



COMMISSION OF ARCHITECTURAL REVIEW
APPLICATION / CERTIFICATE OF APPROPRIATENESS

PROPERTY (Location of Work)

Address 2908 E Broad St

Historic District St. John's Church

PROPOSED ACTION

- Alteration (including paint colors) Rehabilitation Demolition
 Addition New Construction (Conceptual Review required)
 Conceptual Review Final Review

OWNER

Name Jason and Heather Drew

Company _____

Mailing Address 2908 E Broad St
Richmond VA 23223

Phone 804-426-2819

Email belladesignsstudio@gmail.com

Signature com.apple.xdms.appld.prd.3652746b4e6a34 _____

Date 5/24/17

APPLICANT (if other than owner)

Name _____

Company _____

Mailing Address _____

Phone _____

Email _____

Signature _____

Date _____

ACKNOWLEDGEMENT OF RESPONSIBILITY

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

(Space below for staff use only) _____

Application received: _____

10:50 am

COA-019808

Date/Time _____

Complete Yes No

By ECE VED

JUN 27 2017

C.A.R. APPLICATION STATEMENT

We have lived in our beloved Church Hill home for ten years this fall. Since our arrival, we have doubled in size as a family with the arrival of our sons (ages five and six) and one more dog, and we use every inch of our home. For the past two years, we have put extensive time and thought into the design of a two-story addition to the rear of the house.

Our goal is to respect the historical fabric of our home and community, while also demonstrating a clear delineation of old and new. It begins with careful consideration of form and function, and scale, as well as the reinterpretation of palette and materials to connect to, and respect, the original house and that of our neighborhood.

The expansion will maintain a subordinate position in relation to the original two-story structure with reveals of the brick on either side. Windows and doors are positioned and scaled to closely match those of the original house. The white, yellow and concrete finishes/palette on the front are also found at the rear addition with the addition of cedar to bring in a natural material that merges with the surrounding trees.

The one story structure being encapsulated is still understood by the forms of the new addition through: (1) a purposefully positioned overhang on the east-facing wall that wraps around to hint to that of a side porch; (2) a change of material and massing between the first and second floors; and (3) maintaining and exposing the brick wall and original openings inside the outdoor storage area and pantry.

The story-telling of more than 130 years will be read inside and out, and continue with the repeat of interior arched openings and height of baseboards, and the original access to the old cellar. Upgrades include new mechanical units and ducting, a tank-less water heater, and improved drainage of rainwater. The backyard will grow in usable green space and outdoor living.

We love our house and want to continue our commitment to, and investment in, its future as our "Beauty on Broad" in a city we are proud to call home.

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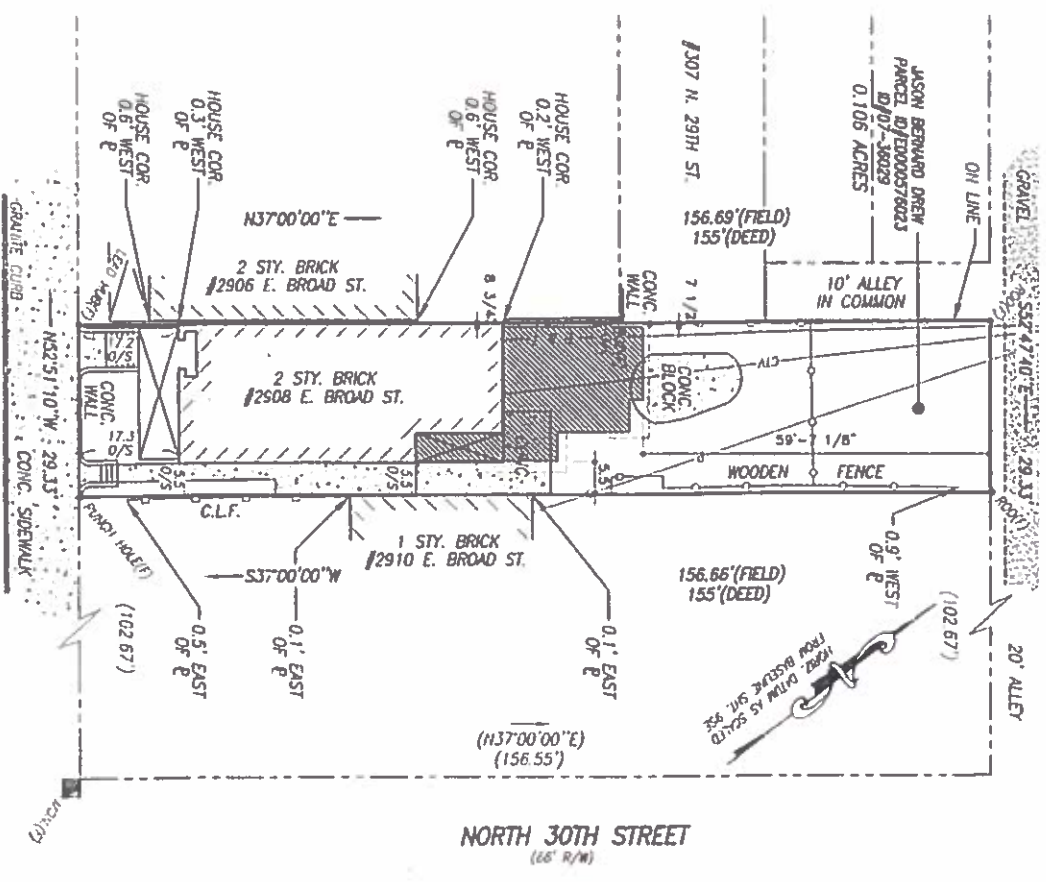
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OUR STORY



**PHYSICAL LOCATION SURVEY OF #2908 EAST BROAD STREET,
CITY OF RICHMOND, VIRGINIA**



NOTE: THIS PROPERTY APPEARS TO BE LOCATED IN ZONE 2-2 AS SCALED FROM FEMA COMMUNITY PANEL NO. 200225024E EFFECTIVE DATE: JULY 16, 2013

THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND THEREFORE DOES NOT NECESSARILY INDICATE ALL ENCUMBRANCES ON THE PROPERTY

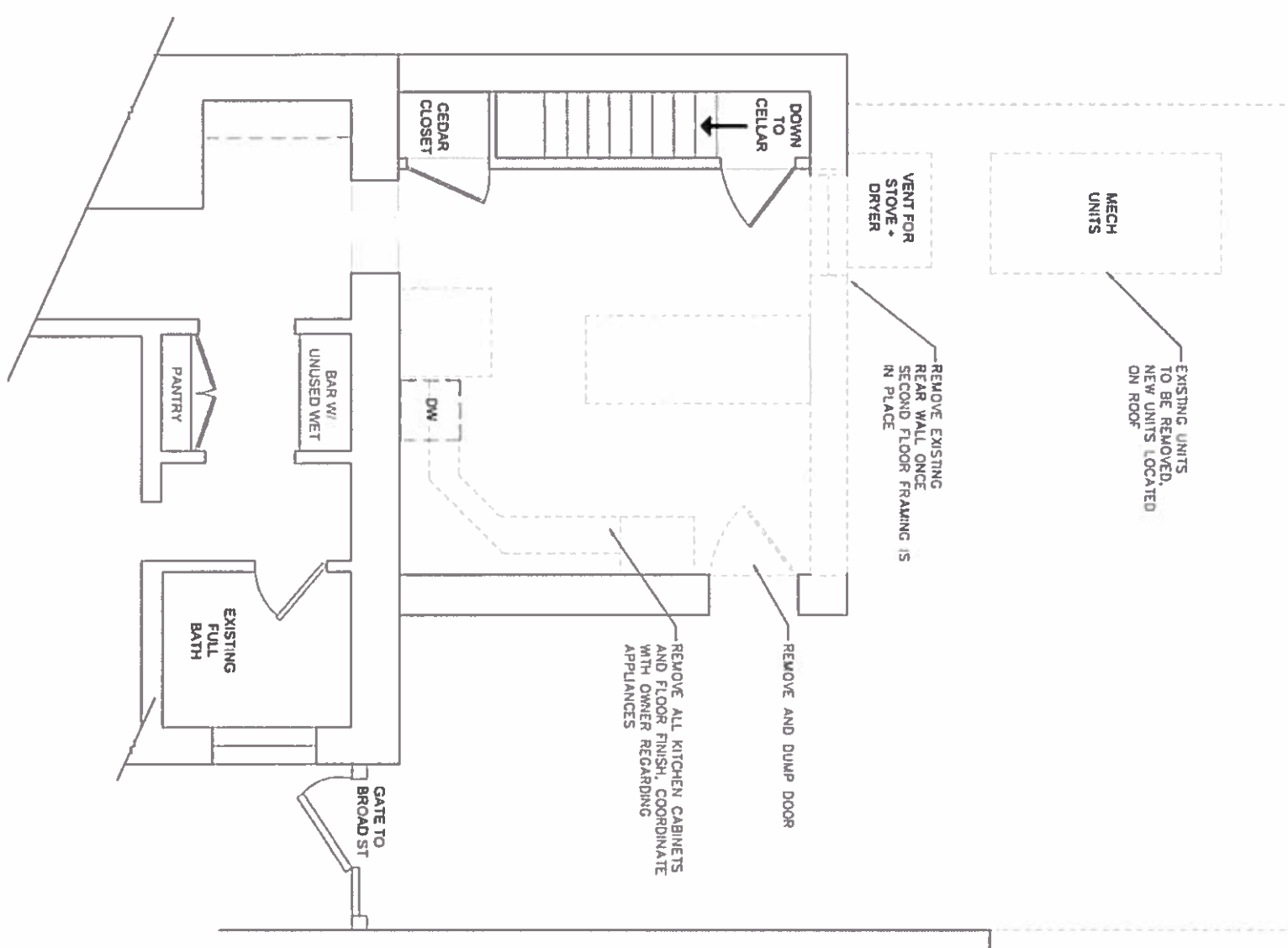
DATE: 11/16/15
SCALE: 1" = 20'
J.N. 9705-01

POTTS, MINTER and ASSOCIATES, P.C.
Engineers, Land Surveyors, Land Planners
3520 Courthouse Road
Richmond, Virginia 23220
(804) 745-2876

SITE PLAN



VIEW_FRONT OF HOUSE



DEMOLITION PLAN

2908 E. BROAD STREET_C.A.R. APPLICATION
Certificate of Appropriateness for Addition to Rear of Residence



EXISTING STRUCTURE - NORTH FACING

EXISTING BACK FENCE LINE - to move toward alley to incorporate magnolia and increase outdoor living space.

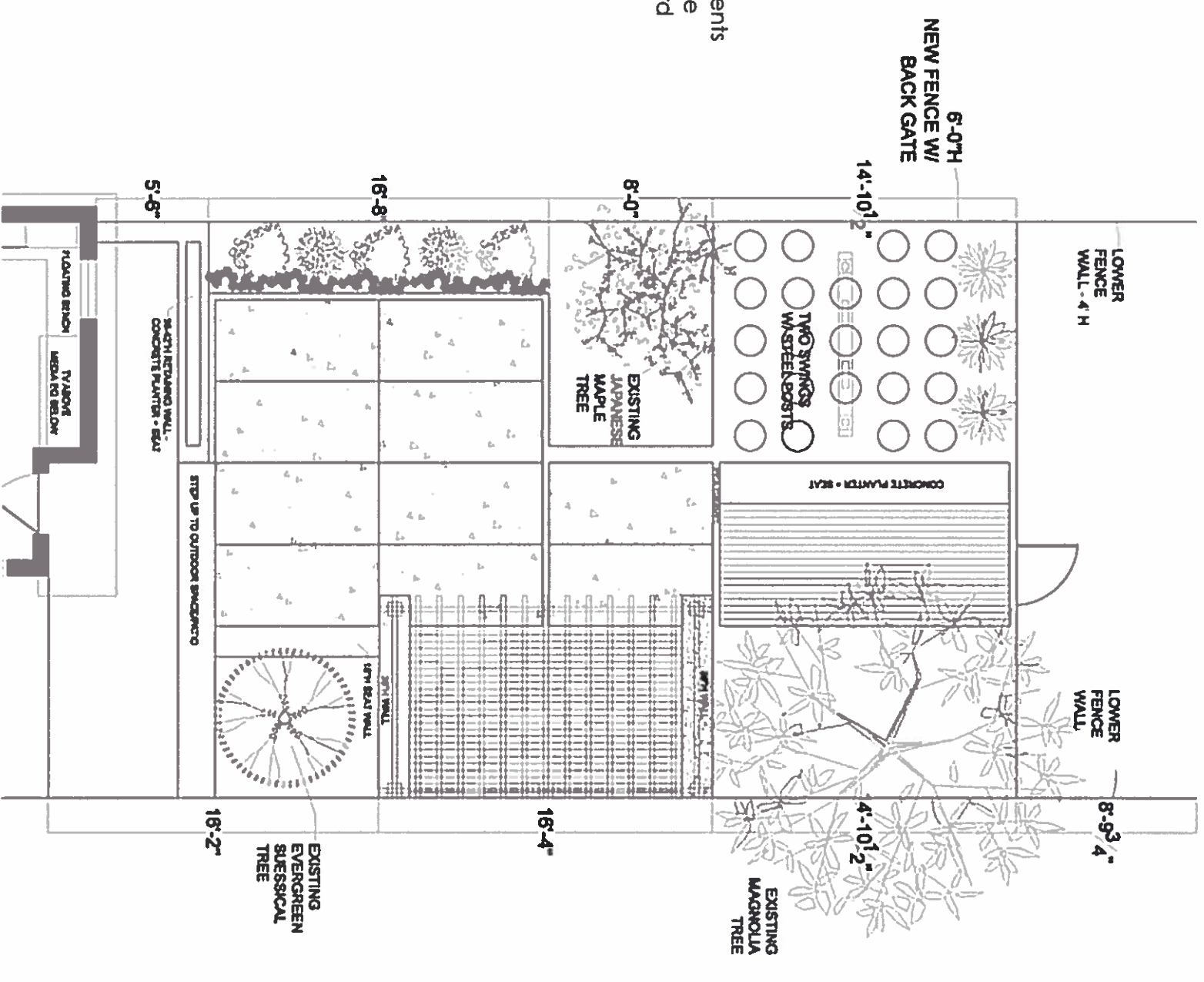
NEW ADDITION - features window of similar scale close to same location in existing one story structure's north facing wall.

SECOND STORY WINDOW (LEFT) - to be infilled but trim will remain.

SECOND STORY WINDOW (RIGHT) - to become cased opening with casing to match existing in house.

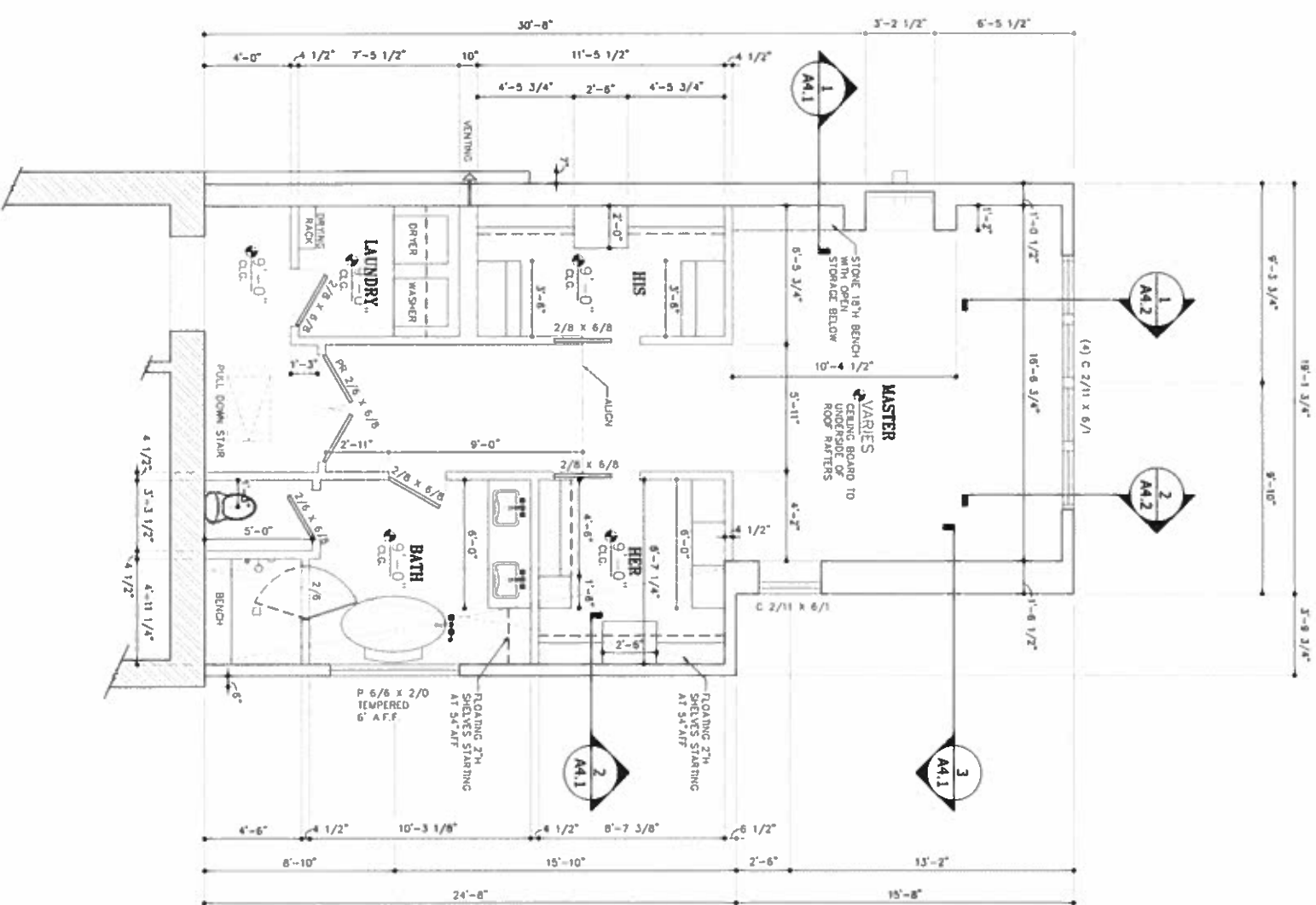
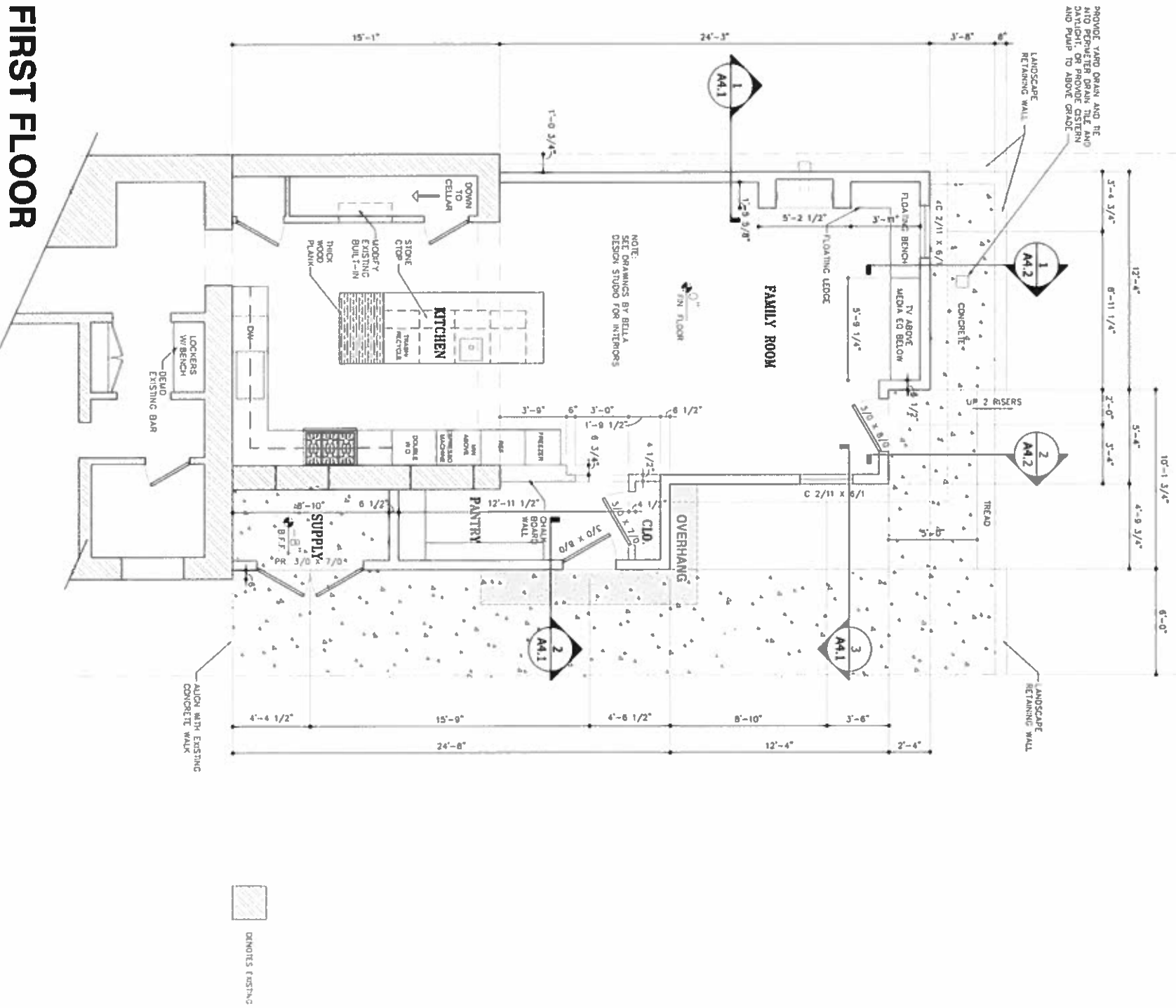
VIEW FROM ALLEY

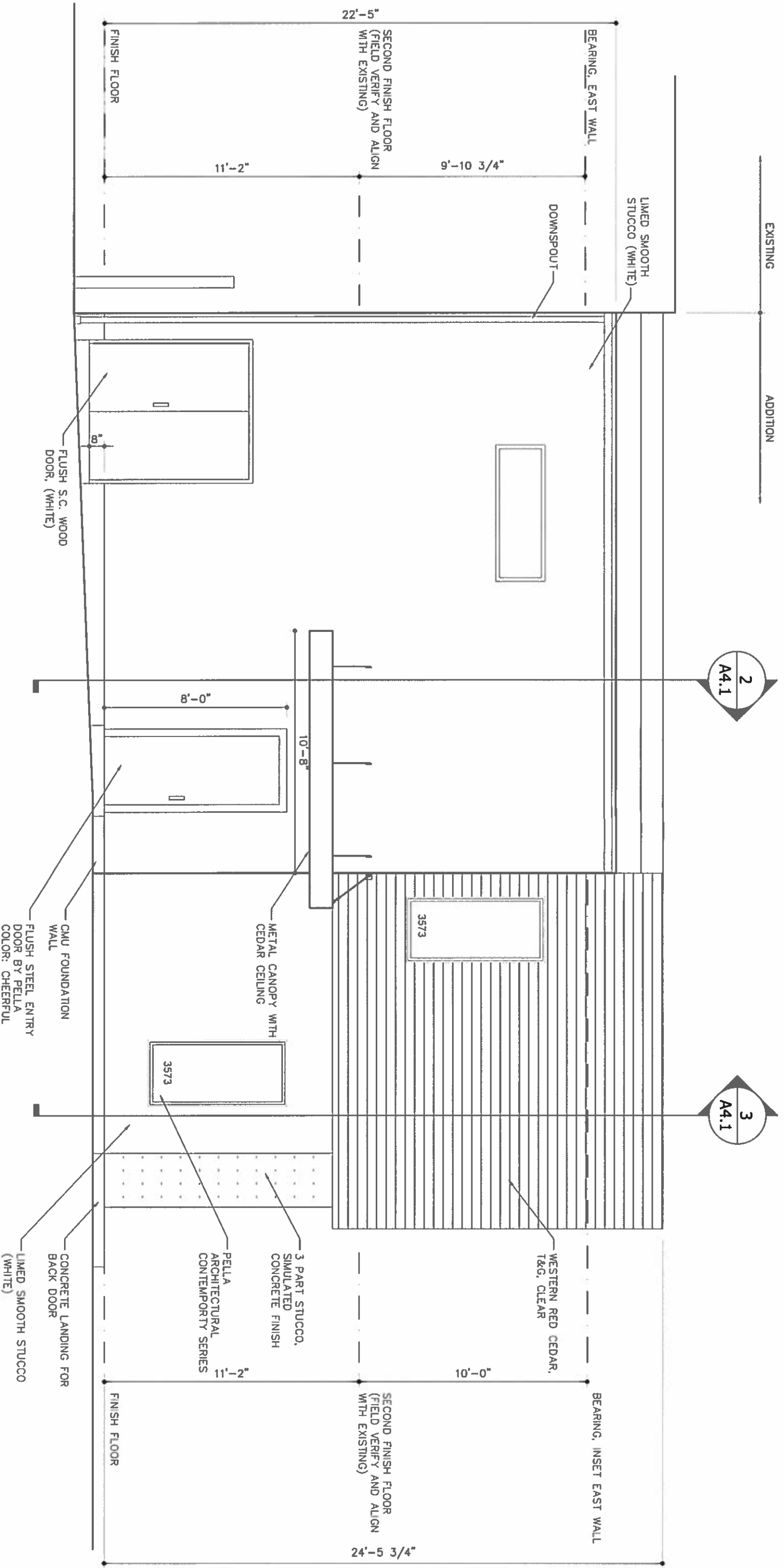
Shaded area represents new 6'-0" H fence line that will move toward alley to provide additional usable outdoor living in backyard.



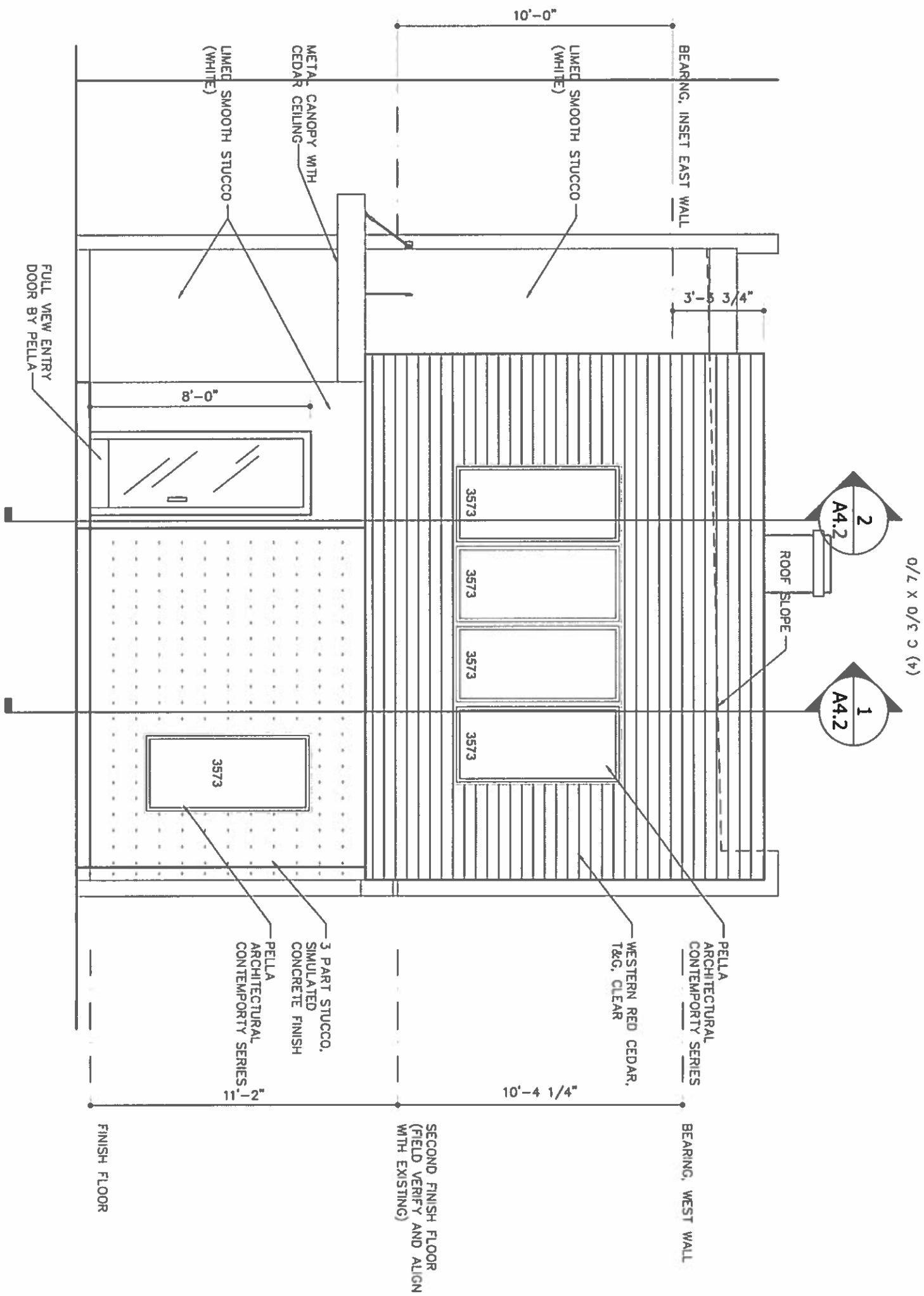
BACK YARD PLAN

PROVIDE YARD DRAIN AND RE-
AUTO REPERETER DRAIN TILE AND
DAYLIGHT, OR PROVIDE CISTERN
AND PUMP TO ABOVE GRADE.





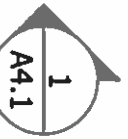
EAST ELEVATION



NORTH ELEVATION

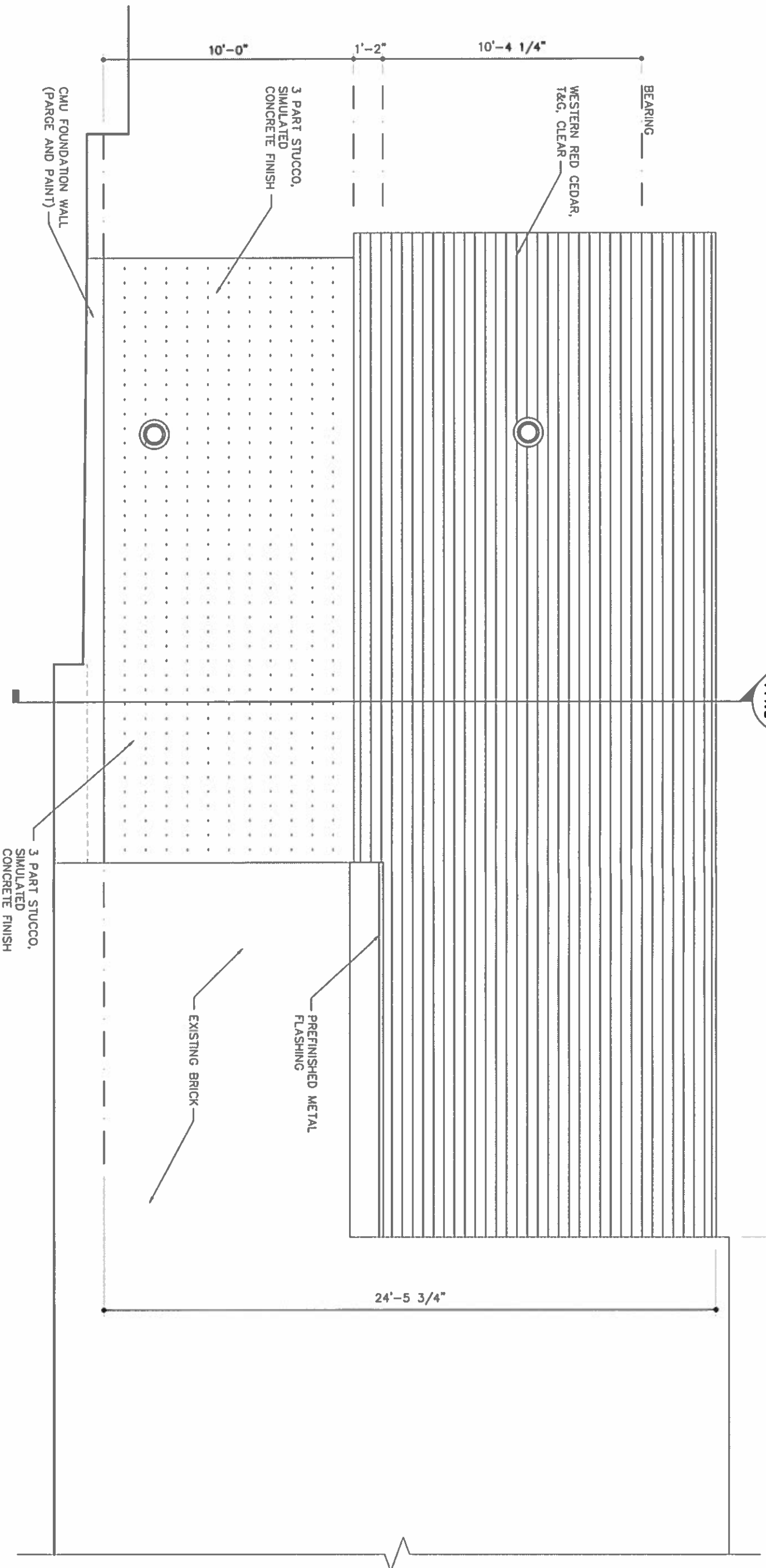


CURRENT EXISTING

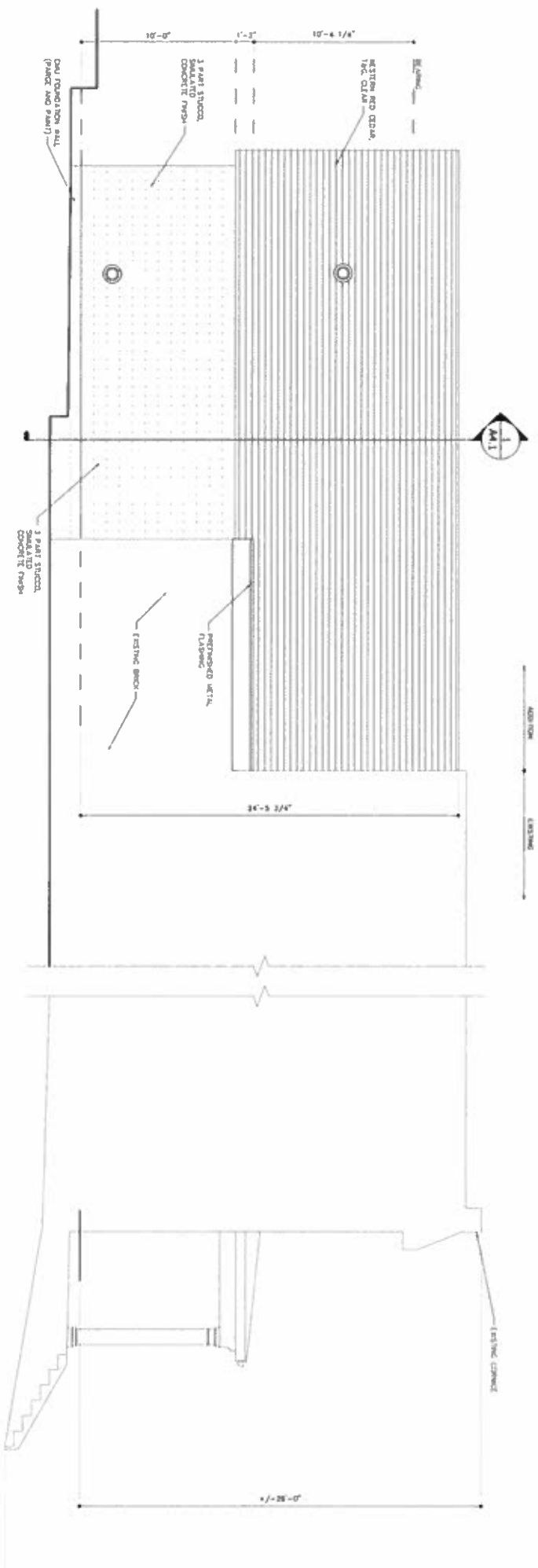


ADDITION

EXISTING

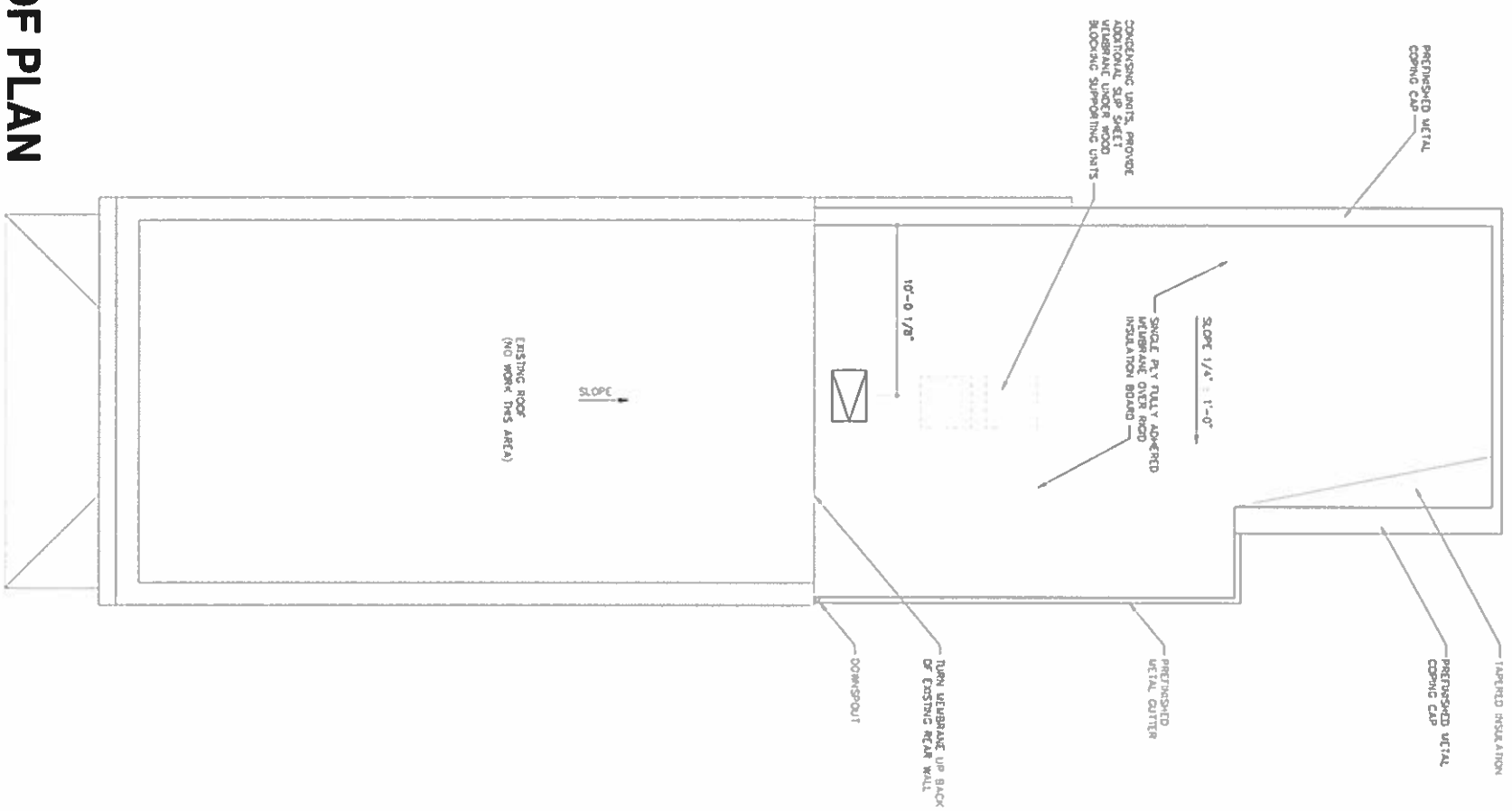


WEST ELEVATION



WEST ELEVATION_NEW AND EXISTING RELATIONSHIP

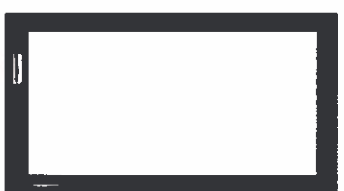
ROOF PLAN





STEEL OVERHANG - Powder Coated Finish to Match Window/Door Frame Color

RED CEDAR UNDERSIDE - Clear-coated with Polyurethane



CASEMENT + FIXED WINDOWS, DOORS

Pella Architect Series - Contemporary Collection

WINDOWS AND DOOR FRAMES - Iron Ore Finish

SIDE DOOR - Solid Panel Painted Steel on

Fiberglass (Sherwin Williams SW6903_Cheerful)

BACK DOOR - Full Clear Glass

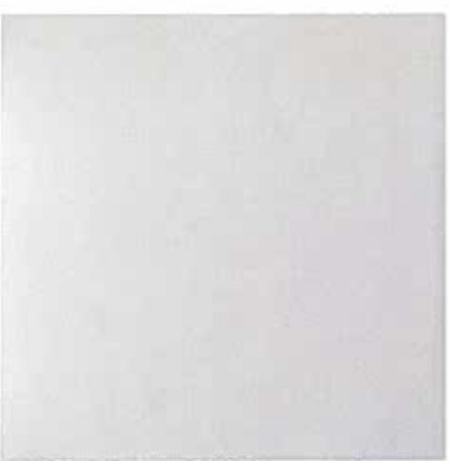
WINDOW HEIGHT - to closely match windows on existing two-story structure



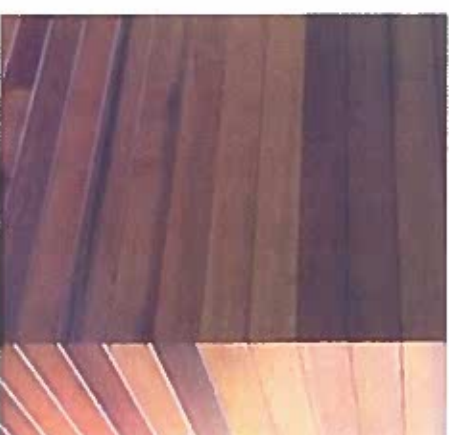
EXISTING ONE-STORY WINDOW AND BRICK - to remain visible within outdoor storage.

EXISTING BACK DOOR AND BRICK - to remain in new pantry area. Door and transom will be infilled with wall board and trim to remain.

WEST FACING BRICK WALL - to remain.



LIMED SMOOTH WHITE STUCCO



WESTERN RED CEDAR

Clear-coated with Polyurethane



STUCCO - SIMULATED CONCRETE



RED CEDAR FENCE

Clear-coated with Polyurethane

EXTERIOR FINISHES