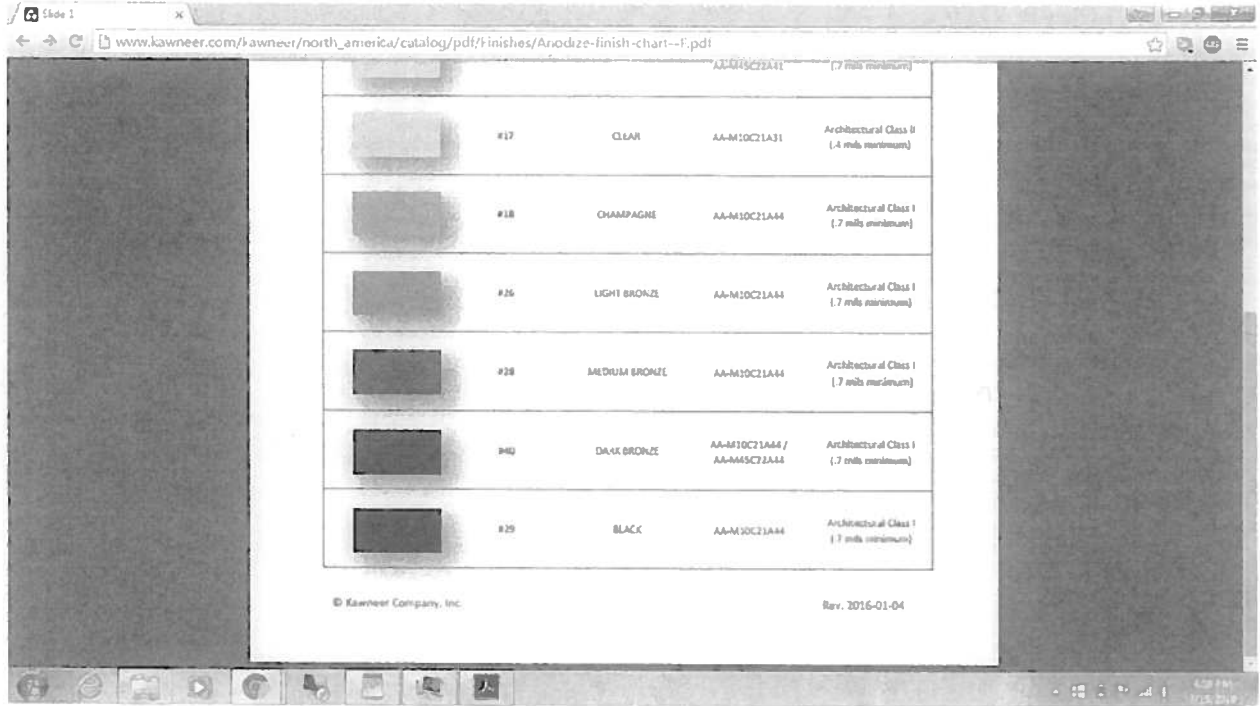
Optional Features:

- High performance interlocking flashing
- Acoustical rating per AAMA 1801 and ASTM E 1425
- Project specific U-factors (See Thermal Charts)

Product Applications:

- Storefront, Ribbon Window or Punched Openings
- Single-span
- Integrated entrance framing allowing Kawneer standard entrances or other specialty entrances to be incorporated
- Kawneer windows including GLASSvent™ are easily incorporated

Kawneer Color Chart: See #40 Dark Bronze



○ = SET ROD
X = SET R/S SPIKE

CLAY STREET

BOOK 0170 PAGE 0100

16' ALLEY

SMITH STREET

327.22'

NORTH HENRY STREET

WEST MARSHALL STREET

FOUND BLOCK CORNER



PLAT OF
NO. 500 WEST MARSHALL STREET
RICHMOND, VA.

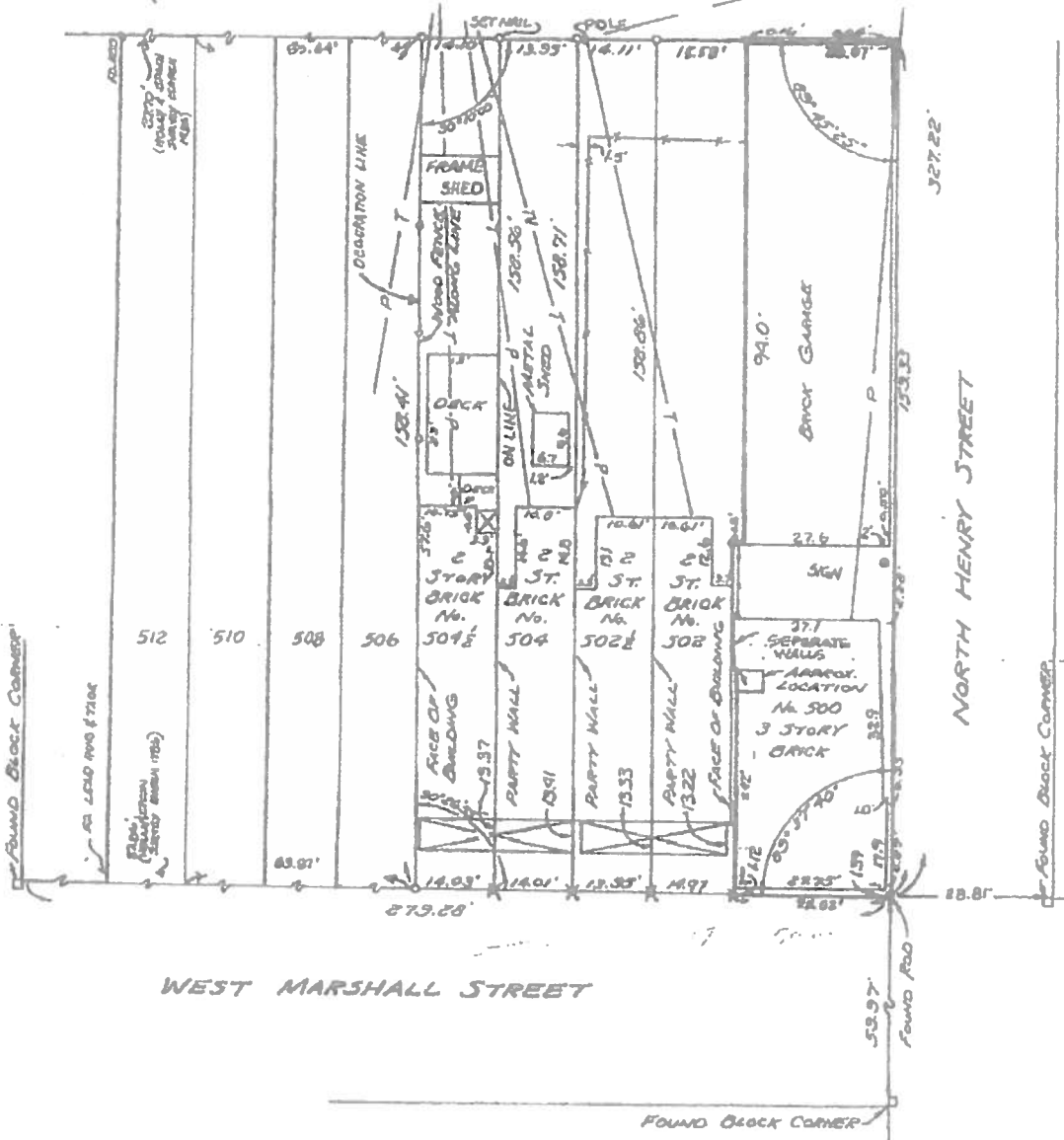
SCALE 1"=20' BOOK - 473 DATE 9-10-86 DRN C.T. CKD L.F.D.

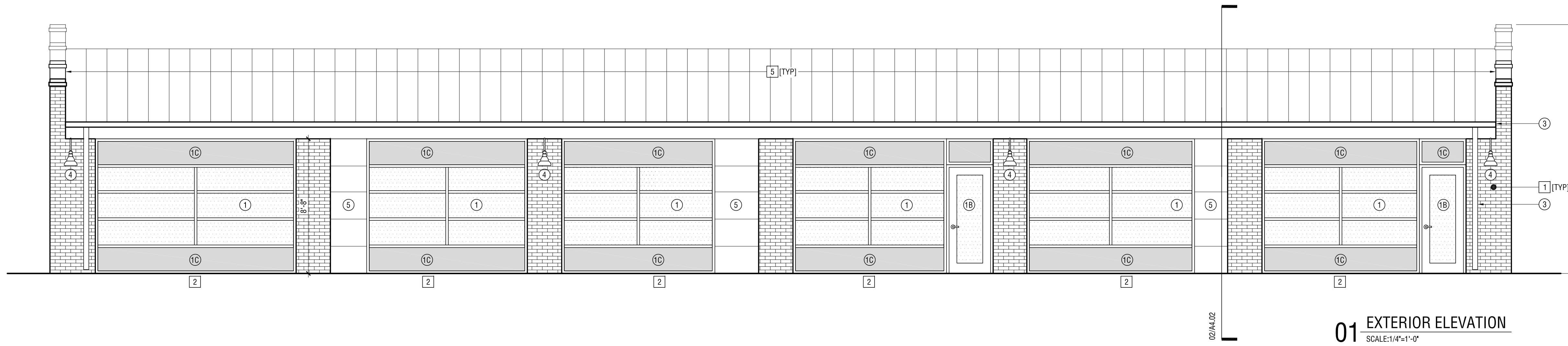


PACIULLI, BIMMONS & ASSOCIATES, LTD.
No. FOUR SOUTH FIRST STREET, RICHMOND, VA.
Engineers, Planners, Surveyors

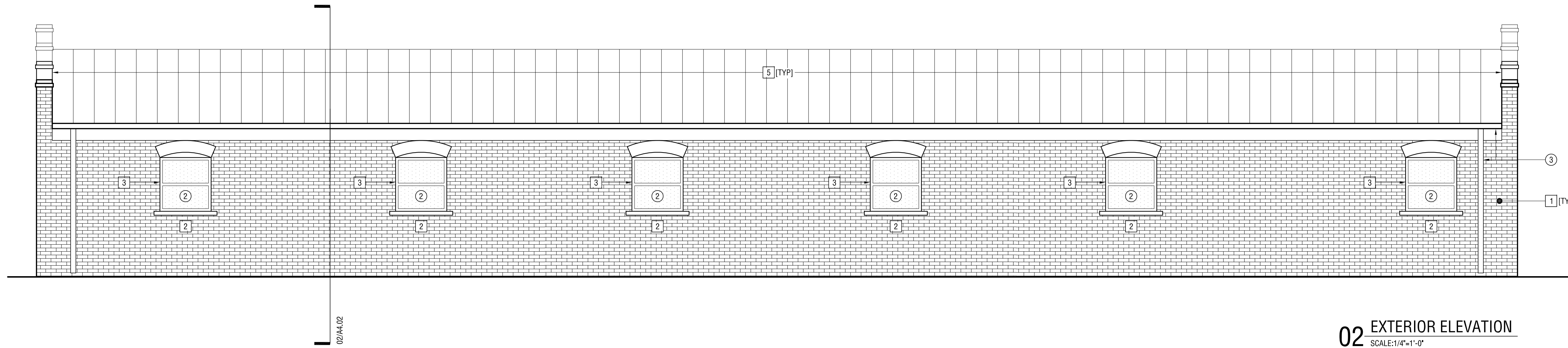
FILE 11111

SHEET 1 OF 1

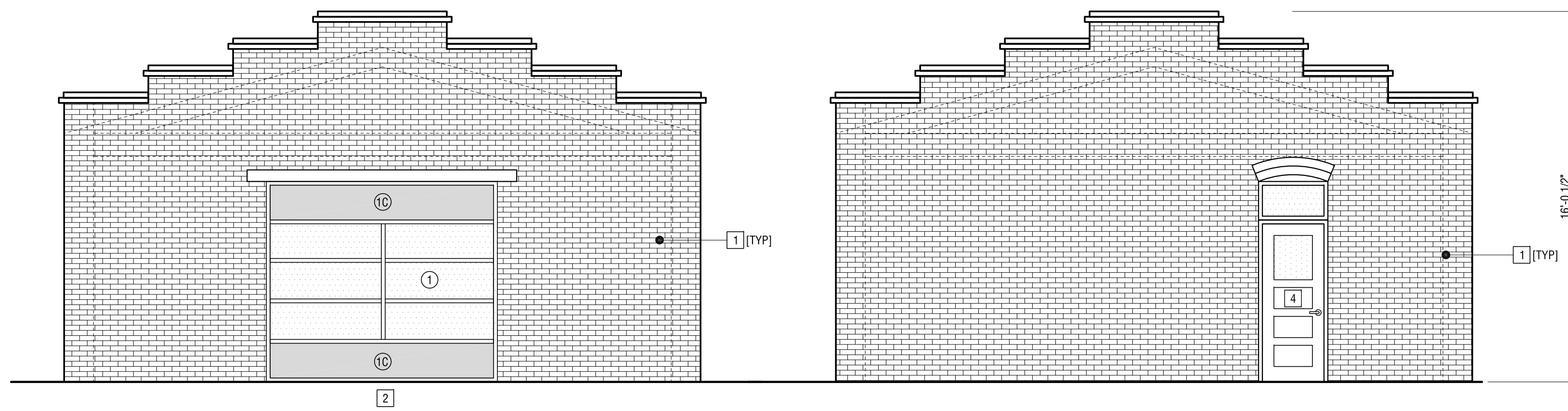




01 EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



02 EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



03 EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

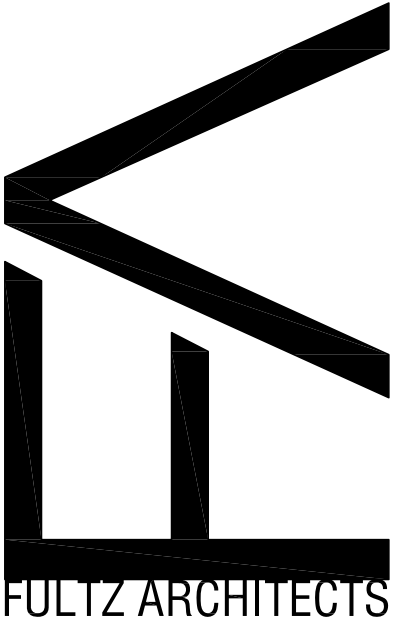
04 EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"

FACADE RESTORATION NOTES

- MASONRY**
- 1 ALL EXISTING MASONRY WILL BE REPAIRED, RE-POINTED AND BRICK WILL BE REPLACED AS NECESSARY. REPLACEMENT BRICK SHALL MATCH EXISTING BRICK IN SIZE, STYLE AND COLOR. REPLACEMENT MORTAR JOINTS SHALL MATCH EXISTING IN CONSISTENCY AND SIZE.
- WINDOWS**
- 2 (BLIND) SELECTED (PREVIOUSLY OPEN) BLIND WINDOWS & DOORS WILL BE REOPENED AND GLAZED WITH CONTEMPORARY STOREFRONT GLAZING (SEE DEMOLITION PLANS AND WINDOW SCHEDULE FOR CLARIFICATION). REPAINT PER CITY OF RICHMOND, HISTORIC DISTRICT GUIDELINES.
- 3 (WOOD) EXISTING JAMBS, SILL & HEADS WILL BE SCRAPED AND REPAINTED. EXISTING BRICK JAMBS WILL BE REPAIRED AS NECESSARY. EXISTING SILLS WILL BE REPAIRED AS NECESSARY. CLEAN AND REMOVE MISCELLANEOUS DEBRIS. ENTIRE ASSEMBLY WILL BE REPAINTED PER CITY OF RICHMOND, HISTORIC DISTRICT GUIDELINES.
- DOORS**
- 4 ALL EXISTING WOOD DOORS WILL BE RETAINED, REPAIRED, AND RE-GLAZED AS REQUIRED. OPERABLE DOOR ASSEMBLIES WILL RECEIVE NEW HARDWARE COMPATIBLE WITH HISTORIC CHARACTER OF THE BUILDING. EXISTING JAMBS WILL BE REPAIRED AS NECESSARY. ALL DOORS ASSEMBLIES WILL BE REPAINTED PER CITY OF RICHMOND, HISTORIC DISTRICT GUIDELINES.
- ROOF**
- 5 EXISTING METAL ROOF TO REMAIN. PATCH AND REPAIR AS NECESSARY.

ELEVATION NOTES

- 1 METAL STOREFRONT SYSTEM
- 1B METAL STOREFRONT DOOR W/ GLASS PANEL
- 1C METAL STOREFRONT W/ OPAQUE METAL PANEL
- 2 METAL DOUBLE HUNG WINDOW
- 3 NEW METAL GUTTER & DOWNSPOUT (COORDINATE COLOR W/ ARCHITECT)
- 4 NEW LIGHT FIXTURE (COORDINATE TYPE & STYLE OF FIXTURE W/ ARCHITECT)
- 5 FIBER CEMENT BOARD (COORDINATE PAINT W/ ARCHITECT)

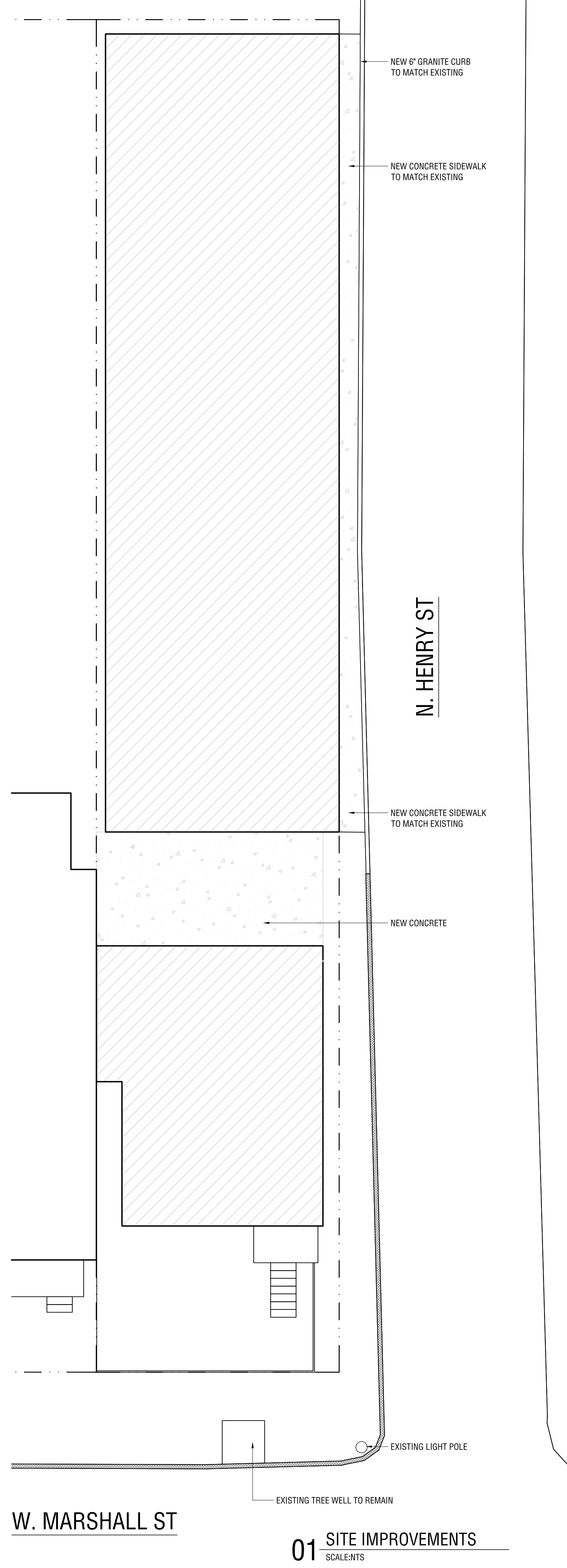


www.fultzarchitects.com
3412 W LEIGH STREET
SUITE 200
RICHMOND VA 23230
804.304.3571

**RENOVATIONS TO
500 W. MARSHALL STREET**

500 W. MARSHALL ST., RICHMOND VA 23220

JOB NUMBER / 21604	DATE / 9 JUNE 2016	SCALE / 1/4"=1'-0"	ADG	REVISIONS /
			CHEKED / CPF	
EXTERIOR ELEVATIONS				
A4.01				

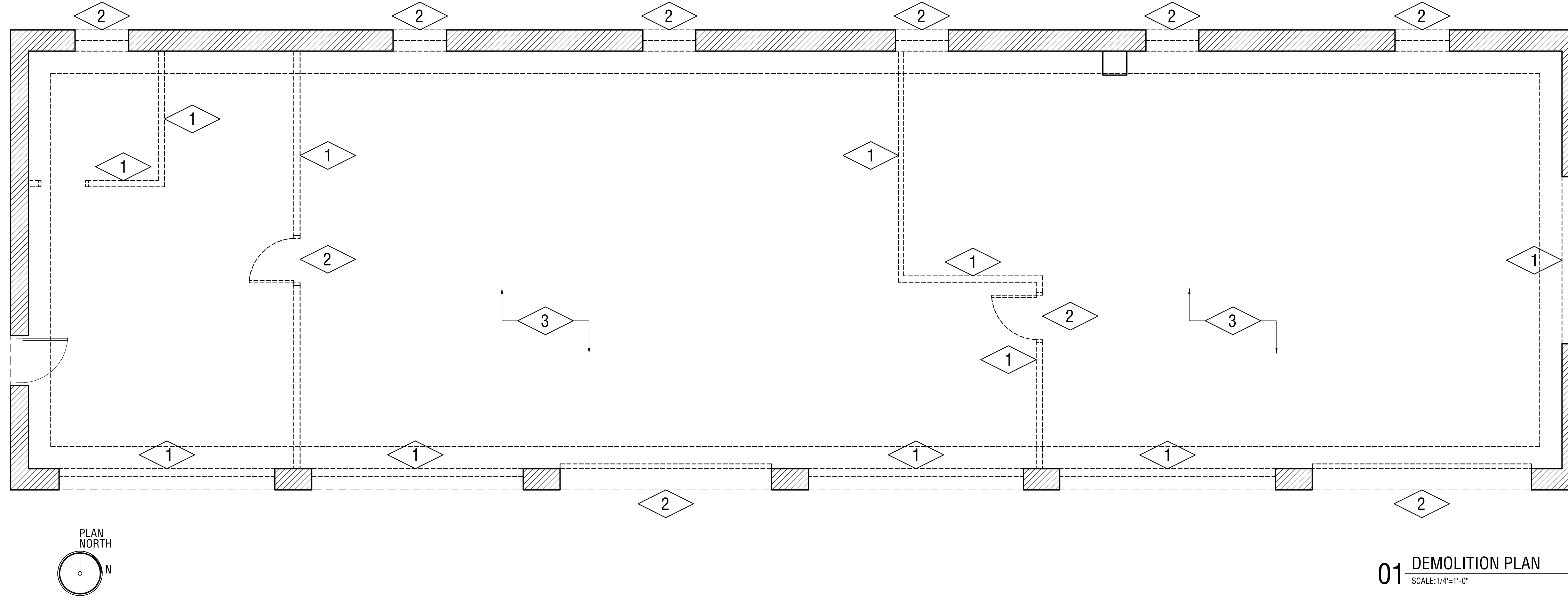


01 SITE IMPROVEMENTS
SCALE: NTS

JOB NUMBER / 21604	DATE / 9 JUNE 2016	SCALE / NTS	ADG DRAWN /	ADG CHECKED /	CPF CPF	REVISIONS /
SHEET / AS1.02			SITE IMPROVEMENTS			

RENOVATIONS TO 500 W. MARSHALL STREET

500 W. MARSHALL ST, RICHMOND VA 23220



DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED

DEMOLITION PLAN NOTES

NOTE: SEE DEMOLITION GENERAL NOTES FOR ADDITIONAL INSTRUCTIONS.

- 1 REMOVE EXISTING WALLS AS INDICATED, INCLUDING ALL ASSOCIATED RECEPTACLES, FIXTURES, SWITCHES, ETC. PATCH AND REPAIR OPENING AS REQUIRED.
- 2 REMOVE EXISTING DOOR/WINDOW, TRIM AND ALL ASSOCIATED HARDWARE.
- 3 REMOVE EXISTING CONCRETE SLAB.

DEMOLITION PLAN NOTES

- 1 COORDINATE ALL CONSTRUCTION ACTIVITIES AND SCHEDULE WITH THE OWNER PRIOR TO DEMOLITION COMMENCEMENT.
- 2 THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS.
- 3 THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.
- 4 THE CONTRACTOR SHALL REMOVE EXISTING WALLS, ASSOCIATED CONSTRUCTION, AND OTHER ITEMS AS INDICATED BY DASHED LINES AND NOTES.
- 5 VERIFY AND COORDINATE LOCATION AND EXTENT OF DEMOLITION WITH NEW CONSTRUCTION DRAWINGS. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN. ALL WORK WHICH IS TO REMAIN IN PLACE, SHALL BE PROTECTED FROM DAMAGE, AND IF DAMAGED, SHALL BE REPAIRED AT NO COST TO THE OWNER.
- 6 FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBED BY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSING OF MASONRY, AND OTHER CHARACTERISTICS.
- 7 PROVIDE TEMPORARY PARTITIONS/DUST PROTECTION AS REQUIRED. REVIEW LOCATIONS OF TEMPORARY PARTITIONS/DUST PROTECTION WITH OWNER AND ARCHITECT PRIOR TO START OF WORK.
- 8 PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC. WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE.
- 9 ANY FLOOR OPENINGS SHALL BE COVERED DURING DEMOLITION AND CONSTRUCTION.
- 10 ANY ROOF DEMOLITION SHALL BE MADE STRUCTURALLY SOUND, TEMPORARILY PATCHED, AND APPROPRIATELY WATERPROOFED FOR DURATION OF CONSTRUCTION UNTIL INSTALLATION OF NEW ROOF MEMBRANE AND ASSOCIATED WATERPROOFING DETAILS.
- 11 THE CONTRACTOR SHALL REMOVE ALL DEMOLISHED DEBRIS AND RUBBISH FROM SITE AS PRACTICAL UNLESS NOTED OTHERWISE. DO NOT ACCUMULATE DEBRIS AT THE SITE.



RENOVATIONS TO
500 W. MARSHALL STREET
 500 W. MARSHALL ST., RICHMOND VA 23220

JOB NUMBER / 21604	DATE / 9 JUNE 2016	SCALE / 1/4"=1'-0"	DRAWN / ADG	CHECKED / CPF	REVISIONS /
DEMOLITION PLAN					
AD1.01					