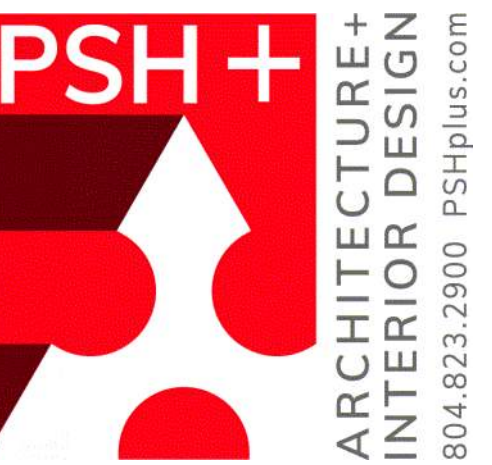


# PROJECT NAME: 5811 GROVE AVENUE

## 5811 GROVE AVENUE RICHMOND, VA 23226

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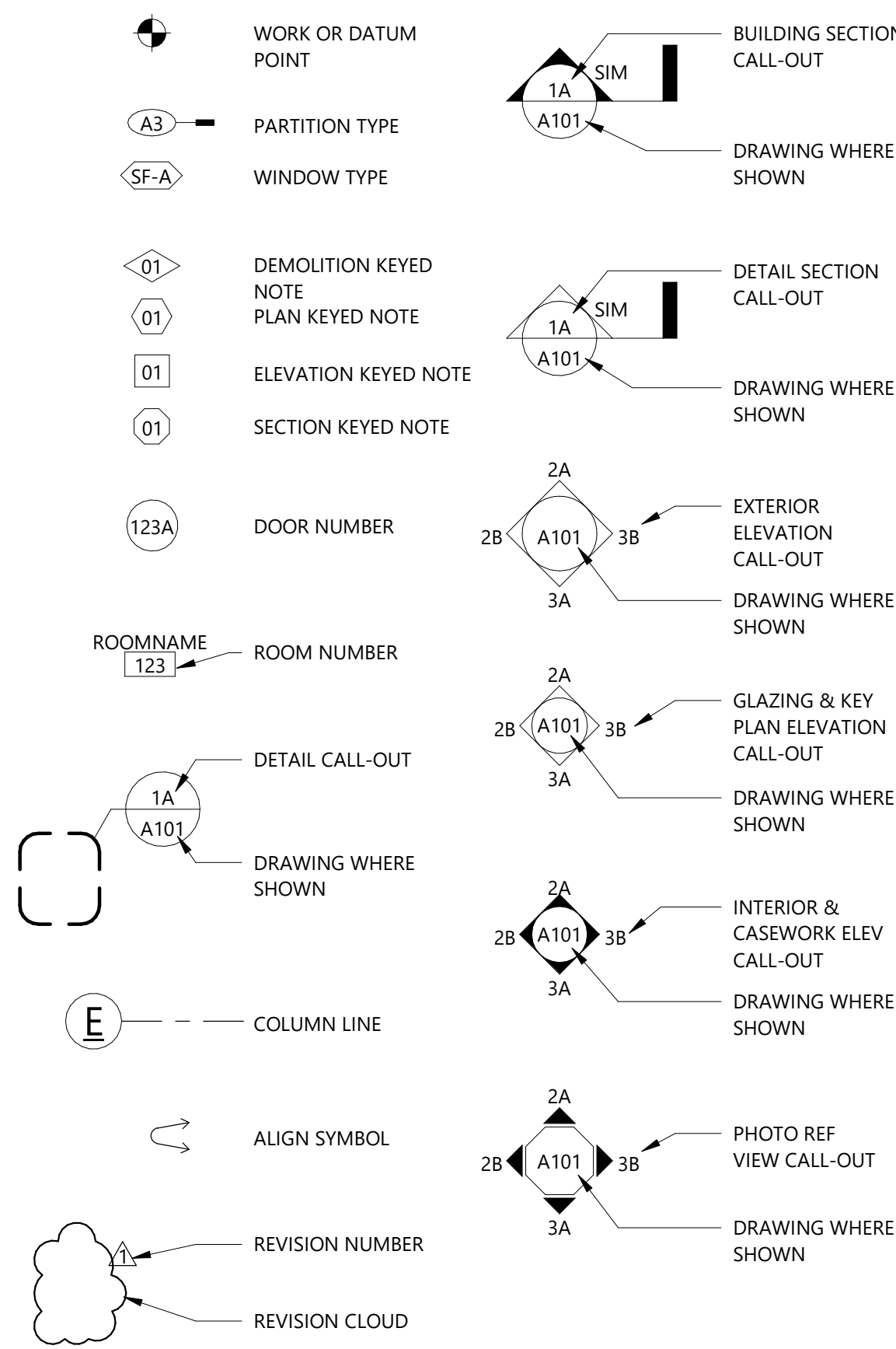
**PROJECT NAME:  
5811 GROVE AVENUE**

**5811 GROVE AVENUE  
RICHMOND, VA 23226**

### DRAWING ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	EXIST	EXISTING	LNTLL	LINTEL	RET	RETURN
AP	ACCESS PANEL	ETR	EXISTING TO REMAIN	LL	LIVE LOAD	RA	RETURN AIR
ACT	ACOUSTICAL CEILING TILE	EB	EXPANSION BOLT	LVR	LOUVER	REV	REVISION
ADJ	ADJACENT, ADJUSTABLE	EJ	EXPANSION JOINT	LVT	LUXURY VINYL TILE	RH	RIGHT HAND
A/C	AIR CONDITIONING	EXT	EXTERIOR	LB	POUND	R	RISER
ALT	ALTERNATE	EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	MFR	MANUFACTURER	RD	ROOF DRAIN
ALUM	ALUMINUM			MAS	MASONRY	RM	ROOM
AB	ANCHOR BOLT			MO	MASONRY OPENING	RO	ROUGH OPENING
APPROX	APPROXIMATE(LY)	FB	FACE BRICK	MATL	MATERIAL	RB	RUBBER, RUBBER BASE
ARCH	ARCHITECT(URAL)	FOM	FACE OF MASONRY	MAX	MAXIMUM	SCH	SCHEDULE
@	AT	FOS	FACE OF STUD	MECH	MECHANICAL	SCUP	SCUPPER
		F	FAHRENHEIT	MEMB	MEMBRANE	SECT	SECTION
BP	BASE PLATE	FT	FEET, FOOT	MTL	METAL	SHT	SHEET
BSMT	BASEMENT	FF	FINISH FLOOR	MIN	MINIMUM	SIM	SIMILAR
BM	BEAM	FA	FIRE ALARM	MIR	MIRROR	SC	SOLID CORE
BRG	BEARING	FEB	FIRE EXTINGUISHER BRACKET MOUNTED	MISC	MISCELLANEOUS	SCW	SOLID CORE WOOD
BIT	BITUMINOUS			MLDG	MOULDING	SSM	SOLID SURFACE MATERIAL
BLKG	BLOCKING	FEC	FIRE EXTINGUISHER CABINET	MNTG	MOUNTING	SPC	SPECIFICATION
BD	BOARD	FHC	FIRE HOSE CABINET	NOM	NOMINAL	SPR	SPRINKLER
BOT	BOTTOM	FRTW	FIRE RETARDANT TREATED WOOD	N	NORTH	SS	STAINLESS STEEL, SERVICE SINK
BRK	BRICK	FD	FLOOR DRAIN	NIC	NOT IN CONTRACT	SP	STAND PIPE
BLDG	BUILDING	FTG	FOOTING	NTS	NOT TO SCALE	STL	STEEL
		FDN	FOUNDATION	NO.#	NUMBER	STN	STONE
CR	CARD READER	FBO	FURNISHED BY OTHERS			STOR	STORAGE
CPT	CARPET			OFF	OFFICE	STRUCT	STRUCTURAL
CO	CASED OPENING	GA	GAGE, GAUGE	OC	ON CENTER	SUSP	SUSPENDED
CSMT	CASEMENT	GALV	GALVANIZED	OPNG	OPENING	SYS	SYSTEM
CLG	CEILING	GEN	GENERAL	OPP	OPPOSITE	TEL	TELEPHONE
C/H	CEILING HEIGHT	GC	GENERAL CONTRACTOR	OD	OUTSIDE DIAMETER, OVERFLOW DRAIN	T GL	TEMPERED GLASS
CL	CENTER LINE	GL	GLASS, GLAZING	OF	OUTSIDE FACE	TEMP	TEMPERED, TEMPORARY
CT	CERAMIC TILE	GND	GROUND	OA	OVERALL	TERR	TERRAZZO
CLR	CLEAR(ANCE)	GWB	GYPSUM WALL BOARD	OH	OVERHEAD	THK	THICK(NESS)
CLS	CLOSET	GYP	GYPSUM WALL BOARD	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	THRU	THROUGH
COL	COLUMN			OFOI	OWNER FURNISHED OWNER INSTALLED	TLT	TOILET
CONST	CONCRETE	HRDL	HANDRAIL			T&G	TONGUE & GROVE
CMU	CONCRETE MASONRY UNIT	HDWR	HARDWARE			TOM	TOP OF MASONRY
COMP	CONSTRUCTION	HWD	HARDWOOD			TOSL	TOP OF SLAB
CONT	CONTINUOUS	HVAC	HEATING VENTILATING & AIR CONDITIONING			TOS	TOP OF STEEL
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED			PNT(D)	PAINT(ED)	TOW	TOP OF WALL
				PNL	PANEL	T	TREAD
CJ	CONTROL JOINT	HD	HEAVY DUTY	PVMT	PAVEMENT	TYC	TYPICAL
CG	CORNER GUARD	HGT	HEIGHT	PERP	PERPENDICULAR		
CORR	CORRIDOR	H	HIGH	HC	HOLLOW CORE	PLAS	PLASTER, PLASTIC
CR/BG	CRASH RAIL/BUMPER GUARD	HC	HOLLOW CORE	HM	HOLLOW METAL	PLAM	PLASTER, PLASTIC LAMINATE
		HORIZ	HORIZONTAL	HORIZ	HORIZONTAL	PL	PLATE
DP	DAMPROOFING	HB	HOSE BIB	HLW	HOLLOW CORE	PLGL	PLATE GLASS
DET	DETAILED	HW	HOT WATER HEATER	HR	HOUR	PLWD	PLYWOOD
DEG	DEGREE			PVC	POLYVINYL CHLORIDE	PNT(S)	POUND(S)
DEMO	DEMOLITION			PSF	POUNDS PER SQUARE FOOT	PNT(D)	PAINT(ED)
D	DEPTH			PSI	POUNDS PER SQUARE INCH	PREFIN	PREFINISHED
DIAG	DIAGONAL			PT	PRESSURE TREATED, PORCELAIN TILE	PROP	PROPERTY
DIA	DIAMETER	IN	INCH			QTY	QUALITY
DIM	DIMENSION	INCL	INCLUDE(D)(ING)			QT	QUARRY TILE
DISP	DISPENSER	INSL	INSULATE(D)(ATION)				
DIV	DIVISION	INSUL	INSULATION				
DR	DOOR, DRAIN	ID	INSIDE DIAMETER				
DBL	DOUBLE	INT	INTERIOR				
DN	DOWN	JAN	JANITOR(S) CLOSET				
DS	DOWN SPOUT	JST	JOIST				
DWG(S)	DRAWING(S)	JCT	JUNCTION				
DF	DRINKING FOUNTAIN						
		KB	KEYBOARD				
EA	EACH	KP	KICK PLATE				
EWC	ELECTRIC WATER COOLER	KIT	KITCHEN				
ELEC	ELECTRICAL	KS	KNEE SPACE				
ELEV	ELEVATOR, ELEVATION						
EMER	EMERGENCY	LAM	LAMINATE(D)				
ENGR	ENGINEER(ING)	LAV	LAVATORY				
EQ	EQUAL	LH	LEFT HAND				
EQUIP	EQUIPMENT	L	LENGTH, LONG				
EPDM	ETHYLENE PROPYLENE DIENE MONOMER (ROOF MEMBRANE)	LW	LIGHTWEIGHT				

### DRAWING SYMBOLS



### PROJECT CONTACT INFORMATION

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### CODE INFORMATION

**PROJECT SUMMARY**

OWNER: ROB LONG  
PROJECT NAME: 5811 GROVE AVENUE  
PROJECT ADDRESS: 5811 GROVE AVENUE  
OWNER CONTACT: RICHMOND, VA 23226  
OWNER PHONE: (804) 363-8006  
OWNER EMAIL: ROB@RIVERCITYROLL.COM

**PROJECT DESCRIPTION**  
A COMPLETE INTERIOR DEMOLITION OF EXISTING CONDITIONS. ALL EXISTING STRUCTURE TO REMAIN. ALL PLUMBING FIXTURES TO BE REMOVED, EXCEPT FOR EXISTING WATER HEATER. ALL EXISTING ELECTRICAL FIXTURES, DEVICES AND WIRING TO BE REMOVED, BACK TO THE EXISTING PANEL. ALL EXISTING MECHANICAL DUCTWORK TO BE REMOVED. EXISTING AIR HANDLER IN BASEMENT TO BE REMOVED AND SALVAGED FOR REUSE. EXISTING ROOF TOP UNITS TO BE REMOVED. FRONT EXTERIOR WOOD PERGOLA AND TRIM TO BE REMOVED FOR COSMETIC UPGRADES. KEEP EXISTING PERGOLA STRUCTURE.

ADDITIONALLY, AN UPGRADE OF THE EXISTING REAR PATIO DINING SPACE, WHICH WILL INCLUDE THE CONSTRUCTION OF SCREENING WALLS, AN EXTERIOR GAS-FIREPLACE, UPGRADED LIGHTING, AND OVERHEAD FANS AND SPACE-HEATERS TO ALLOW FOR YEAR-ROUND USE. THE EXTERIOR DINING SPACE WILL REMAIN UNCOVERED AND OPEN-AIR, TO HELP PROMOTE PUBLIC HEALTH AND WELL-BEING IN THE ERA OF THE COVID PANDEMIC.

**TYPE OF CONSTRUCTION (CHAPTER 6)**  
EXISTING CONSTRUCTION TYPE: 3-B (UNCHANGED)

**BUILDING OCCUPANCY**  
USE GROUP (BUILDING): A-2 (UNCHANGED)  
RATED SEPARATION OF OCCUPANCIES: NO SEPARATION REQUIRED (UNCHANGED)

**APPLICABLE CODES (TYPICAL)**

IBC: 2015 - INTERNATIONAL BUILDING CODE  
2015 - VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC)  
2015 - VIRGINIA EXISTING BUILDING CODE

REFERENCE: 2015 - ICC INTERNATIONAL MECHANICAL CODE  
2015 - ICC INTERNATIONAL PLUMBING CODE  
2015 - ICC INTERNATIONAL ENERGY CONSERVATION CODE  
2014 - NATIONAL ELECTRICAL CODE (NFPA 70)  
2013 - NATIONAL FIRE ALARM CODE (NFPA 72)  
2013 - STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (NFPA 13)



**ISSUE:** PERMIT SET  
**ISSUE DATE:** 08/31/2021  
**PSH+ No:** 2054-06  
**CLIENT No:** Number  
**SCALE:** As indicated

REVISION SCHEDULE		
No.	Description	Date
2	Revision 2	06/04/2021
3	Revision 3	06/22/2021
4	Revision 4	08/31/2021

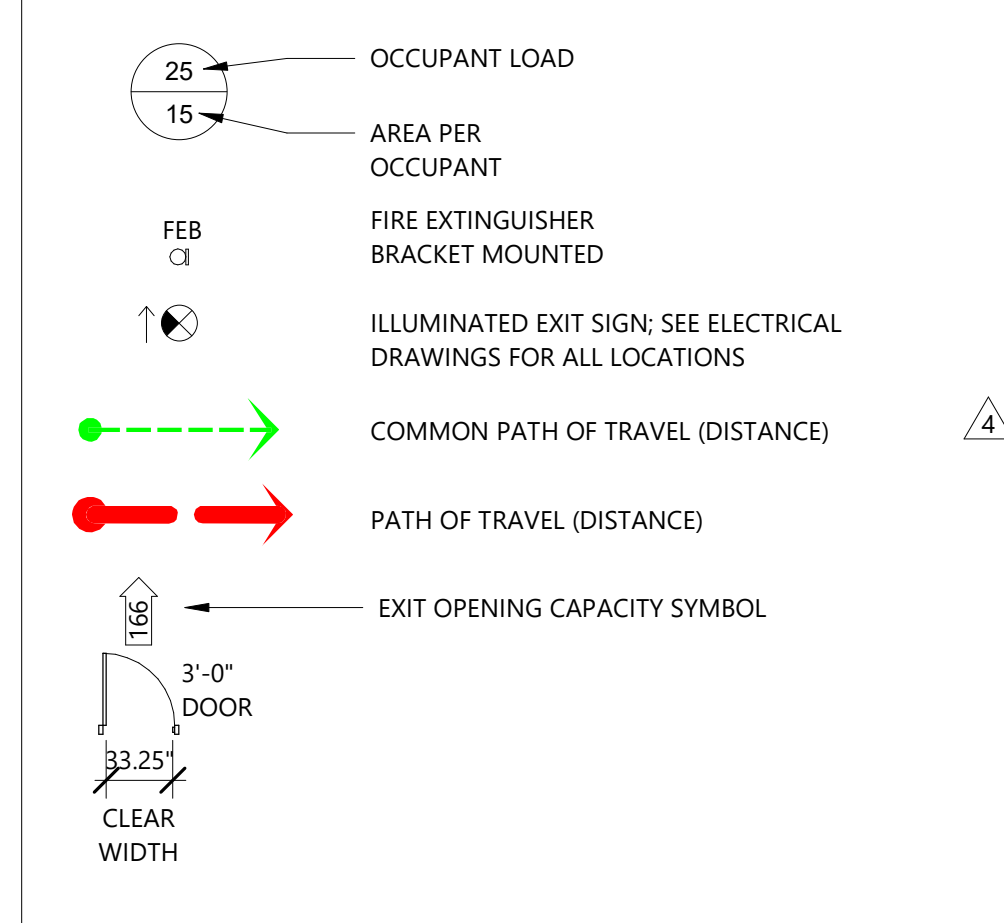
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**SHEET:**  
**TITLE SHEET**

T001



**LIFE SAFETY SYMBOLS**



**OCCUPANCY SUMMARY**

OCCUPANCY	RATE	AREA (S.F.)	OCCUPANTS
<b>FIRST FLOOR</b>			
DINING	1/15	1286	86
OUTDOOR DINING	1/15	368	25
KITCHEN/BAR/HOST	1/200	1056	6
<b>BASEMENT</b>			
KITCHEN/PREP	1/200	957	5
OFFICE	1/100	175	2
<b>TOTAL</b>			<b>124</b>

\*REAR OUTDOOR DINING IS NOT INCLUDED IN BUILDING OCCUPANCY FOR EXIT CAPACITY, BUT IS INCLUDED IN PLUMBING COUNT

**EXIT SUMMARY - LEVEL 1 (GRADE)**

EXIT TYPE	EXIT	EXIT FACTOR	WIDTH PROVIDED (IN.)	REQUIRED PERSONS	CAPACITY PROVIDED
EXIT	A	0.2	66"	61	330
EXIT	B	0.2	32"	60	160
EXIT	C	0.2	32"	3	160

**EXIT SUMMARY BASEMENT**

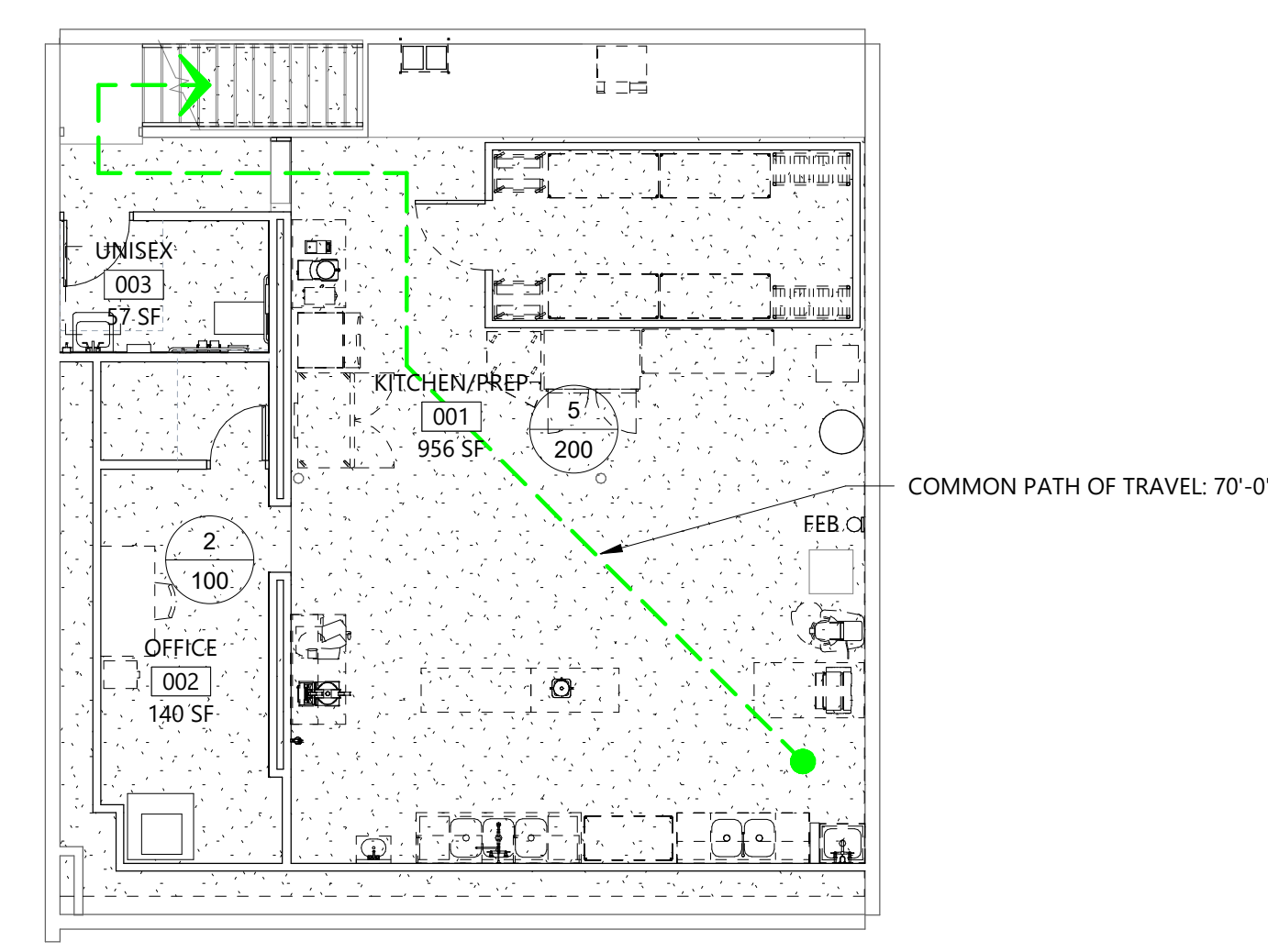
EXIT TYPE	EXIT	EXIT FACTOR	WIDTH PROVIDED (IN.)	REQUIRED PERSONS	CAPACITY PROVIDED
STAIR	S1	0.3	40"	7	133
EXIT	D	0.2	32"	7	160

REFERENCE VUSBC CHAPTER 10  
 TABLE 1004.1.2 FOR OCCUPANT LOAD  
 1005 MEANS OF EGRESS SIZING  
 TABLE 1006.3.1 FOR EXIT REQUIREMENTS PER STORY

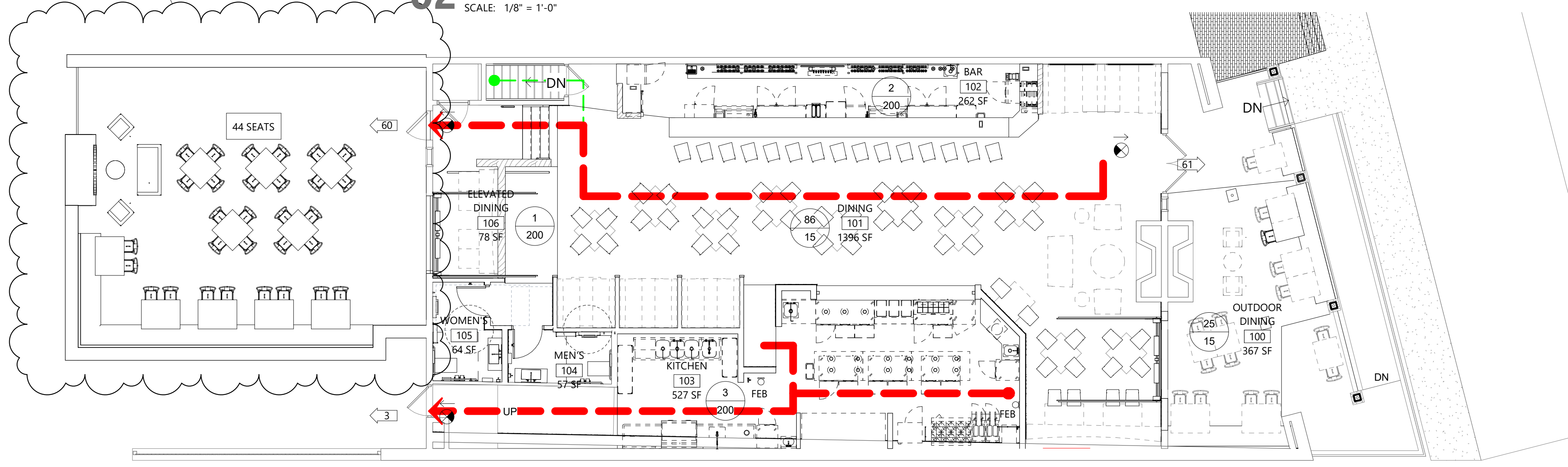
**PLUMBING COUNT**

CLASSIFICATION / OCCUPANCY	WATER CLOSET		LAVATORIES		DRINKING FOUNTAIN	SERVICE SINK
	MALE	FEMALE	MALE	FEMALE		
ASSEMBLY (A-2) (INCLUDES OUTDOOR FRONT DINING) 180 OCCUPANTS (62/GENDER)	(1/75)	(1/75)	(1/200)	(1/200)	(1/500)	1
ASSEMBLY (A-2) (NEW REAR OUTDOOR DINING) 44 OCCUPANTS (22/GENDER)	0.29	0.29	0.11	0.11	0.09	-
<b>TOTAL REQUIRED</b>	<b>1.12</b>	<b>1.12</b>	<b>.37</b>	<b>.37</b>	<b>.36</b>	<b>2</b>
<b>TOTAL PROVIDED</b>	<b>1.5</b>	<b>1.5</b>	<b>1.5</b>	<b>1.5</b>	<b>1</b>	<b>2</b>

\*PLUMBING FIXTURE CALCULATION INCLUDES OUTDOOR OCCUPANTS  
 \*REFERENCE VUSBC CHAPTER 29 AND TABLE 2902.1



**02 BASEMENT CODE**  
 SCALE: 1/8" = 1'-0"



**01 LEVEL-01 CODE**  
 SCALE: 1/8" = 1'-0"

**ADDITIONAL CODE DATA**

**2015 VIRGINIA EXISTING BUILDING CODE**  
 ALTERATION - LEVEL 2

**ALLOWABLE BUILDING HEIGHTS AND AREA**  
 (CHAPTER 5 - TABLE 506.2)  
 ALLOWABLE HEIGHT: 2 STORIES, 55'  
 PROVIDED HEIGHT: 2 STORIES, 16'

ALLOWABLE AREA PER FLOOR: 9,500 SF  
 PROVIDED AREA FIRST FLOOR: 2,968 SF  
 PROVIDED AREA BASEMENT: 1,448 SF

**TYPE OF CONSTRUCTION (CHAPTER 6)**  
 EXISTING CONSTRUCTION TYPE: 3-B

**BUILDING OCCUPANCY**  
 USE GROUP (BUILDING): A-2  
 RATED SEPARATION OF OCCUPANCIES: NO SEPARATION REQUIRED

**INTERIOR FINISHES:**  
 PER VUSBC TABLE 803.11, ALL INTERIOR WALL AND FINISHES WILL HAVE A MINIMUM FINISH CLASS RATING PER THE FOLLOWING:

**A-2 USE GROUP**  
 CLASS A = INTERIOR EXIT STAIRWAYS AND RAMP AND EXIT PASSAGEWAYS  
 CLASS B = CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND RAMP  
 CLASS C = ROOMS AND ENCLOSED SPACES

**FIRE RESISTANT RATING REQUIREMENTS FOR BUILDING ELEMENTS / FIREPROOFING SCHEDULE (REFER TO PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR SPECIFIC PENETRATION FIRESTOPPING DESIGN DETAILS)**

**VUSBC - TABLE 601**  
 FIRE RESISTANCE RATINGS REQUIREMENTS FOR BUILDING ELEMENTS (BASED ON ASSUMED CONSTRUCTION TYPE)

BUILDING ELEMENT	REQUIRED RATING (HRS)	TEST#
PRIMARY STRUCTURAL FRAME (INCLUDING COLUMNS, GIRDERS & TRUSSES)	0	EXISTING
BEARING WALLS		
EXTERIOR	2	EXISTING
INTERIOR	0	EXISTING
NON-BEARING WALLS & PARTITIONS		
EXTERIOR (IBC TABLE 602)	N/A	EXISTING
INTERIOR	0	EXISTING
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS & JOISTS	0	EXISTING
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS & JOISTS	0	EXISTING

**CORRIDORS (VUSBC TABLE 1020.1 & TABLE 1020.2)**

FIRE-RESISTANCE RATING: 1 HR  
 MINIMUM CORRIDOR WIDTH (TYP.): 44"  
 DEAD ENDS (ALLOWED): 20' MAX

**MEANS OF EGRESS - REF. LIFE SAFETY PLAN**

EXIT ACCESS TRAVEL DISTANCE (VUSBC TABLE 1017.2)  
 REQUIRED: 200' (FOR A-2)  
 PROVIDED: REF PLAN

COMMON PATH OF EGRESS TRAVEL DISTANCE (VUSBC TABLE 1006.2.1)  
 ALLOWED: 75' (A-2)  
 PROVIDED: REF PLAN

**EXIT REQUIREMENTS (VUSBC 1006)**

NUMBER OF EXITS REQUIRED: 2  
 NUMBER OF EXITS PROVIDED: 3

**ACCESSIBILITY**

ALL ELEMENTS WITHIN SCOPE OF WORK TO CONFORM TO REQUIREMENTS OUTLINED IN ANSI STANDARD 117.1 AND CHAPTER 11 VUSBC

**PROJECT NAME:**  
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**RICHMOND, VA 23226**



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**SCALE:** As indicated

**REVISION SCHEDULE**

No.	Description	Date
4	Revision 4	08/31/2021

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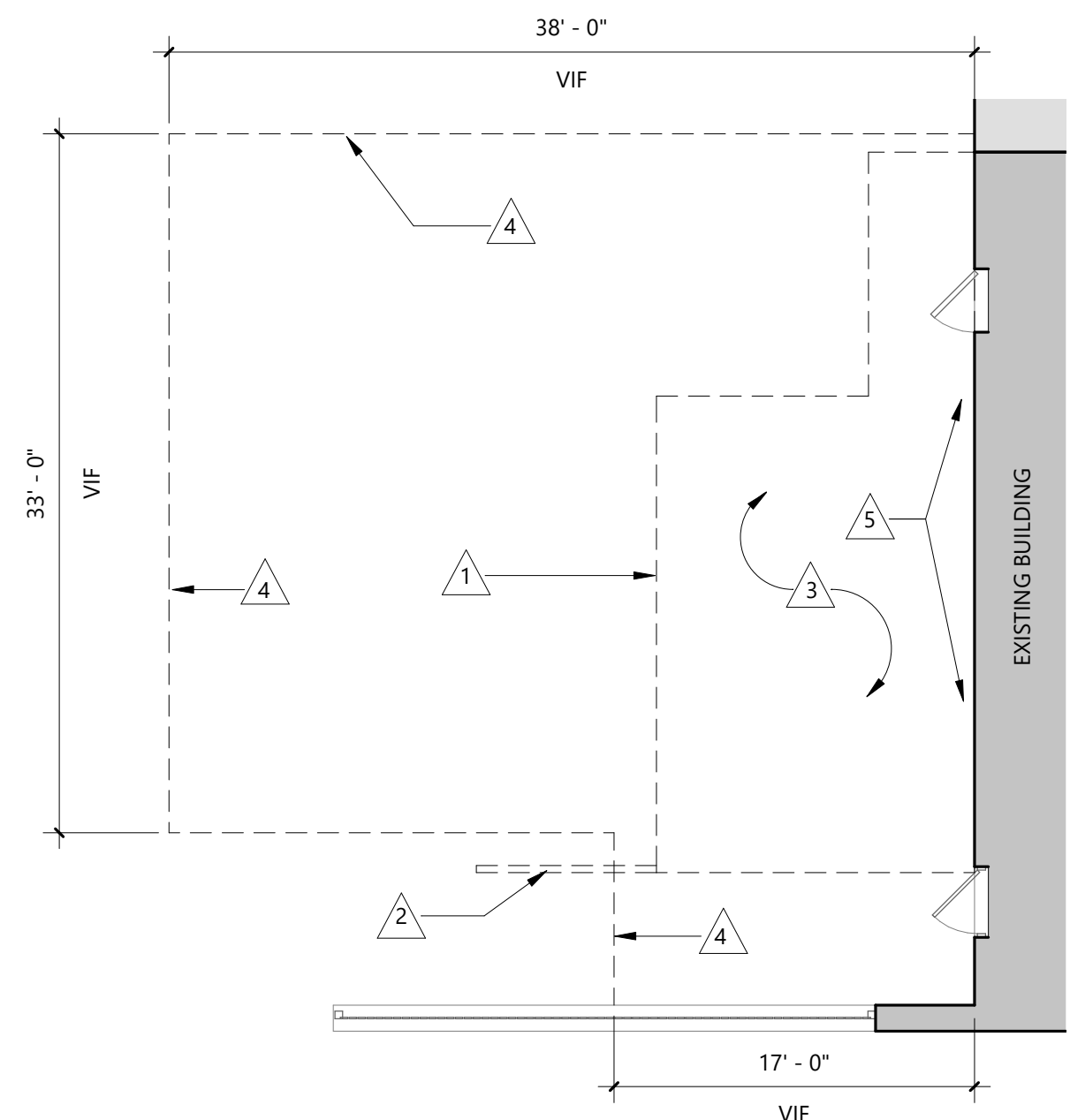
**SHEET:**  
**CODE DATA AND LIFE SAFETY**

**AC01**



**LEVEL-01 - EXISTING EXTERIOR DEMOLITION PLAN**

SCALE: 1/8" = 1'-0"



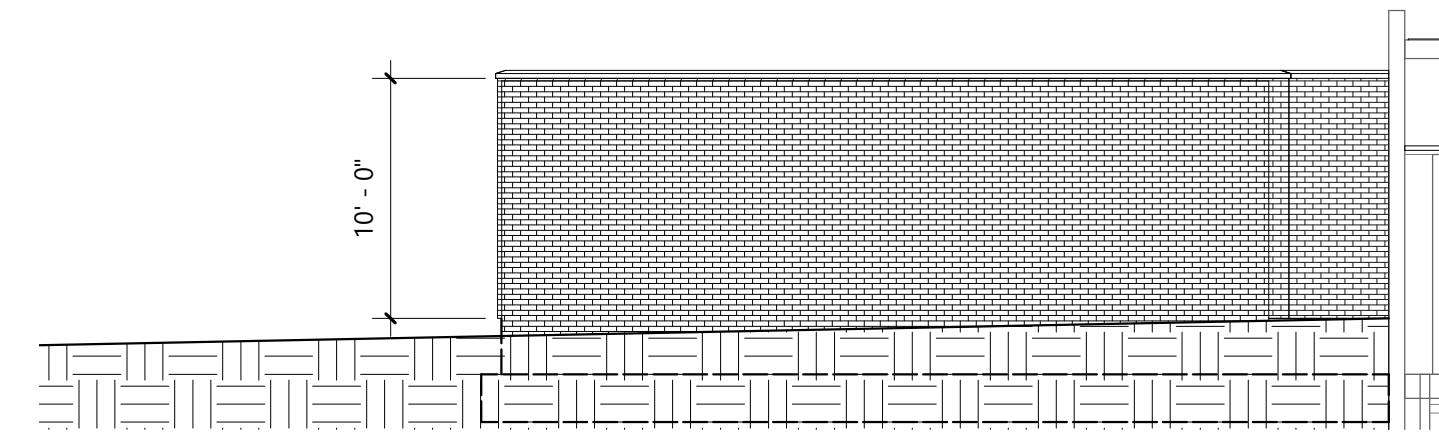
**DEMOLITION KEY NOTES**

1. REMOVE EXISTING IRON RAILING.
2. REMOVE EXISTING WOOD FENCE.
3. DEMOLISH EXISTING CONCRETE AGGREGATE PAD.
4. SAW-CUT EXISTING ASPHALT DRIVEWAY, AS SHOWN, AND EXCAVATE MATERIAL WITHIN LIMITS TO PREP FOR NEW CONSTRUCTION. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, COMPARE TO NEW CONSTRUCTION LAYOUT, AND EXERCISE BEST JUDGEMENT AND PRACTICES TO EXECUTE SAW-CUTTING AND REMOVAL OF EXISTING MATERIAL.
5. DEMOLISH EXISTING OVERHANG ABOVE.

\*CONTRACTOR TO REFER TO CIVIL DRAWINGS TO IDENTIFY LOCATIONS OF ALL EXISTING UTILITY LINES, FOLLOW ALL APPLICABLE PROCEDURES, AND PROCEED WITH CAUTION DURING DEMOLITION PROCESS.

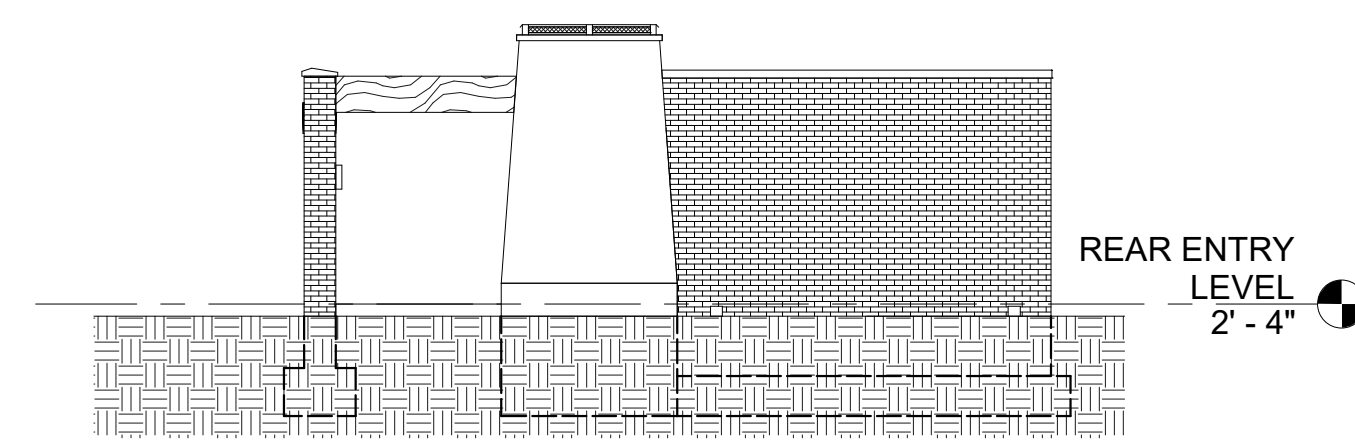
**SITE KEY PLAN**

NOT TO SCALE



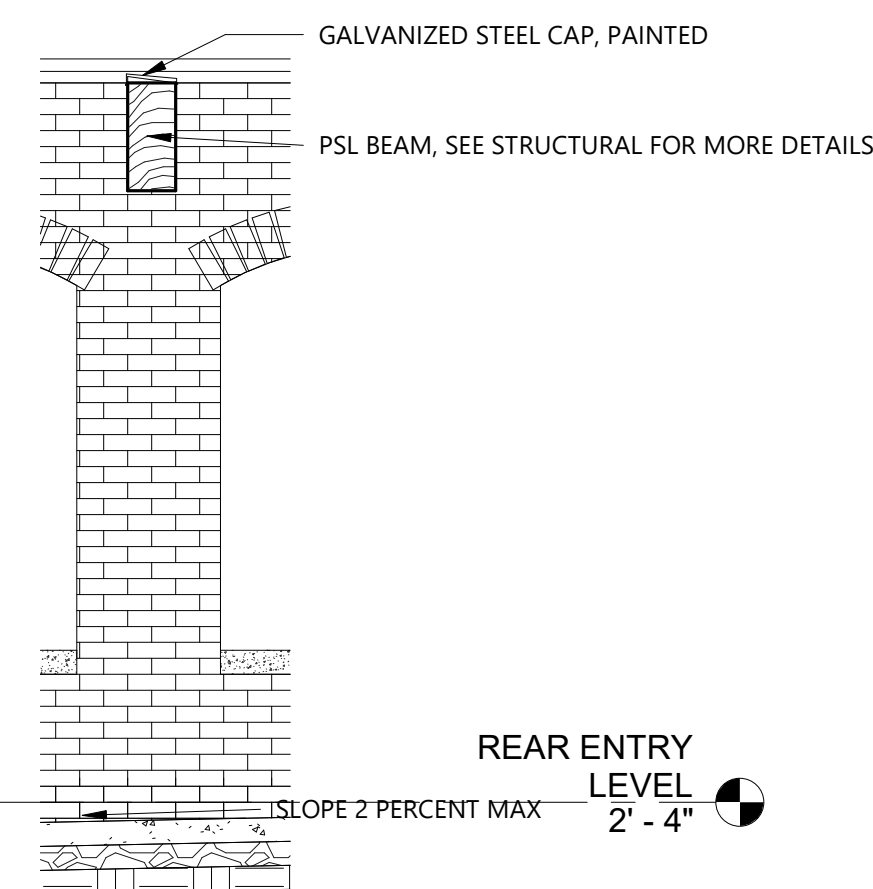
**5 EAST ELEVATION**

SCALE: 1/8" = 1'-0"



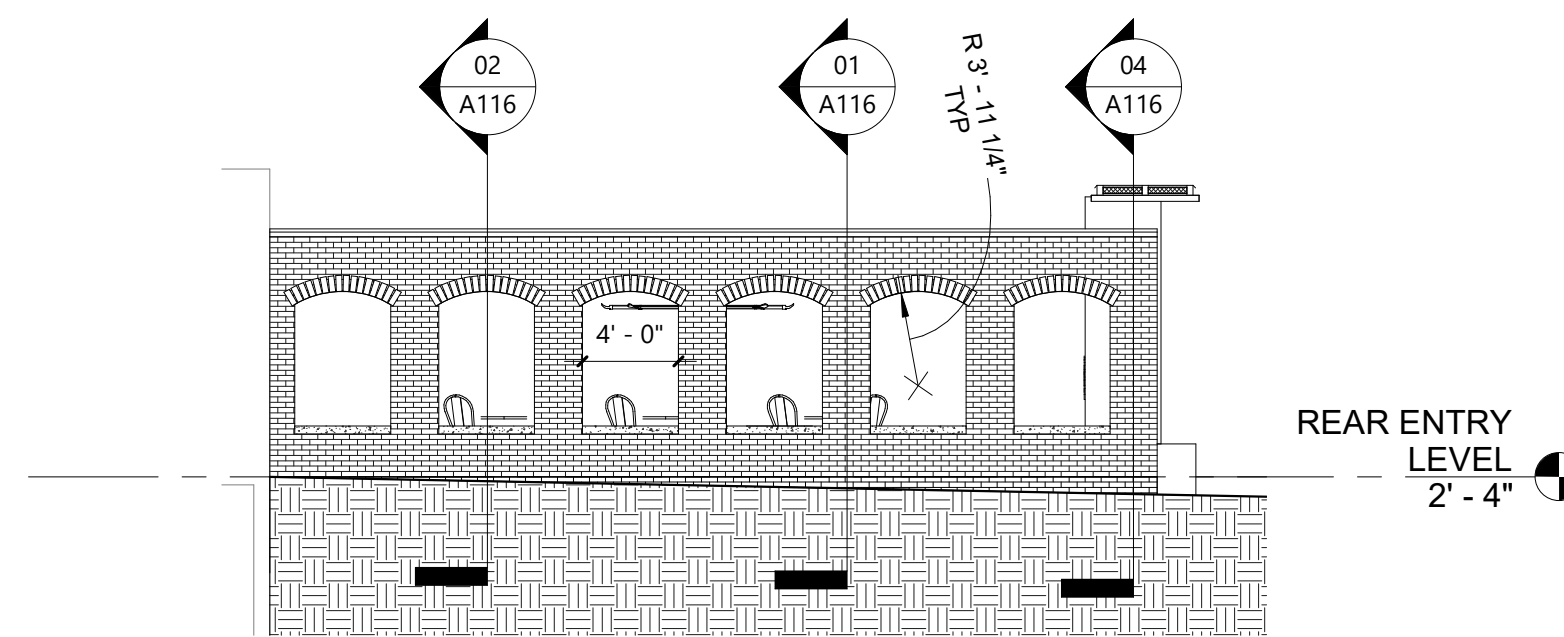
**4 SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



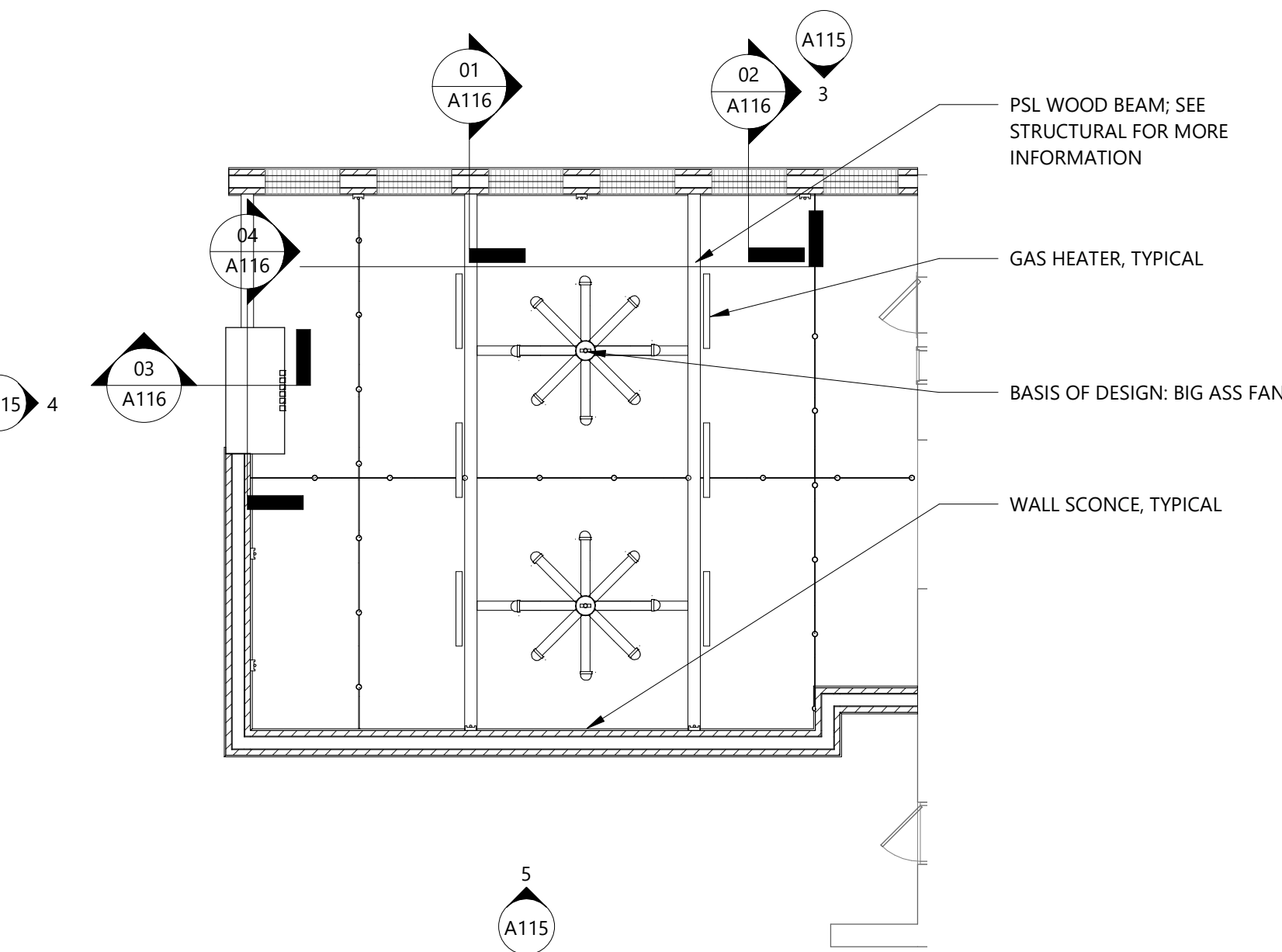
**6 SECTION ELEVATION**

SCALE: 3/8" = 1'-0"



**3 WEST ELEVATION**

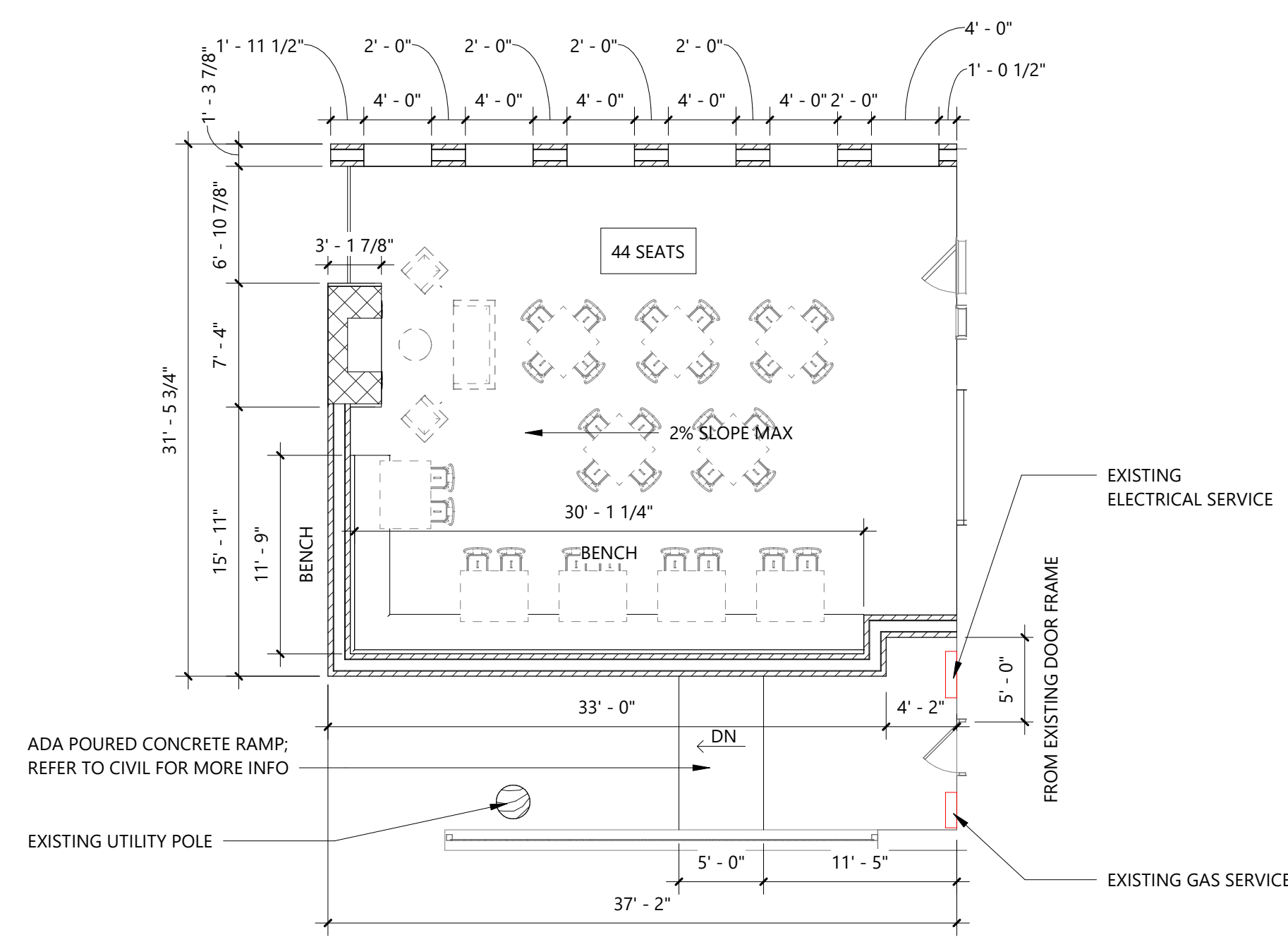
SCALE: 1/8" = 1'-0"



**2 LEVEL-01 - NEW EXTERIOR COURTYARD RCP**

SCALE: 1/8" = 1'-0"

\*CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND COMMUNICATE ANY CONCERNS TO ARCHITECT



**1 LEVEL-01 - NEW EXTERIOR COURTYARD PLAN**

SCALE: 1/8" = 1'-0"

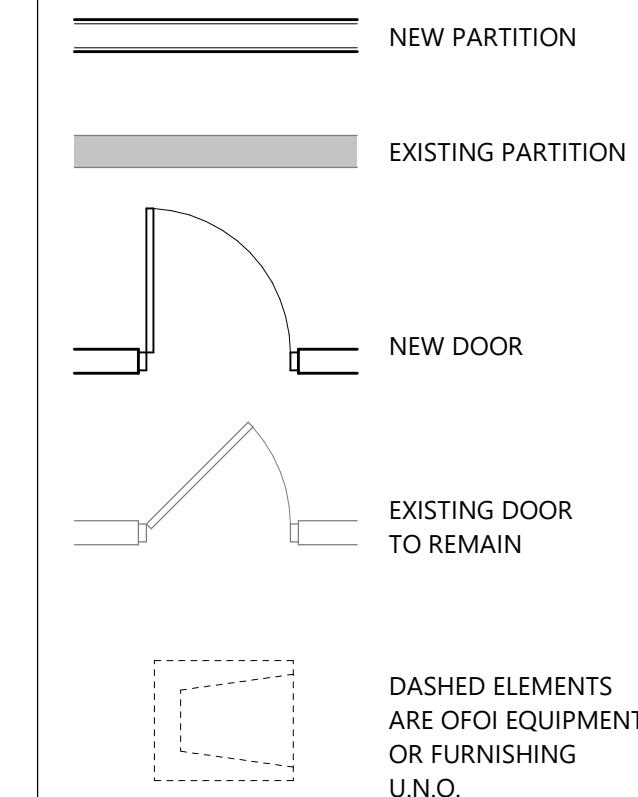
**GENERAL FLOOR PLAN NOTES**

- G01. ALL NEW PARTITIONS SHALL BE PARTITION TYPE 'A6' UNLESS NOTED OTHERWISE.
- G02. PROVIDE BLOCKING FOR ALL WALL MOUNTED ITEMS. SEE DETAIL SHEET A030.
- G03. ALL PLAN DIMENSIONS ARE TO FACE FINISH U.N.O.
- G04. MILLWORK CONTRACTOR TO VERIFY IN FIELD ALL AREAS TO RECEIVE MILLWORK PRIOR TO PREPARING SHOP DRAWINGS FOR APPROVAL.
- G05. VERIFY AND COORDINATE DOOR FRAME SIZE WITH WALL THICKNESS.
- G06. ALL NEW WORK TO CONFORM WITH ICC / ANSI A117.1-2009 REQUIREMENTS.
- G07. REFER TO A8 SERIES FOR FLOOR FINISH PLAN AND INFORMATION.
- G08. FRAME TIGHT AROUND BUILDING COLUMNS/ ROOF DRAIN LEADERS WITH 2 1/2" METAL STUDS MIN. UNLESS DETAILED, DIMENSIONED, OR NOTED OTHERWISE.
- G09. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS AND SITE CONDITIONS FOR ALL CASEWORK.
- G10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL POWER, VOICE AND DATA CONNECTIONS WITH CASEWORK.
- G11. FIRESTOP ALL NEW PENETRATIONS AT CONCRETE FLOOR SLAB TO CONFORM TO TESTED ASSEMBLIES INCLUDING, BUT NOT LIMITED TO, THOSE SHOWN ON DRAWINGS.
- G12. ALL GLAZING TO BE TEMPERED U.N.O.

**KEYED FLOOR PLAN NOTES**

NOT ALL KEYED NOTES ARE LOCATED ON THIS SHEET

**FLOOR PLAN LEGEND**



NOTE:  
REFER TO LIFE SAFETY DRAWING(S) FOR RATED PARTITION LEGEND

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**SHEET:**  
**EXTERIOR COURTYARD**

**A115**





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**PROJECT NAME:**  
**5811 GROVE AVENUE**

**5811 GROVE AVENUE**  
**RICHMOND, VA 23226**

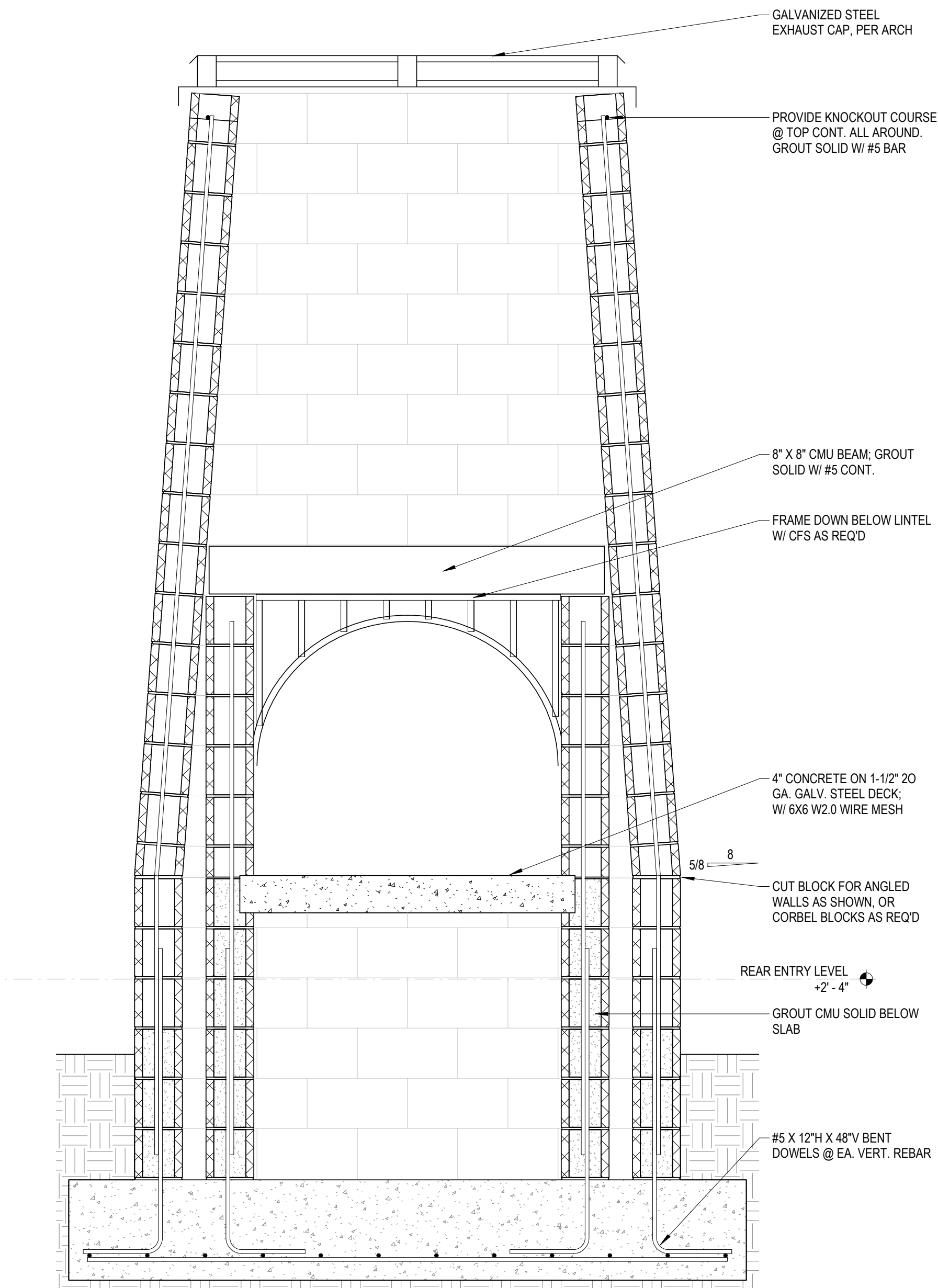


**DRAWN BY:** LCO  
**DESIGNED BY:** RWT  
**CHECKED BY:** RWT  
**DATE:** 10/29/2021  
**SCALE:** 3/4" = 1'-0"  
**REVISIONS:**

**SHEET:**  
**WALL SECTIONS**

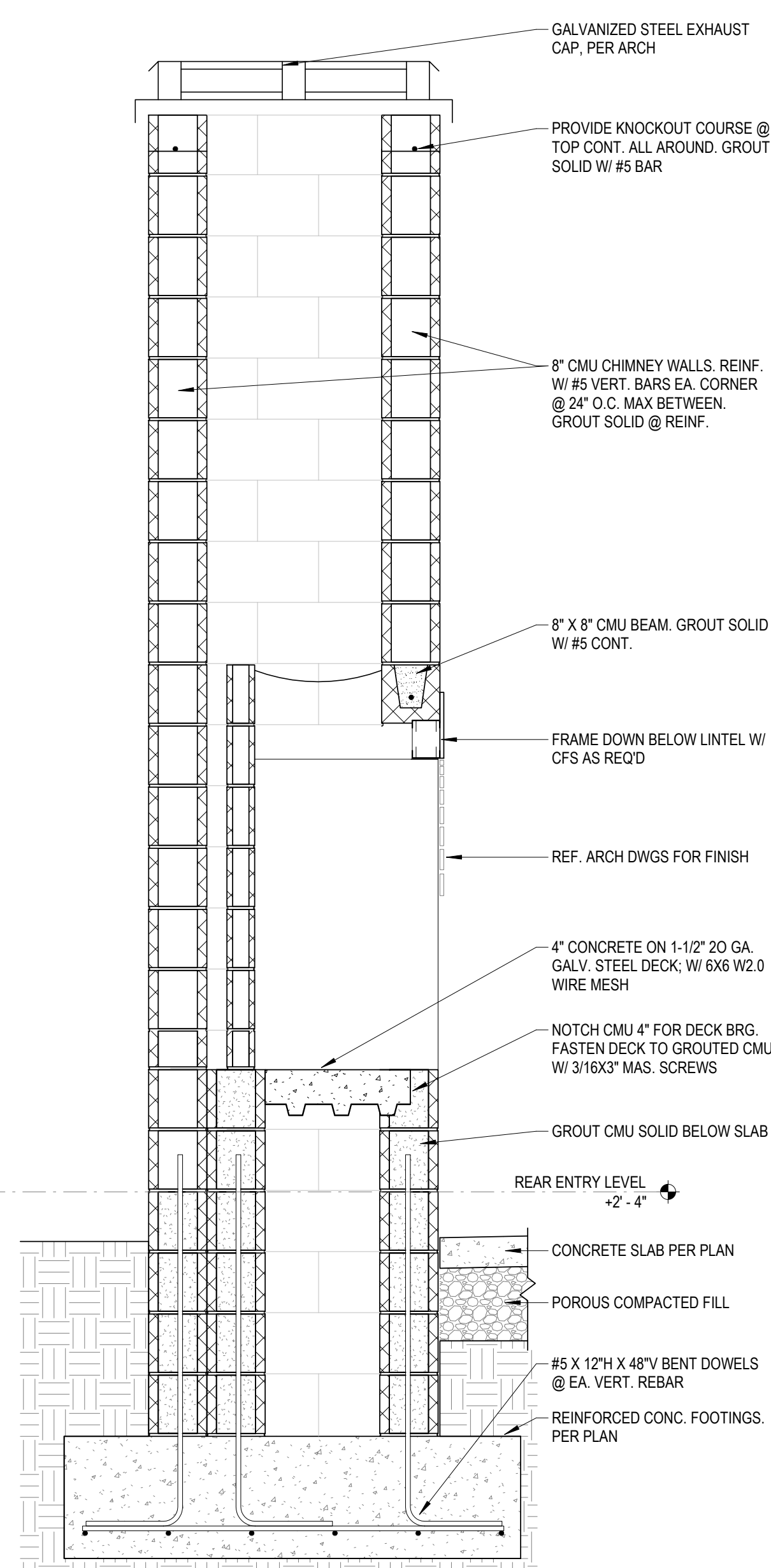
**S2.01**

PROJECT NO 57200470



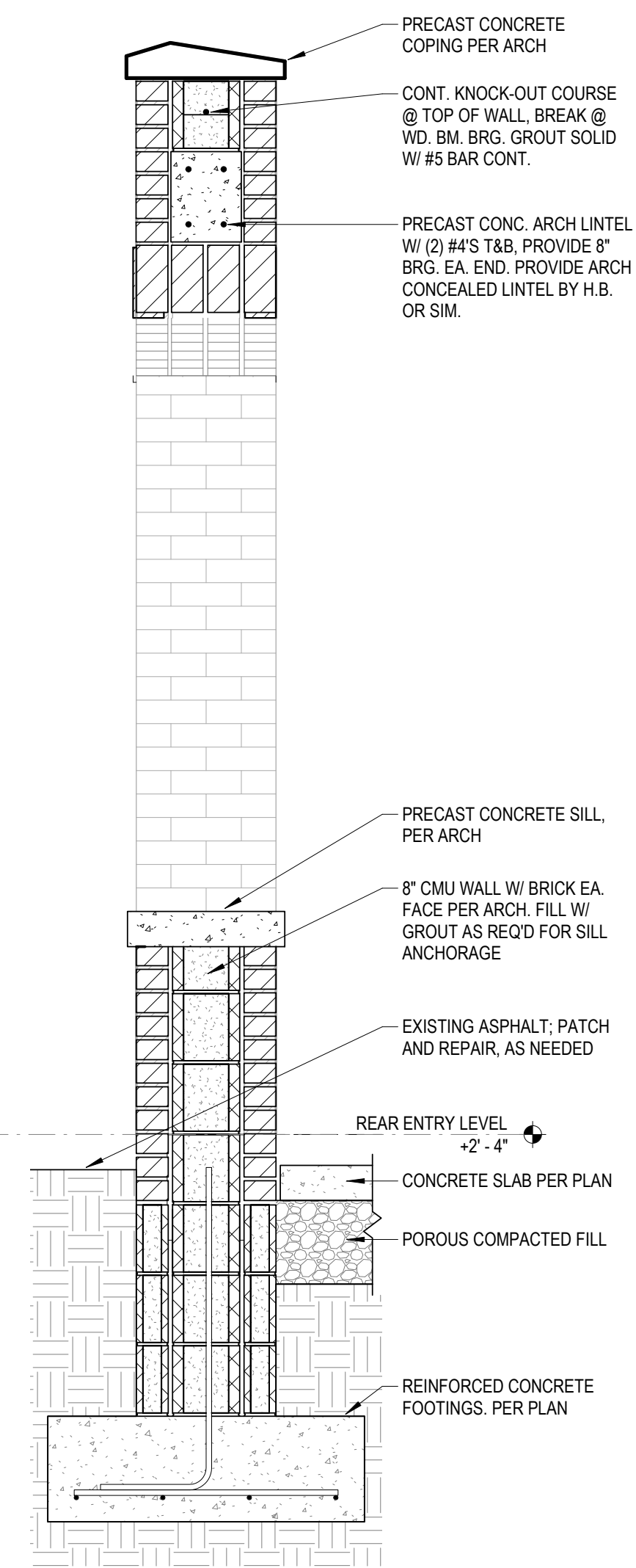
**FIREPLACE LONGITUDINAL SECTION**

4  
 S2.01 3/4" = 1'-0"



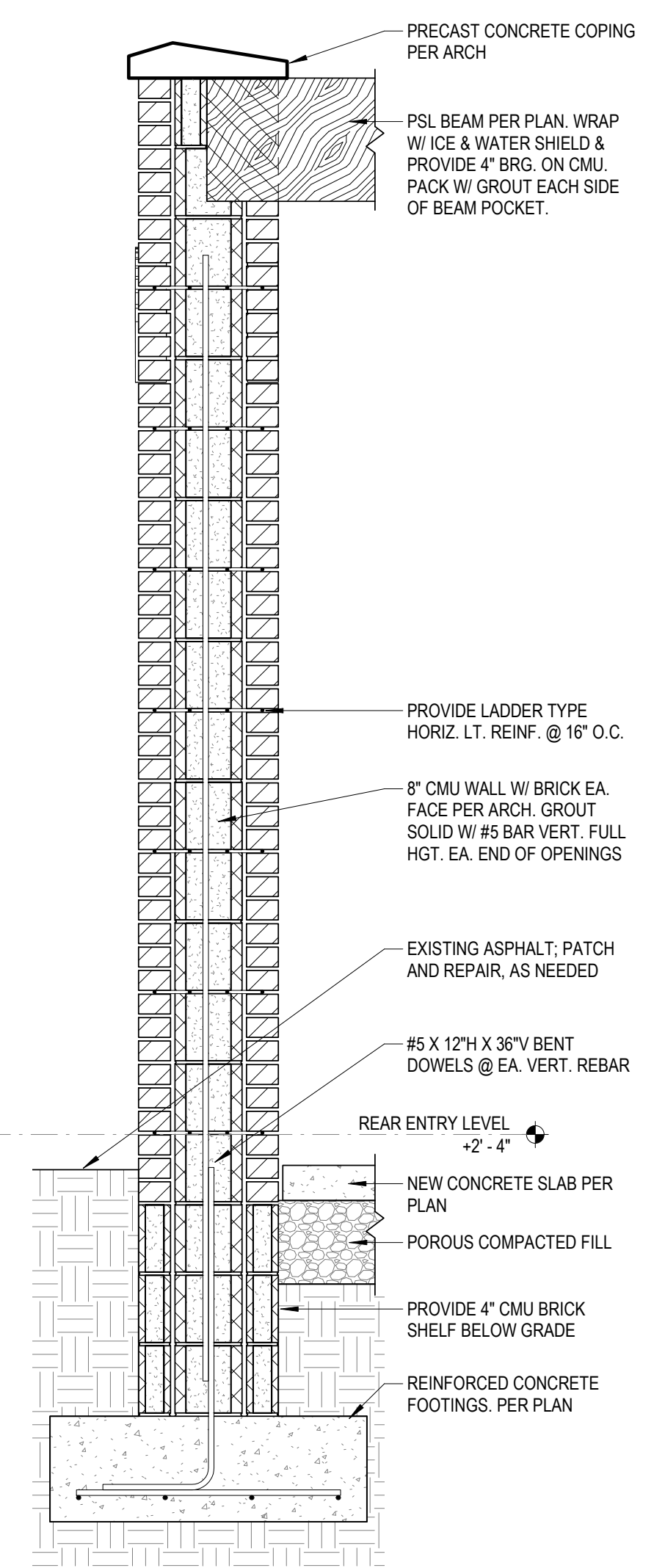
**FIREPLACE LATERAL SECTION**

3  
 S2.01 3/4" = 1'-0"



**BRICK WALL @ ARCHED OPENING**

2  
 S2.01 3/4" = 1'-0"



**BRICK WALL @ BEAM**

1  
 S2.01 3/4" = 1'-0"

D:\06\57200470\01\DWG\PSH+ARCHITECTURE+INTERIORDESIGN\5811GROVEAVENUE\5811GROVEAVENUE-WALLSECTIONS.dwg



**SITE STATISTICS:**

Parcel ID: W0210358006  
 Parcel Address: 5811 GROVE AVE.  
 Parcel Total Area: 0.594 AC.  
 Parcel Owner/Developer: O&B INC. C/O GEORGE OLEY  
 Zoning: UB-PO1  
 Existing Use: COMMERCIAL RESTAURANT  
 Proposed Use: COMMERCIAL RESTAURANT  
 Parking Use: COMMERCIAL RESTAURANT

Existing Water: PUBLIC (NO CHANGE)  
 Existing Sewer: PUBLIC (NO CHANGE)  
 \* No utility connections proposed for project.

Required Permits: Building Permit

# SITE PLAN FOR CATURA RESTAURANT PATIO EXPANSION CITY OF RICHMOND, VA AUGUST 18, 2021

**LEGEND:**

	CONCRETE		PROP. TELEPHONE LINE
	ASPHALT PAVING		PROP. GAS LINE
	SURVEYED PROPERTY LINE		PROP. SANITARY SEWER LINE
	PROPOSED PROPERTY LINE		PROP. STORM SEWER LINE
	DEED PROPERTY LINE		PROP. CONTOURS
	EXIST. OVERHEAD POWER		EXIST. 2' CONTOURS
	EXIST. WATER LINE		EXIST. 10' CONTOURS
	EXIST. OVERHEAD CABLE		PROP. SPOT ELEVATION
	EXIST. CENTERLINE OF ROAD		SILT FENCE
	EXIST. STORM SEWER		PROP. TREELINE
	EXIST. SANITARY SEWER		RMA RESOURCE MANAGEMENT AREA BOUNDARY
	PROP. UNDERGROUND ELEC. LINE		RPA RESOURCE PROTECTION AREA BOUNDARY
	PROP. UNDERGROUND ELEC. SERVICE		DITCH LINE
	PROP. WATERLINE		
	PROP. AUDIO CABLE		
	EXIST. TREELINE		
	EXIST. EDGE OF PAVEMENT		



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 Roanoke, VA 24014  
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**PROJECT DESCRIPTION**

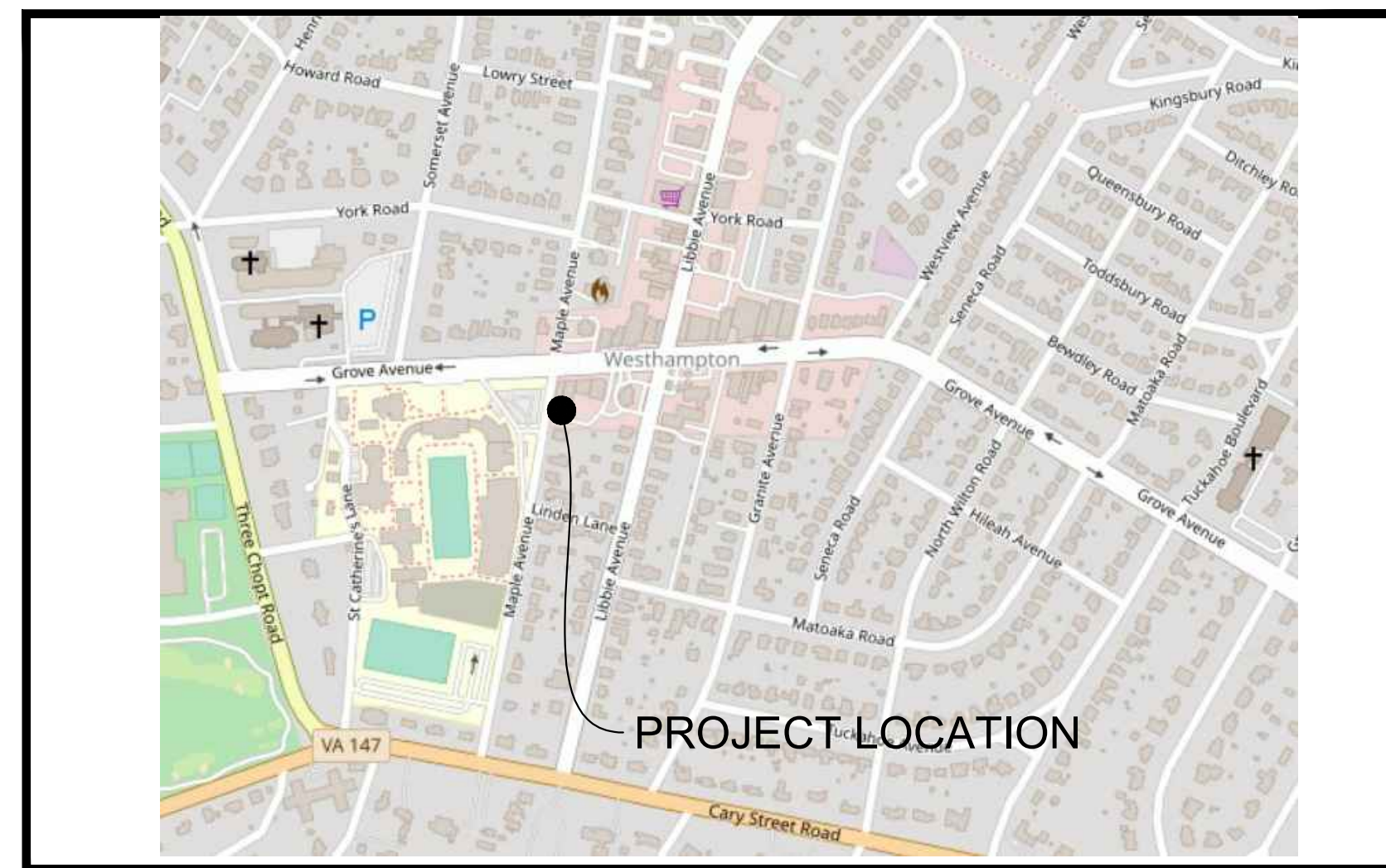
THE PROPOSED PROJECT CONSISTS OF A CONCRETE SLAB AND MASONRY ENCLOSURE FOR THE EXPANSION OF THE OUTDOOR DINING AREA. THE LAND DISTURBANCE ASSOCIATED WITH THIS PROJECT IS APPROXIMATELY 1352 SF AND DOES NOT REQUIRE A LAND DISTURBING PERMIT.

**EROSION AND SEDIMENT CONTROL QUANTITIES**

SILT FENCE 100 LF

**GENERAL NOTES:**

1. THE MINIMUM REQUIRED DENSITY FOR ALL COMPACTION SHALL BE 95 PERCENT OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN ±2 PERCENT OF THE OPTIMUM. IT IS CONTRACTOR'S RESPONSIBILITY TO VERIFY COMPACTED FILL IS SUITABLE FOR BUILDING CONSTRUCTION.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET COMPLIANCE REQUIREMENTS WITH SECTION 59.1-406, ET SEQ. OF THE CODE OF VIRGINIA (OVERHEAD HIGH VOLTAGE LINES SAFETY ACT).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS BEFORE BEGINNING CONSTRUCTION.
4. ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES. VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK.
6. CONTRACTOR SHALL OBTAIN PERMISSION FOR ANY OFFSITE GRADING, EROSION AND SEDIMENT CONTROL MEASURES, AND CONSTRUCTION.
7. RIGHTS-OF-WAY, LOT LINES, AND EASEMENTS ARE DEDICATED ON PLATS SEPARATE FROM THESE PLANS.
8. A PRE-CONSTRUCTION CONFERENCE SHOULD BE SCHEDULED WITH THE CITY ENGINEERING DIVISION, TO BE HELD AT LEAST 48 HRS PRIOR TO ANY CONSTRUCTION. THE CERTIFIED RESPONSIBLE LAND DISTURBER MUST ATTEND THE PRE-CONSTRUCTION CONFERENCE.
9. MEASURES TO CONTROL EROSION AND SILTATION MUST BE PROVIDED PRIOR TO PLAN APPROVAL. PLAN APPROVAL IN NO WAY RELIEVES THE DEVELOPER OR CONTRACTOR OF THE RESPONSIBILITIES CONTAINED WITHIN THE EROSION AND SILTATION CONTROL POLICIES.
10. AN APPROVED SET OF PLANS AND ALL PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
11. FIELD CONSTRUCTION SHALL HONOR PROPOSED DRAINAGE DIVIDES AS SHOWN ON PLANS.
12. ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION LIMITS OF THE ROADWAY BEFORE PLACING EMBANKMENT.
13. CONSTRUCTION DEBRIS SHALL BE CONTAINERIZED IN ACCORDANCE WITH THE VIRGINIA LITTER CONTROL ACT. NO LESS THAN ONE LITTER RECEPTACLE SHALL BE PROVIDED ON SITE. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STREETS ARE IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
15. THE DEVELOPER AND/OR CONTRACTOR SHALL SUPPLY ALL UTILITY COMPANIES WITH COPIES OF APPROVED PLANS, ADVISING THEM THAT ALL GRADING AND INSTALLATION SHALL CONFORM TO APPROVED PLANS.
16. CONTRACTORS SHALL NOTIFY UTILITIES OF PROPOSED CONSTRUCTION AT LEAST TWO (2), BUT NOT MORE THAN TEN (10) WORKING DAYS IN ADVANCE. AREA PUBLIC UTILITIES MAY BE NOTIFIED THRU "MISS UTILITY": 1-800-552-7001.
17. FIELD CORRECTIONS SHALL BE APPROVED BY THE CITY OF RICHMOND PRIOR TO SUCH CONSTRUCTION.
18. 100 YEAR FLOODWAY AND FLOODPLAIN INFORMATION SHALL BE SHOWN WHERE APPLICABLE.



**VICINITY MAP**  
(NOT TO SCALE)

**CONTACT INFORMATION:**

**Engineer/Surveyor:** Parker Design Group  
 1915-B West Cary Street  
 Richmond, VA 23220  
 Contact: Michael Sheets  
 ph. 804.358.2947

**Owner:** O&B INC.  
 C/O GEORGE OLEY  
 9030 Three Chopt Road, Suite A  
 Richmond, VA 23229  
 Contact: David Perel  
 ph. 804.350.0564

**SHEET INDEX:**

- C01 COVER SHEET
- C02 EXISTING CONDITIONS AND DEMOLITION PLAN
- C03 ZONING & PARKING MAP
- C04 SITE LAYOUT, GRADING PLAN & SITE DETAILS

**LOCAL APPROVALS:**

Miss Utility of Virginia  
 204 RIVERS BEND BOULEVARD  
 CHESTER, VIRGINIA 23831



BEFORE YOU DIG ANYWHERE IN VIRGINIA! CALL 1-800-552-7001  
 VA LAW REQUIRES 48 HOURS NOTICE BEFORE YOU EXCAVATE.

**CATURA PATIO EXPANSION  
5811 GROVE AVENUE**

5811 GROVE AVENUE  
RICHMOND, VIRGINIA

**REVISIONS**

City Comments	9/24/21

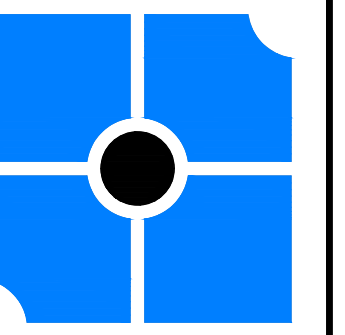
DESIGNED BY:	JCG
DRAWN BY:	MGM
CHECKED BY:	JCG
SCALE:	N/A
DATE:	18 AUGUST, 2021
PROJECT NUMBER:	21-5002-02
SHEET TITLE:	COVER SHEET

C01

01 OF 4

C:\PROJECTS\21-5002\Catura\Plan\DWG\21-5002-Catura-Patio-Exp.dwg, September 24, 2021 11:42:15 AM





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**GENERAL DEMOLITION NOTES:**

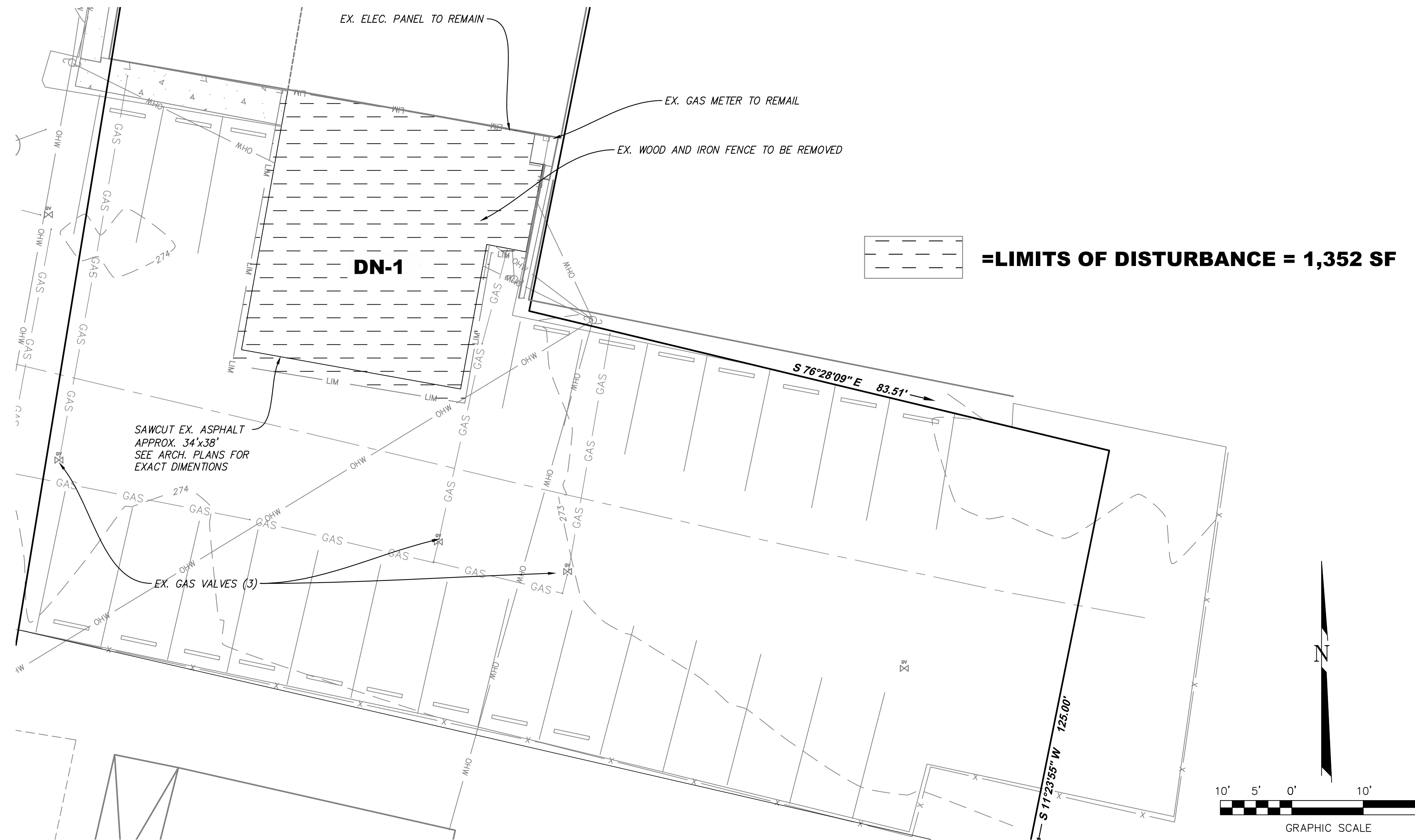
- 1) THE CONTRACTOR SHALL PROVIDE AT LEAST THE FOLLOWING PROTECTIONS AT THE JOB SITE: MAKE ARRANGEMENTS, BEFORE INITIATING DEMOLITION, FOR RELOCATING, ABANDONING, OR SIMILAR ACTION AS MAY BE REQUIRED RELATIVE TO UTILITIES TO PERMIT WORK TO PROCEED WITHOUT DELAY. ARRANGEMENTS SHALL BE MADE IN ACCORDANCE WITH REGULATIONS OF AUTHORITIES OF UTILITIES MENTIONED, SUCH AS OVERHEAD AND UNDERGROUND ELECTRIC, TELEPHONE, GAS, WATER, ETC.
- 2) ENSURE SAFE PASSAGE OF PERSONS AROUND ALL AREAS OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES, OR INJURY TO PERSONS.
- 3) PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COSTS TO THE OWNER(S).
- 4) MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS, PREVENT INTERRUPTION OF SERVICES. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES.
- 5) USE WATER SPRINKLING AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT POLLUTION TO THE LOWEST PRACTICAL LEVEL.
- 6) COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- 7) PERMITS, FEES, AND LICENSES SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR, INCLUDING DISPOSAL CHARGES AS REQUIRED.
- 8) ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES IN DEMOLITION OF EXISTING PAVEMENT, CONCRETE, CURB, AND OTHER STRUCTURES AS MAY BE REQUIRED.
- 9) THE SITE SHALL BE CLEARED AND SELECTED ITEMS REMOVED AS SHOWN WITHIN THE LIMITS OF DISTURBANCE. ALL DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL SAW-CUT CURB, PAVEMENT, ETC. AT ALL PLACES WHERE NEW CONSTRUCTION JOINS THE EXISTING. RESEED, MULCH & TACK DISTURBED AREAS OUTSIDE OF COMPACTOR PAD.
- 10) CONTRACTOR SHALL ENSURE FILL IS COMPACTED TO 95% STANDARD PROCTOR.
- 11) CONTRACTOR SHALL CONFIRM LOCATION OF EXISTING UTILITIES WITH MISS UTILITY BEFORE COMMENCING WORK.

**SURVEY NOTES:**

1. SOURCE OF MERIDIAN: VIRGINIA STATE PLANE, SOUTH ZONE, (NAD 83) BASED UPON GPS
2. VERTICAL DATUM: NAVD 88 BASED UPON GPS.
3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR TITLE REPORT AND ALL EASEMENTS AND ENCUMBRANCES THAT MIGHT BE DISCLOSED IN A TITLE SEARCH MAY NOT BE SHOWN.
4. THE SUBJECT PROPERTY IS WITHIN AN AREA OF MINIMAL FLOOD HAZARD, ZONE X, AS SHOWN ON THE FEMA FIRM PANEL #5101290019D WITH AN EFFECTIVE DATE OF APRIL 2, 2097.
5. CONTOUR INTERVAL: 1-FT
6. PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD INFORMATION.

**SITE SPECIFIC DEMOLITION NOTES:**

- DN-1** CONTRACTOR SHALL REMOVE EXISTING CURB AND GUTTER, ASPHALT, AND SIDEWALK



**CATURA PATIO EXPANSION**  
**5811 GROVE AVENUE**

5811 GROVE AVENUE  
RICHMOND, VIRGINIA

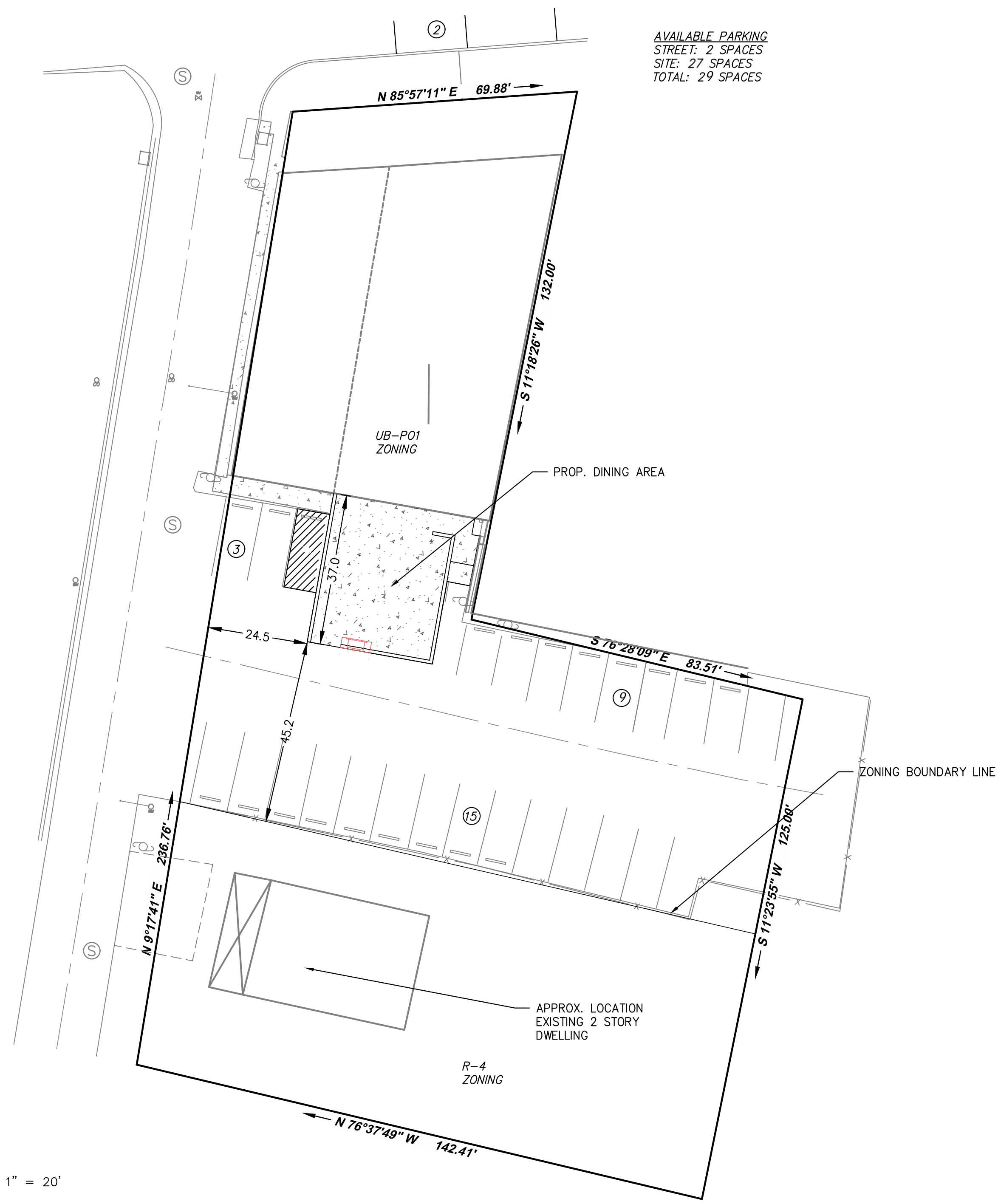
**REVISIONS**

City Comments 9/24/21

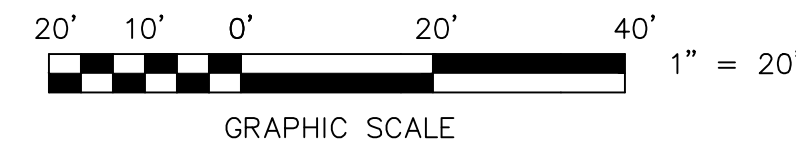
DESIGNED BY:	JCG
DRAWN BY:	MGM
CHECKED BY:	JCG
SCALE:	1"=10'
DATE:	18 AUGUST, 2021
PROJECT NUMBER:	21-5002-02
SHEET TITLE:	

**EXISTING CONDITIONS & DEMOLITION PLAN**

**C02**  
02 OF 5



AVAILABLE PARKING  
STREET: 2 SPACES  
SITE: 27 SPACES  
TOTAL: 29 SPACES



ZONING & PARKING MAP

**GENERAL DEMOLITION NOTES:**

- 1) THE CONTRACTOR SHALL PROVIDE AT LEAST THE FOLLOWING PROTECTIONS AT THE JOB SITE: MAKE ARRANGEMENTS, BEFORE INITIATING DEMOLITION, FOR RELOCATING, ABANDONING, OR SIMILAR ACTION AS MAY BE REQUIRED RELATIVE TO UTILITIES TO PERMIT WORK TO PROCEED WITHOUT DELAY. ARRANGEMENTS SHALL BE MADE IN ACCORDANCE WITH REGULATIONS OF AUTHORITIES OF UTILITIES MENTIONED, SUCH AS OVERHEAD AND UNDERGROUND ELECTRIC, TELEPHONE, GAS, WATER, ETC.
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**SURVEY NOTES:**

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6. PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD INFORMATION.

**SITE SPECIFIC DEMOLITION NOTES:**

- DN-1** CONTRACTOR SHALL REMOVE EXISTING CURB AND GUTTER, ASPHALT, AND SIDEWALK



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**CATURA PATIO EXPANSION  
5811 GROVE AVENUE**

5811 GROVE AVENUE  
RICHMOND, VIRGINIA

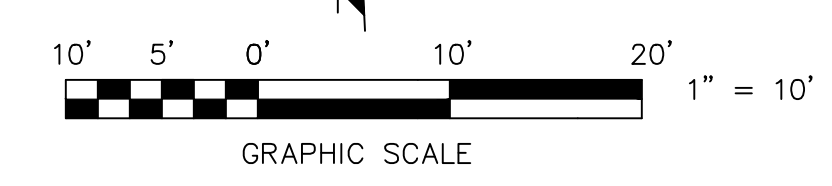
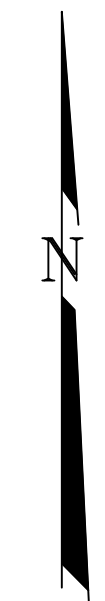
REVISIONS

City Comments 9/24/21

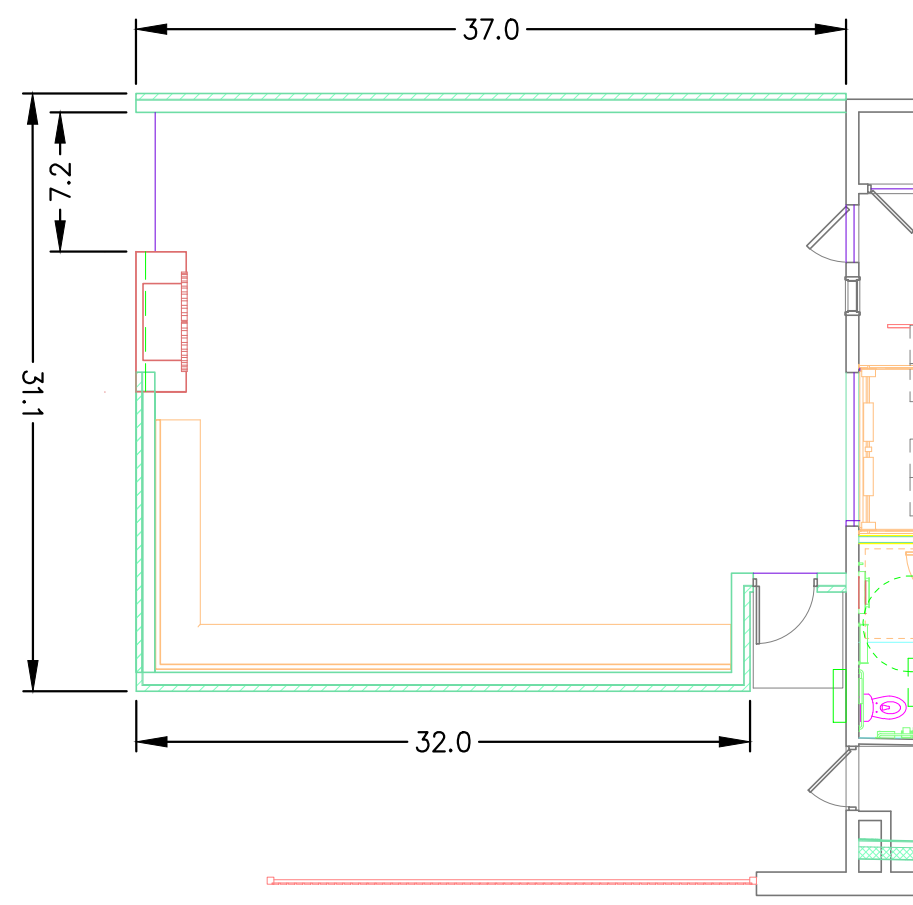
DESIGNED BY:	JCG
DRAWN BY:	MGM
CHECKED BY:	JCG
SCALE:	1"=10'
DATE:	18 AUGUST, 2021
PROJECT NUMBER:	21-5002-02
SHEET TITLE:	ZONING & PARKING MAP

**ZONING & PARKING MAP**

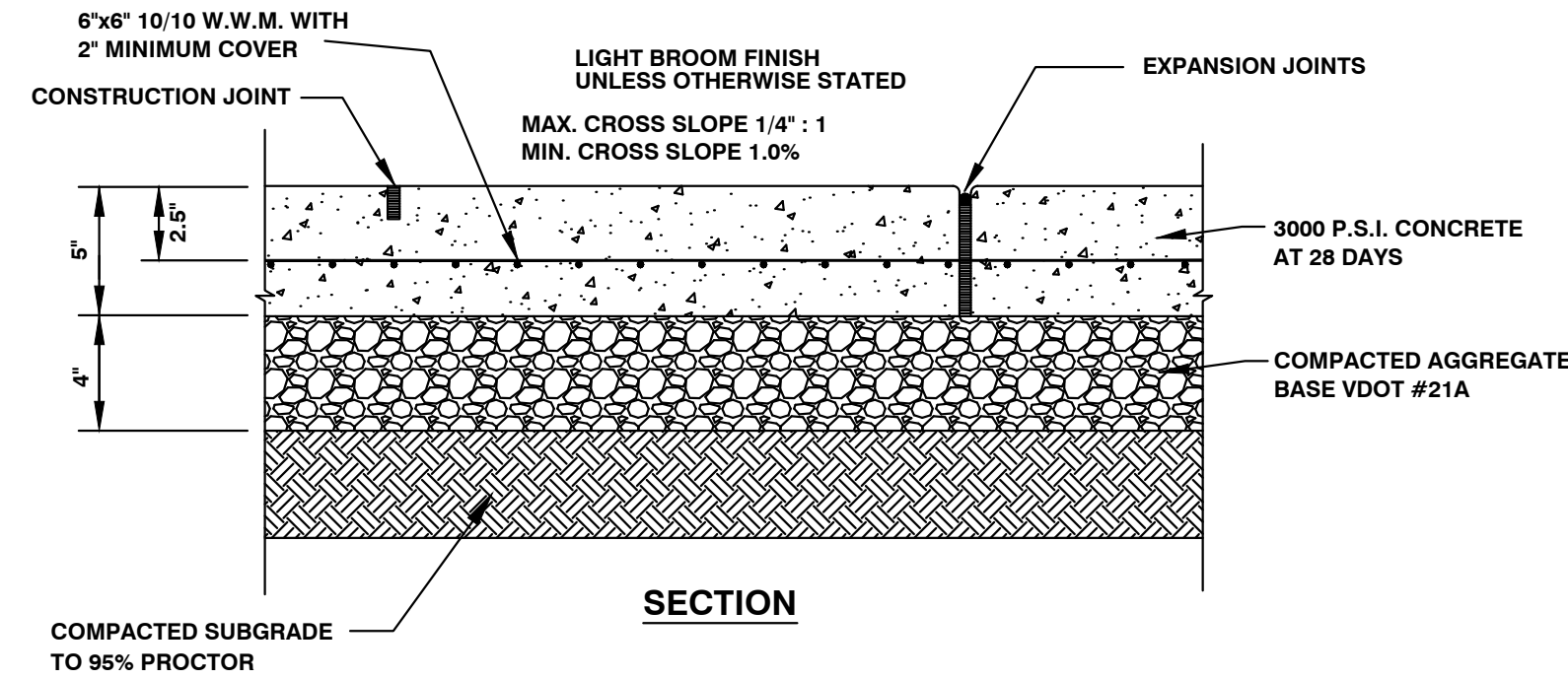
**C03**  
03 OF 5







**PATIO DETAIL (DRAWN BY OTHERS)**  
SCALE: 1" = 10'  
SEE ARCHITECTURAL DRAWINGS FOR DETAILS



**CONCRETE SIDEWALK DETAIL**  
(NOT TO SCALE)  
NOTE: PAVEMENT SECTION TO BE VERIFIED BY SOIL TESTING PRIOR TO CONSTRUCTION.

**EROSION AND SEDIMENT CONTROL MEASURES:**

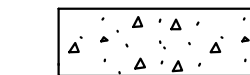
(SF) SILT FENCE MEETING VA ESCH STD. & SPEC. 3.05

QUANTITY:  
100 LF

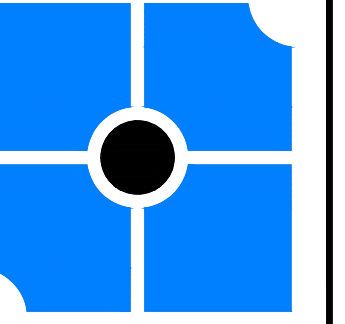
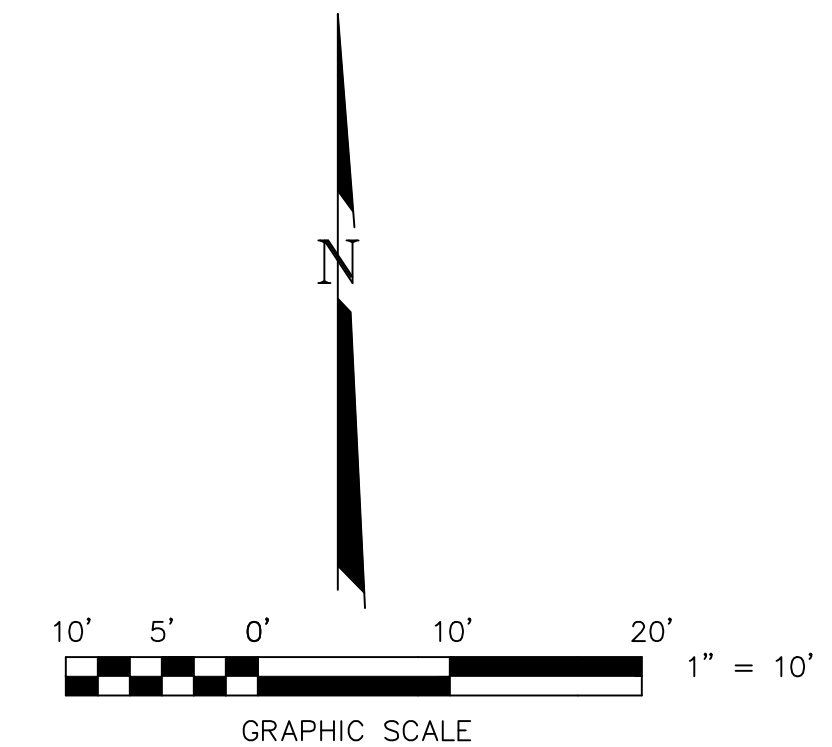
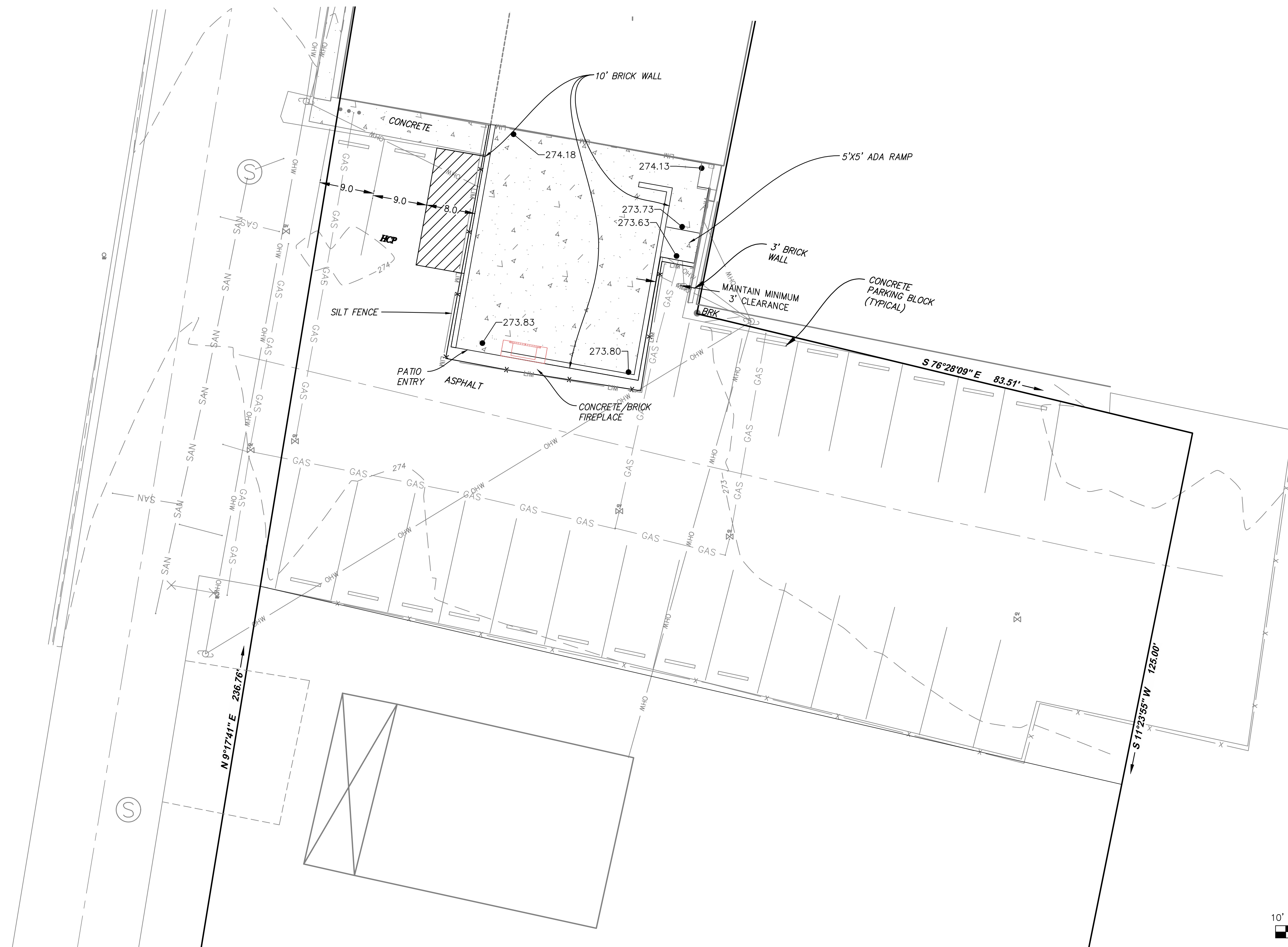
**GENERAL NOTES:**

1. LAND DISTURBANCE SHALL NOT EXCEED 1,352 SF.
2. NO CHANGES SHALL BE PROPOSED TO ANY UTILITIES.
3. NO WORK SHALL BE PROPOSED WITHIN PUBLIC DRAINAGE OR UTILITY EASEMENTS, OR WITHIN PUBLIC RIGHTS OF WAY.
4. NO WORK SHALL BE PROPOSED WHICH REQUIRES VDOT OR HEALTH DEPARTMENT REVIEW.
5. CONTRACTOR CONFIRM EXISTING UTILITY INFORMATION WITH MISS UTILITY BEFORE COMMENCING WORK.
6. CONTRACTOR TO STABILIZE ALL DISTURBED AREAS BEFORE REMOVING SILT FENCE.

**SURFACING LEGEND:**



CONCRETE (APPROX. 1,226 S.F.)



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**CATURA PATIO EXPANSION**  
**5811 GROVE AVENUE**

5811 GROVE AVENUE  
RICHMOND, VIRGINIA

**REVISIONS**

City Comments 9/24/21

DESIGNED BY: MGM

DRAWN BY: MGM

CHECKED BY: JCG

SCALE: 1:10

DATE: 18 AUGUST, 2021

PROJECT NUMBER: 21-5002-02

SHEET TITLE:

**SITE LAYOUT,  
GRADING PLAN &  
SITE DETAIL**

**C04**

04 OF 5