



DEPARTMENT OF
**PLANNING AND
DEVELOPMENT
REVIEW**

**BOARD OF
ZONING APPEALS**

September 9, 2025

Economic Development Authority of the City of Richmond, VA
1500 East Main Street #400
Richmond, VA 23219

Dominion Energy Virginia
2100 East Cary Street, Suite 602
Richmond, VA 23223
Attn: Brian Jackson, Counsel

To Whom It May Concern:

RE: BZA 37-2025

You are hereby notified that the Board of Zoning Appeals will hold a public hearing on **Wednesday, October 1, 2025 at 1:00 PM** in the 5th Floor Conference Room, City Hall, 900 E. Broad Street to consider an application for a building permit to construct a new solar array at 2907 NORTH ARTHUR ASHE BOULEVARD (Tax Parcel Number N000-1510/012), located in a TOD-1 (Transit-Oriented Nodal) District. This meeting will be open to in-person participation with a virtual option. The public will have the option to provide their comments by teleconference/videoconference via Microsoft Teams, or in writing via email as indicated below.

Please be advised that the applicant or applicant's representative is required to participate in the subject public hearing either by teleconference/videoconference or in person. For teleconference participation call 804-316-9457 and entering code **899 614 784#**. For video access by computer, smart phone or tablet visit <https://richmondva.legistar.com/Calendar.aspx>. Select the Board of Zoning Appeals drop-down and 2025 drop-down, click meeting details for October 1, 2025 meeting and then click video access. In the event you have difficulty accessing a public hearing you may contact Mr. William Davidson at 804-396-5350 or by email at Chuck.Davidson@rva.gov for assistance. The Board of Zoning Appeals Rules of Procedure provides that in the case of an application for a variance or a special exception, the applicant, proponents or persons aggrieved under §15.2-2314 of the Code of Virginia, shall be permitted a total of six (6) minutes each to present their case. The Board of Zoning Appeals will withhold questions until the conclusion of the respective presentations. For the purposes of the record it also requested that before addressing the Board you identify yourself and spell your name.


Finally, when you submitted your application to the zoning office you were given an handout entitled, Suggestions for Presenting Your Case to the Board, which indicated that you should discuss your request with your neighbor(s) and neighborhood

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association(s) prior to appearing before the Board of Zoning Appeals. Contact information for civic group(s) can be found by navigating to the Civic Group webpage of the City's website at <https://www.rva.gov/planning-development-review/civic-groups>. Once there, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, simply scroll down the page to the appropriate group(s) to find the contact information for each. The Board understands that given the current situation it is not practical to conduct face-to-face discussions with either your neighbors or neighborhood association(s) but the Board requests that you make a good faith effort to provide them with relevant information regarding your case.

If you have any questions regarding the Board's procedures or any issue involving presentation of your case, please feel free to contact me.

Very truly yours,

A handwritten signature in dark ink, reading "Roy W. Benbow". The signature is fluid and cursive, with the first name "Roy" being the most prominent.

Roy W. Benbow, Secretary
Phone: (804) 240-2124
E-mail: Roy.Benbow@rva.gov

cc: Zoning Administrator

Notice of this meeting is being sent to the persons whom the Board of Zoning Appeals believes to be property owners in the immediate vicinity of the property concerned in this application. This notice is for their information only, and there is no need for them to appear unless they so desire. The Board will, however, welcome such views as any persons care to express during the hearing on this application.

Btp Boulevard Square Llc
1530 Broadway
New York, NY 10036

Cc Scotts Addition Lp
601 South Tryon St #800
Charlotte, NC 28202

City Of Richmond
900 E Broad St #300
Richmond, VA 23219

Csx Transportation Inc
500 Water Street
Jacksonville, FL 32202

Diamond District Partners Llc
11100 W Broad St
Glen Allen, VA 23060

Navigators Baseball Lp (leasehold)
3001 N Arthur Ashe Blvd
Richmond, VA 23230

Virginia Commonwealth Univ
Po Box 843040
Richmond, VA 23284

Virginia Passenger Rail Authority
600 E Main St #2102
Richmond, VA 23219


City of Richmond, VA Report

Property Owner	
Name:	ECONOMIC DEVELOPMENT AUTHORITY OF THE CITY OF RICHMOND VA
Mailing Address:	1500 E MAIN ST #400 RICHMOND, VA 2321900000
Parcel Use:	B Industrial Shell
Neighborhood:	North Side 5

Property Information	
Property Address:	2907 N Arthur Ashe Blvd 2929 N Arthur Ashe Blvd 2901 N Arthur Ashe Blvd
PIN	N0001510012
Size:	19.100 Acres, 831996.000 Square Feet
Property Description:	0755.00X0105.00 IRG0019.100 AC

Additional Information	
Exempt Code	
General Govt (Inside of Corp Limits)	

Current Assessment			
Year	Land	Improvements	Total
2026	\$20,503,000	\$55,000	\$20,558,000

Deed Transfers					
Recordation Date	Book	Page	Deed Type	Consideration	 Grantee
2/1/2024	ID2024	1521	QC	\$0	ECONOMIC DEVELOPMENT AUTHORITY
1/1/1776	ID2024	1521	QC	\$0	CITY OF RICHMOND

Details for Commercial Building 1

Year Built:	Finished Area:
1925	2,552



116
22
1SMS (2,552 sf)

(75 sf)
General Purpose Bldg X Other

OB01
(0 sf)

Section 1

Year Built:	1925
Style:	Unknown Commercial Style
Model:	Commercial
Framing Class:	Wood Joist
Perimeter Shape:	Rectangular or Slight Irreg
Perimeter:	276
Wall Height:	11
Section Area:	2552
Sprinkler Area:	0
HVAC:	N/A

Building Sub-Areas (sq ft)

Code	Description	Gross Area	Living Area
1SMS	1 Story Masonry - Fin	2,552	2,552
OB01	Outbuilding	0	0
S	Slab	2,552	0
Totals		5,104	2,552

Outbuildings

Code	Description	Sub Code-Description	Size
POLEBL	General Purpose Bldg X Other	Typical	1880.00 SF

Assessment History			
Year	Land	Improvements	Total
2025	\$20,503,000	\$55,000	\$20,558,000
2024	\$17,081,000	\$55,000	\$17,136,000
2023	\$11,931,000	\$55,000	\$11,986,000
2022	\$11,931,000	\$34,000	\$11,965,000
2021	\$9,152,000	\$25,000	\$9,177,000
2020	\$9,152,000	\$25,000	\$9,177,000
2019	\$9,152,000	\$24,000	\$9,176,000
2018	\$8,320,000	\$24,000	\$8,344,000
2017	\$6,240,000	\$25,000	\$6,265,000
2016	\$2,912,000	\$25,000	\$2,937,000
2015	\$1,994,000	\$5,183,000	\$7,177,000
2014	\$1,994,000	\$5,183,000	\$7,177,000
2013	\$1,994,000	\$5,183,000	\$7,177,000
2012	\$1,994,000	\$5,183,000	\$7,177,000
2011	\$1,994,000	\$5,183,000	\$7,177,000
2010	\$1,994,000	\$5,183,000	\$7,177,000
2009	\$1,994,300	\$5,182,500	\$7,176,800
2008	\$1,994,300	\$5,182,500	\$7,176,800
2007	\$1,899,300	\$4,935,700	\$6,835,000
2006	\$1,844,000	\$4,487,000	\$6,331,000
2005	\$3,096,700	\$2,356,200	\$5,452,900

Map



Copyright Text: Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community

Not a Legal Document

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www.actDataScout.com

RICHMOND BOARD OF ZONING APPEALS APPLICATION FORM



THE RICHMOND ZONING ADMINISTRATION OFFICE
ROOM 110, CITY HALL, 900 EAST BROAD STREET
RICHMOND, VIRGINIA 23219
(804) 646-6340

TO BE COMPLETED BY THE APPLICANT

PROPERTY Economic Development Authority PHONE: (Home) () (Mobile) ()
OWNER: of the City of Richmond, VA FAX: () (Work) ()
(Name/Address) 1500 East Main Street #400 E-mail Address: _____
Richmond, Virginia 23219
OWNER'S Dominion Energy Virginia
REPRESENTATIVE: By Brian Jackson, Counsel PHONE: (Home) () (Mobile) (804) 771-9545
(Name/Address) 2100 East Cary Street FAX: () (Work) ()
Richmond, Virginia 23223 E-mail Address: BJackson@Hirschlerlaw.com

TO BE COMPLETED BY THE ZONING ADMINISTRATION OFFICE

PROPERTY ADDRESS (ES) 2907 North Arthur Ashe Blvd
TYPE OF APPLICATION: ☐ VARIANCE ☒ SPECIAL EXCEPTION ☐ OTHER _____
ZONING ORDINANCE SECTION NUMBERS(S): 30-300 & 30-457.2
APPLICATION REQUIRED FOR: A building permit to construct a new solar array.
TAX PARCEL NUMBER(S): N000-1510/012 ZONING DISTRICT: TOD-1 (Transit-Oriented Nodal District)
REQUEST DISAPPROVED FOR THE REASON THAT: Electricity generation is not a permitted principal use in the TOD-1 zoning district.
DATE REQUEST DISAPPROVED: July 8, 2025 FEE WAIVER: YES ☐ NO: ☒
DATE FILED: August 14, 2025 TIME FILED: 8:12 p.m. PREPARED BY: Josh Young RECEIPT NO. BZAC-171470-2025
AS CERTIFIED BY: [Signature] (ZONING ADMINISTRATOR)

I BASE MY APPLICATION ON:

SECTION 17.20 PARAGRAPH(S) (d)(1) OF THE CHARTER OF THE CITY OF RICHMOND
SECTION 15.2 -2309.2 ☐ OF THE CODE OF VIRGINIA [OR]
SECTION 1040.3 PARAGRAPH(S) _____ OF THE ZONING ORDINANCE OF THE CITY OF RICHMOND

TO BE COMPLETED BY APPLICANT

I have received the handouts, *Suggestions for Presenting Your Case to the Board & Excerpts from the City Charter* ☒

I have been notified that I, or my representative, must be present at the hearing at which my request will be considered.

SIGNATURE OF OWNER OR AUTHORIZED AGENT: [Signature] DATE: 8/25/25

*** TO BE COMPLETED BY THE SECRETARY TO THE BOARD OF ZONING APPEALS ***

CASE NUMBER: BZA 37-2025 HEARING DATE: October 1, 2025 AT 1:00 P.M.

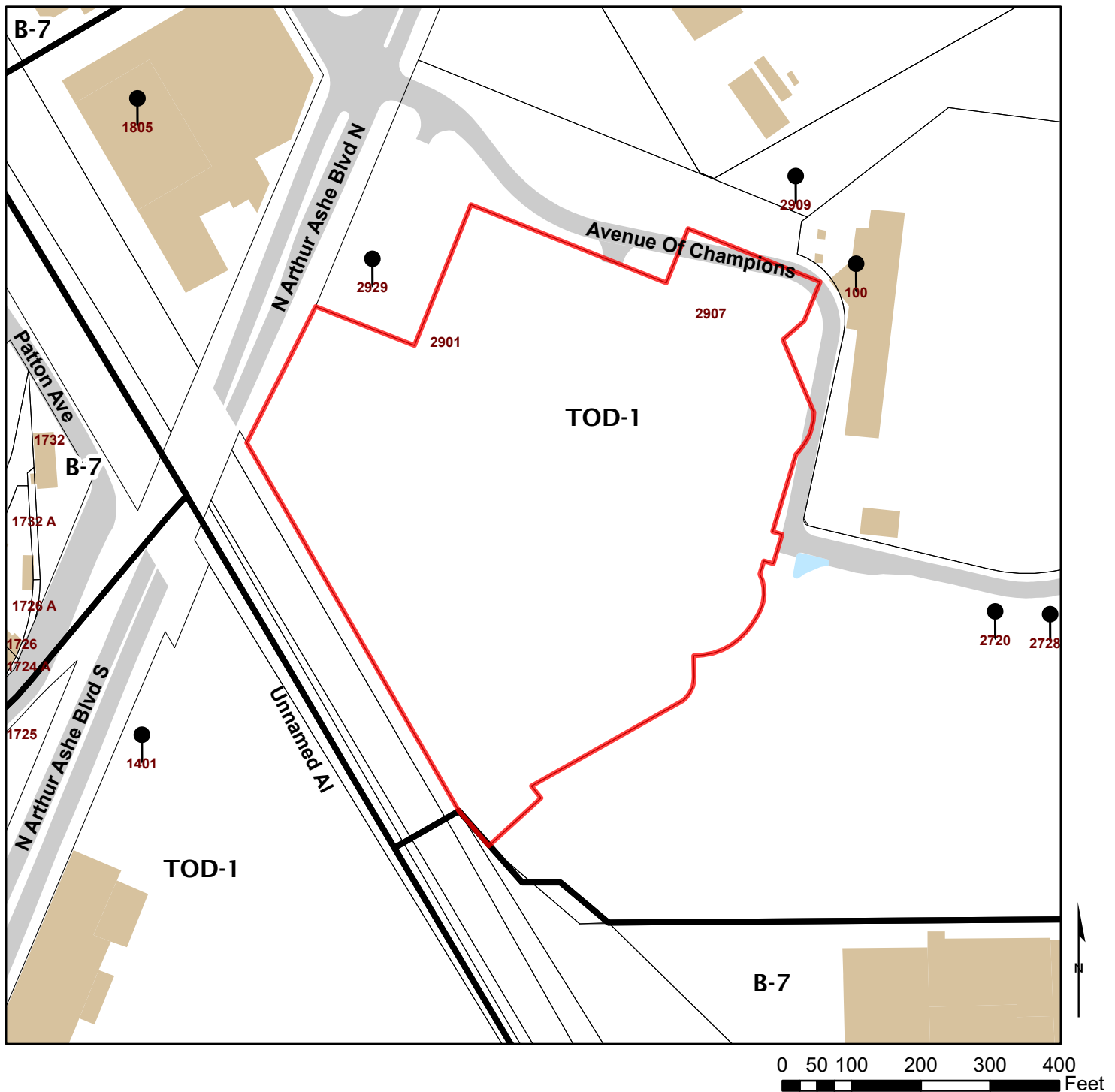
BOARD OF ZONING APPEALS CASE BZA 37-2025
150' Buffer

APPLICANT(S): Economic Development Authority of the City of Richmond, VA

PREMISES: 2907 North Arthur Ashe Boulevard
(Tax Parcel Number N000-1510/012)

SUBJECT: A building permit to construct a new solar array.

REASON FOR THE REQUEST: Based on Sections 30-300 & 30-457.2
of the Zoning Ordinance for the reason that:
Electricity generation is not a permitted principal use.





BOARD OF ZONING APPEALS PRESENTATION SUGGESTIONS

CITY OF RICHMOND, VIRGINIA

When presenting your request for a variance or exception to the Board of Zoning Appeals, it is important that you consider the points outlined below. The City Charter requires that every decision of the Board must be based upon a finding of fact that the Board must determine from sworn testimony, together with pertinent evidence, presented at its public hearing. It is essential that the Board receive thorough and complete information in order for it to adequately consider your case and make an informed decision.

1. The powers and duties of the Board of Zoning Appeals (BZA) are specified in Section 17.20 of the City Charter and Article X, Division 5, of the Zoning Ordinance. The Zoning Office will assist you in identifying how your case should be filed. If you have questions regarding your case filing, please contact the Zoning Administration Office (804-646-6340) or at PDRZoningAdministration@Richmondgov.com. Please review the applicable provisions of the City Charter or the Zoning Ordinance thoroughly and address them when presenting your case to the Board to show that the applicable requirements have been satisfied.
2. The Board of Zoning Appeals is a quasi-judicial board whose decisions are controlled by statutory law and also take into consideration applicable case law that has been handed down by the Richmond Circuit Court and the Virginia Supreme Court. The Board suggests that if you have any legal questions regarding statutory or case law as it may apply to your application, that those legal issues should be discussed with an attorney before you make your final decision to submit an application to the Board.
3. The Board considers it essential that you discuss your case with nearby residents (notification letters are sent to all property owners within a 150-foot radius of your property) and any nearby civic association(s). Information regarding your neighborhood association(s) and/or contact person(s) may be obtained [here](#). Once on the page, you can search for your property using the interactive map. A dialogue box will provide you with the names of all civic groups within which your property may lie. Once you have those group names, scroll down the page to the appropriate group(s) to find the contact information for each.

Be advised that if you fail to discuss your request with your neighbors and neighborhood association(s), you should anticipate that your case will be continued until the Board's next regularly scheduled meeting. It is highly recommended that you contact your neighborhood association as soon as possible to determine their meeting schedule in order to be sure you allow yourself enough time to talk to all concerned parties prior to the hearing before the Board. The Board's Rules of Procedure require payment of a one-hundred fifty dollar (\$150) continuance fee if the applicant must request a continuance for the reason that the applicant failed to discuss their case with their neighbor(s) or neighborhood association(s).

4. You are also strongly encouraged to discuss your pending case with the Secretary of the Board, Roy Benbow at (804) 240-2124 well before the hearing. The BZA Secretary can be helpful by explaining the BZA public hearing requirements and process.
5. Utilizing photographs, plans, maps, diagrams and such other written or graphic evidence as needed to fully explain your request can be a great help to the Board in understanding your request and thereby improve your chances for success. Remember . . . a picture is worth a thousand words.
6. Note that, although the Board is not authorized to grant a waiver from the zoning regulations based on financial circumstances alone, it may be a factor to be taken into consideration along with other facts in a case. If your case involves such a factor, please provide the Board with complete and relevant financial information for its review.
7. The Board's hearings are informal, although all testimony is taken under oath. You are not required to be represented by an attorney in presenting your case. However, if you choose, you may have legal representation and/or may utilize such technical experts or other persons to testify on your behalf as you feel are needed to adequately explain your request to the Board.

Acknowledgement of Receipt by Applicant or Authorized Agent:

A handwritten signature in blue ink that reads "Brian Jackson".
Virginia Electric and Power Company
d/b/a Dominion Energy, Virginia,
by Brian Jackson, Counsel

Revised: November 10, 2020

Y:\90157064.044-DIAMOND_DISTRIC_ALTA\DWG\57064.044V-XPAL.TA rev BINDRY 7-30-24.dwg | Plotted on 8/1/2024 7:34 AM | by Zachary Viney

NOTES:

1.) OWNERS OF RECORD:

CITY OF RICHMOND PUBLIC WORKS
PARCEL ID: N0001510012
INST. #240001521
D.B. 191A, PG. 519
D.B. 191C, PG. 503
D.P.W. DRAWING O-19237-A, O-12421, O-19237-A
2907 NORTH ARTHUR ASHE BLVD.

PARCEL ID: N0001510013
INST. #240001521
D.B. 191A, PG. 519
D.B. 191C, PG. 503
D.P.W. DRAWING O-19237-A, O-12421, O-19237-A
2728 HERMITAGE ROAD

PARCEL ID: N0001510012 AREA: 859,017 SQ. FT. OR 19.720 ACRES
PARCEL ID: N0001510013 AREA: 470,372 SQ. FT. OR 10.798 ACRES

TOTAL AREA SURVEYED: 1,329,389 SQ. FT. OR 30.518 ACRES

2.) THIS PLAT IS BASED ON A CURRENT TIMMONS GROUP FIELD SURVEY. FIELDWORK WAS PERFORMED THE WEEK OF NOVEMBER 20 & 27, 2023 AND DECEMBER 4, 2023.

3.) TITLE COMMITMENT FOR PARCEL ID N0001510012: THIS PLAT WAS PREPARED WITH THE BENEFIT OF A TITLE BINDER, PREPARED BY STEWART GUARANTY COMPANY, COMMITMENT NO. 01262-11128, WITH AN EFFECTIVE DATE OF MAY 8, 2024 AT 8:00AM. THE PROPERTY SHOWN HEREON IS THE SAME AS THAT DESCRIBED ON THE TITLE COMMITMENT.

TITLE COMMITMENT FOR PARCEL ID PARCEL ID: N0001510013: THIS PLAT WAS PREPARED WITH THE BENEFIT OF A TITLE BINDER, PREPARED BY STEWART GUARANTY COMPANY, COMMITMENT NO. 01262-11129, WITH AN EFFECTIVE DATE OF MAY 5, 2024 AT 8:00AM. THE PROPERTY SHOWN HEREON IS THE SAME AS THAT DESCRIBED ON THE TITLE COMMITMENT.

4.) BASED ON GRAPHIC DETERMINATION THIS PROPERTY IS IN ZONE "X" AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL #5101290029D, LAST REVISED APRIL 2, 2009.

5.) NO BUILDINGS WERE OBSERVED ON SUBJECT PARCELS DURING THE FIELD SURVEY.

6.) SUBSTANTIAL FEATURES OBSERVED DURING THE FIELD SURVEY ARE SHOWN HEREON.

7.) ENCROACHMENTS ARE SHOWN HEREON.

8.) NO PLATS OR DESCRIPTIONS OF THE PROPERTIES SHOWN HEREON WERE PROVIDED, THEREFORE THE INTERIOR PROPERTY LINE SHOWN HEREON BEST FIT THE ACREAGE STATED ON THE CITY OF RICHMOND GIS & INSTRUMENT #240001521. INTERIOR PROPERTY LINE SHOWN FOLLOWS APPROXIMATE WESTERN LINE OF CITY GARAGE ROAD (PER GIS & MAPPING INFORMATION) AND THE NORTHERN LINE OF A 30' ROAD CALLED FOR IN DB. 191C, PAGE 503.

SCHEDULE B PART II EXCEPTIONS (TITLE COMMITMENT NO. 01262-11128):

EXCEPTIONS 1-11 & 13 ARE NOT SURVEY MATTERS.

12. EASEMENT FOR INGRESS AND EGRESS AS CONTAINED IN THE DEED OF EASEMENT GRANTED TO THE RICHMOND METROPOLITAN AUTHORITY, A POLITICAL SUBDIVISION AND PUBLIC BODY CORPORATE OF THE COMMONWEALTH OF VIRGINIA, FOR INGRESS AND EGRESS TO AND FROM THE PROPERTY AND NORTH ARTHUR ASHE BOULEVARD, HERMITAGE ROAD AND ROBIN HOOK ROAD OVER ROADWAYS NOW EXISTING OR MAY HEREAFTER BE RELOCATED OR CONSTRUCTED, BY DEED OF EASEMENT DATED AUGUST 31, 1984, RECORDED SEPTEMBER 7, 1984 IN THE CLERK'S OFFICE, CIRCUIT COURT, CITY OF RICHMOND, VIRGINIA IN DEED BOOK 17, PAGE 56, AS ADOPTED BY ORDINANCE NO. 84-131-125 ON JUNE 25, 1984 AND ORDINANCE NO. 98-51-56, AS AFFECTED BY THE DEED OF AMENDMENT AND PARTIAL RELEASE OF EASEMENT DATED MAY 21, 1998, RECORDED JULY 12, 1998 IN THE CLERK'S OFFICE AFORESAID AS INSTRUMENT NO. 98-15091, AND AS FURTHER AFFECTED BY THE DEED OF RELEASE OF EASEMENT DATED DECEMBER 16, 2014, RECORDED AS INSTRUMENT NO. 140021787. (AS SHOWN HEREON)

LEGAL DESCRIPTION (TITLE COMMITMENT NO. 01262-11128):

ALL THAT CERTAIN PIECE OR PARCEL OF LAND, WITH THE IMPROVEMENTS THEREON AND APPURTENANCES THEREUNTO BELONGING, LYING AND BEING IN THE CITY OF RICHMOND, VIRGINIA, DESIGNATE BY THE CITY ASSESSOR AS TAX MAP NUMBER N0001510012, CONTAINING . ACRES, AS SHOWN ON THE PLAT OF SURVEY MADE BY , DATED , 2024, ENTITLED " , WHICH PLAT IS ATTACHED HERETO AND MADE A PART HEREOF AND TO WHICH PLAT REFERENCE IS HEREBY MADE FOR A MORE PARTICULAR DESCRIPTION OF THE PROPERTY HEREIN CONVEYED.

BEING A PORTION OF THE SAME REAL ESTATE CONVEYED TO THE ECONOMIC DEVELOPMENT AUTHORITY OF THE CITY OF RICHMOND, VIRGINIA BY QUITCLAIM DEED FROM CITY OF RICHMOND, A MUNICIPAL CORPORATION OF THE COMMONWEALTH OF VIRGINIA, DATED JANUARY 29, 2004, RECORDED FEBRUARY 1, 2024 IN THE CLERK'S OFFICE, CIRCUIT COURT, CITY OF RICHMOND, VIRGINIA AS INSTRUMENT NO. 240001521. PREVIOUSLY BEING ALL OR A PORTION OF THE SAME REAL ESTATE CONVEYED TO THE CITY OF RICHMOND, VIRGINIA BY DEED FROM WINFIELD SCOTT AND FANNIE REMSEN SCOTT DATED JULY 20, 1906, RECORDED IN THE CLERK'S OFFICE, CIRCUIT COURT, HENRICO COUNTY, VIRGINIA IN DEED BOOK 191A, PAGE 519, AND BY DEED FROM GOOLD HOYT, GOOLD HOYT AS ATTORNEY IN FACT FOR WINGFIELD S. HOYT, PERCEY S. HOYT, CAMILLA S. HOYT, AND VIRGINIA S. HOYT; GOOLD HOYT, SOLE ACTING EXECUTOR AND TRUSTEE UNDER THE LAST WILL AND TESTAMENT OF GERALDINE S. KANE AND MATTHEY GILMOUR, WIDOWER, DATED JULY 20, 1906, RECORDED IN THE CLERK'S OFFICE, CIRCUIT COURT, HENRICO COUNTY, VIRGINIA IN DEED BOOK 191C, PAGE 503.

FOR INFORMATION ONLY:

NOTE (1): THERE CURRENTLY DOES NOT EXIST A GOOD LEGAL DESCRIPTION FOR THIS PARCEL OF LAND. THIS AND OTHER LAND WAS ORIGINALLY ACQUIRED IN 1906 AS LARGE ACREAGE PIECES. ORDINANCE 2023-133 PERMITTING THE SALE OF THIS AND OTHER PROPERTY TO THE ECONOMIC DEVELOPMENT AUTHORITY IS ATTACHED TO THE DEED RECORDED AS INSTRUMENT NO. 240001521 AND ALSO ONLY REFERS TO THE PROPERTIES BY ADDRESSES AND ACREAGE, WITH NO OTHER DESCRIPTION PROVIDED. ACCORDING TO THE CITY ASSESSOR'S OFFICE THIS PARCEL TAX MAP NO. N0001510012 CONTAINS 19.1 ACRES.

DESCRIPTION OF PARCEL ID: N0001510012 (SURVEYED):

BEGINNING AT A ROD FOUND, SAID ROD BEING ±1170 FEET FROM THE INTERSECTION OF NORTH ARTHUR ASHE BOULEVARD AND WEST LEIGH STREET.

THENCE, N 22°56'38" E, A DISTANCE OF 951.00 FEET TO AN IRON ROD SET;

THENCE, S 30°31'28" E, A DISTANCE OF 578.18 FEET TO AN IRON ROD SET;

THENCE, S 50°54'01" E, A DISTANCE OF 172.60 FEET TO A MAG NAIL FOUND;

THENCE, ALONG A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 101.22 FEET, A CENTRAL ANGLE OF 83°39'36", A TANGENT LENGTH OF 90.60 FEET, THE LONG CHORD OF WHICH BEARS S 30°14'36" E FOR A DISTANCE OF 135.01 FEET FOR AN ARC LENGTH OF 147.80 FEET TO AN IRON ROD SET;

THENCE, S 11°35'19" W, A DISTANCE OF 270.69 FEET TO AN IRON ROD FOUND;

THENCE, ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 9.00 FEET, A CENTRAL ANGLE OF 88°45'54", A TANGENT LENGTH OF 8.81 FEET, THE LONG CHORD OF WHICH BEARS S 32°47'24" E FOR A DISTANCE OF 12.59 FEET FOR AN ARC LENGTH OF 13.94 FEET TO AN IRON ROD SET;

THENCE, S 77°10'08" E, A DISTANCE OF 267.78 FEET TO AN IRON ROD SET;

THENCE, ALONG A TANGENT CURVE TO THE LEFT WITH A RADIUS OF 236.54 FEET, A TANGENT LENGTH OF 51.86 FEET, A CENTRAL ANGLE OF 24°44'04", THE CHORD OF WHICH BEARS S 89°32'11" E FOR A DISTANCE OF 101.32 FEET; THENCE ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 102.11 FEET TO AN IRON ROD SET;

THENCE, S 00°16'34" E, A DISTANCE OF 312.75 FEET TO AN IRON ROD SET;

THENCE, N89°21'17" W, A DISTANCE OF 789.52 FEET TO AN IRON ROD SET;

THENCE, S 36°38'43" W, A DISTANCE OF 97.60 FEET TO AN AXLE FOUND;

THENCE, N 30°37'09" W, A DISTANCE OF 657.69 FEET TO AN IRON ROD FOUND, SAID ROD BEING THE TRUE AND ACTUAL POINT OF BEGRIMING;

SAID PARCEL CONTAINING 859,017 SQUARE FEET OR 19.720 ACRES OF LAND, MORE OR LESS.

SCHEDULE B PART II EXCEPTIONS (TITLE COMMITMENT NO. 01262-11129):

EXCEPTIONS 1-12 & 14 ARE NOT SURVEY MATTERS.

13. TERMS AND PROVISIONS AS CONTAINED IN THE DEED OF EASEMENT GRANTED TO THE RICHMOND METROPOLITAN AUTHORITY, A POLITICAL SUBDIVISION AND PUBLIC BODY CORPORATE OF THE COMMONWEALTH OF VIRGINIA, FOR INGRESS AND EGRESS TO AND FROM THE PROPERTY AND NORTH ARTHUR ASHE BOULEVARD, HERMITAGE ROAD AND ROBIN HOOK ROAD OVER ROADWAYS NOW EXISTING OR MAY HEREAFTER BE RELOCATED OR CONSTRUCTED, BY DEED OF EASEMENT DATED AUGUST 31, 1984, RECORDED SEPTEMBER 7, 1984 IN THE CLERK'S OFFICE, CIRCUIT COURT, CITY OF RICHMOND, VIRGINIA IN DEED BOOK 17, PAGE 56, AS ADOPTED BY ORDINANCE 84-131-125 ON JUNE 25, 1984 AND ORDINANCE NO. 98-51-56, AS AFFECTED BY THE DEED OF AMENDMENT AND PARTIAL RELEASE OF EASEMENT DATED MAY 21, 1998, RECORDED JULY 12, 1998 IN THE CLERK'S OFFICE AFORESAID AS INSTRUMENT NO. 98-15091, AND AS FURTHER AFFECTED BY THE DEED OF RELEASE OF EASEMENT DATED DECEMBER 16, 2014, RECORDED AS INSTRUMENT NO. 140021787. (AS SHOWN HEREON)

LEGAL DESCRIPTION (TITLE COMMITMENT NO. 01262-11129):

PARCEL I:

TENTATIVE LEGAL DESCRIPTION - TO BE COMPLETED UPON RECEIPT OF A SURVEY OF THE PROPERTY TO BE CONVEYED:

ALL THAT CERTAIN PIECE OR PARCEL OF LAND, WITH THE IMPROVEMENTS THEREON AND APPURTENANCES THEREUNTO BELONGING, LYING AND BEING IN THE CITY OF RICHMOND, VIRGINIA, DESIGNATED BY THE CITY ASSESSOR AS TAX MAP NUMBER N0001510013, CONTAINING . ACRES, AS SHOWN ON THE PLAT OF SURVEY MADE BY , DATED , 2024, ENTITLED " , WHICH PLAT IS ATTACHED HERETO AND MADE A PART HEREOF AND TO WHICH PLAT REFERENCE IS HEREBY MADE FOR A MORE PARTICULAR DESCRIPTION OF THE PROPERTY HEREIN CONVEYED.

BEING A PORTION OF THE SAME REAL ESTATE CONVEYED TO THE ECONOMIC DEVELOPMENT AUTHORITY OF THE CITY OF RICHMOND, VIRGINIA BY QUITCLAIM DEED FROM CITY OF RICHMOND, A MUNICIPAL CORPORATION OF THE COMMONWEALTH OF VIRGINIA, DATED JANUARY 29, 2004, RECORDED FEBRUARY 1, 2024 IN THE CLERK'S OFFICE, CIRCUIT COURT, CITY OF RICHMOND, VIRGINIA AS INSTRUMENT NO. 240001521. PREVIOUSLY BEING ALL OR A PORTION OF THE SAME REAL ESTATE CONVEYED TO THE CITY OF RICHMOND, VIRGINIA BY DEED FROM WINFIELD SCOTT AND FANNIE REMSEN SCOTT DATED JULY 20, 1906, RECORDED IN THE CLERK'S OFFICE, CIRCUIT COURT, HENRICO COUNTY, VIRGINIA IN DEED BOOK 191A, PAGE 519, AND BY DEED FROM GOOLD HOYT, GOOLD HOYT AS ATTORNEY IN FACT FOR WINGFIELD S. HOYT, PERCEY S. HOYT, CAMILLA S. HOYT, AND VIRGINIA S. HOYT; GOOLD HOYT, SOLE ACTING EXECUTOR AND TRUSTEE UNDER THE LAST WILL AND TESTAMENT OF GERALDINE S. KANE AND MATTHEY GILMOUR, WIDOWER, DATED JULY 20, 1906, RECORDED IN THE CLERK'S OFFICE, CIRCUIT COURT, HENRICO COUNTY, VIRGINIA IN DEED BOOK 191C, PAGE 503.

FOR INFORMATION ONLY:

NOTE: THERE CURRENTLY DOES NOT EXIST A GOOD LEGAL DESCRIPTION FOR THIS PARCEL OF LAND. THIS AND OTHER LAND WAS ORIGINALLY ACQUIRED IN 1906 AS LARGE ACREAGE PIECES. ORDINANCE 2023-133 PERMITTING THE SALE OF THIS AND OTHER PROPERTY TO THE ECONOMIC DEVELOPMENT AUTHORITY IS ATTACHED TO THE DEED RECORDED AS INSTRUMENT NO. 240001521 AND ALSO ONLY REFERS TO THE PROPERTIES BY ADDRESSES AND ACREAGE, WITH NO OTHER DESCRIPTION PROVIDED. ACCORDING TO THE CITY ASSESSOR'S OFFICE THIS PARCEL, TAX MAP NO. N0001510013 CONTAINS 10.9 ACRES.

PARCEL II:

TERMS AND PROVISIONS AS CONTAINED IN THE DEED OF EASEMENT GRANTED TO THE RICHMOND METROPOLITAN AUTHORITY, A POLITICAL SUBDIVISION AND PUBLIC BODY CORPORATE OF THE COMMONWEALTH OF VIRGINIA, FOR INGRESS AND EGRESS TO AND FROM THE PROPERTY AND NORTH ARTHUR ASHE BOULEVARD, HERMITAGE ROAD AND ROBIN HOOK ROAD OVER ROADWAYS NOW EXISTING OR MAY HEREAFTER BE RELOCATED OR CONSTRUCTED, BY DEED OF EASEMENT DATED AUGUST 31, 1984, RECORDED SEPTEMBER 7, 1984 IN THE CLERK'S OFFICE, CIRCUIT COURT, CITY OF RICHMOND, VIRGINIA IN DEED BOOK 17, PAGE 56, AS ADOPTED BY ORDINANCE 84-131-125 ON JUNE 25, 1984 AND ORDINANCE NO. 98-51-56, AS AFFECTED BY THE DEED OF AMENDMENT AND PARTIAL RELEASE OF EASEMENT DATED MAY 21, 1998, RECORDED JULY 12, 1998 IN THE CLERK'S OFFICE AFORESAID AS INSTRUMENT NO. 98-15091, AND AS FURTHER AFFECTED BY THE DEED OF RELEASE OF EASEMENT DATED DECEMBER 16, 2014, RECORDED AS INSTRUMENT NO. 140021787.

DESCRIPTION OF PARCEL ID: N0001510013 (SURVEYED):

BEGINNING AT AN IRON ROD FOUND, SAID ROD BEING ±220 FEET FROM THE INTERSECTION OF HERMITAGE ROAD AND RHODAMILLER STREET.

THENCE, S 89°45'49" W, A DISTANCE OF 1080.54 FEET TO AN IRON ROD SET;

THENCE, N 49°24'13" W, A DISTANCE OF 201.17 FEET TO AN AXLE FOUND;

THENCE, N 36°38'43" E, A DISTANCE OF 97.60 FEET TO AN IRON ROD SET;

THENCE, S 89°21'17" E, A DISTANCE OF 789.52 FEET TO AN IRON ROD SET;

THENCE, N 00°16'34" W, A DISTANCE OF 312.75 FEET TO AN IRON ROD SET;

THENCE, ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 236.54 FEET, A CENTRAL ANGLE OF 18°34'46", A TANGENT LENGTH OF 38.69 FEET, THE LONG CHORD OF WHICH BEARS N 68°48'24" E FOR A DISTANCE OF 76.37 FEET FOR AN ARC LENGTH OF 76.70 FEET TO AN IRON ROD SET;

THENCE, N 06°36'52" E, A DISTANCE OF 441.82 FEET TO AN IRON ROD FOUND;

THENCE, S 83°23'08" E, A DISTANCE OF 76.00 FEET TO AN IRON ROD FOUND;

THENCE, ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 638.67 FEET, A CENTRAL ANGLE OF 13°10'57", A TANGENT LENGTH OF 73.80 FEET, THE LONG CHORD OF WHICH BEARS S 86°16'04" E FOR A DISTANCE OF 146.62 FEET FOR AN ARC LENGTH OF 146.94 FEET TO AN IRON ROD SET;

THENCE, S 03°30'40" E, A DISTANCE OF 40.00 FEET TO AN IRON ROD SET;

THENCE, S 02°32'36" E, A DISTANCE OF 917.78 FEET TO AN IRON ROD FOUND, SAID ROD BEING THE TRUE AND ACTUAL POINT OF BEGINNING;

SAID PARCEL CONTAINING 470,372 SQUARE FEET OR 10.798 ACRES OF LAND, MORE OR LESS.

SURVEYOR'S CERTIFICATION:

TO: CITY OF RICHMOND PUBLIC WORKS
STEWART TITLE GUARANTEE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8, AND 13 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON NOVEMBER 4, 2023.

DATE OF PLAT OR MAP: JULY 1, 2024

LUKE M. TURNER, LIC. NO. 3304



VICINITY MAP
SCALE: 1" = 2000'

THIS DRAWING PREPARED AT THE
CORPORATE OFFICE
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TEL 804.200.6500 FAX 804.560.1016 www.timmons.com

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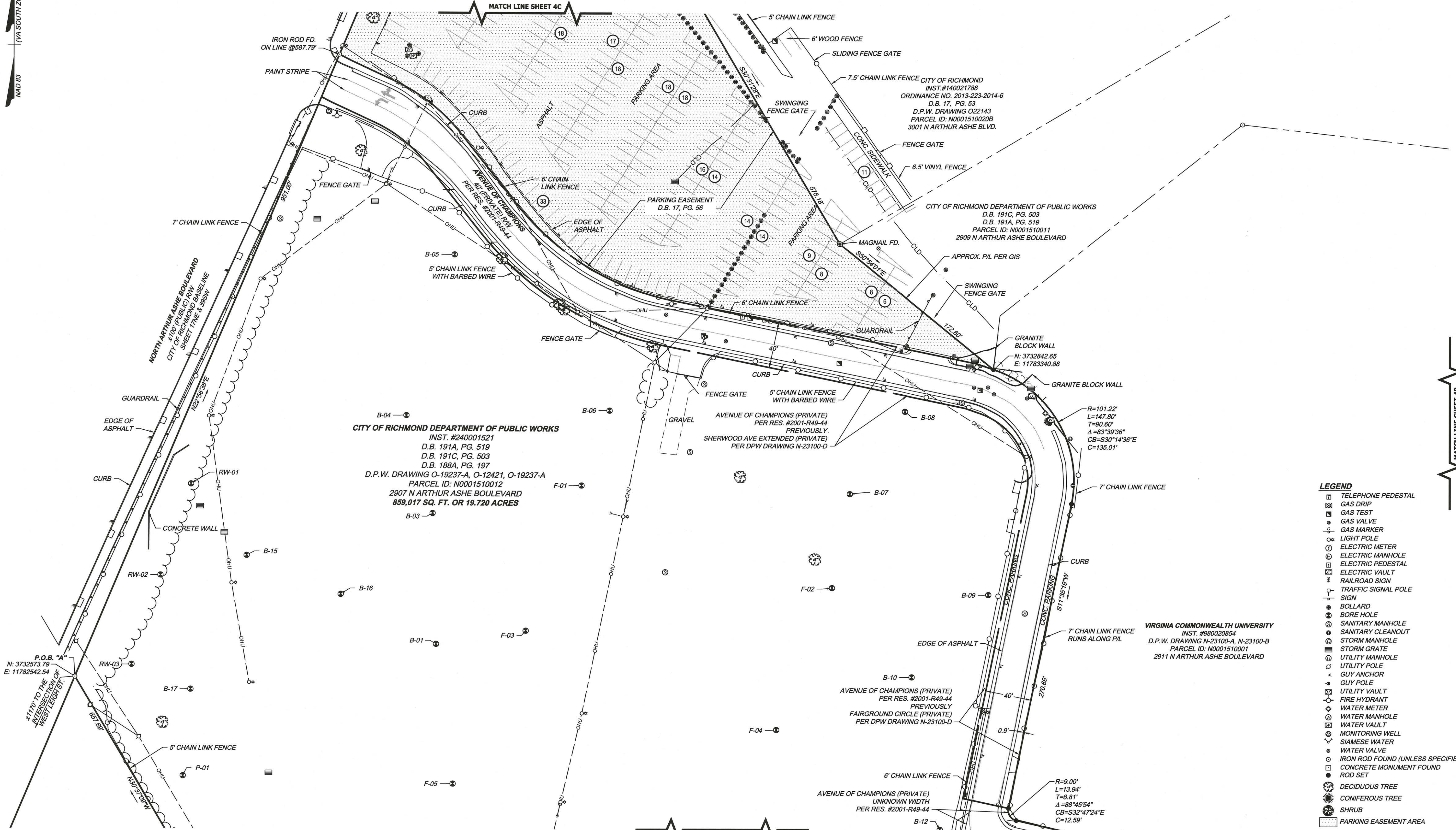
TIMMONS GROUP

ALTA/NSPS LAND TITLE SURVEY
OF A PARCEL ID: N0001510012 &
N0001510013 OWNED BY CITY
OF RICHMOND PUBLIC WORKS

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	236.54'	178.82'	93.93'	43°18'51"	N81°10'26"E	174.59'
C2	236.54'	102.11'	51.86'	24°44'04"	S89°32'11"E	101.32'
C3	236.54'	76.70'	38.69'	18°34'46"	N68°48'24"E	76.37'

CITY OF RICHMOND, VIRGINIA	
Date: JULY 1, 2024	Scale: AS SHOWN
Sheet 1 of 4	J.N.: 57064.044
Drawn by: ZV	Checked by: L.M.T.
Revised Boundary 7-31-24	

Y:\901157064.044-DIAMOND_DISTRICT_ALTA\DWG\57064.044V-XPALTA rev BNDRY 7-30-24.dwg | Plotted on 8/1/2024 7:34 AM | by Zachary Viney



CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	236.54'	178.82'	93.93'	43°18'51"	N81°10'26"E	174.59'
C2	236.54'	102.11'	51.86'	24°44'04"	S89°32'11"E	101.32'
C3	236.54'	76.70'	38.69'	18°34'46"	N68°48'24"E	76.37'

SCALE 1"=40'
0 40' 80'
DPW DRAWING NO. O-29116



**ALTA/NSPS LAND TITLE SURVEY
OF A PARCEL ID: N0001510012 &
N0001510013 OWNED BY CITY
OF RICHMOND PUBLIC WORKS**

CITY OF RICHMOND, VIRGINIA	
Date: JULY 1, 2024	Scale: 1"=40'
Sheet 2 of 4	J.N.: 57064.044
Drawn by: ZV	Checked by: L.M.T.
Revised Boundary 7-31-24	

- LEGEND**
- TELEPHONE PEDESTAL
 - GAS DRIP
 - GAS TEST
 - GAS VALVE
 - GAS MARKER
 - LIGHT POLE
 - ELECTRIC METER
 - ELECTRIC MANHOLE
 - ELECTRIC PEDESTAL
 - ELECTRIC VAULT
 - RAILROAD SIGN
 - TRAFFIC SIGNAL POLE
 - SIGN
 - BOLLARD
 - BORE HOLE
 - SANITARY MANHOLE
 - SANITARY CLEANOUT
 - STORM MANHOLE
 - STORM GRATE
 - UTILITY MANHOLE
 - UTILITY POLE
 - GUY ANCHOR
 - GUY POLE
 - UTILITY VAULT
 - FIRE HYDRANT
 - WATER METER
 - WATER MANHOLE
 - WATER VAULT
 - MONITORING WELL
 - SIAMANESE WATER
 - WATER VALVE
 - IRON ROD FOUND (UNLESS SPECIFIED)
 - CONCRETE MONUMENT FOUND
 - ROD SET
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - SHRUB
 - PARKING EASEMENT AREA

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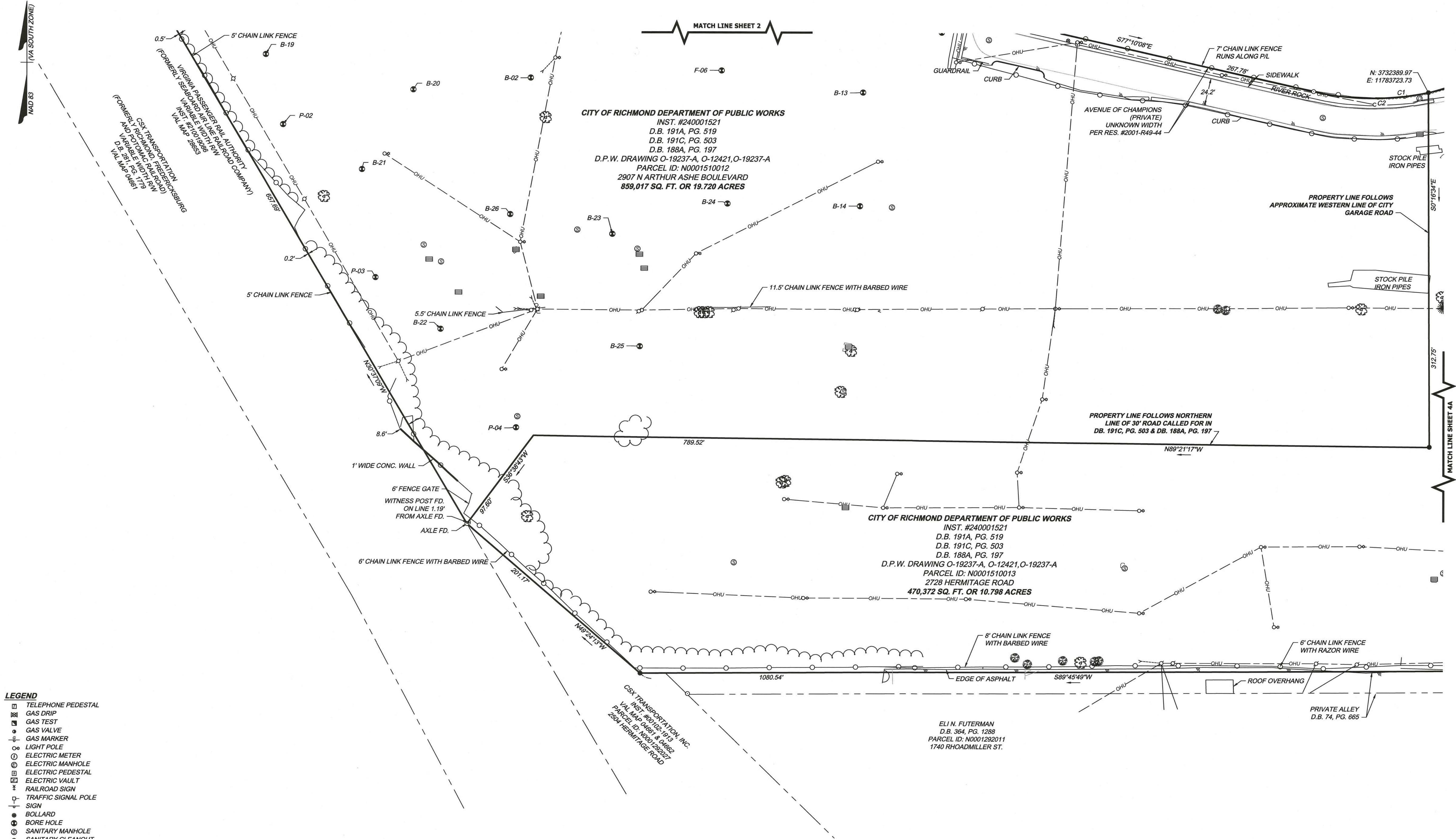
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- LEGEND**
- TELEPHONE PEDESTAL
 - GAS DRIP
 - GAS TEST
 - GAS VALVE
 - GAS MARKER
 - LIGHT POLE
 - ELECTRIC METER
 - ELECTRIC MANHOLE
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 - IRON ROD FOUND (UNLESS SPECIFIED)
 - CONCRETE MONUMENT FOUND
 - ROD SET
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - SHRUB
 - PARKING EASEMENT AREA

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	236.54'	178.82'	93.93'	43°18'51"	N81°10'28"E	174.59'
C2	236.54'	102.11'	51.86'	24°44'04"	S89°32'11"E	101.32'
C3	236.54'	76.70'	38.69'	18°34'46"	N68°48'24"E	76.37'

SCALE 1"=40'

DPW DRAWING NO. O-29116



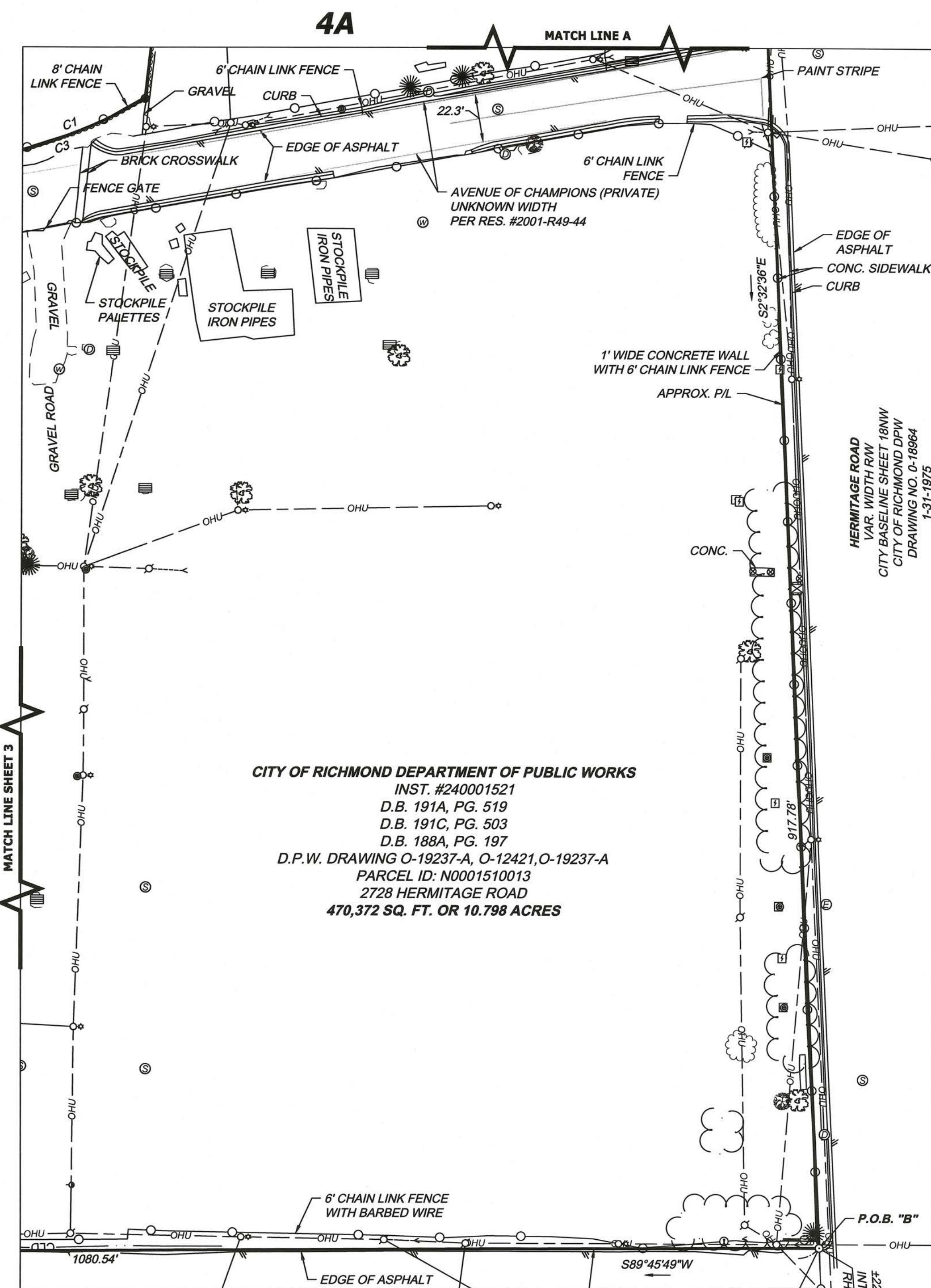
**ALTA/NSPS LAND TITLE SURVEY
OF A PARCEL ID: N0001510012 &
N0001510013 OWNED BY CITY
OF RICHMOND PUBLIC WORKS**

CITY OF RICHMOND, VIRGINIA	
Date: JULY 1, 2024	Scale: 1"=40'
Sheet 3 of 4	J.N.: 57064.044
Drawn by: ZV	Checked by: L.M.T.
Revised Boundary 7-31-24	

TIMMONS GROUP

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THE DIAMOND REDEVELOPMENT SOLAR SITE PLAN

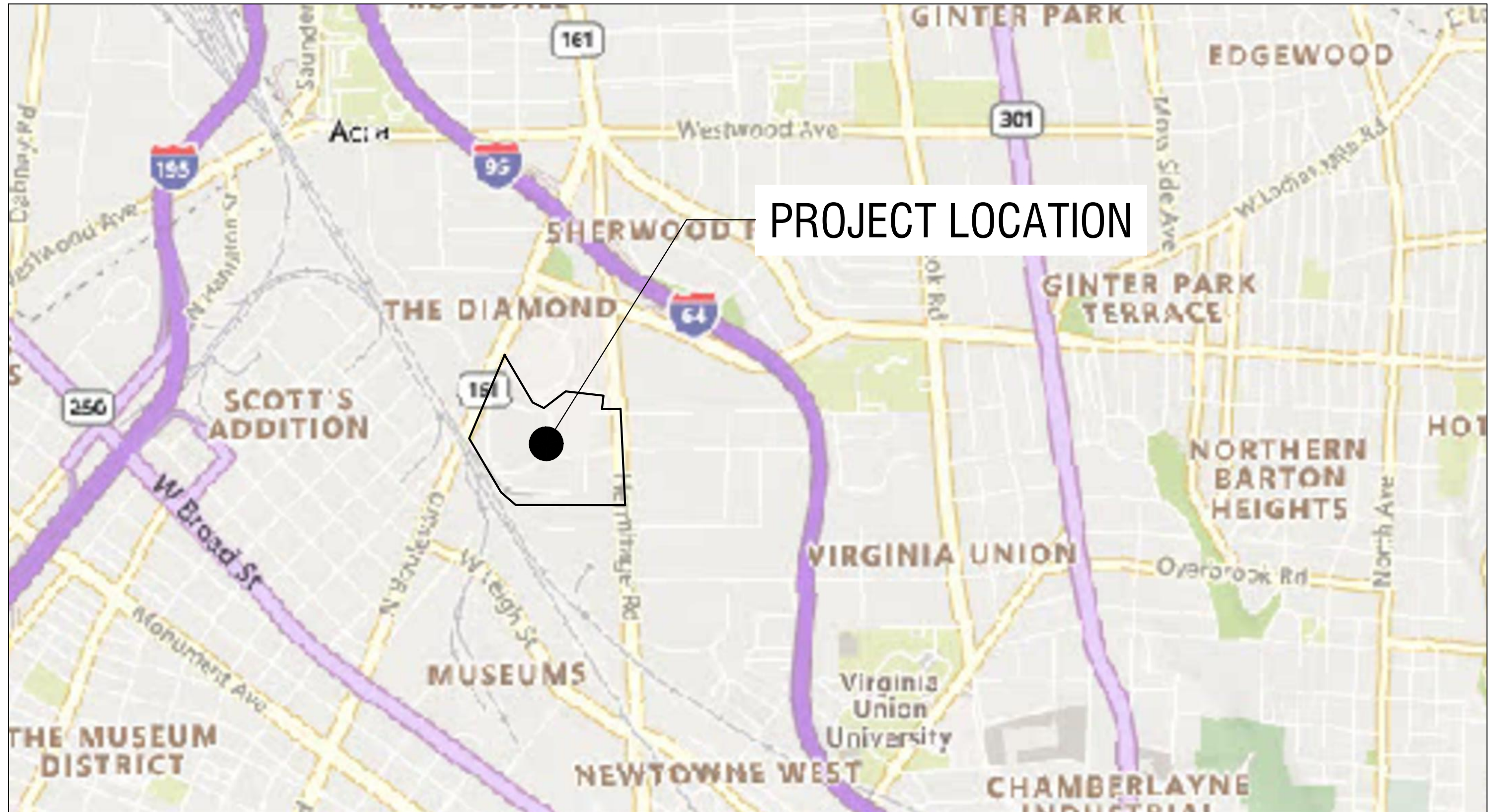
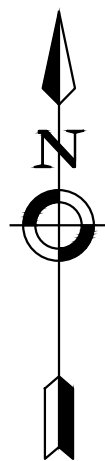
2929 NORTH ARTHUR ASHE BLVD
RICHMOND, VIRGINIA 23220

DRAWING INDEX

- | | | |
|-----|----------|------------------------------------|
| 1. | C000 | COVER SHEET |
| 2. | C100 | OVERALL EXISTING CONDITIONS |
| 3. | C101 | EXISTING CONDITIONS (1 OF 2) |
| 4. | C102 | EXISTING CONDITIONS (2 OF 2) |
| 5. | C200 | OVERALL SOLAR SITE PLAN |
| 6. | C201 | SOLAR SITE PLAN (1 OF 2) |
| 7. | C202 | SOLAR SITE PLAN (2 OF 2) |
| 8. | GF10.100 | COVER SHEET [UNIRAC] |
| 9. | GF10.200 | KEY PLAN |
| 10. | GF10.401 | GRIDFLEX 10 DETAILS |
| 11. | S0.1 | GENERAL NOTES [STRUCTURAL SOLAR] |
| 12. | S1.1 | CANOPY 1 & 2 FOUNDATION PLAN |
| 13. | S1.2 | CANOPY 3 & 4 FOUNDATION PLAN |
| 14. | S1.3 | CANOPY 5 FOUNDATION PLAN |
| 15. | S1.4 | CANOPY 1 & 2 FRAMING PLAN |
| 16. | S1.5 | CANOPY 3 & 4 FRAMING PLAN |
| 17. | S1.6 | CANOPY 5 FRAMING PLAN |
| 18. | S2.1 | CANOPY 1, 2, 3, 4 FRAMING SECTIONS |
| 19. | S2.2 | CANOPY 5 FRAMING SECTION |
| 20. | S2.3 | CANOPY 5 FRAMING SECTION |
| 21. | S3.1 | DETAILS |

ZONING INFORMATION

CODE APPLIED	CITY OF RICHMOND, VA	
WEBSITE	HTTPS://LIBRARY.MUNICODE.COM/VA/RICHMOND/CODES/CODE_OF_ORDINANCES?NODEID=CH3020 (REFER TO CH. 30: ZONING)	
CLASSIFICATION	TOD - 1 TRANSIT ORIENTED NODAL DISTRICT	
SITE USAGE	BASEBALL STADIUM	
	REQUIRED	PROPOSED
FRONT SETBACK MIN.	10 FT	10 FT
FRONT SETBACK MAX.	15 FT	15 FT
SIDE SETBACK	0 FT	0 FT
REAR SETBACK	0 FT	0 FT
MAX HEIGHT RESTRICTION	12 STORIES	30 FT



LOCATION MAP

SCALE: 1"=1000'



DOMINION ENERGY VIRGINIA
120 TREDEGAR STREET
RICHMOND, VA 23219
LABELLA PROJECT NO.: 2242510.001
AUGUST 2025

CONTACT INFORMATION

PROJECT OWNER AND DEVELOPER:

DOMINION ENERGY VIRGINIA
ATTN: MORGAN VICKERY
120 TREDEGAR STREET
RICHMOND, VA 23219
804-221-4738
MORGANVICKERY@DOMINIONENERGY.COM

ELECTRICAL ENGINEER:

LABELLA ASSOCIATES
ATTN: JIM BARNUM
300 STATE ST #201
ROCHESTER, NY 14614
585-454-6110
JBARNUM@LABELLAPC.COM

ARCHITECT:

LABELLA ASSOCIATES
ATTN: MICHAEL MONTGOMERY
400 S TYRON ST, SUITE 1300
CHARLOTTE, NC 28285
704-376-6423
MMONTGOMERY@LABELLAPC.COM

CIVIL ENGINEER:

LABELLA ASSOCIATES
ATTN: JARED PANTELLA, PE
5100 BUCKEYSTOWN PIKE, SUITE 207
FREDERICK, MD 21704
240-617-1858
JPANTELLA@LABELLAPC.COM

PROJECT DATA

PARCEL INFORMATION

APPLICANT	DOMINION ENERGY VIRGINIA
PARCEL ADDRESS	2929 N ARTHUR ASHE BLVD, RICHMOND, VA 23220
PARCEL ID	N0001510012, N0001510013
GPS COORDINATES	37.57005668° N -77.46384185° W
ZONING DISTRICT	M-1 INDUSTRIAL
PARCEL AREA	± 30.62 ACRES
TOTAL DISTURBED AREA	± 19.77 ACRES
TOTAL ONSITE IMPERVIOUS AREA	± 11.70 ACRES
SOURCE OF TOPOGRAPHY	ALTA/NSPS LAND TITLE SURVEY BY TIMMONS GROUP, SIGNED BY LUKE M. TURNER DATED NOVEMBER 8, 2023.
DATUM	HORIZONTAL CONTROL BASED UPON VIRGINIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 1983 VERTICAL DATUM NAVD83



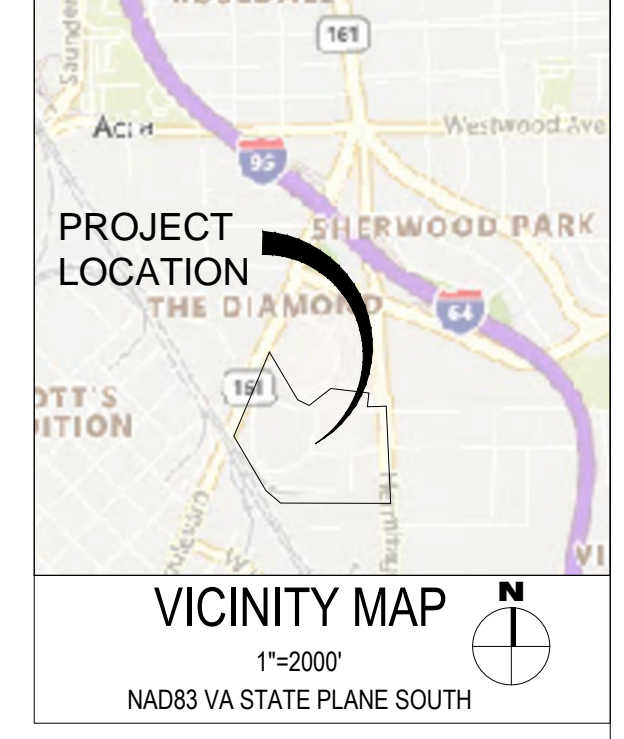
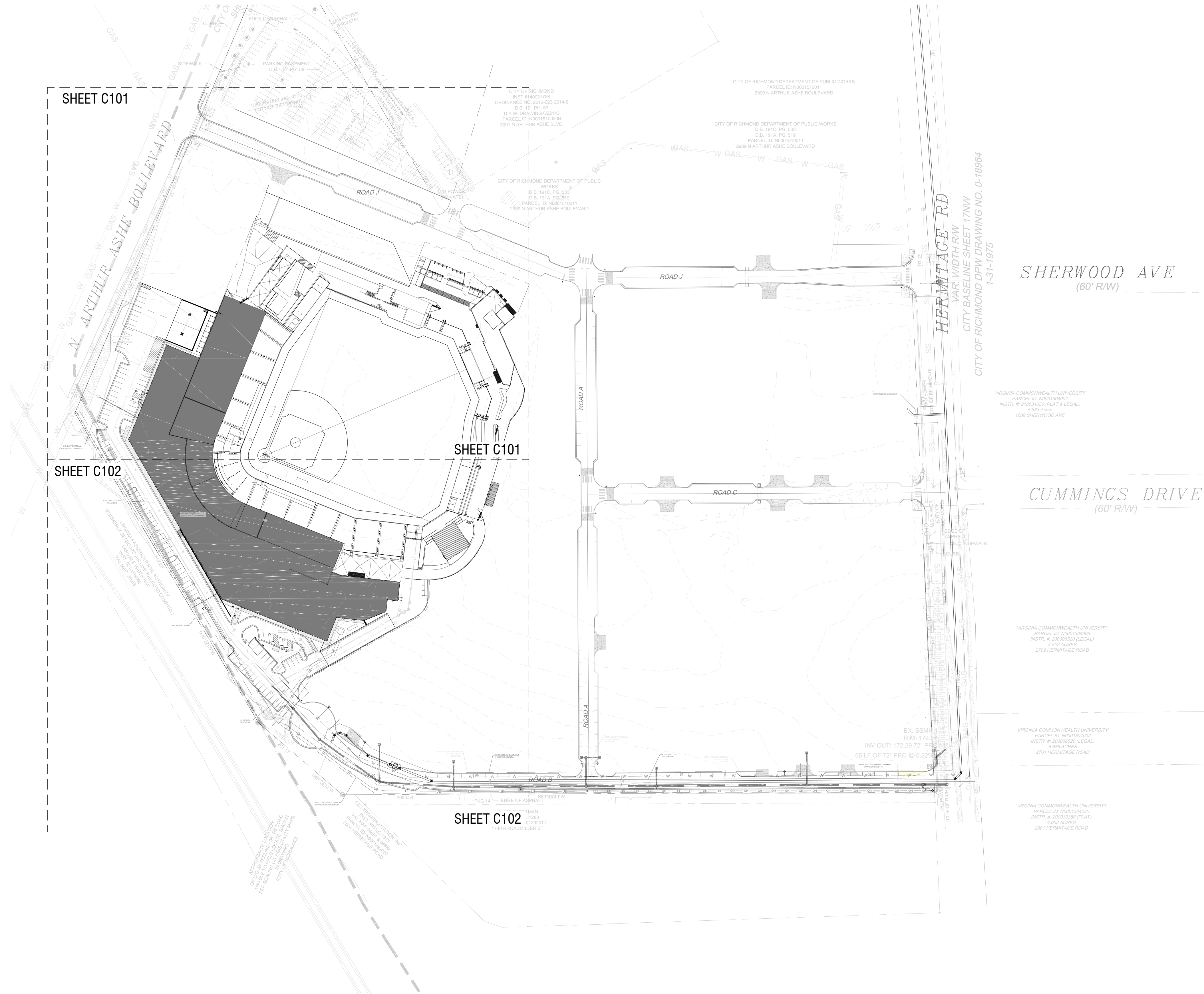
1604 Ownby Lane
Richmond, VA 23220
804-355-4520

labellapc.com

DOMINION ENERGY VIRGINIA
LABELLA PROJECT NO: 2242510.001

THE DIAMOND REDEVELOPMENT
2929 NORTH ARTHUR ASHE BLVD, RICHMOND, VA 23220

ISSUED FOR IFC PERMIT REVIEW
AUGUST 2025



NOT FOR CONSTRUCTION

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DOMINION ENERGY VIRGINIA
120 TREDEGAR ST
RICHMOND, VIRGINIA 23219



THE DIAMOND REDEVELOPMENT
2929 N ARTHUR ASHE BLVD
RICHMOND, VIRGINIA 23220

GENERAL PARCEL DATA

1. PARCEL ID: N0001510012 & N0001510013
2. PARCEL ADDRESS: 2929 N ARTHUR ASHE BLVD, RICHMOND, VA 23220
3. PROPERTY OWNER: ECONOMIC DEVELOPMENT AUTHORITY OF THE CITY OF RICHMOND VA
4. OWNER ADDRESS: 1500 E MAIN ST #400, RICHMOND, VA 23219
5. PARCEL ACREAGE: 30.82 AC
6. ZONING DISTRICT: M-1 INDUSTRIAL

1	08/14/2025	IFC PERMIT REVIEW
NO.	DATE:	DESCRIPTION:

Revisions	
PROJECT NUMBER: 2242510.001	
DRAWN BY: EBP & ELS	
REVIEWED BY: JJP	
ISSUED FOR: IFC PERMIT REVIEW	
DATE: AUGUST 2025	
DRAWING NAME:	

OVERALL EXISTING CONDITIONS

DRAWING NUMBER:

C100

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VIRGINIA
120 TREDEGAR ST
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THE DIAMOND
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2929 N ARTHUR ASHE BLVD
RICHMOND, VIRGINIA 23220

1	08/14/2025	IFC PERMIT REVIEW
NO.	DATE:	DESCRIPTION:

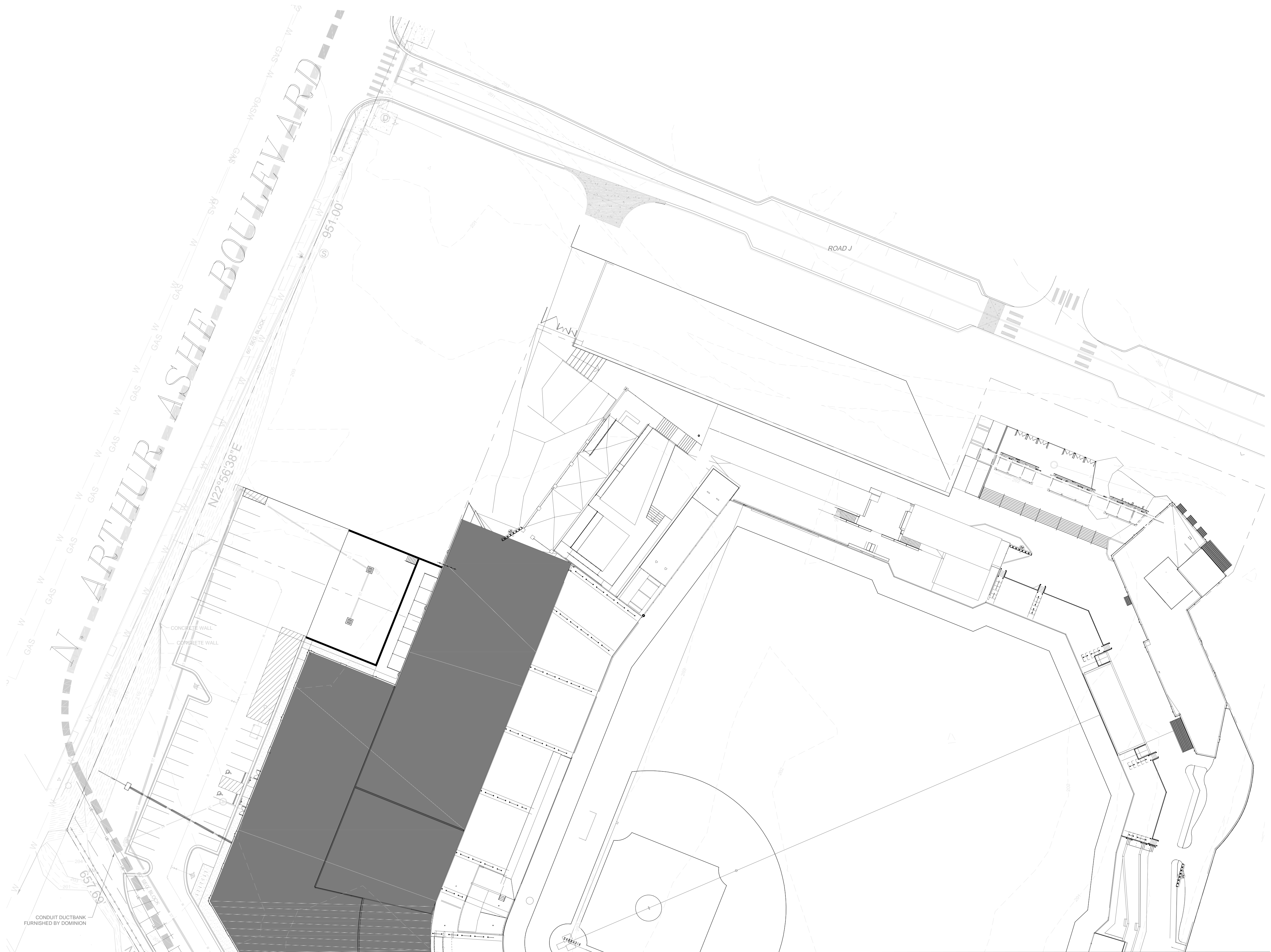
Revisions

PROJECT NUMBER:	2242510.001
DRAWN BY:	EBP & ELS
REVIEWED BY:	JJP
ISSUED FOR:	IFC PERMIT REVIEW
DATE:	AUGUST 2025
DRAWING NAME:	

EXISTING CONDITIONS
(1 OF 2)

DRAWING NUMBER:

C101



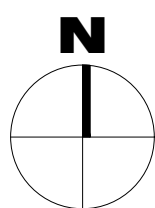
MATCH TO SHEET C102

MATCH TO SHEET C102

1
C101

EXISTING CONDITIONS (1 OF 2)

SCALE: 1" = 40'



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DOMINION ENERGY
VIRGINIA
120 TREDEGAR ST
RICHMOND, VIRGINIA 23219



THE DIAMOND
REDEVELOPMENT
2929 N ARTHUR ASHE BLVD
RICHMOND, VIRGINIA 23220

1	08/14/2025	IFC PERMIT REVIEW
NO.	DATE:	DESCRIPTION:

Revisions

PROJECT NUMBER:	2242510.001
DRAWN BY:	EBP & ELS
REVIEWED BY:	JJP
ISSUED FOR:	IFC PERMIT REVIEW
DATE:	AUGUST 2025
DRAWING NAME:	

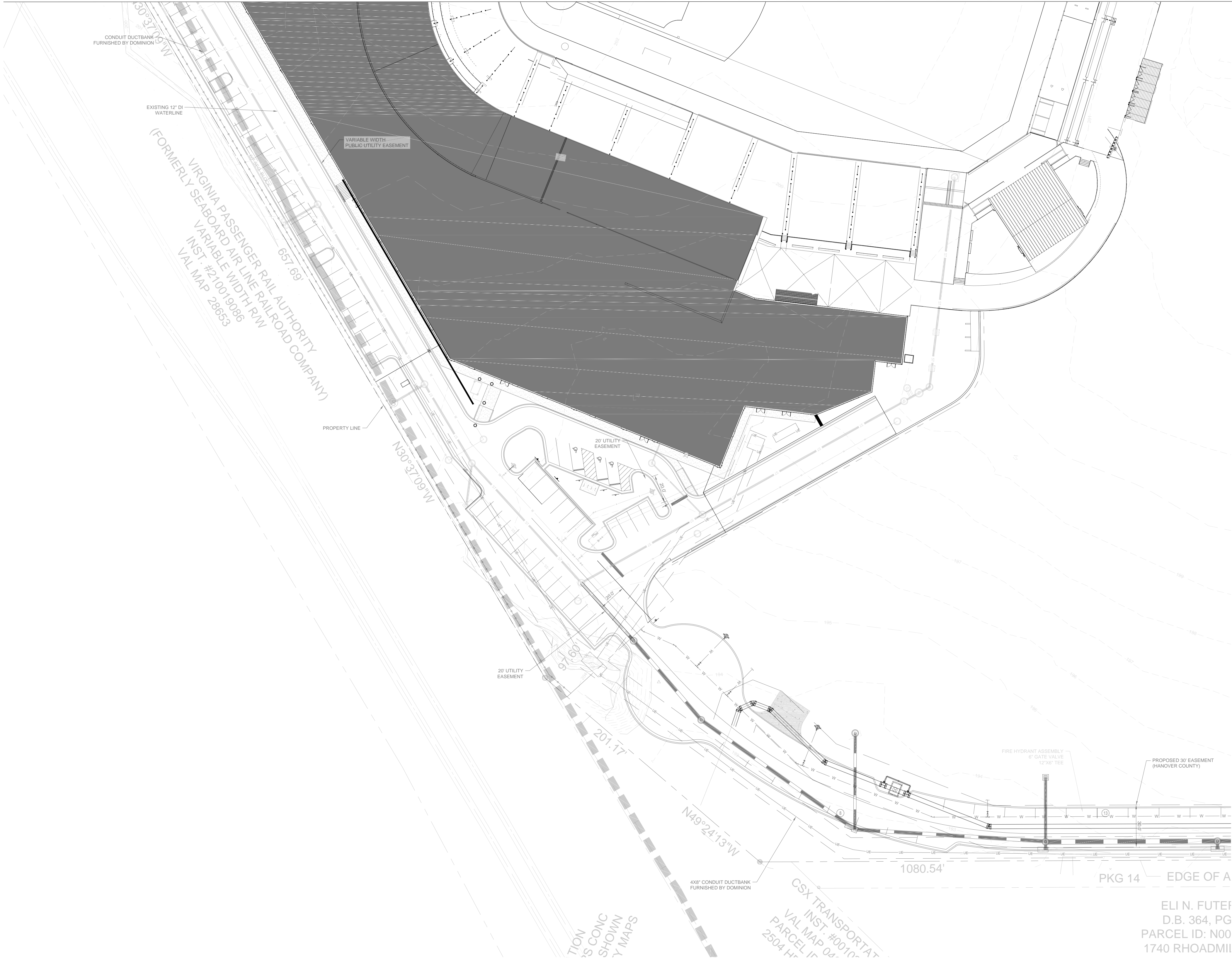
EXISTING CONDITIONS
(2 OF 2)

DRAWING NUMBER:

C102

MATCH TO SHEET C101

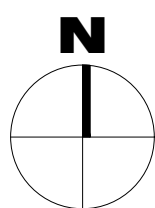
MATCH TO SHEET C101



1
C102

EXISTING CONDITIONS (2 OF 2)

SCALE: 1" = 40'



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RICHMOND, VIRGINIA 23219



THE DIAMOND
REDEVELOPMENT
2929 N ARTHUR ASHE BLVD
RICHMOND, VIRGINIA 23220

1	08/14/2025	IFC PERMIT REVIEW
NO.	DATE:	DESCRIPTION:

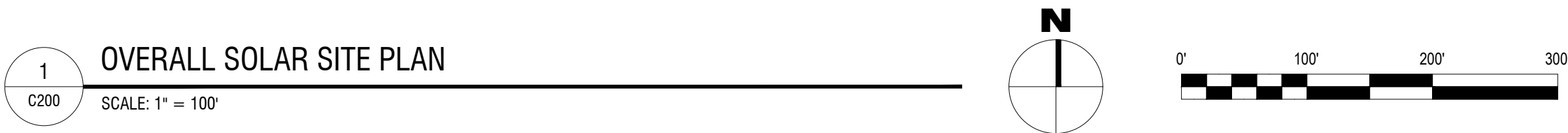
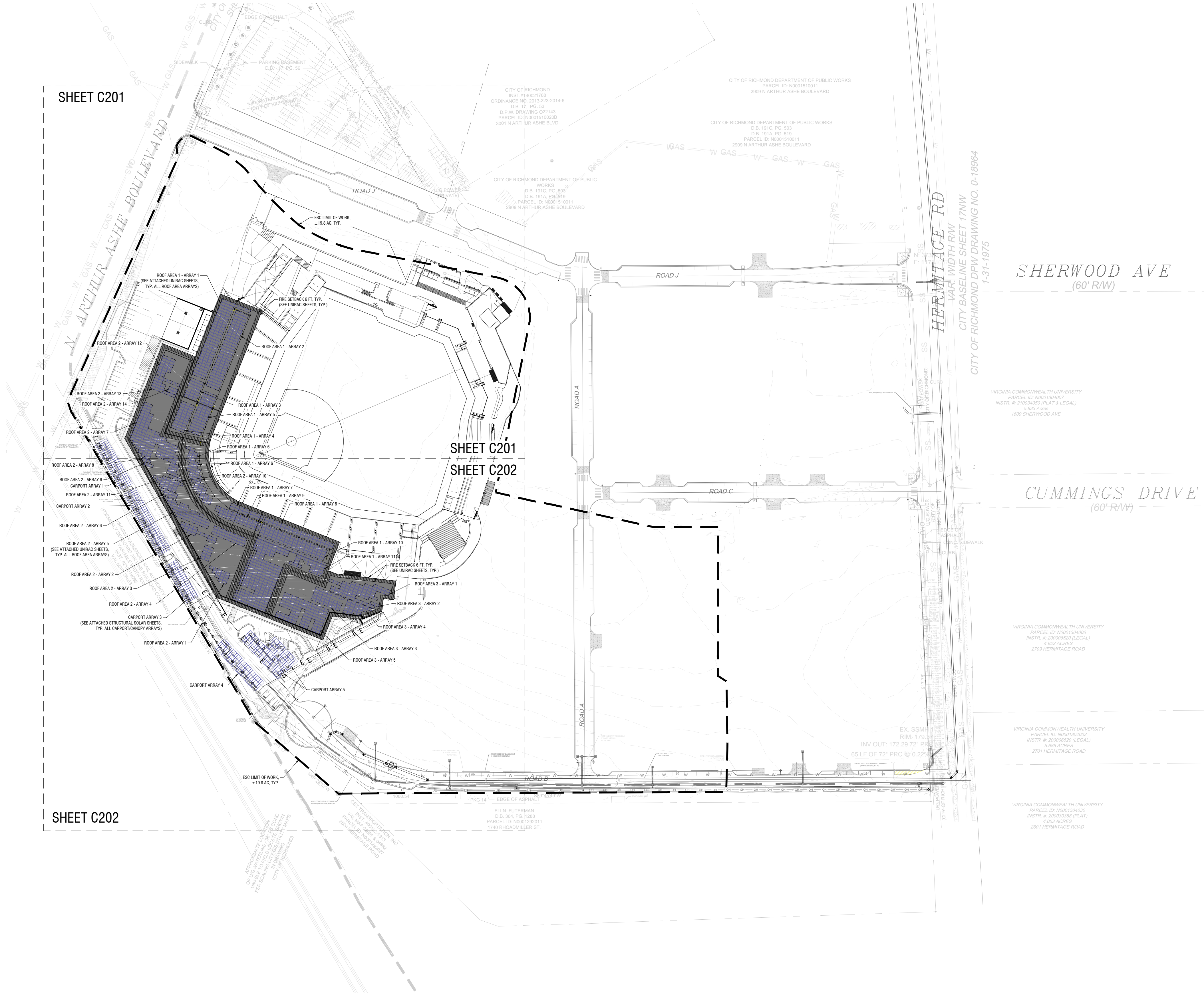
Revisions

PROJECT NUMBER:	2242510.001
DRAWN BY:	EBP & ELS
REVIEWED BY:	JJP
ISSUED FOR:	IFC PERMIT REVIEW
DATE:	AUGUST 2025
DRAWING NUMBER:	

OVERALL SOLAR
SITE PLAN

DRAWING NUMBER:

C200



DOMINION ENERGY
VIRGINIA
120 TREDEGAR ST
RICHMOND, VIRGINIA 23219



THE DIAMOND
REDEVELOPMENT
2929 N ARTHUR ASHE BLVD
RICHMOND, VIRGINIA 23220

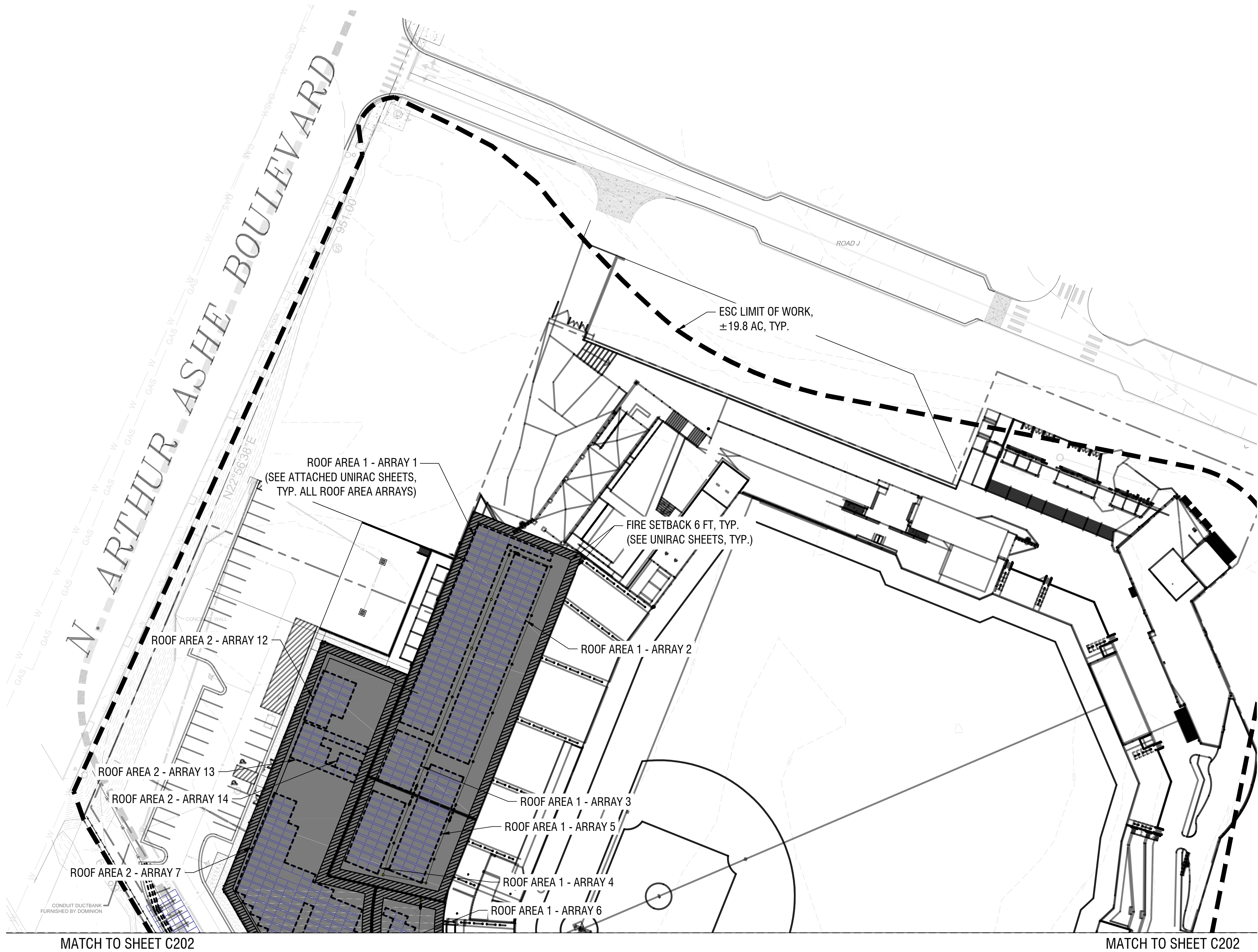
1	08/14/2025	IFC PERMIT REVIEW
NO.	DATE:	DESCRIPTION:
Revisions		

PROJECT NUMBER:	2242510.001
DRAWN BY:	EBP & ELS
REVIEWED BY:	JJP
ISSUED FOR:	IFC PERMIT REVIEW
DATE:	AUGUST 2025
DRAWING NAME:	

SOLAR SITE PLAN
(1 OF 2)

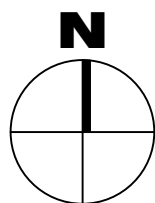
DRAWING NUMBER:

C201



1
C201

SOLAR SITE PLAN (1 OF 2)
SCALE: 1" = 40'



NOT FOR CONSTRUCTION

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DOMINION ENERGY
VIRGINIA
120 TREDEGAR ST
RICHMOND, VIRGINIA 23219



THE DIAMOND
REDEVELOPMENT
2929 N ARTHUR ASHE BLVD
RICHMOND, VIRGINIA 23220

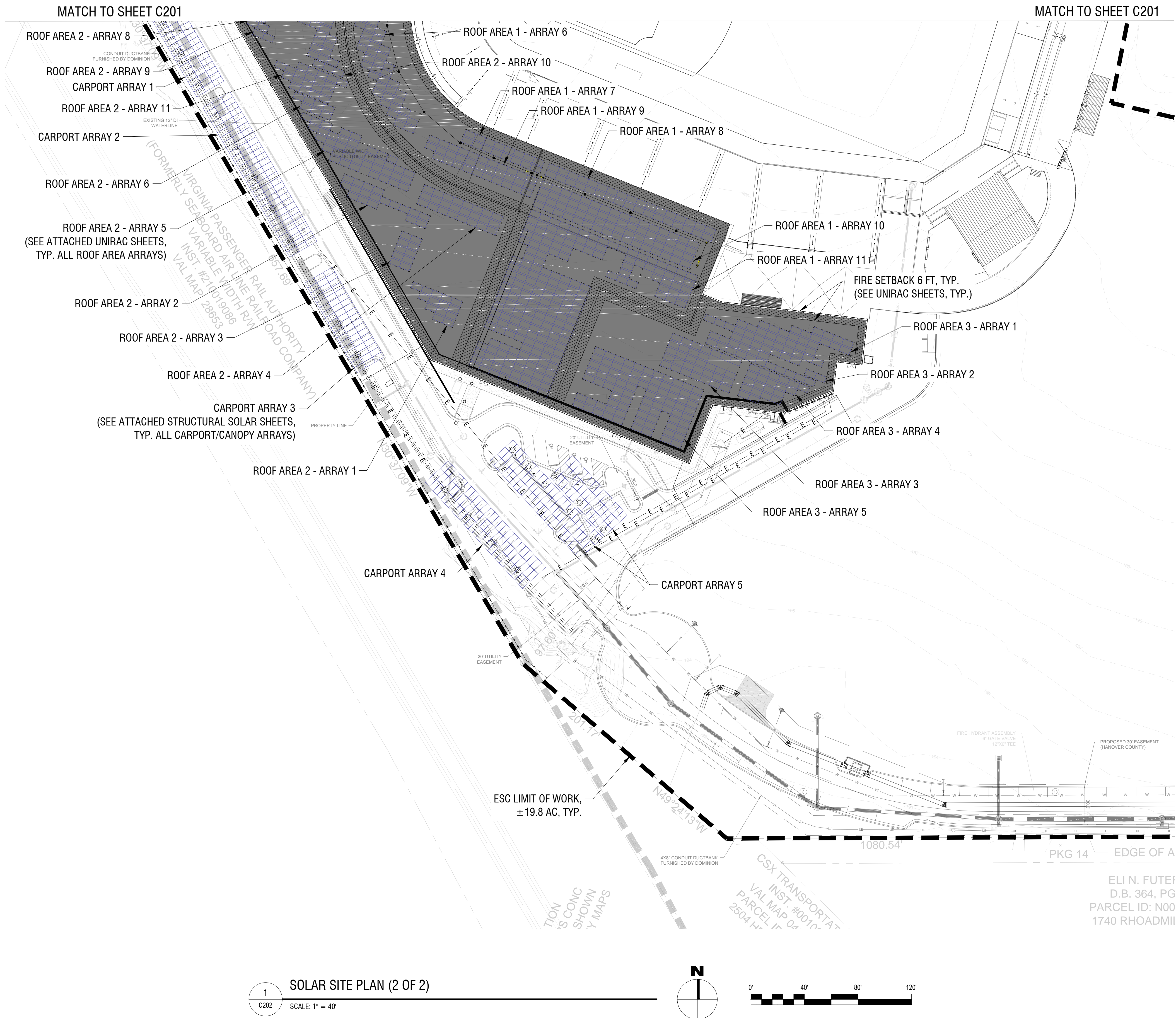
1	08/14/2025	IFC PERMIT REVIEW
NO.	DATE:	DESCRIPTION:
Revisions		

PROJECT NUMBER:	2242510.001
DRAWN BY:	EBP & ELS
REVIEWED BY:	JJP
ISSUED FOR:	IFC PERMIT REVIEW
DATE:	AUGUST 2025
DRAWING NAME:	

SOLAR SITE PLAN
(2 OF 2)

DRAWING NUMBER:

C202



GENERAL NOTES:

1.

ALL CONSTRUCTION FOR UNIRAC'S 'ROOF MOUNT' (RM) RACKING SYSTEM SHALL CONFORM TO THE CODES SHOWN IN THE RM DESIGN CRITERIA TABLE BELOW. LOCAL JURISDICTION AMENDMENTS TO THE CODE MUST BE TAKEN INTO CONSIDERATION.
2.

WHENEVER THE TERM "CONTRACTOR" IS USED IN THE CONSTRUCTION DOCUMENT, IT SHALL BE DEFINED TO MEAN THE GENERAL CONTRACTOR AND ANY SUB-CONTRACTOR COLLECTIVELY AS APPLICABLE. AND AS REQUIRED.
3.

THE CONTRACT "STRUCTURAL RACKING" DRAWINGS REPRESENT THE FINISHED STRUCTURE. UNIRAC AND THE ENGINEER OF RECORD WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION.
4.

UNIRAC AND THE ENGINEER OF RECORD WILL NOT BE RESPONSIBLE FOR CONSTRUCTION SITE SAFETY OR SAFETY PRECAUTIONS AND PROGRAMS INCIDENT HERETO.
5.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ENSURE THAT ALL WORK IS IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY STRUCTURAL INSPECTION/OBSERVATION PROVIDED BY OTHERS (INCLUDING UNIRAC AND THE ENGINEER OF RECORD) DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY. ANY DEVIATION FROM THE CONTRACT DOCUMENTS THAT IS ENCOUNTERED AT A LATER DATE AND IS DECLARED TO BE SIGNIFICANT BY UNIRAC AND THE ENGINEER OF RECORD SHALL BE CORRECTED BY THE CONTRACTOR (AT THE CONTRACTOR'S EXPENSE). ANY INDIVIDUALS FROM UNIRAC OR THE ENGINEER OF RECORD'S OFFICE PERFORMING SITE VISITS OR STRUCTURAL OBSERVATIONS ARE NOT AUTHORIZED TO DIRECT OR APPROVE ANY CHANGES FROM THE CONTRACT DOCUMENTS OR STOP AND/OR DELAY THE WORK.
6.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE SITE CONDITIONS WITH THE DRAWING PRIOR TO BIDDING AND THE START OF CONSTRUCTION. ANY CONFLICTS, DISCREPANCIES, OR OMISSIONS SHALL BE RESOLVED WITH UNIRAC AND THE ENGINEER OF RECORD PRIOR TO PROCEEDING. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS SHALL BE USED OR WHERE NO DIMENSION IS PROVIDED, CONSULT WITH UNIRAC FOR CLARIFICATION BEFORE PROCEEDING.
7.

WHERE ANY DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, STRUCTURAL NOTES AND SPECIFICATIONS, THE GREATER (MOST CONSERVATIVE) REQUIREMENTS SHALL GOVERN. WHERE NO SPECIFIC DETAIL IS SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT. IF THERE IS NO SIMILAR WORK CONSTRUCTION SHALL CONFORM TO INDUSTRY STANDARDS. CONTRACTOR MUST INFORM UNIRAC OF ANY DISCREPANCIES.
8.

ANY EQUIPMENT OR CONDUIT BEING SUPPORTED BY OR SUSPENDED FROM THE RACKING STRUCTURE SHALL BE COORDINATED WITH UNIRAC AND THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO PURCHASE AND INSTALLATION OF EQUIPMENT OR CONDUIT.
9.

ASTM SPECIFICATIONS ON THE DRAWINGS SHALL BE OF THE LATEST ASTM STANDARD SPECIFICATION OR ASTM STANDARD ADOPTED BY THE SITE JURISDICTION.
10.

ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF A PROFESSIONAL CIVIL OR STRUCTURAL ENGINEER REGISTERED IN THE STATE OF THE LOCAL JURISDICTION.
11.

THE FOLLOWING DESIGN CRITERIA IS EXCLUDED FROM DESIGN: FLOOD LOADING, DEBRIS LOADING, DYNAMIC ANALYSIS, ACTS OF GOD (TORNADO, HURRICANE, WATER INUNDATION LOADING, ETC.), AND DYNAMIC LOADING FROM SEISMIC EVENTS AND CONDITIONS.
12.

THE MINIMUM DISTANCE BETWEEN ROOF EDGE AND MODULES OR RM RACKING SYSTEM MUST BE 4 FT UNLESS NOTED OTHERWISE IN THE UNIRAC ENGINEERING REPORT.
13.

UNIRAC IS NOT RESPONSIBLE FOR THE ORIGINAL BUILDING STRUCTURE. CONSULT WITH A LICENSED PROFESSIONAL ENGINEER IN THE JURISDICTION OF THE PROJECT TO ENSURE THE EXISTING BUILDING IS CAPABLE OF HANDLING ADDITIONAL LOAD FROM THE RM STRUCTURE.

14.

IN THE EVENT THAT THE ARRAY IS DISPLACED FOR ANY REASON, THE ARRAY SHALL BE REPOSITIONED INTO ITS ORIGINAL DESIGN LOCATION SO AS TO ENSURE THAT PROPER SEISMIC AND FIREFIGHTING ACCESS CLEARANCES AND SEPARATIONS ARE MAINTAINED, IN ADDITION TO ELECTRICAL WIRING SEISMIC SLACK REQUIREMENTS.
15.

THESE GENERAL NOTES APPLY TO ALL SHEETS IN THIS PACKAGE.

SOLAR DESIGN:

UNIRAC IS NOT THE SOLAR DESIGN ENGINEER OF RECORD AND IS NOT RESPONSIBLE FOR ANY SOLAR DESIGN, OUTPUT EFFICIENCIES, SHADING, ETC. IT IS THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO CONFIRM THAT THE LOCATION OF THE RACKING/MODULES DOES NOT INTERFERE WITH OR BECOME SHADED BY OBSTRUCTIONS.

ELECTRICAL DESIGN:

UNIRAC IS NOT THE ELECTRICAL ENGINEER OF RECORD AND IS NOT RESPONSIBLE FOR THE ELECTRICAL DESIGN FOR THIS PROJECT. THE UNIRAC SYSTEM IS CERTIFIED TO UL-2703 WHEN PROPERLY INSTALLED. SEE THE RM INSTALLATION GUIDE FOR MORE DETAIL.

MATERIAL MANAGEMENT:

1.

PRIOR TO INSTALLATION, ALL MATERIALS MUST BE STORED PROPERLY. THIS MEANS MATERIALS REMAINING IN ONE PLACE FOR MORE THAN ONE WEEK MUST BE IN OPEN AIR CONDITIONS (I.E. UP AND ABOVE THE GROUND AND WATER TABLE). IF TARPS OR OTHER PROTECTIVE COVERS ARE USED, THEN ENDS SHALL BE LEFT OPEN FOR VENTILATION. TIGHT FITTING COVERINGS ARE NOT RECOMMENDED SINCE THEY CAN TRAP MOISTURE.
2.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND PROVIDE ALL MEASURES NECESSARY TO PROTECT THE RACKING SYSTEM FROM THE POINT OF UNIRAC DELIVERY THROUGHOUT THE COMPLETION OF CONSTRUCTION.

GRIDFLEX STEEL & ALUMINUM COMPONENTS:

1.

ALL STEEL GRIDFLEX RAILS ARE MANUFACTURED USING 23 GAUGE ASTM A1046 GRADE 80 STEEL WITH ZM60 ZINC-ALUMINUM-MAGNESIUM COATING
2.

ALL STEEL GRIDFLEX BALLAST BLOCK RAILS ARE MANUFACTURED USING 26 GAUGE ASTM A1046 GRADE 50 STEEL WITH ZM60 ZINC-ALUMINUM-MAGNESIUM COATING
3.

ALL STEEL GRIDFLEX WIND DEFLECTORS ARE MANUFACTURED USING 26 GAUGE ASTM A792 GRADE 50 STEEL WITH AZ50 ALUMINUM-ZINC COATING
4.

ALL NORTH CLAMPS ARE MANUFACTURED USING 6061-T6 OR 6005A-T61 ALUMINUM EXTRUSION
5.

ALL SOUTH CLAMPS ARE MANUFACTURED USING 17 GAUGE ASTM A792 GRADE 80 STEEL WITH AZ50 ALUMINUM-ZINC COATING

HARDWARE & MISC:

1.

ALL 1/2" - 20 X 0.5" HEX HEAD BOLTS ARE MANUFACTURED USING 18-8 STAINLESS STEEL.
2.

ALL 3/8" FLAT WASHERS 1" OD, .125 THICK ARE MANUFACTURED USING 18-8 STAINLESS STEEL.
3.

ALL 1/4" RIVET HEX NUTS ARE MANUFACTURED USING 18-8 STAINLESS STEEL.
4.

ROOF PADS ARE MANUFACTURED USING SANTOPRENE INJECTION MOLDING

BALLAST BLOCK (CONCRETE MASONRY UNIT (CMU)):

1.

INSTALLER IS RESPONSIBLE FOR PROCURING THE BALLAST BLOCKS (CMU) AND VERIFYING THE REQUIRED MINIMUM WEIGHT NEEDED FOR THIS DESIGN. CMU TO COMPLY WITH ASTM STANDARD SPECIFICATION FOR CONCRETE ROOF PAVERS DESIGNATION C1491 OR C90 WITH AN INTEGRAL WATER REPELLANT SUITABLE FOR THE CLIMATE IT IS PLACED.

- IT IS RECOMMENDED THAT THE BLOCKS ARE INSPECTED PERIODICALLY FOR ANY SIGNS OF DEGRADATION. IF DEGRADATION OF THE BLOCK IS OBSERVED, THE BLOCK SHOULD IMMEDIATELY BE REPLACED.
2.

ACTUAL BLOCK DIMENSIONS ARE 3/8" LESS THAN NOMINAL DIMENSIONS.
3.

THE CMU BALLAST BLOCK SHOULD HAVE NOMINAL DIMENSIONS OF 4'X8'X16".

TORQUE REQUIREMENTS

- 1/4" Ø STAINLESS STEEL HARDWARE FOR ALL CONNECTIONS EXCEPT ATTACHMENTS = 12 FT–LBS
- 5/16" Ø STAINLESS STEEL HARDWARE FOR ATTACHMENT CLAMP CONNECTION TO STRUT = 20 FT–LBS
- 5/16" Ø STAINLESS STEEL HARDWARE FOR ATTACHMENT CLAMP SIDE BOLTS = 20 FT–LBS
- 3/8" Ø STAINLESS STEEL HARDWARE FOR ATTACHMENT CLAMP TO ROOF ATTACHMENT = 30 FT–LBS

DESIGN CRITERIA

BUILDING CODE	ASCE 7-16
OCCUPANCY/RISK CATEGORY	III
WIND SPEED (MPH)	120
WIND EXPOSURE	C
GROUND SNOW LOAD (PSF)	20
ROOF-1 HEIGHT(FT)	36
ROOF-2&3 HEIGHT(FT)	21
PARAPET-1 HEIGHT(IN)	0
PARAPET-2&3 HEIGHT(IN)	32
ROOF-1,2&3 TYPE	TPO
SEISMIC S _s	0.245
SEISMIC S _i	0.056
SEISMIC S _{Ds}	0.262
SEISMIC S _{D1}	0.09
SITE ELEVATION ABOVE MSL (FT)	204
SEISMIC DESIGN CATERGORY	B

MODULE SPECIFICATIONS

MANUFACTURER	TRINA SOLAR
MODEL	TSM-NEG21C.20
LENGTH (IN)	93.86
WIDTH (IN)	51.30
FRAME THICKNESS (IN)	1.30
WEIGHT (LBS)	84.40
OUTPUT (W)	720

SHEET INDEX

GF10.100	COVER SHEET
GF10.200	KEY PLAN
GF10.301 - GF10.308	ARRAY LAYOUTS
GF10.401 - GF10.403	GRIDFLEX DETAILS
GF10.404	BLOCK CONFIGURATION
GF10.405 - GF10.410	PART DETAILS
GF10.500 - GF10.501	ATTACHMENT DETAILS

L1 & L2 DIMENSIONS

L1 (IN)	52.47
L2 (IN)	41.64

PROJECT OVERVIEW

PROJECT SIZE (KW DC)	794.16
MODULE QUANTITY	1103

ENGINEERING OUTPUT - GRIDFLEX

PRODUCT LINE	GRIDFLEX 10
ROW SPACING (IN)	13
AVERAGE WEIGHT TO ROOF (PSF)	6.95
TOTAL ARRAY AREA (FT ²)	43740
TOTAL WEIGHT ON ROOF (LBS)	303985.59
TOTAL WEIGHT OF RACKING (LBS)	21214
TOTAL WEIGHT OF MODULES (LBS)	93093
TOTAL WEIGHT OF BALLAST (LBS)	186336
TOTAL ATTACHMENT KIT WEIGHT (LBS)	3342.59

ARRAY PARTS LIST - GRIDFLEX 10

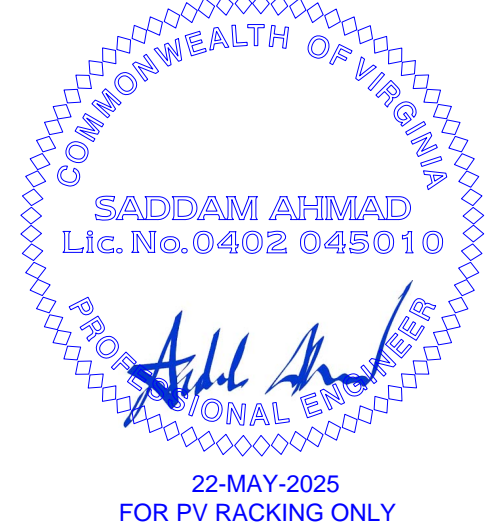
PART NUMBER	DESCRIPTION	QUANTITY
380020	GF10 SR, MW 45-52"	476
380200	GF10 NR	476
380110	GF10 MR, MW 45-52", RS 10/13"	1730
380051	GF10 RAIL STIFFENER, MW 45-52"	170
380440	GF10 WIND DEFLECTOR 92-97"	1356
380405	GF10 WIND DEF END BRACKET	516
380930	GF10 HARDWARE KIT	122
380601	GF10 NORTH CLMP ASSY	2206
380700	GF10 SOUTH CLMP ASSY	2206
380300	GF10 BALLAST RAIL	4483
380301	GF10 BALLAST RAIL BRACE	301
310999	FLASHLOC RM KIT	231
ES20501	B22 GALVANIZED STRUT 10'	116
360250	GRIDFLEX ATT CONNECTION KIT	231
380920	GF10 WIRE MANAGEMENT H/R	558
380900	GF10 WIRE MANAGEMENT CLIP	3309
380800	ROOF PAD GRIDFLEX 10	4888
GFSPACE1	GRIDFLEX SPACER TOOL KIT	36
USER SUPPLIED	BALLAST BLOCK	5823



3001 N ARTHUR ASHE BLVD
RICHMOND, VA 23220, USA



ENGINEER'S STAMP



REV	DATE	DESCRIPTION	REVISIONS							
			CHK	DRW	RSU	PP	GV	RS	GN	PP
			RS	SSC	SL	MR	GJ	MR	GJ	SK
			CD	CD	CD	CD	CD	CD	CD	CD
0	02/18/2025	INITIAL RELEASE								
A	03/11/2025	LAYOUT CHANGE								
B	03/25/2025	LAYOUT REVISED								
C	03/29/2025	LAYOUT REVISED								
D	04/02/2025	UPDATED THE UPLIFT								
E	04/23/2025	LAYOUT REVISED								
F	05/03/2025	REVISED LOCATION IN COVER SHEET								
G	05/20/2025	REVISION								

FOR

LABELLA
ENGINEERING

PROJECT

RICHMOND BALLPARK
ROOFTOP PV ARRAYS

3001 N ARTHUR ASHE BLVD
RICHMOND, VA 23220, USA

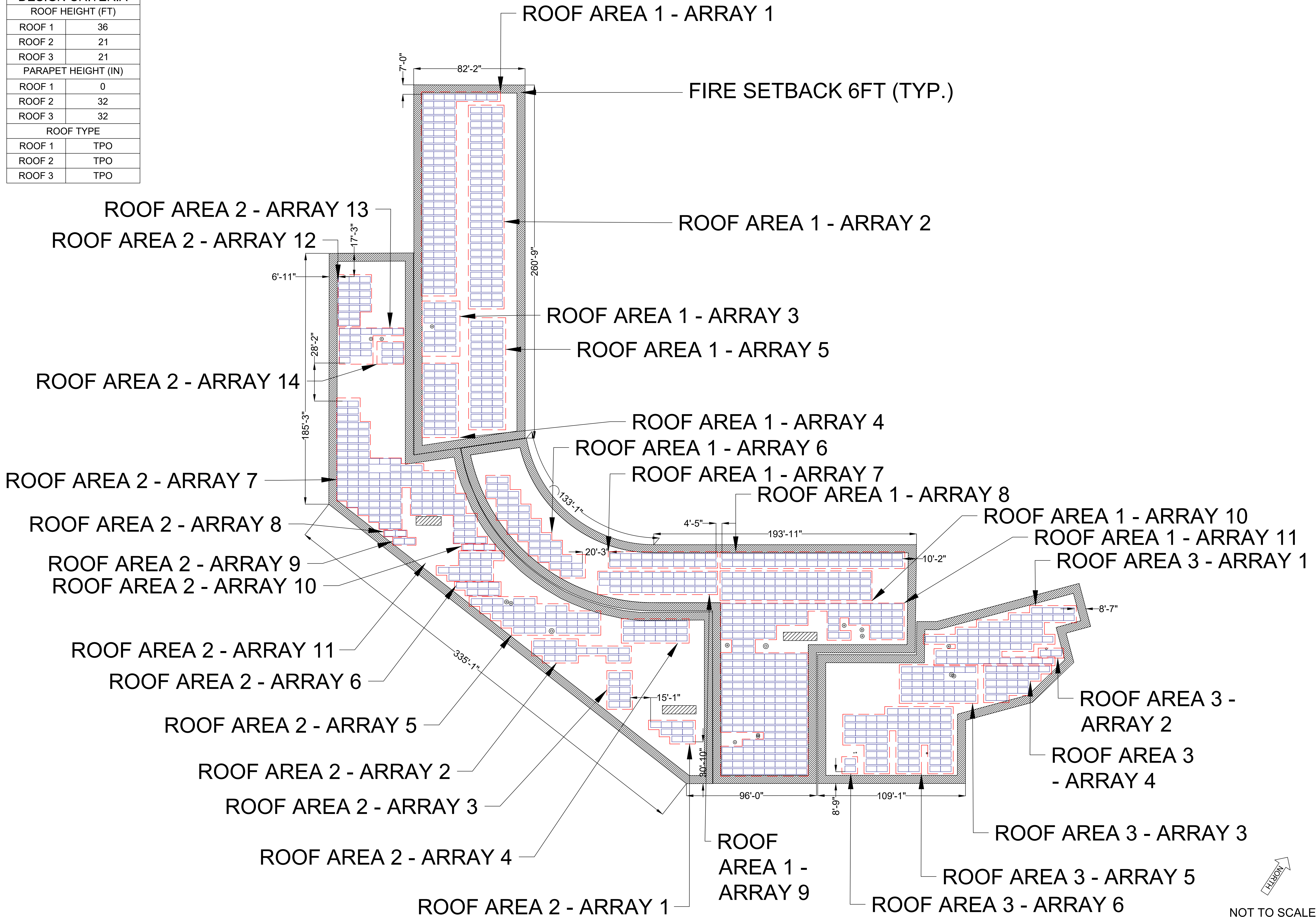
TITLE

COVER
SHEET

SHEET

GF10.100

DESIGN CRITERIA	
ROOF HEIGHT (FT)	
ROOF 1	36
ROOF 2	21
ROOF 3	21
PARAPET HEIGHT (IN)	
ROOF 1	0
ROOF 2	32
ROOF 3	32
ROOF TYPE	
ROOF 1	TPO
ROOF 2	TPO
ROOF 3	TPO





1411 BROADWAY BOULEVARD NE
ALBUQUERQUE, NEW MEXICO, USA, 87102
WWW.UNIRAC.COM

ENGINEER'S STAMP



22-MAY-2025
FOR PV RACKING ONLY

REVISIONS		CHK	RSU	PP	GV	RS	GN	PP	RS
DRW	SSC	SL	MR	GJ	MR	GJ	SK	CD	
REV	DATE	DESCRIPTION	INITIAL RELEASE	LAYOUT CHANGE	LAYOUT REVISED	LAYOUT REVISED	UPDATED THE UPLIFT	LAYOUT REVISED	REVISED LOCATION IN COVER SHEET
0	02/18/2025								
A	03/11/2025								
B	03/25/2025								
C	03/29/2025								
D	04/02/2025								
E	04/23/2025								
F	05/03/2025								
G	05/20/2025								

FOR

LABELLA
ENGINEERING

PROJECT

RICHMOND BALLPARK
ROOFTOP PV ARRAYS

3001 N ARTHUR ASHE BLVD
RICHMOND, VA 23220, USA

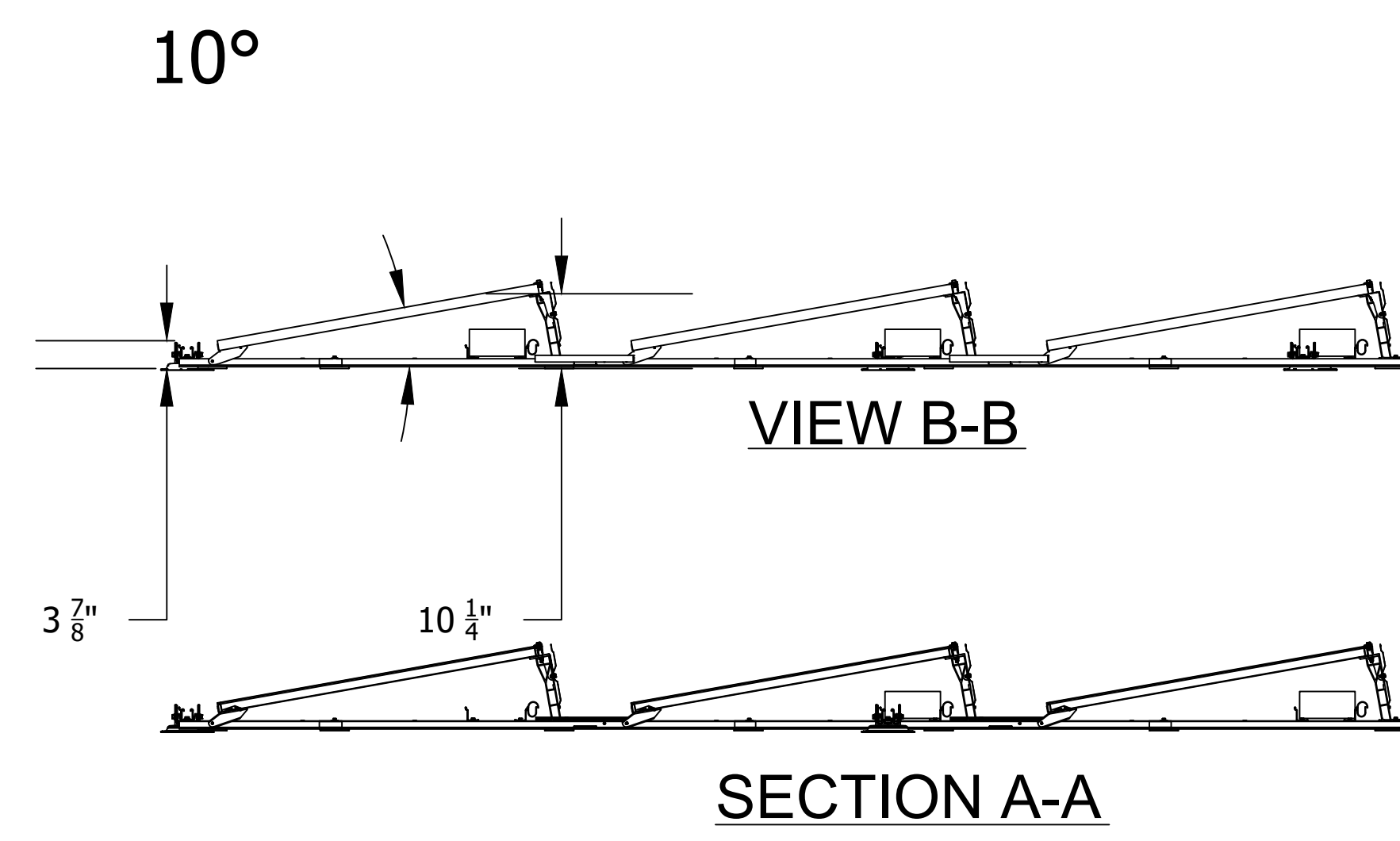
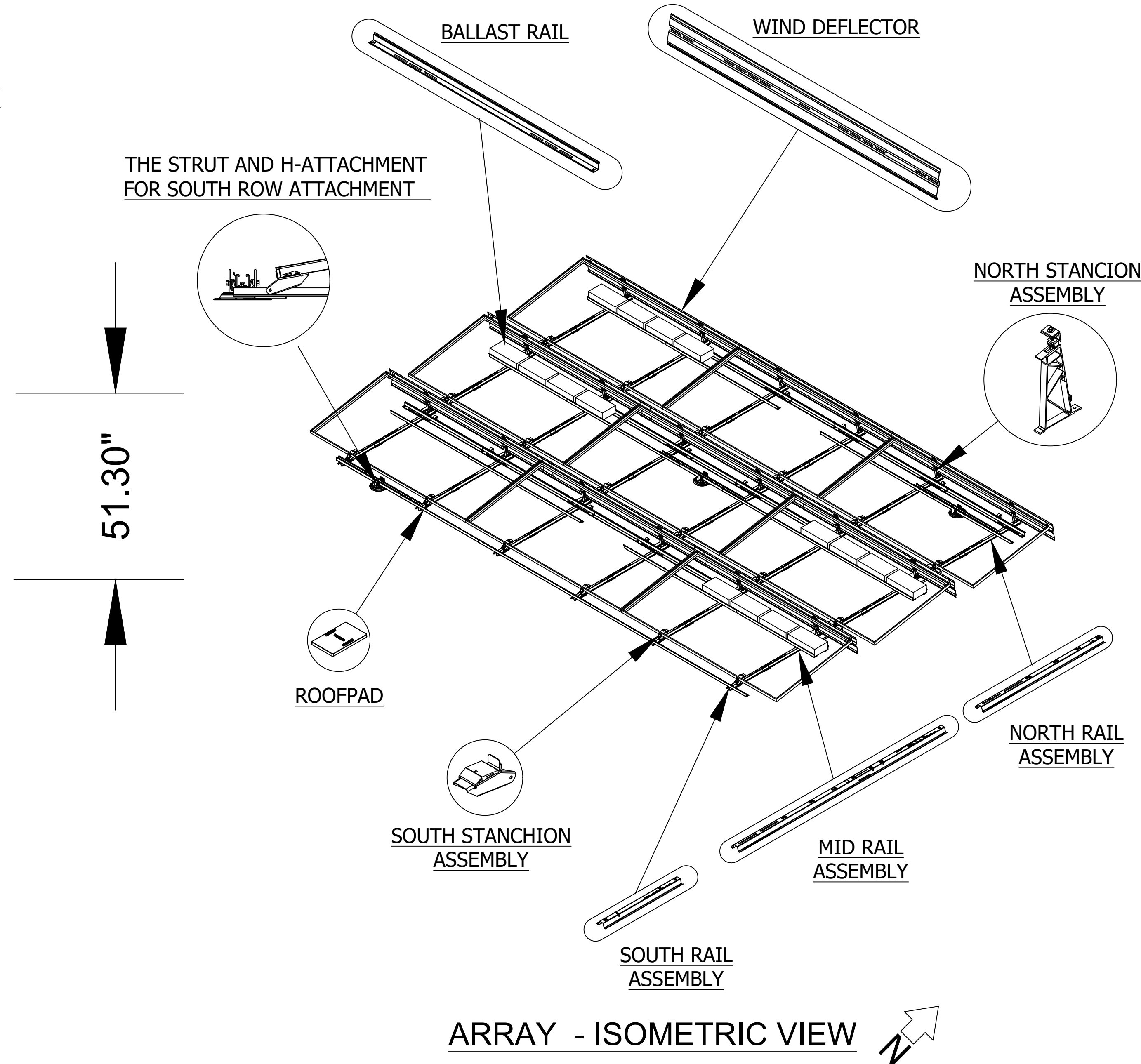
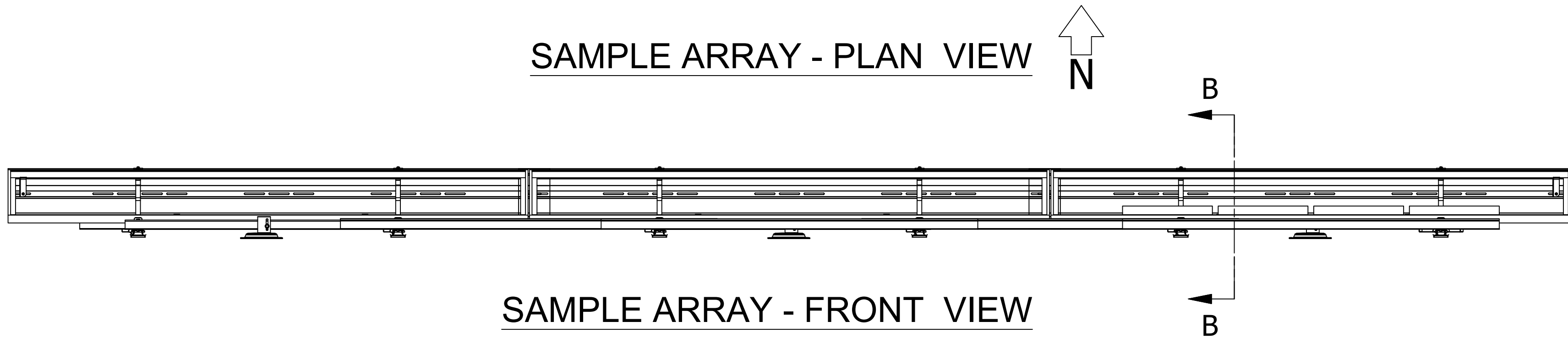
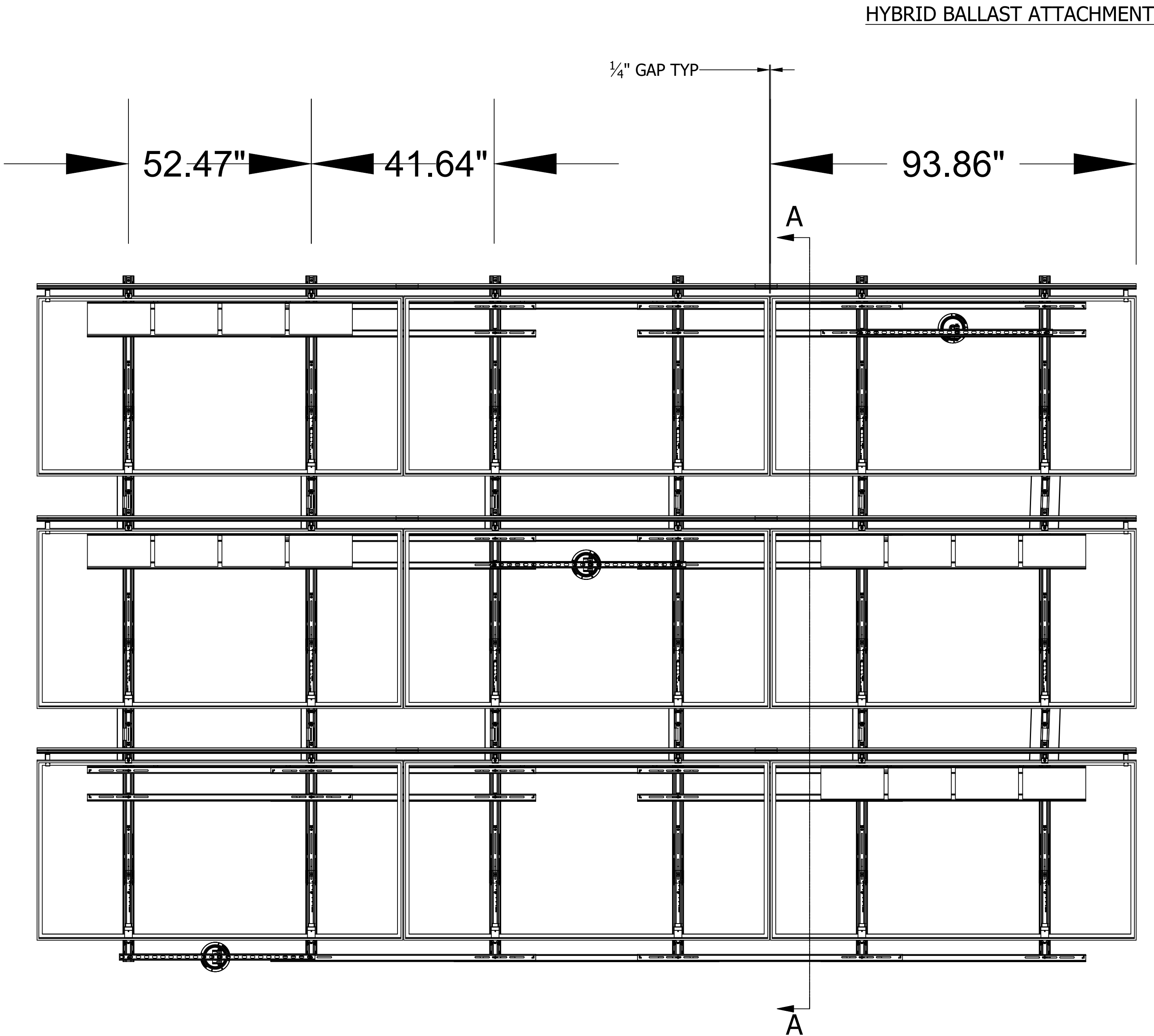
TITLE

KEY PLAN

SHEET

GF10.200

NOTE:
1. ARRAY DIMENSIONS WILL VARY BASED
ON MODULE WIDTH & LENGTH



REV	DATE	DESCRIPTION	DRW	CHK
0	02/19/2025	INITIAL RELEASE	SSC	RSU
A	03/11/2025	LAYOUT CHANGE	SL	PP
B	03/25/2025	LAYOUT REVISED	MR	GV
C	03/29/2025	LAYOUT REVISED	GJ	RS
D	04/02/2025	UPDATED THE UPLIFT	MR	GN
E	04/23/2025	LAYOUT REVISED	GJ	PP
F	05/03/2025	REVISED LOCATION IN COVER SHEET	SK	PP
G	05/20/2025	REVISION	CD	RS

FOR
LABELLA
ENGINEERING

PROJECT
RICHMOND BALLPARK
ROOFTOP PV ARRAYS

3001 N ARTHUR ASHE BLVD
RICHMOND, VA 23220, USA

TITLE
GRIDFLEX 10
DETAILS

SHEET
GF10.401

GENERAL NOTES

1. STRUCTURAL DRAWINGS ARE TO BE COORDINATED AND USED IN CONJUNCTION WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.

2. TGRWA, PLLC, SHALL NOT BE RESPONSIBLE FOR, NOR HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONJUNCTION WITH THIS PROJECT, AND SHALL NOT BE RESPONSIBLE FOR ANY CONTRACTORS' FAILURE TO CARRYOUT HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

3. TGRWA, PLLC, SHALL NOT BE RESPONSIBLE FOR, NOR HAVE CONTROL OVER, THE ACTS OR OMISSIONS OF THE GENERAL CONTRACTOR, ANY SUBCONTRACTORS, ANY OF THEIR AGENTS, OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

4. THE GENERAL CONTRACTOR, FOUNDATION SUBCONTRACTOR, AND STEEL ERECTION SUBCONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT. ALL SHORING AND BRACING MEMBERS AND CONNECTIONS SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE IMPOSED LOADS. TEMPORARY MEMBERS AND CONNECTIONS SHALL NOT BE REMOVED UNTIL PERMANENT MEMBERS ARE IN PLACE AND FINAL CONNECTIONS ARE MADE.

5. THE GENERAL CONTRACTOR SHALL PROVIDE ALL MEASURES AND PRECAUTIONS NECESSARY TO PREVENT DAMAGE AND SETTLEMENT OF EXISTING OR NEW CONSTRUCTION INSIDE OR OUTSIDE THE PROJECT LIMITS DURING EXCAVATION AND FOUNDATION CONSTRUCTION. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION INSIDE OR OUTSIDE OF THE PROJECT LIMITS, CAUSED BY CONSTRUCTION TECHNIQUES IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

6. NO FIELD MODIFICATIONS TO ANY STRUCTURAL COMPONENTS SHALL BE MADE WITHOUT PRIOR APPROVAL BY THE STRUCTURAL ENGINEER. THIS INCLUDES, BUT IS NOT LIMITED TO REVISIONS DUE TO MISLOCATION, MISFIT, OR ANY OTHER CONSTRUCTION ERRORS.

7. NO OPENING SHALL BE PLACED IN ANY STRUCTURAL MEMBER (OTHER THAN AS INDICATED ON APPROVED SHOP DRAWINGS) UNTIL THE LOCATION HAS BEEN APPROVED BY THE STRUCTURAL ENGINEER.

8. ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE, UNLESS OTHERWISE NOTED.

9. MATERIALS AND EQUIPMENT SHALL BE STORED AND TRANSPORTED IN A MANNER SO AS NOT TO EXCEED THE ALLOWABLE CAPACITY OF THE CONSTRUCTED MEMBER.
- GENERAL CONTRACTOR VERIFICATION SUBMITTALS:

1. THE GENERAL CONTRACTOR SHALL SUBMIT TO THE STRUCTURAL ENGINEER, OWNER, AND SS, LLC, THE BELOW INDICATED VERIFICATION SUBMITTALS FOR REVIEW AND APPROVAL:

A. AS-BUILT SURVEY DRAWING OF THE CONSTRUCTED CONCRETE PIERS INDICATING THE FOLLOWING:

i. DIMENSIONED LOCATION IN PLAN OF ALL PIERS AND THE SURFACE GRADE ADJACENT TO THE PIERS.

ii. ELEVATION OF THE TOP OF ALL PIERS AND THE SURFACE GRADE ADJACENT TO THE PIERS.

iii. CONFIRMATION OF ACCURATE PLACEMENT OF THE COLUMN BASE ANCHOR RODS INCLUDING AND ANCHOR RODS THAT ARE PLACED OUT OF TOLERANCE.

B. STRUCTURAL STEEL CANOPY STRUCTURES ARE BASED ON THE USE OF THE TSM-NEG21C.20 SOLAR PANEL SYSTEM MANUFACTURED BY TRINA SOLAR. THE GENERAL CONTRACTOR SHALL SUBMIT WRITTEN VERIFICATION OF THE USE OF THIS MODULE SYSTEM.
- SHOP DRAWINGS

1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE STRUCTURAL DRAWINGS ENGINEER FOR REVIEW AND APPROVAL.

2. ALL SHOP DRAWING SUBMITTALS SHALL BE, AS DESCRIBED IN THE PROJECT SPECIFICATIONS OR IN THESE NOTES IF THERE IS NO PROJECT SPECIFICATION.

3. SHOP DRAWINGS AND RELATED MATERIALS PREPARED BY SUPPLIERS AND SUBCONTRACTORS SHALL BE REVIEWED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTING TO THE ARCHITECT/STRUCTURAL ENGINEER. THE GENERAL CONTRACTOR SHALL REVIEW ALL SUBMISSIONS FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS, MEANS, METHODS, TECHNIQUES, SEQUENCES, AND OPERATION OF CONSTRUCTION, TECHNICAL CONTENT, COORDINATION OF TRADES, DIMENSIONAL ACCURACY, SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL APPROVE AND SO STAMP EACH SUBMISSION BEFORE TO THE ARCHITECT/STRUCTURAL ENGINEER.

4. THE STRUCTURAL DRAWINGS SHALL NOT BE USED AS THE BACKGROUNDS FOR THE PRODUCTION OF ANY SHOP DRAWINGS THAT ARE SUBMITTED FOR APPROVAL.

5. ANY DEVIATIONS FROM THE STRUCTURAL DRAWINGS OR SPECIFICATIONS SHALL BE NOTED AND BUBBLED ON THE SHOP DRAWINGS THAT ARE SUBMITTED FOR REVIEW.

6. FOR SHOP DRAWINGS TO BE RESUBMITTED TO THE STRUCTURAL ENGINEER FOR A SUBSEQUENT REVIEW, ALL CHANGES BE NOTED AND BUBBLED.
- STRUCTURAL SYSTEM

1. THE GRAVITY LOADS RESISTING SYSTEM CONSISTS OF STEEL MOMENT FRAMES, SUPPORTING STEEL PURLINS AT GRIDS 19-21 PARALLEL TO CANOPY 5 FRAMES. THE GRAVITY LOADS RESISTING SYSTEM CONSISTS OF CANTILEVERED STEEL COLUMNS, SUPPORTING STEEL BEAMS, SUPPORTING STEEL PURLINS AT CANOPIES 1-4, CANOPY 5 FRAMES AT GRIDS 17 AND 18, AND AT GRIDS 19-21 PERPENDICULAR TO CANOPY 5 FRAMES.

2. THE LATERAL LOAD RESISTING SYSTEM CONSISTS OF STEEL MOMENT FRAMES PERPENDICULAR TO CANOPY 5 FRAMES AT GRIDS 19-21 AND STEEL CANTILEVERED COLUMNS AT ALL OTHER LOCATIONS.
- FOUNDATIONS

1. FOUNDATION DESIGN IS BASED ON SOIL PROPERTIES PROVIDED IN GEOTECHNICAL REPORT BY ECS MID-ATLANTIC, LLC ON 04/10/2024 AND GEOTECHNICAL REPORT LETTER BY ECS MID-ATLANTIC, LLC ON 04/11/2025.

2. FOUNDATION STRUCTURE IS BASED ON THE USE OF CONCRETE DRILLED PIERS APPLYING A MAXIMUM 2,000 PSF BEARING PRESSURE AT THE BASE OF THE PIER.

3. ALL SOIL PROPERTIES SHALL BE VERIFIED BY FIELD TESTING BY A LICENSED GEOTECHNICAL ENGINEER. IF FIELD CONDITIONS DO NOT PROVIDE THESE MINIMUM VALUES, THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY.

4. THE LATERAL SOIL PROPERTIES ARE AS FOLLOWS:

A. MOIST UNIT WEIGHT = 120 PCF

B. FRICTION ANGLE = 30 DEGREES

C. THE LATERAL RESISTANCE OF THE UPPER 24 INCHES OF SOIL HAS BEEN NEGLECTED.

5. THE CONCRETE FOR EACH DRILLED PIER SHALL BE PLACED IN ONE (1) CONTINUOUS PLACEMENT.
6. SHOULD UNSUITABLE BEARING CONDITIONS BE ENCOUNTERED DURING EXCAVATION, THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER, STRUCTURAL ENGINEER, AND SS, LLC, BEFORE CONTINUING WITH CONSTRUCTION.

7. THE GENERAL CONTRACTOR MUST PROVIDE SURFACE DRAINAGE AND PUMPS TO PROTECT ALL EXCAVATION FROM FLOODING. FLOODING OF ANY EXCAVATION AFTER APPROVAL OF THE SUBGRADE WILL BE CAUSE FOR COMPLETE RE-PREPARATION AND RE-APPROVAL OF THE SUBGRADE.

8. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY WATER, FROST OR ICE FROM PENETRATING ANY SUBGRADE BEFORE AND AFTER PLACING OF CONCRETE AND UNTIL SUCH SUBGRADES ARE FULLY PROTECTED BY THE PERMANENT STRUCTURE.

9. RECORDS OF ANY EXISTING SUBGRADE INTERFERENCES OTHER THAN THOSE INTERFERENCES SHOWN OR INDICATED ON THE CONSTRUCTION DOCUMENTS, ARE NOT CURRENTLY AVAILABLE. DURING EXCAVATION WORK, INTERFERENCES MAY BE DISCOVERED. GENERAL CONTRACTOR SHALL DOCUMENT CONSTRUCTION-RELATED DIMENSIONS OF ALL INTERFERENCES. GENERAL CONTRACTOR TO FURNISH THE ABOVE INFORMATION IN THE FORM OF DETAILED SKETCHES TO THE OWNER, STRUCTURAL ENGINEER, AND SS, LLC, FOR REVIEW.

10. THE GENERAL CONTRACTOR SHALL REVIEW ALL EXISTING SITE CONDITIONS AND THE GEOTECHNICAL EXPLORATION REPORT AND ESTABLISH SPECIFIC CONSTRUCTION PROCEDURES AND SEQUENCES FOR THE INSTALLATION OF THE DRILLED PIERS. BEFORE PROCEEDING THESE SHALL BE SUBMITTED FOR REVIEW BY THE OWNER'S SOIL TESTING LABORATORY. THE GENERAL CONTRACTOR'S PROCEDURES AND METHODS OF DRILLED PIER INSTALLATION SHALL PREVENT SETTLEMENT OF ADJACENT CONSTRUCTION, AND THE GENERAL CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ALL REMEDIAL WORK RESULTING FROM SUCH SETTLEMENT.

11. REFER TO THE TESTING AND INSPECTION SECTION OF THESE NOTES FOR THE FOUNDATION TESTING AND INSPECTION REQUIREMENTS.
- STRUCTURAL CONCRETE

1. CONCRETE MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LISTED AMERICAN CONCRETE INSTITUTE PUBLICATIONS:

A. ACI 301

- "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"

B. ACI 302

- "RECOMMENDED PRACTICE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION"

C. ACI 304

- "ACI MANUAL OF CONCRETE INSPECTION"

D. ACI 311

- "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE"

E. ACI 315

- "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT"

F. ACI 318-19

- "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"

G. ACI 347

- "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK"

2. PROVIDE CONCRETE TO OBTAIN THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS:

A. FOUNDATIONS.....f_c = 4,000 PSI

3. FOUNDATIONS SHALL HAVE A WATER/CEMENT RATIO LESS THAN OR EQUAL TO 0.45.

4. LABORATORY TEST REPORTS OR MATERIAL CERTIFICATES FOR CONCRETE MATERIALS AND MIX DESIGN TEST DATA, IN CONFORMANCE WITH ACI STANDARDS, SHALL BE SUBMITTED FOR REVIEW BY THE GENERAL CONTRACTOR FOR EACH TYPE OF CONCRETE TO BE USED. EACH SUBMITTED MIX DESIGN SHALL IDENTIFY THE APPLICATION FOR WHICH THE MIX WILL BE USED.

5. ALL CONCRETE SHALL BE NORMAL WEIGHT UNLESS NOTED OTHERWISE.

6. ALL CONCRETE ELEMENTS SUBJECT TO FREEZING AND THAWING DURING CONSTRUCTION OR OVER THE SERVICE LIFE OF THE STRUCTURE SHALL BE AIR-ENTRAINED WITH A TOTAL AIR CONTENT OF 5.5% +/- 1.5%, AS SPECIFIED IN ACI-318, PARTS 3 AND 4 (TABLE 4.2.1).

7. NO CALCIUM CHLORIDE SHALL BE USED IN ANY CONCRETE.

8. THE GENERAL CONTRACTOR SHALL SUBMIT CHECKED, DETAILED REINFORCEMENT SHOP DRAWINGS SHOWING THE LOCATIONS AND DETAILING OF ALL DRILLED PIER REINFORCEMENT PRIOR TO FABRICATION. DETAILS SHALL INCLUDE STEEL SIZES, LAPS, SPACING AND PLACEMENT.

9. THE MINIMUM CONCRETE COVER FOR CAST-IN-PLACE (NON-PRESTRESSED) CONCRETE SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH....."3"

B. CONCRETE EXPOSED TO EARTH OR WEATHER....."2"

10. PROVIDE ADEQUATE BOLSTERS, HI-CHAIRS, SUPPORT BARS, ETC., TO MAINTAIN SPECIFIED CLEARANCES FOR THE ENTIRE LENGTH OF ALL REINFORCING BARS.

11. PROVIDE PLASTIC TIPPED ACCESSORIES FOR REINFORCEMENT AT ALL FACES OF EXPOSED CONCRETE, INTERIOR OR EXTERIOR.

12. ALL FIELD BENDING OF REINFORCEMENT SHALL BE DONE COLD. HEATING OF BARS WILL NOT BE PERMITTED.

13. NO ALUMINUM OF ANY TYPE SHALL BE ALLOWED IN THE CONCRETE WORK, UNLESS COATED TO PREVENT ALUMINUM CONCRETE REACTION.

14. ALL REINFORCING STEEL SHALL BE HIGH STRENGTH NEW BILLET STEEL, CONFORMING TO ASTM A615 GRADE 60 UNLESS NOTED OTHERWISE.

15. DETAILING AND ACCESSORIES SHALL CONFORM TO THE ACI DETAILING MANUAL AND TO THE CRSI MANUAL OF STANDARD PRACTICE, CURRENT EDITIONS, UNLESS OTHERWISE NOTED BELOW, OR IN THE SPECIFICATIONS.

16. REFER TO THE TESTING AND INSPECTION SECTION OF THESE NOTES FOR THE CONCRETE TESTING AND INSPECTION REQUIREMENTS.
- NON-SHRINK GROUT

1. GROUT PLACED BETWEEN THE COLUMN BASE PLATE AND THE FOUNDATION SHALL BE IN ACCORDANCE WITH ASTM C 1107, FACTORY-PACKAGED, NONMETALLIC AGGREGATE GROUT, NONCORROSIVE AND NONSTAINING, MIXED WITH WATER TO CONSISTENCY SUITABLE FOR APPLICATION AND A 30-MINUTE WORKING TIME.

2. THE GENERAL CONTRACTOR SHALL SUBMIT TO THE STRUCTURAL ENGINEER, FOR REVIEW, A PRODUCT DATA SUBMITTAL FOR THE NON-SHRINK GROUT.
- STRUCTURAL STEEL

1. FURNISH STRUCTURAL STEEL IN ACCORDANCE WITH AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) 341-16 AND AISC 360-16 SPECIFICATIONS FOR THE DESIGN (ASD), FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AND AISC CODE OF STANDARD PRACTICE.

2. STRUCTURAL STEEL SHALL BE AS INDICATED BELOW U.N.O.:

STRUCTURAL SHAPE/MATERIAL

ASTM SPECIFICATION

W-SHAPE.....A992

ANGLES.....A36

SQUARE & RECTANGULAR HSS.....A500, GRADE B

PLATE MATERIAL.....A36

BASE PLATE.....A572, GRADE 50

ANCHOR BOLT ASSEMBLIES.....F1554, GRADE 36

HIGH STRENGTH BOLTS.....A325

COMMON STRUCTURAL BOLTS.....A307

3. ALL STRUCTURAL STEEL FRAMEWORK INCLUDED IN THESE DOCUMENTS ARE CLASSIFIED AS NON-SELF-SUPPORTING. ALL CONNECTIONS SPECIFIED HEREIN ARE BASED ON LOADING CONDITIONS OF THE FULLY COMPLETED STRUCTURE IN ITS ENTIRETY INCLUDING THE FUNCTIONS OF THE COLUMN BASE PLATES AND ANCHOR BOLTS. INSTABILITIES CAN BE EXPECTED DURING THE ERECTION PROCESS DUE TO LACK OF THE STRUCTURE BEING FULLY COMPLETED. THE STEEL ERECTION SUBCONTRACTOR SHALL IDENTIFY THE SEQUENCE AND SCHEDULING OF CONSTRUCTION ITEMS AND COORDINATE THE ACTIVITIES OF ALL TRADES.

4. SS, LLC, SHALL SUBMIT TO THE STRUCTURAL ENGINEER, FOR REVIEW, ENGINEERED AND CHECKED DRAWINGS SHOWING FABRICATION DETAILS, FIELD ASSEMBLY DETAILS FOR ALL STRUCTURAL STEEL ELEMENTS.

5. ALL BEAMS SHALL BE FABRICATED WITH THE NATURAL CAMBER UP. PROVIDE FABRICATED CAMBERS AS INDICATED ON THE DRAWINGS.

6. AFTER FABRICATION, ALL STEEL SHALL BE CLEANED OF ALL RUST, LOOSE MILL SCALE, AND OTHER FOREIGN MATERIALS.

7. WELDING SHALL BE PERFORMED WITH E70XX LOW HYDROGEN ELECTRODES OR GMAW PROCESS AWS A5.18 E70F-6. ALL WELDING SHALL BE PERFORMED BY CERTIFIED/QUALIFIED WELDERS AND SHALL CONFORM TO THE AWS D1.1," STRUCTURAL WELDING CODE-STEEL," LATEST EDITION.

8. MINIMUM FILLET WELD SIZE SHALL COMPLY WITH THE AISC SPECIFICATION REQUIREMENTS, BUT SHALL NOT BE LESS THAN 3/16 INCH UNLESS NOTED OTHERWISE.

9. ALL BOLTS, NUTS, AND WASHERS SHALL CONFORM TO THE REQUIREMENTS OF "AISC SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS," LATEST EDITION, UNLESS NOTED OTHERWISE TO CONFORM TO THE REQUIREMENTS OF SAE SPECIFICATIONS FOR GRADE 5 BOLTS.

10. ALL STEEL CONNECTIONS SHALL BE SIMPLE SHEAR CONNECTIONS UTILIZING BOLTS IN BEARING-TYPE CONNECTIONS. BOLTS ARE TO BE TIGHTENED TO THE SNUG TIGHT CONDITION UNLESS NOTED OTHERWISE.

11. THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD.

12. STEEL WORK TO SLOPE IN ACCORDANCE WITH ELEVATIONS GIVEN ON STRUCTURAL DRAWINGS.

13. COATING SYSTEM FOR "EXPOSED TO OUTSIDE ATMOSPHERE" STRUCTURAL STEEL COMPONENTS:

A. AFTER THE STRUCTURAL STEEL COMPONENTS ARE FABRICATED, THEY SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123.

14. ALL BOLTS SHALL BE HOT DIP GALVANIZED.

15. REFER TO THE TESTING AND INSPECTION SECTION OF THESE NOTES FOR THE STRUCTURAL STEEL TESTING AND INSPECTION REQUIREMENTS.

COLD FORMED STEEL FRAMING

1. FURNISH COLD FORMED STEEL FRAMING IN ACCORDANCE WITH AMERICAN IRON AND STEEL INSTITUTE, "SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS," LATEST EDITION.

2. COLD FORMED STEEL FRAMING EXAMPLE MEMBER DESIGNATION IS AS SUCH:

A. 600S200-54:

A1.800 = 6" WEB DEPTH

A2.5 = STUD SECTION

A3.200 = 2" FLANGE WIDTH

A4.54 = 54 MILS = 16 GAUGE

3. ALL FRAMING SHALL BE FORMED FROM SHEET STEEL CORRESPONDING TO THE REQUIREMENTS OF ASTM A1003, STRUCTURAL GRADE, TYPE H WITH MINIMUM G90 ZINC COATING AND MINIMUM YIELD STRENGTH OF 50 KSI, UNLESS NOTED OTHERWISE.

4. ALL FRAMING SHALL BE MINIMUM 54 MILS, UNLESS NOTED OTHERWISE.

5. ALL STUD SECTIONS SHALL BE PUNCHED WITH STANDARD HOLES WITH STIFFENED FLANGES. ALL TRACK SECTIONS SHALL BE UNPUNCHED WITH UNSTIFFENED FLANGES.

6. FASTENING OF COMPONENTS SHALL BE WITH SELF DRILLING SCREWS OR WELDING. SCREWS AND WELDING SHALL BE SUFFICIENT SIZE TO ENSURE THE STRENGTH OF THE CONNECTION. WIRE TYING OF COMPONENTS SHALL NOT BE PERMITTED. ALL WELDS SHALL BE TOUCHED-UP WITH A ZINC RICH PAINT MEETING ASTM A780.

7. ALL WELDING SHALL BE PERFORMED BY QUALIFIED WELDERS AND SHALL CONFORM TO THE AWS D1.3, "STRUCTURAL WELDING CODE - SHEET STEEL," LATEST EDITION.

8. CONNECTIONS OF ALL COLD FORMED STEEL FRAMING TO COLD FORMED STEEL FRAMING SHALL BE WITH MINIMUM OF (2) #10 SELF TAPPING SHEET METAL SCREWS WITH LOW PROFILE HEAD, UNLESS NOTED OTHERWISE.

9. CONNECTIONS OF ALL COLD FORMED STEEL FRAMING TO STRUCTURAL STEEL FRAMING SHALL BE WITH MINIMUM OF (2) 0.145Ø POWDER-ACTUATED FASTENING PINS, UNLESS NOTED OTHERWISE.

10. CONTRACTOR SHALL SUBMIT COLD FORMED STEEL FRAMING SHOP DRAWINGS TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO COMMENCING CONSTRUCTION. SHOP DRAWINGS SHALL SHOW LAYOUT, SPACING, SIZES, THICKNESS, AND TYPES OF COLD FORMED STEEL FRAMING, FASTENING AND ANCHORAGE DETAILS, REINFORCING CHANNELS, OPENING FRAMING, SUPPLEMENTAL FRAMING, STRAPPING, BRACING, BRIDGING, SPLICES, AND ACCESSORIES. PROVIDE ADDITIONAL INFORMATION WITH SHOP DRAWING SUBMITTAL AS INDICATED IN PROJECT SPECIFICATIONS.

11. REFER TO THE TESTING AND INSPECTION SECTION OF THESE NOTES FOR THE COLD FORMED STEEL FRAMING TESTING AND INSPECTION REQUIREMENTS.

STRUCTURAL LOADING

1. STRUCTURAL BUILDING CODE - 2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE

2. DEAD LOADS: SOLAR PANELS = 2.5 PSF
MISC. WIRING AND CONNECTOR = 1.0 PSF
STRUCTURE = SELF WEIGHT OF STRUCTURAL MEMBERS

3. LIVE LOADS: 12 PSF

4. SNOW LOADS (STRENGTH-LEVEL):
A. GROUND SNOW LOAD - P_g = 37 PSF
B. SNOW EXPOSURE FACTOR - C_e = 1.0
C. SNOW LOAD IMPORTANCE FACTOR - I = 1.00
D. THERMAL FACTOR - C_t = 1.2
E. ROOF SNOW LOAD - P_f = 32 PSF

5. WIND LOADS (STRENGTH-LEVEL):
A. BASIC WIND SPEED (3 SECOND GUST) - V = 113 PSF
B. IMPORTANCE FACTOR - I = 1.00
C. BUILDING CATEGORY = II
D. EXPOSURE CATEGORY = B
E. INTERNAL PRESSURE COEFFICIENT = N/A
F. PRIMARY STRUCTURAL SYSTEM OF OPEN BUILDING WITH MONOSLOPE ROOF:

a. PARALLEL TO FRAME (REFERENCE ASCET-7-16 FIGURE 27.4-4):

i. VERTICAL PRESSURE AT WINDWARD HALF OF ROOF CASE A (GAMMA = 0) = 23.4 PSF

ii. VERTICAL PRESSURE AT LEeward HALF OF ROOF CASE A (GAMMA = 0) = 8.6 PSF

iii. VERTICAL PRESSURE AT WINDWARD HALF OF ROOF CASE B (GAMMA = 0) = -24.3 PSF (UPLIFT)

iv. VERTICAL PRESSURE AT LEeward HALF OF ROOF CASE B (GAMMA = 0) = -7.7 PSF (UPLIFT)

v. VERTICAL PRESSURE AT WINDWARD HALF OF ROOF CASE A (GAMMA = 180) = 23.4 PSF

vi. VERTICAL PRESSURE AT LEeward HALF OF ROOF CASE A (GAMMA = 180) = 8.6 PSF

vii. VERTICAL PRESSURE AT WINDWARD HALF OF ROOF CASE B (GAMMA = 180) = -24.3 PSF (UPLIFT)

viii. VERTICAL PRESSURE AT LEeward HALF OF ROOF CASE B (GAMMA = 180) = -7.7 PSF (UPLIFT)

b. PERPENDICULAR TO FRAME (REFERENCE ASCET-7-16 FIGURE 27.4-7):

i. VERTICAL FACE OF STRUCTURE MEMBERS = 29.5 PSF

ii. VERTICAL PRESSURE OVER ENTIRE ROOF LOCATED 0-H FROM WINDWARD EDGE = +/-16 PSF

iii. VERTICAL PRESSURE OVER ENTIRE ROOF LOCATED H-2H FROM WINDWARD EDGE = +/-12.7 PSF

iiii. VERTICAL PRESSURE OVER ENTIRE ROOF LOCATED >2H FROM WINDWARD EDGE = +/-7.7 PSF

G. COMPONENTS AND CLADDING WIND PRESSURE = SEE REFERENCED CODE

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SOLAR CANOPY LOCATION PLAN

NOTES:
1. CANOPY LOCATIONS SHOWN ABOVE ARE APPROXIMATE FOR REFERENCE ONLY. FINAL CANOPY LOCATIONS SHALL BE COORDINATED WITH ACTUAL SITE CONDITIONS.

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RICHMOND BALLPARK SOLAR PROJECT
3001 N ARTHUR ASHE BLVD
RICHMOND, VA 23230

DATE: 05/16/2025

DATE: 04/15/2025

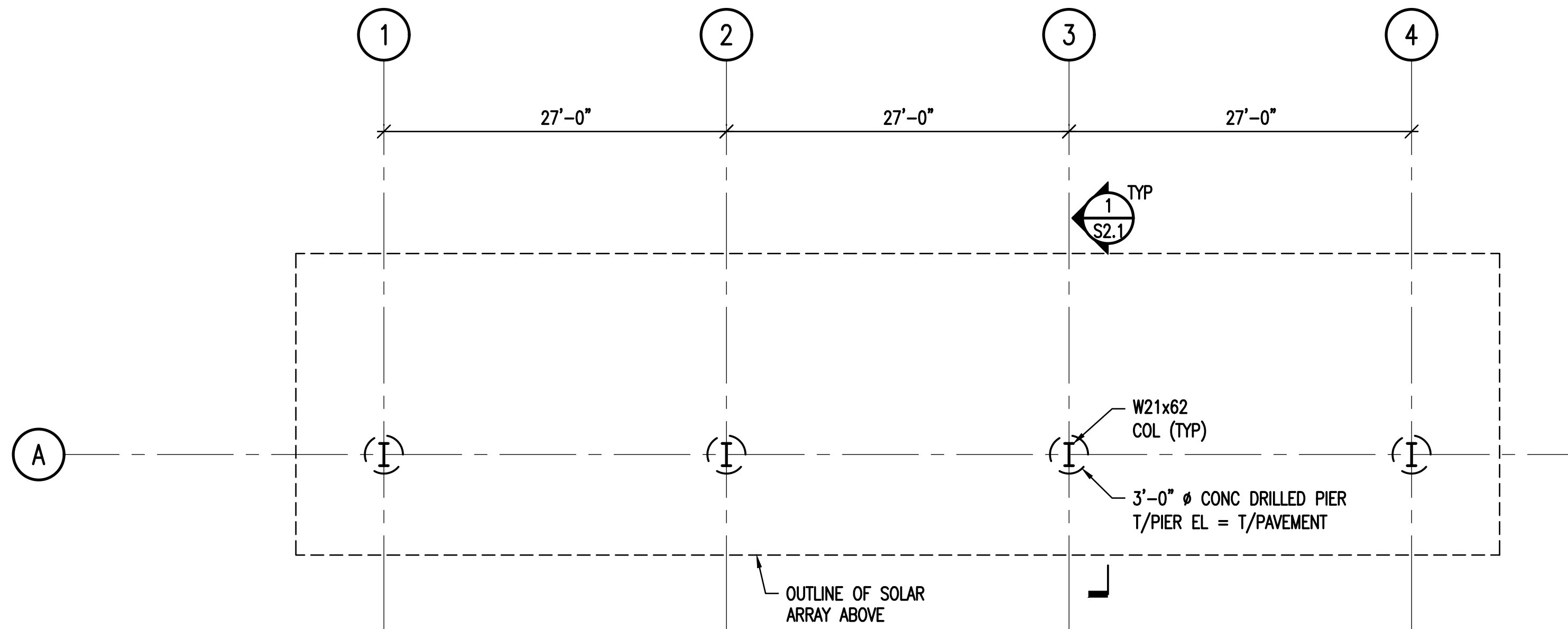
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	05/16/25	PERMIT

GENERAL
NOTES

PROJECT #25039

S0.1



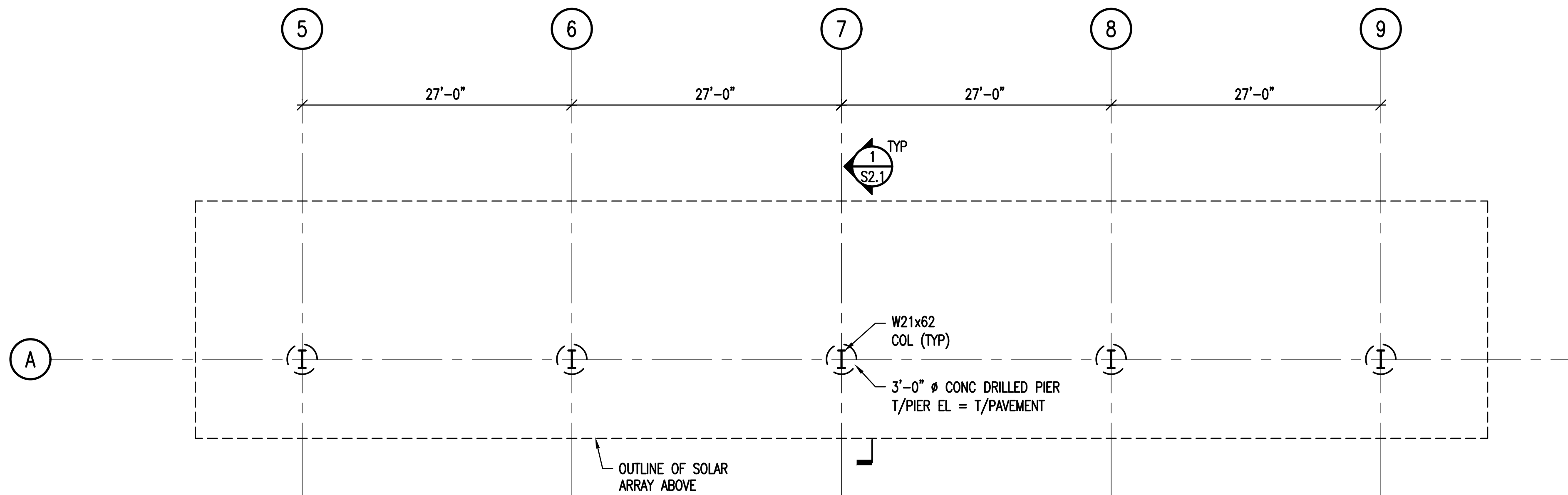
1 CANOPY 1 FOUNDATION PLAN

0 2' 4' 8' 16'

SCALE: 1/8" = 1'-0"

NOTES:

- RECORDS OF ANY EXISTING SUBGRADE INTERFERENCES OTHER THAN THOSE INTERFERENCES SHOWN OR INDICATED ON THE CONSTRUCTION DOCUMENTS, ARE NOT CURRENTLY AVAILABLE. DURING EXCAVATION WORK, INTERFERENCES MAY BE DISCOVERED. CONTRACTOR SHALL DOCUMENT CONSTRUCTION-RELATED DIMENSIONS OF ALL INTERFERENCES. CONTRACTOR TO FURNISH THE ABOVE INFORMATION IN THE FORM OF DETAILED SKETCHES TO THE STRUCTURAL ENGINEER FOR REVIEW.
- GENERAL CONTRACTOR SHALL COORDINATE WITH CIVIL/SITE LAYOUT FOR LOCATION OF CANOPY STRUCTURE. COORDINATE WITH THE PARKING LAYOUT SUCH THAT THE NEW CANOPY COLUMNS DO NOT INTERFERE WITH ANY PARKING SPACES.



2 CANOPY 2 FOUNDATION PLAN

0 2' 4' 8' 16'

SCALE: 1/8" = 1'-0"

NOTES:

- RECORDS OF ANY EXISTING SUBGRADE INTERFERENCES OTHER THAN THOSE INTERFERENCES SHOWN OR INDICATED ON THE CONSTRUCTION DOCUMENTS, ARE NOT CURRENTLY AVAILABLE. DURING EXCAVATION WORK, INTERFERENCES MAY BE DISCOVERED. CONTRACTOR SHALL DOCUMENT CONSTRUCTION-RELATED DIMENSIONS OF ALL INTERFERENCES. CONTRACTOR TO FURNISH THE ABOVE INFORMATION IN THE FORM OF DETAILED SKETCHES TO THE STRUCTURAL ENGINEER FOR REVIEW.
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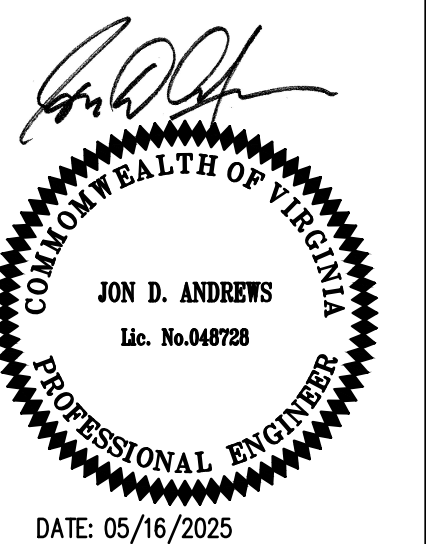


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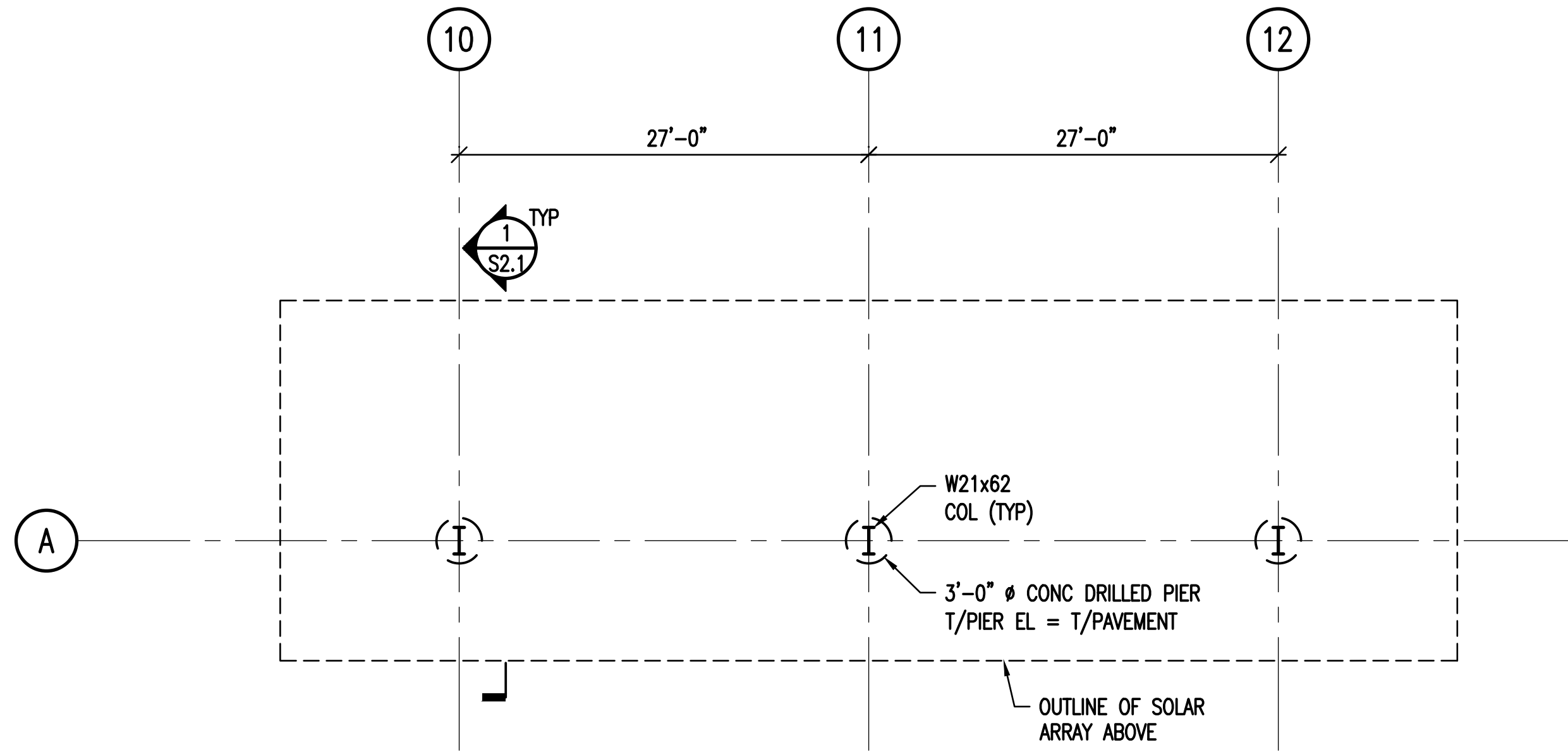
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CANOPY 1 & 2
FOUNDATION
PLAN

PROJECT #25039

S1.1



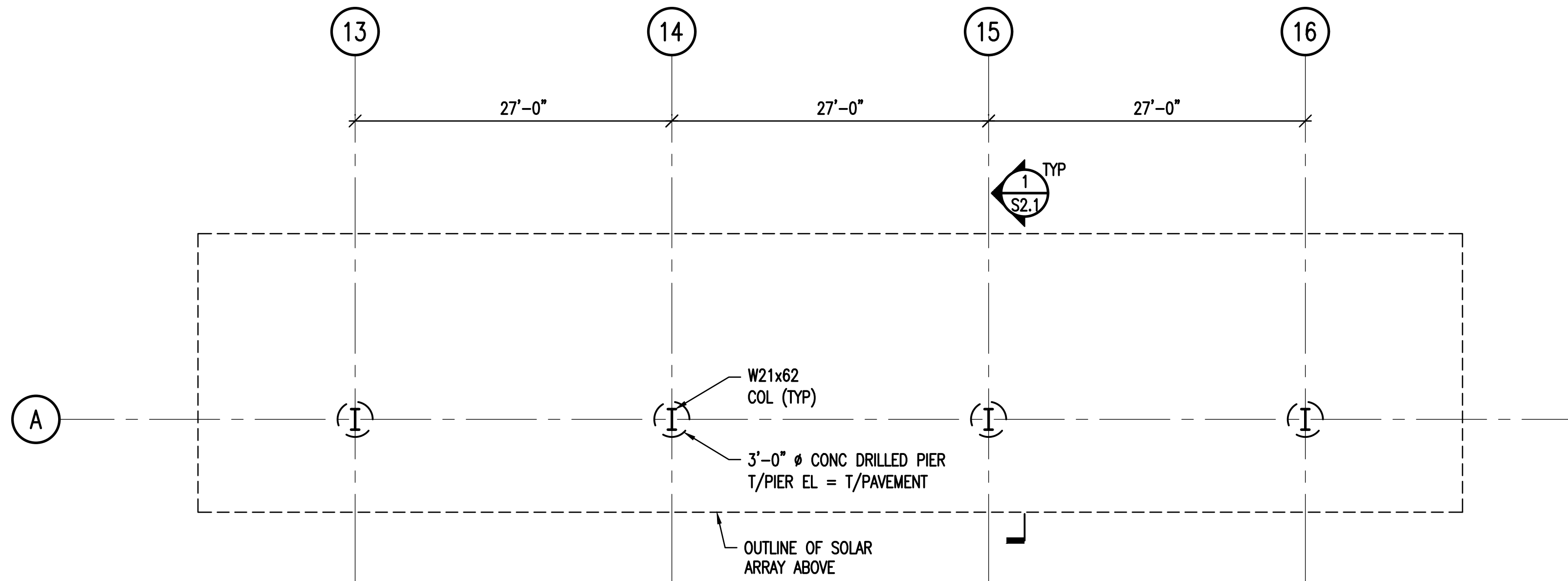
1 CANOPY 3 FOUNDATION PLAN

0 2' 4' 8' 16'

SCALE: 1/8" = 1'-0"

NOTES:

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- GENERAL CONTRACTOR SHALL COORDINATE WITH CIVIL/SITE LAYOUT FOR LOCATION OF CANOPY STRUCTURE. COORDINATE WITH THE PARKING LAYOUT SUCH THAT THE NEW CANOPY COLUMNS DO NOT INTERFERE WITH ANY PARKING SPACES.



2 CANOPY 4 FOUNDATION PLAN

0 2' 4' 8' 16'

SCALE: 1/8" = 1'-0"

NOTES:

- RECORDS OF ANY EXISTING SUBGRADE INTERFERENCES OTHER THAN THOSE INTERFERENCES SHOWN OR INDICATED ON THE CONSTRUCTION DOCUMENTS, ARE NOT CURRENTLY AVAILABLE. DURING EXCAVATION WORK, INTERFERENCES MAY BE DISCOVERED. CONTRACTOR SHALL DOCUMENT CONSTRUCTION-RELATED DIMENSIONS OF ALL INTERFERENCES. CONTRACTOR TO FURNISH THE ABOVE INFORMATION IN THE FORM OF DETAILED SKETCHES TO THE STRUCTURAL ENGINEER FOR REVIEW.
- GENERAL CONTRACTOR SHALL COORDINATE WITH CIVIL/SITE LAYOUT FOR LOCATION OF CANOPY STRUCTURE. COORDINATE WITH THE PARKING LAYOUT SUCH THAT THE NEW CANOPY COLUMNS DO NOT INTERFERE WITH ANY PARKING SPACES.

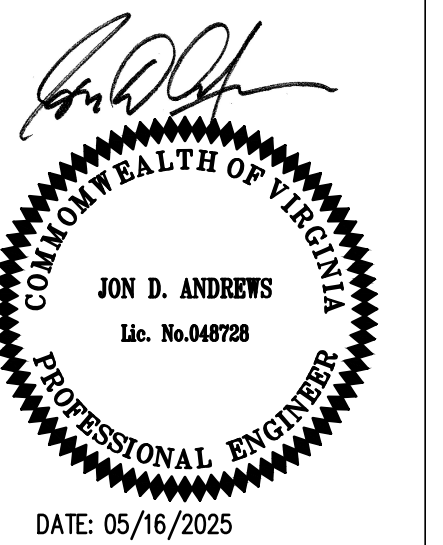


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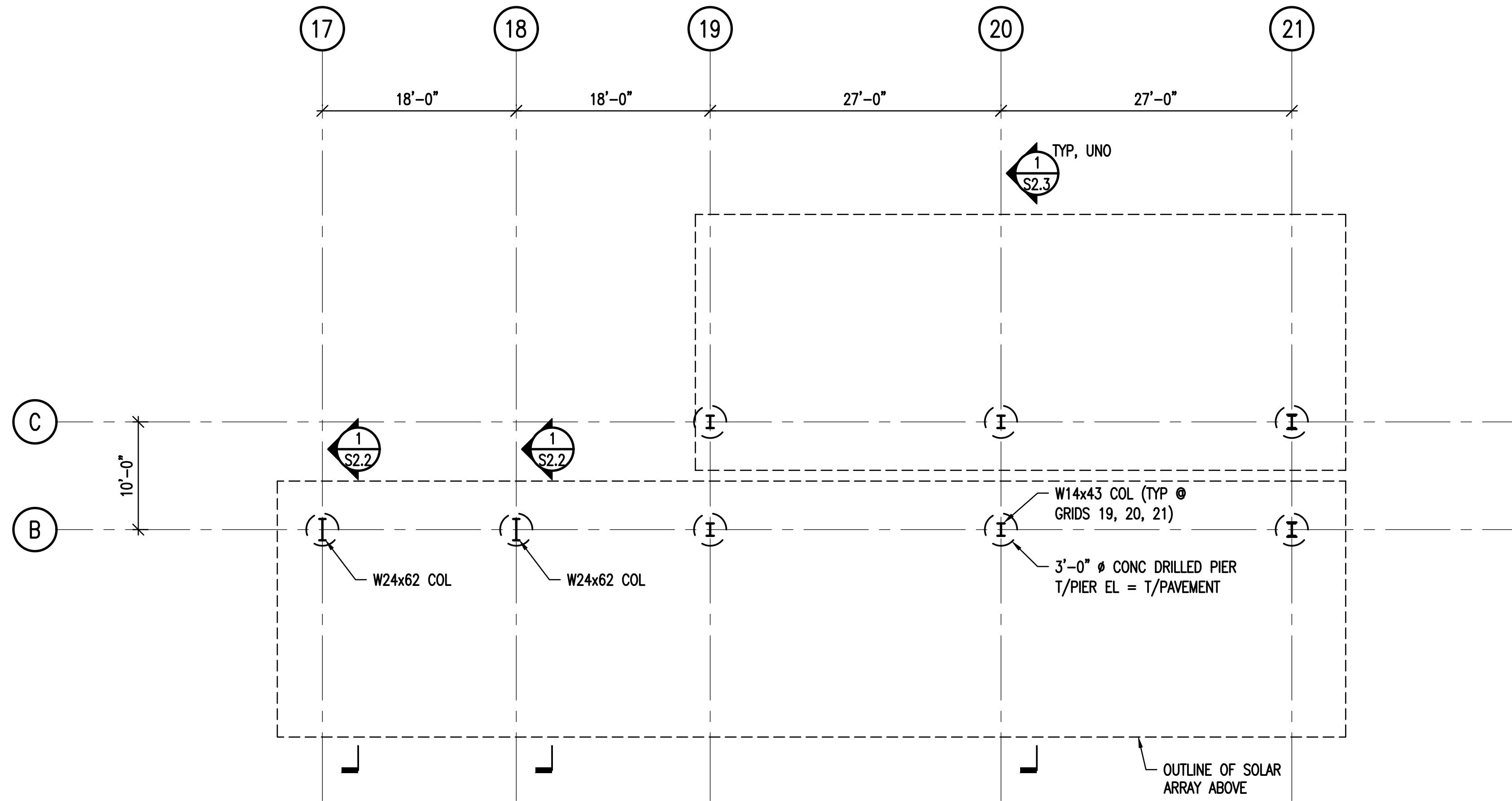
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CANOPY 3 & 4
FOUNDATION
PLAN

PROJECT #:25039

S1.2



1

CANOPY 5 FOUNDATION PLAN

0'2'4'8'16'

SCALE: 1/8" = 1'-0"

NOTES:

1. RECORDS OF ANY EXISTING SUBGRADE INTERFERENCES OTHER THAN THOSE INTERFERENCES SHOWN OR INDICATED ON THE CONSTRUCTION DOCUMENTS, ARE NOT CURRENTLY AVAILABLE. DURING EXCAVATION WORK, INTERFERENCES MAY BE DISCOVERED. CONTRACTOR SHALL DOCUMENT CONSTRUCTION-RELATED DIMENSIONS OF ALL INTERFERENCES. CONTRACTOR TO FURNISH THE ABOVE INFORMATION IN THE FORM OF DETAILED SKETCHES TO THE STRUCTURAL ENGINEER FOR REVIEW.

2. GENERAL CONTRACTOR SHALL COORDINATE WITH CIVIL/SITE LAYOUT FOR LOCATION OF CANOPY STRUCTURE. COORDINATE WITH THE PARKING LAYOUT SUCH THAT THE NEW CANOPY COLUMNS DO NOT INTERFERE WITH ANY PARKING SPACES.

NOPIV

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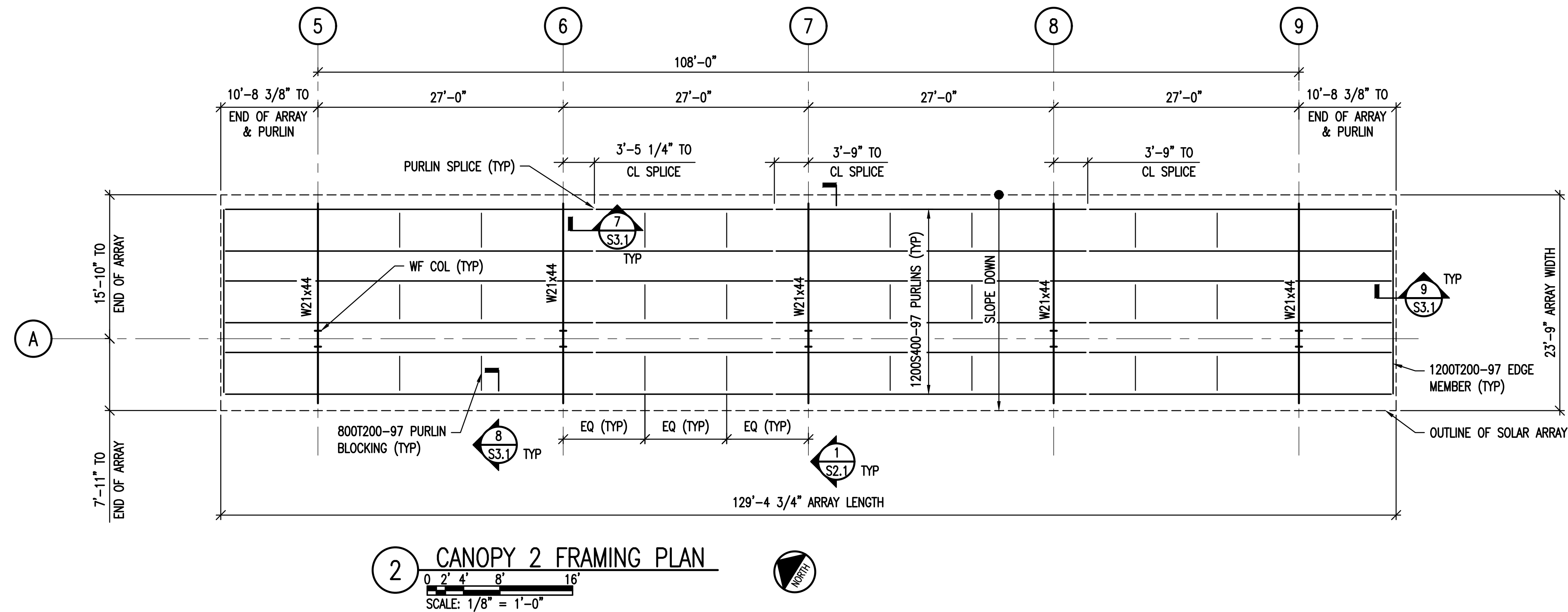
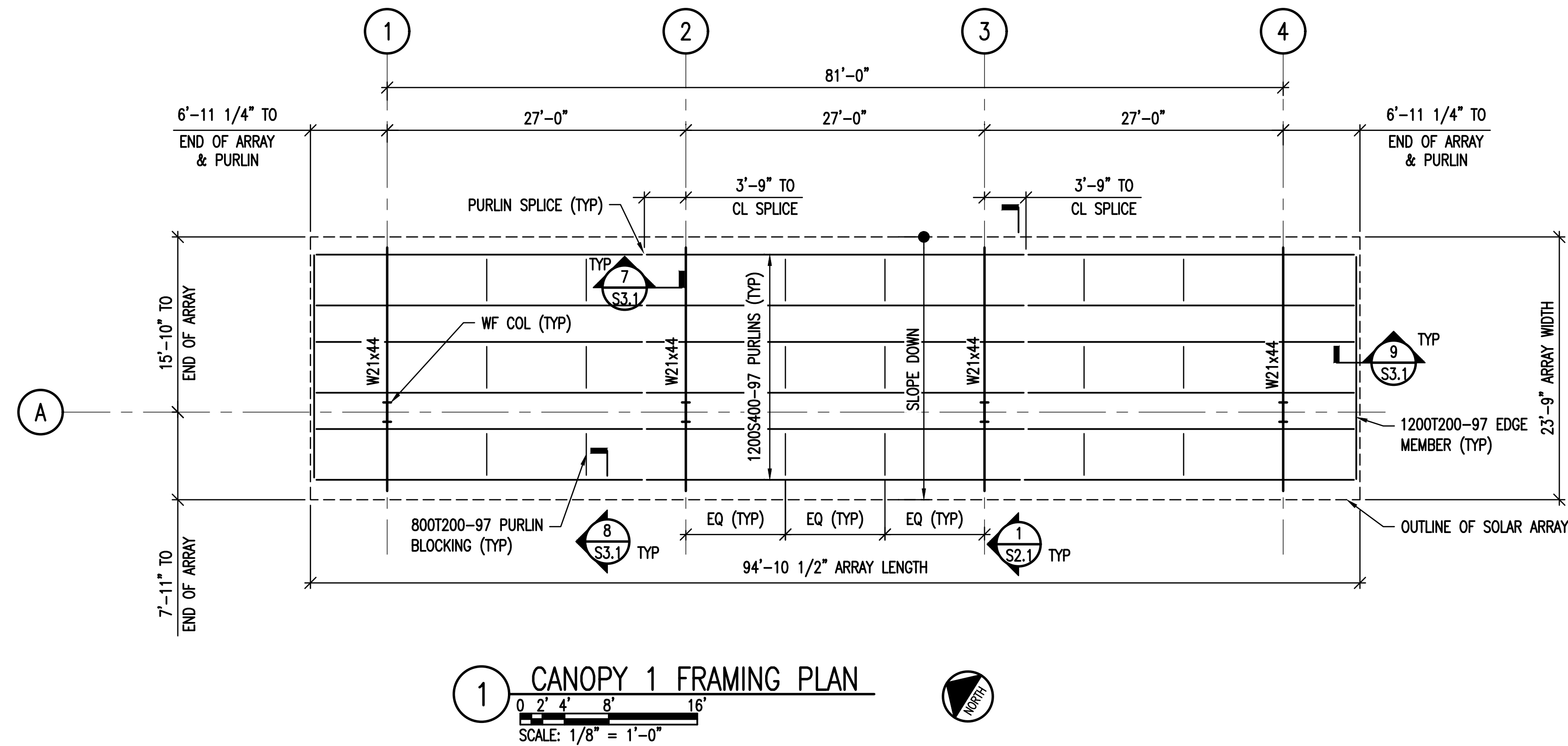
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CANOPY 5
FOUNDATION
PLAN

PROJECT #25039

S1.3

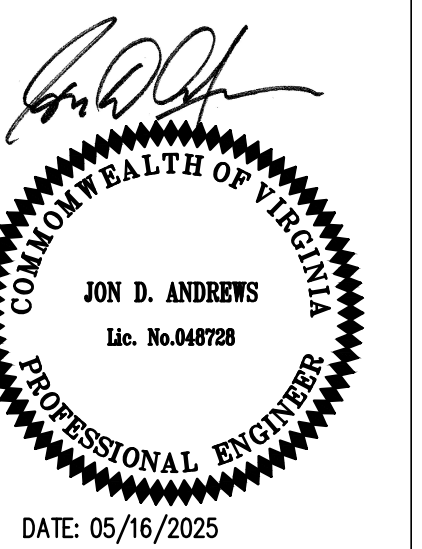


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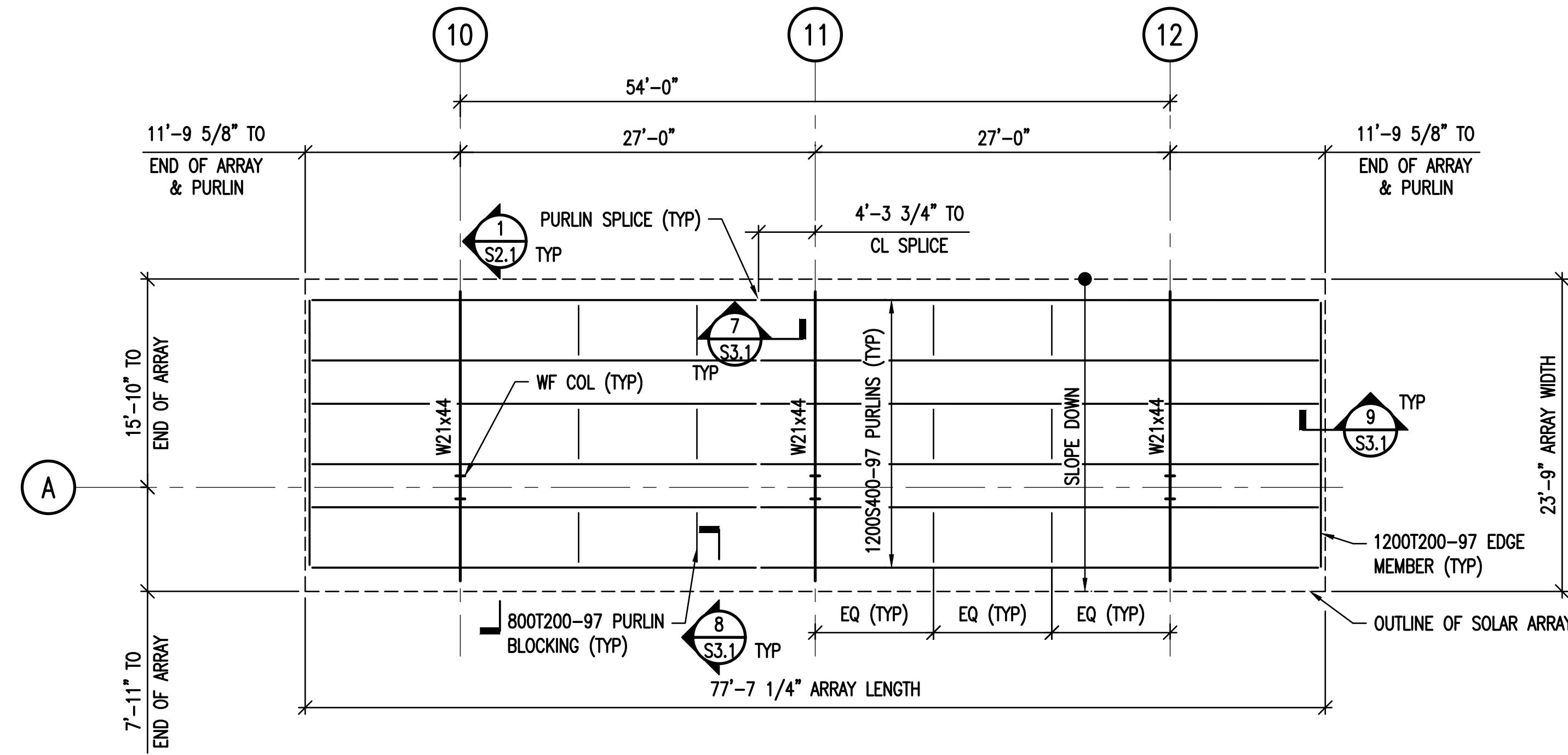
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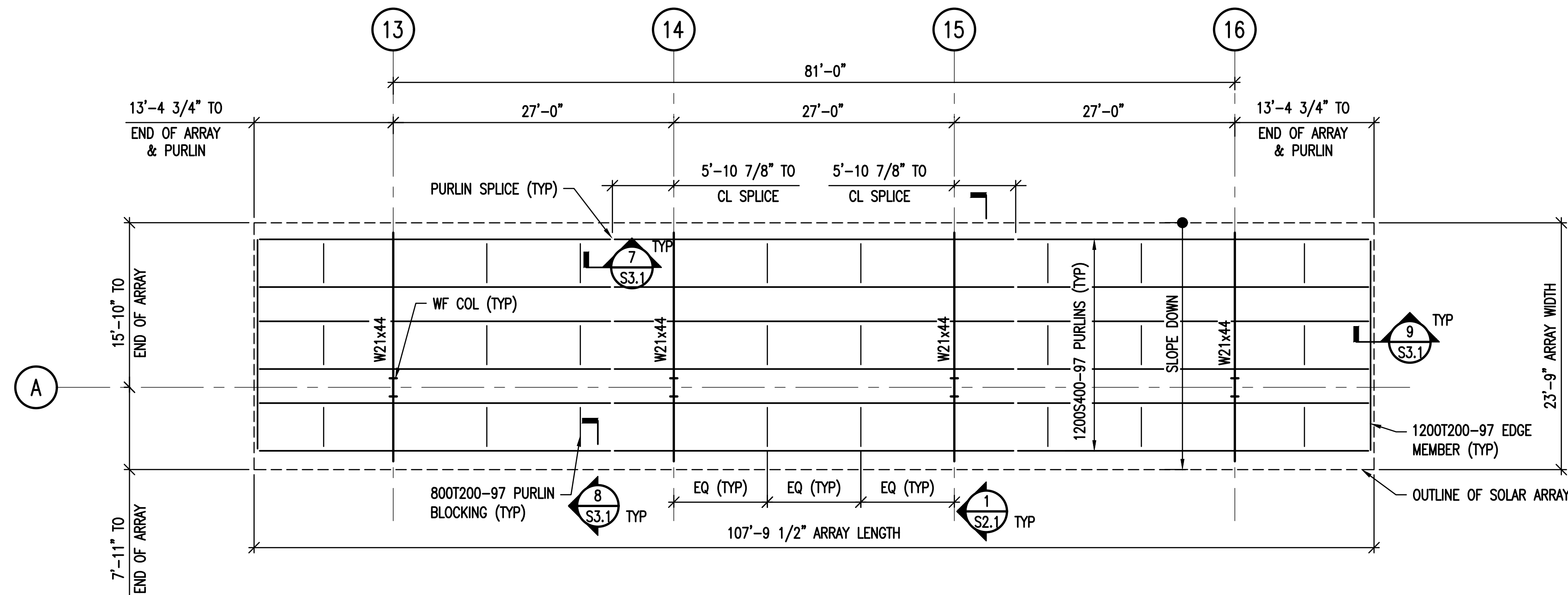
CANOPY 1 & 2
FRAMING
PLAN

PROJECT #25039

S1.4



1 CANOPY 3 FRAMING PLAN



2 CANOPY 4 FRAMING PLAN

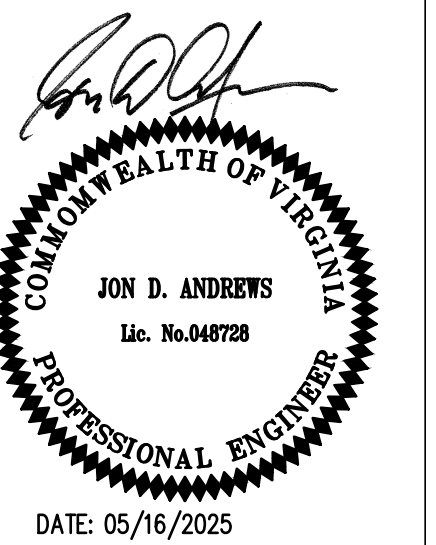


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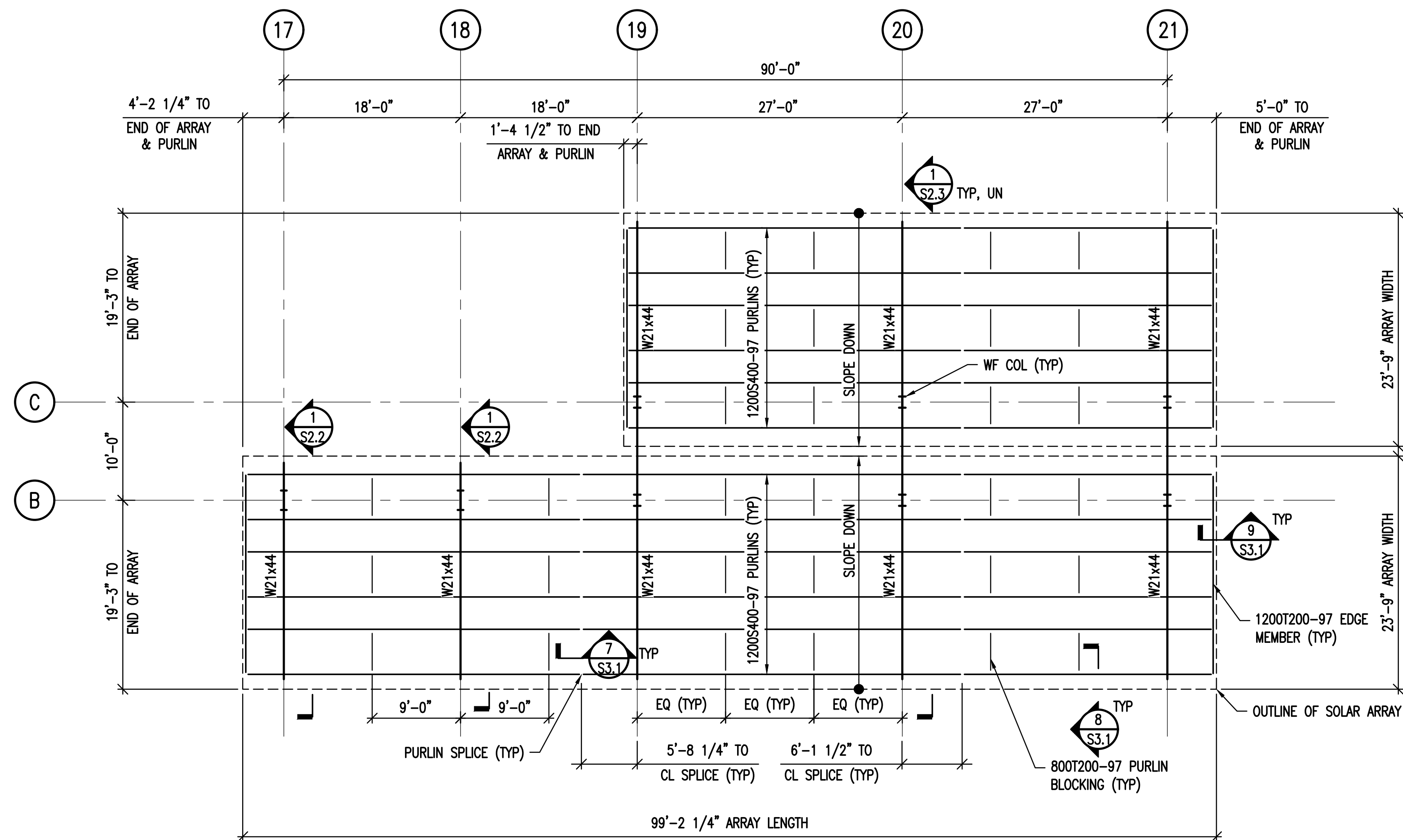
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CANOPY 3 & 4
FRAMING
PLAN

PROJECT #:25039

S1.5



1 CANOPY 5 FRAMING PLAN

0 2' 4' 8' 16'

SCALE: 1/8" = 1'-0"

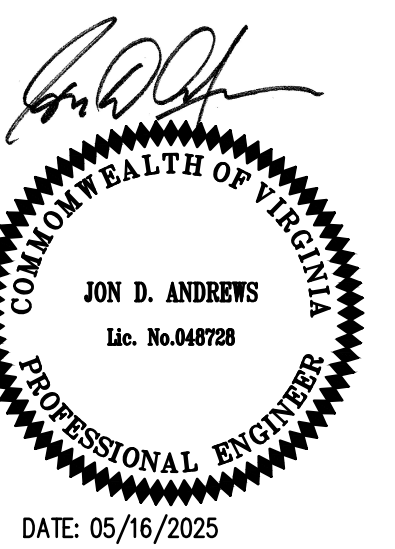


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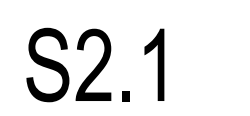
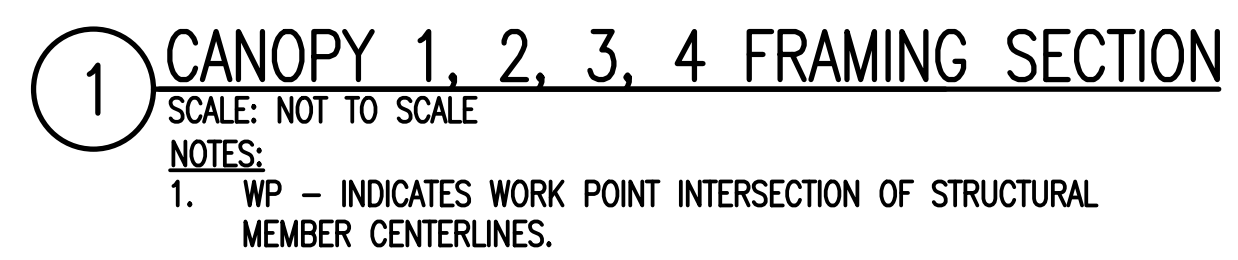
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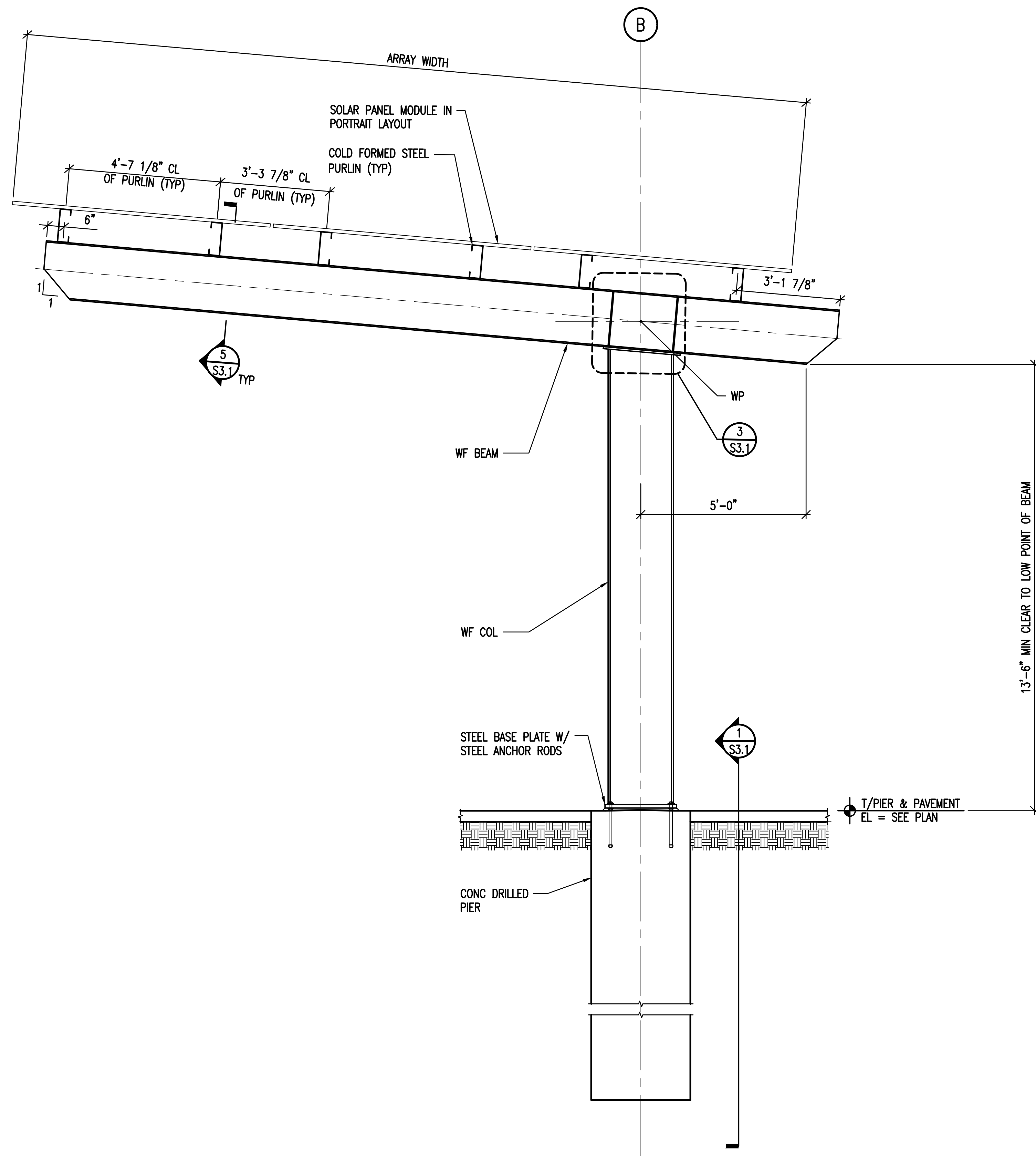
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CANOPY 5
FRAMING
PLAN

PROJECT #:25039

S1.6





1 CANOPY 5 FRAMING SECTION
 SCALE: NOT TO SCALE
 NOTES:
 1. WP - INDICATES WORK POINT INTERSECTION OF STRUCTURAL MEMBER CENTERLINES.

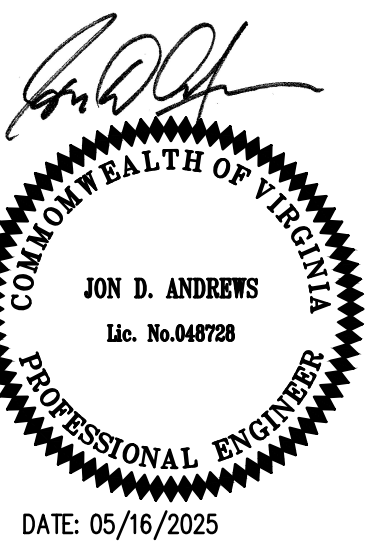


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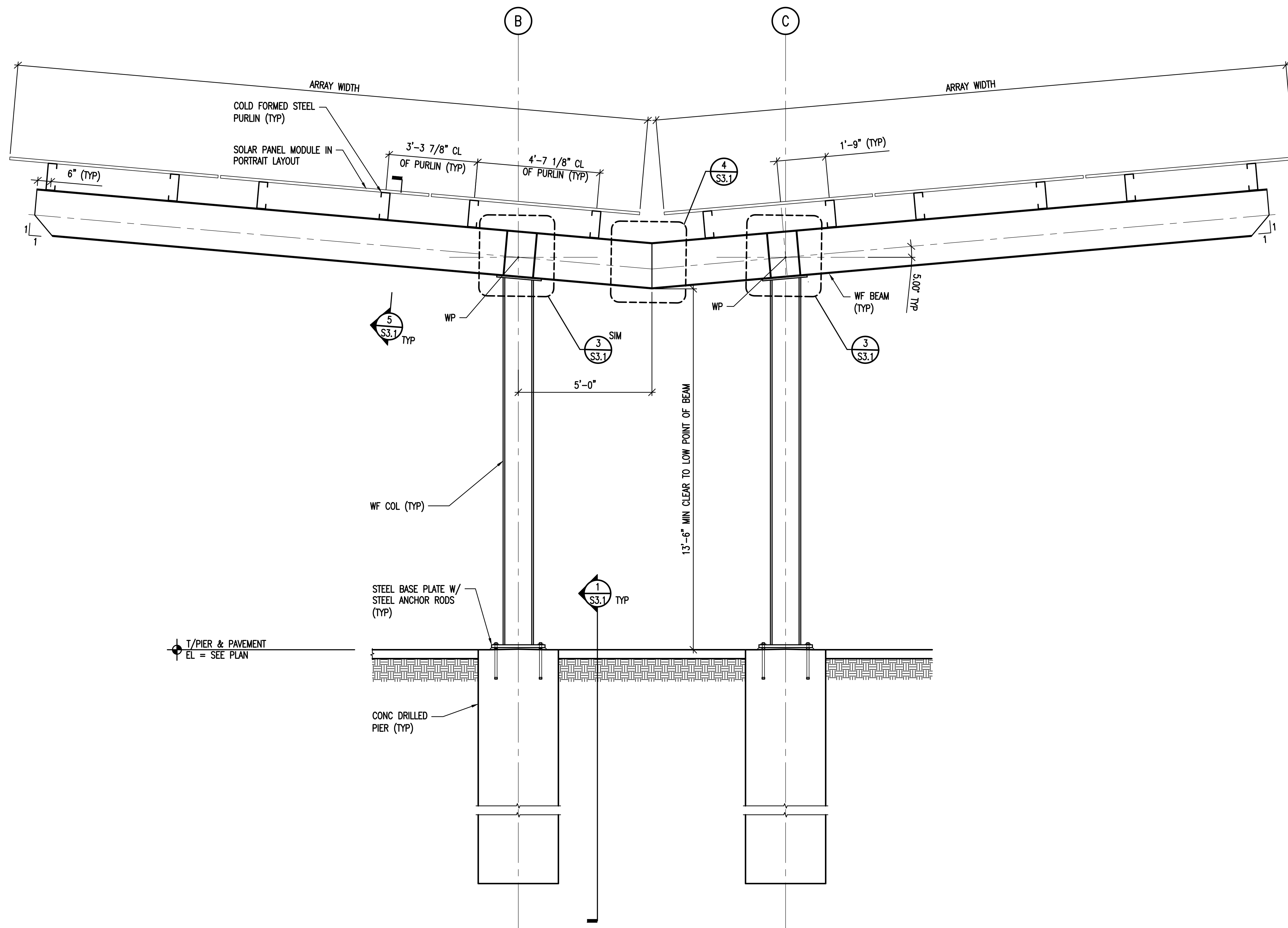
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05/16/25	PERMIT	

CANOPY 5
 FRAMING
 SECTION

PROJECT #:25039

S2.2



1 CANOPY 5 FRAMING SECTION
 SCALE: NOT TO SCALE
 NOTES:
 1. WP - INDICATES WORK POINT INTERSECTION OF STRUCTURAL MEMBER CENTERLINES.

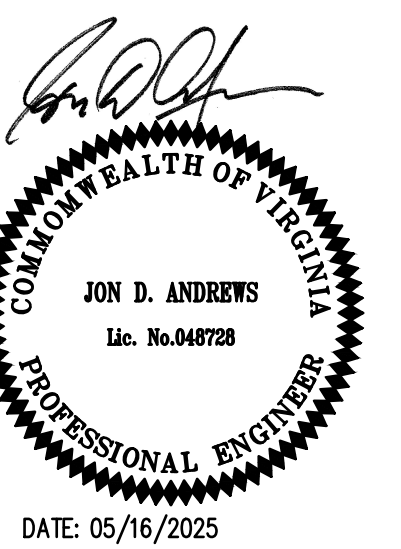


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 Phone: 312.341.0055 www.tgrwa.com

RICHMOND BALLPARK SOLAR PROJECT
3001 N ARTHUR ASHE BLVD
RICHMOND, VA 23230



DATE: 04/15/2025

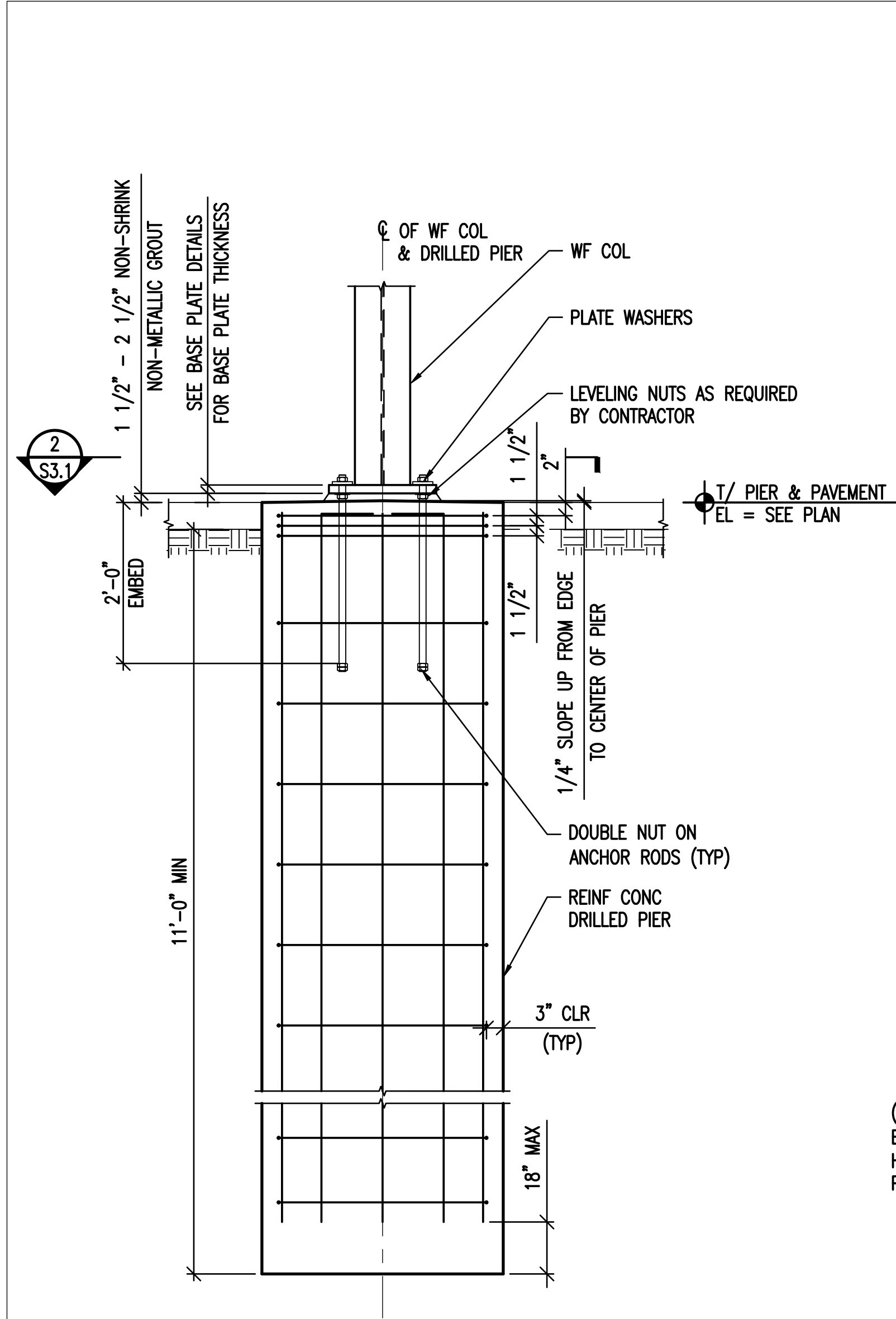
DESIGNED BY: CTN

NO.	DATE:	REVISIONS
04/15/25	REVIEW	
05/16/25	PERMIT	

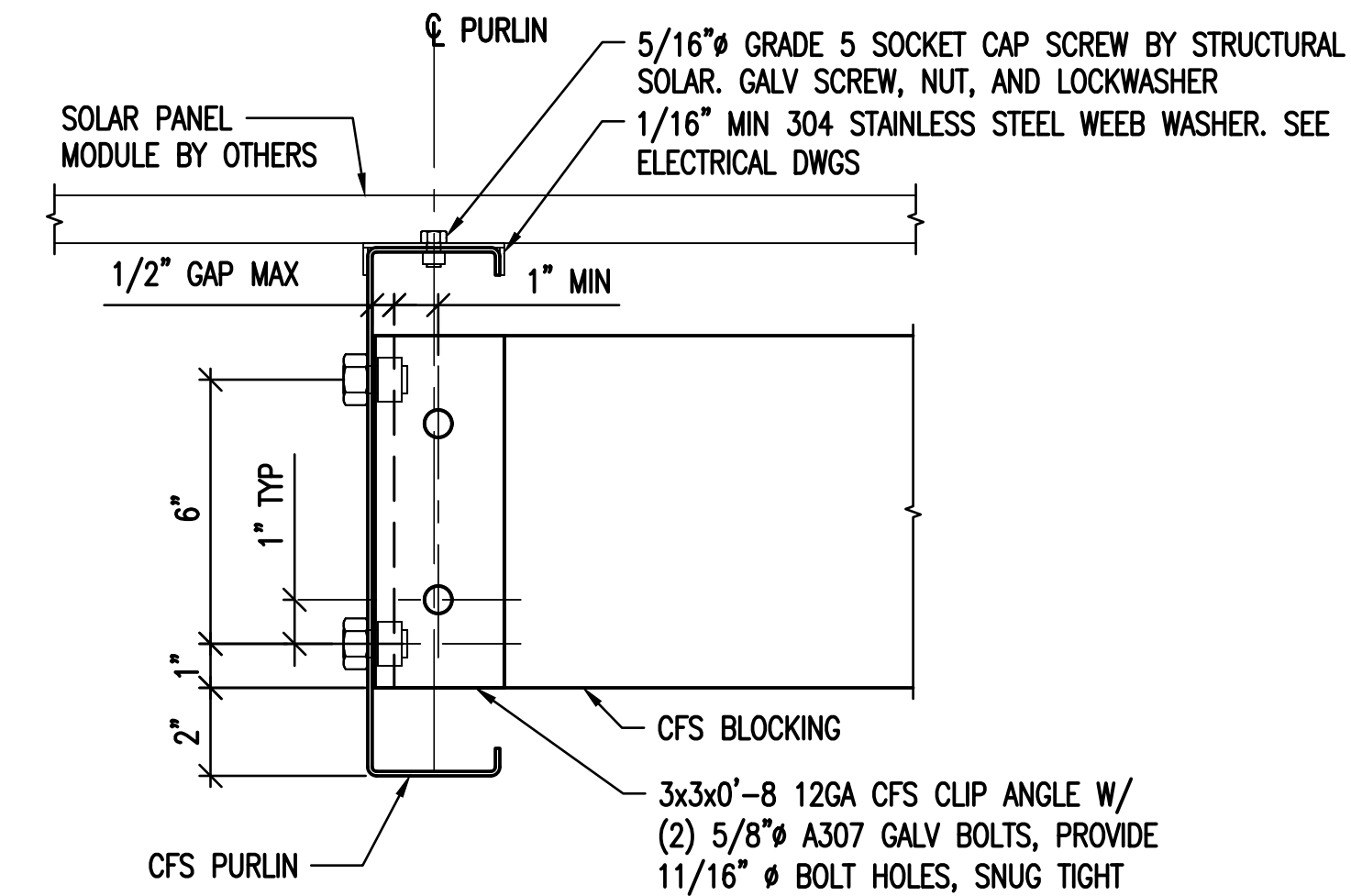
**CANOPY 5
 FRAMING
 SECTION**

PROJECT #25039

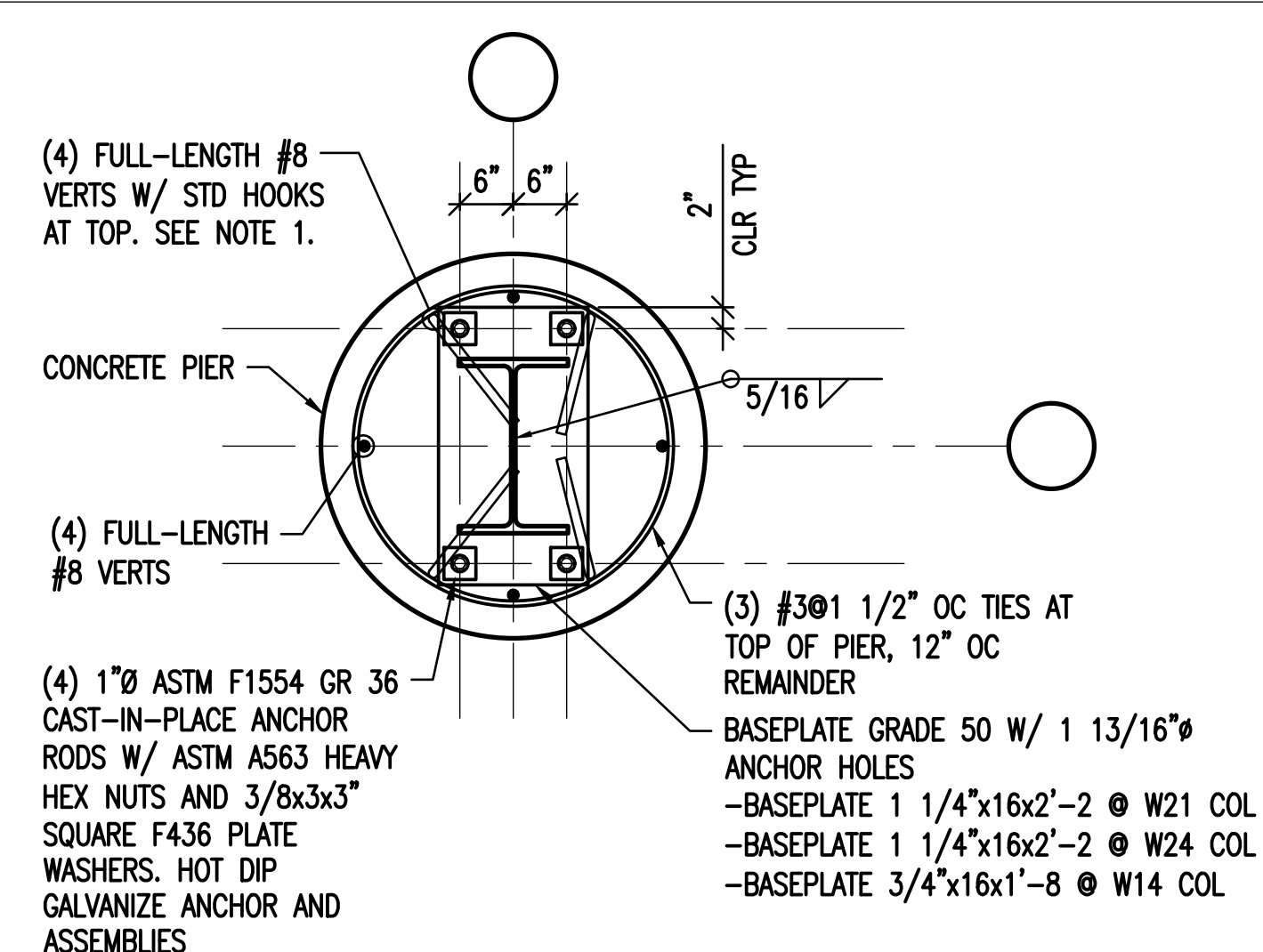
S2.3



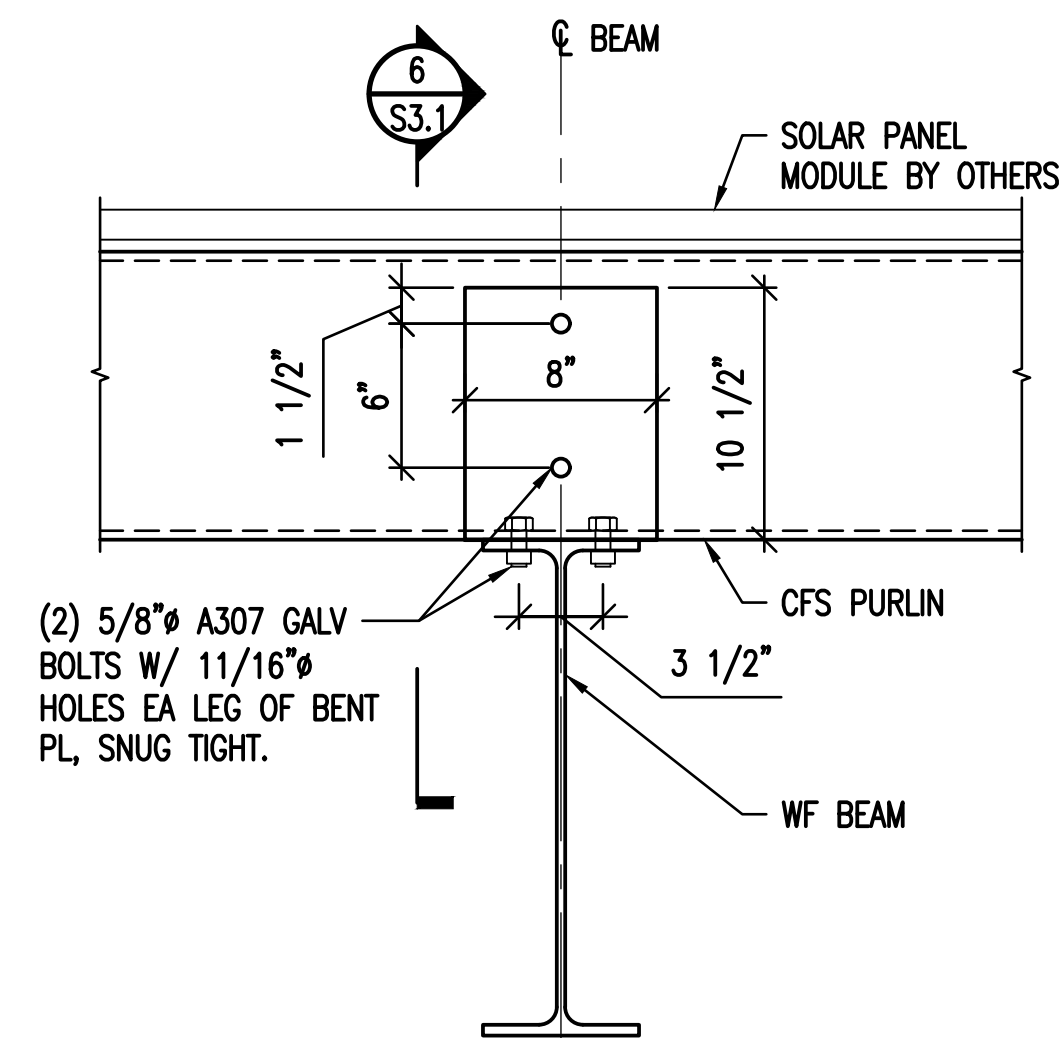
1 BASE PLATE AND CONCRETE DRILLED PIER SECTION
SCALE: NOT TO SCALE
NOTES:
1. REFER TO FOUNDATIONS NOTES ON S0.1.



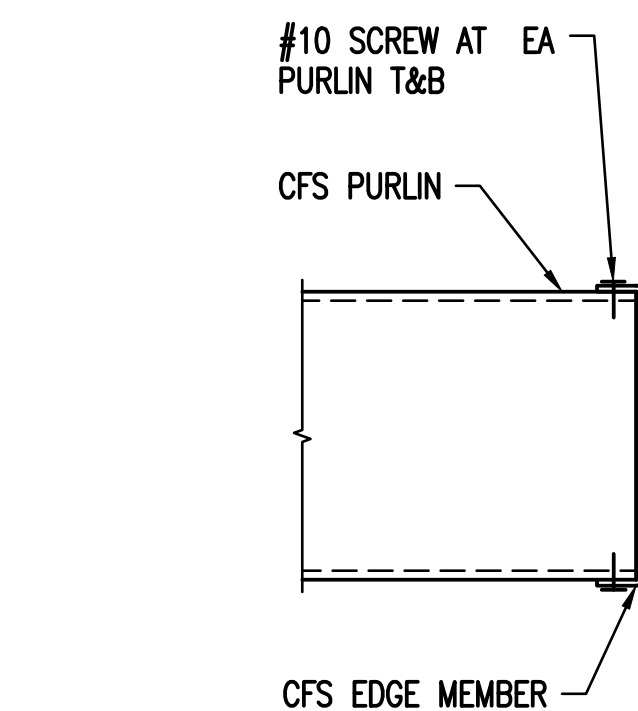
8 TYPICAL PURLIN BLOCKING CONNECTION DETAIL
SCALE: NOT TO SCALE



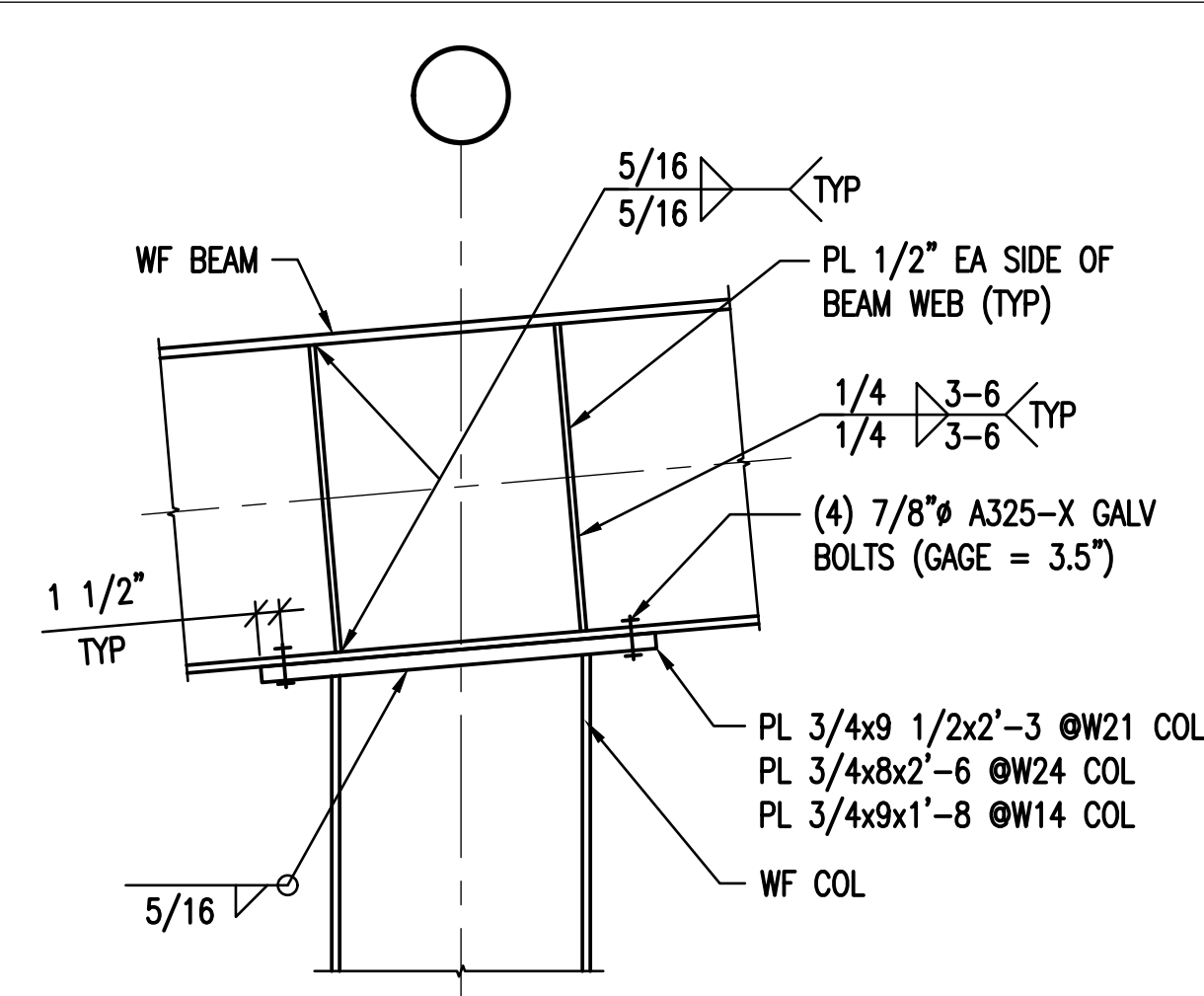
2 BASE PLATE AND CONCRETE DRILLED PIER PLAN
SCALE: NOT TO SCALE
NOTES:
1. PLACE (1) #8 VERTICAL W/ TOP HOOK WITHIN 4" OF EACH ANCHOR.



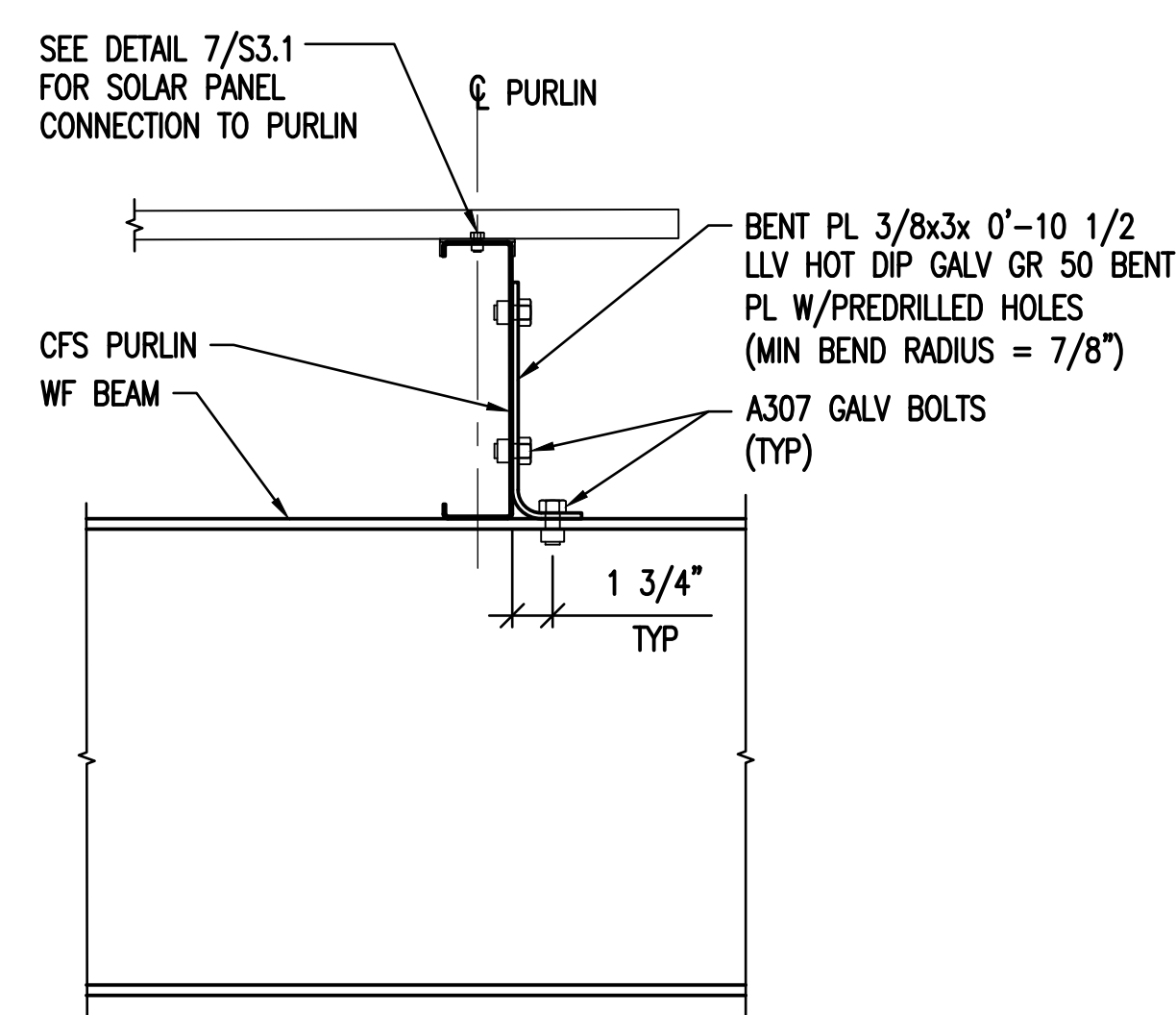
5 TYPICAL PURLIN TO BEAM CONNECTION
SCALE: NOT TO SCALE



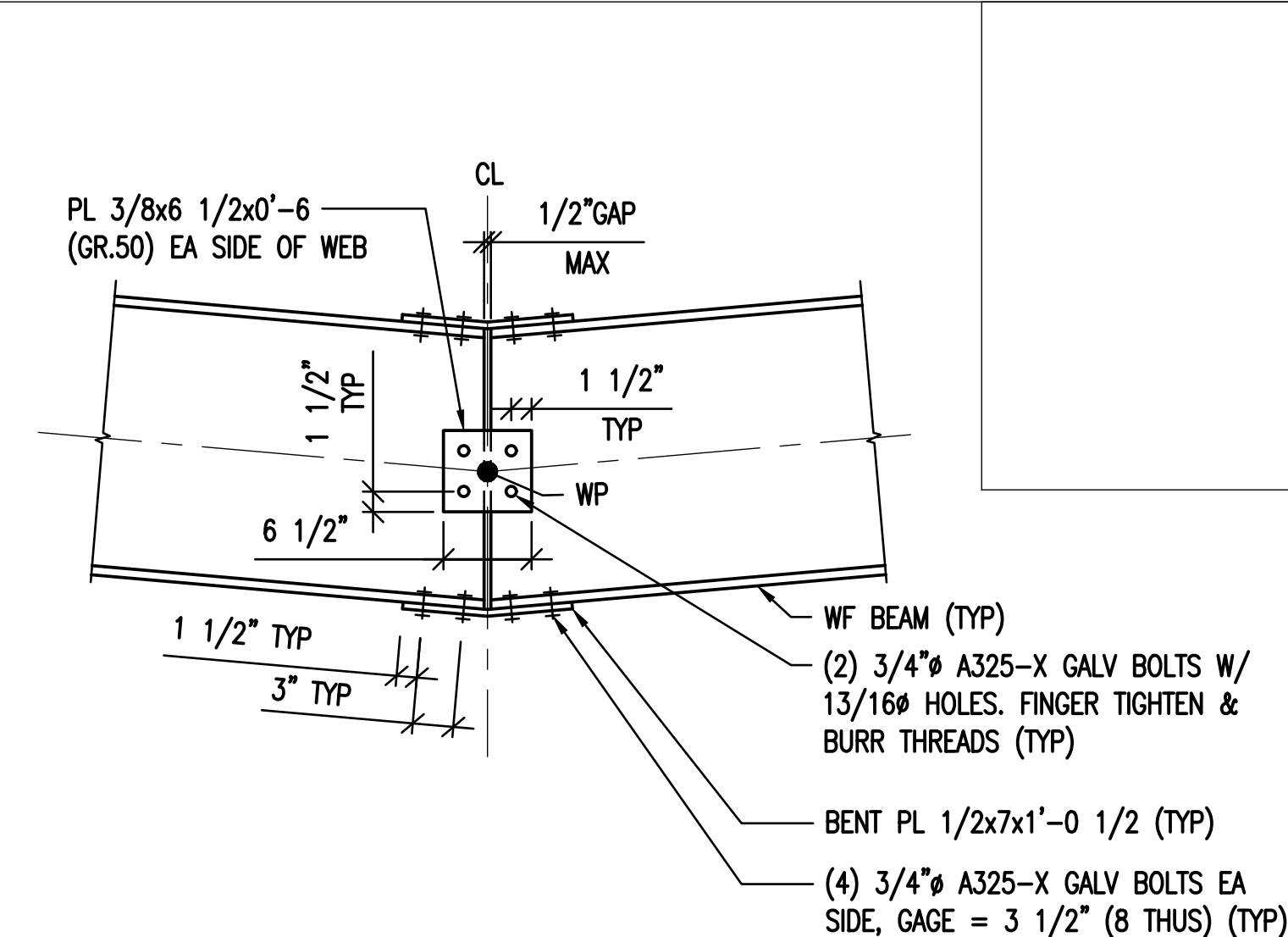
9 TYPICAL EDGE MEMBER TO PURLIN CONNECTION DETAIL
SCALE: NOT TO SCALE



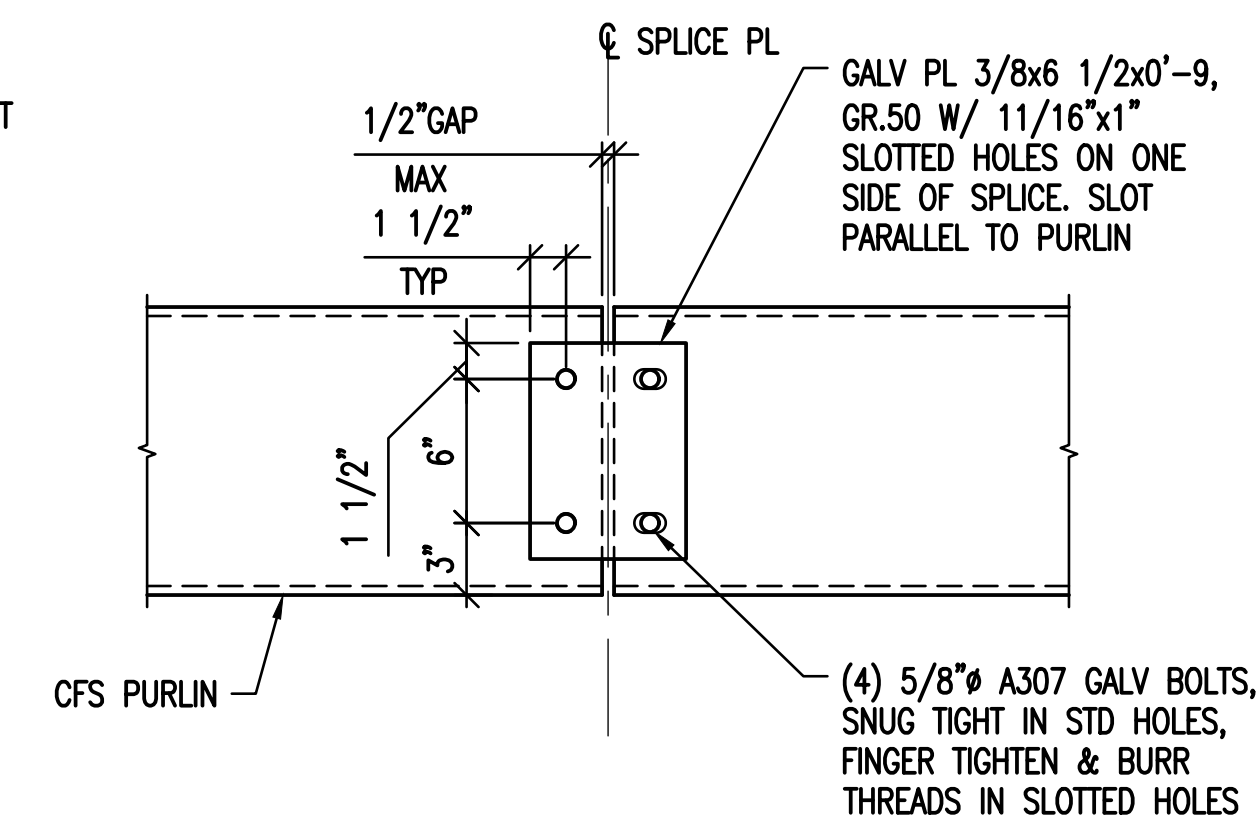
3 TYPICAL TOP BEAM TO COLUMN CONNECTION DETAIL
SCALE: NOT TO SCALE



6 TYPICAL PURLIN TO BEAM CONNECTION
SCALE: NOT TO SCALE



4 BEAM MOMENT SPLICE DETAIL
SCALE: NOT TO SCALE



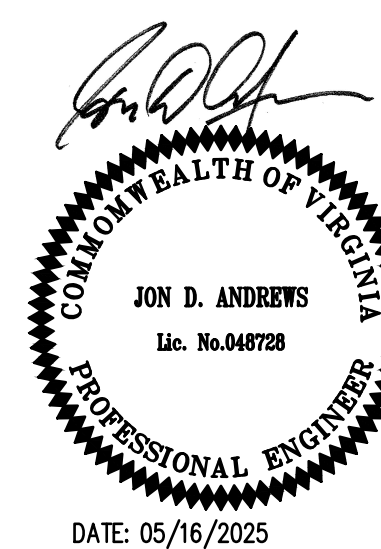
7 TYPICAL SPLICE PLATE CONNECTION DETAIL
SCALE: NOT TO SCALE



TGRWA
Structural Engineers

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Phone: 312.341.0055 www.tgrwa.com

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DETAILS

PROJECT #25039

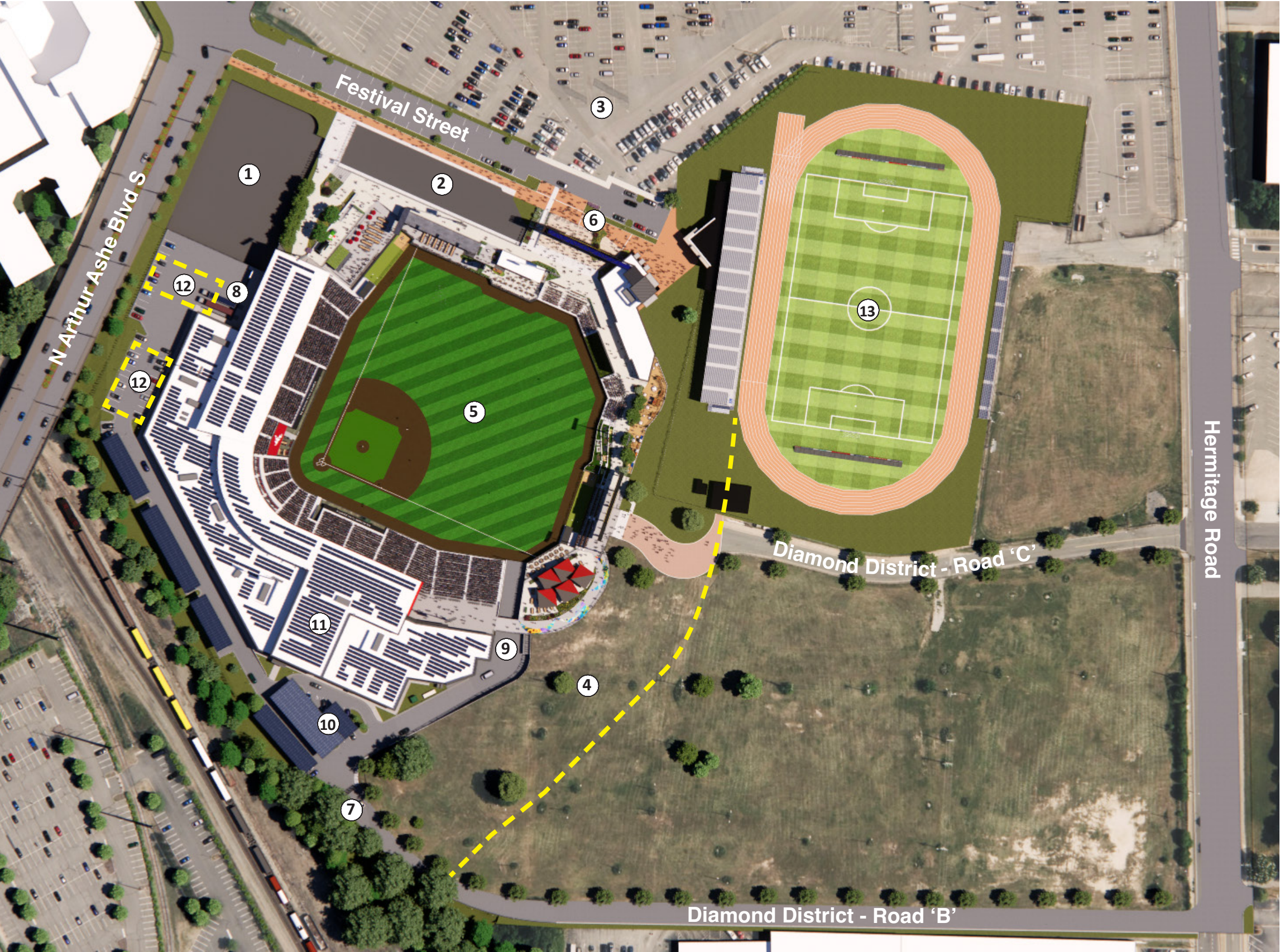
S3.1

CARMAX PARK + DOMINION Energy

Richmond, VA

March 4, 2025

CARMAX PARK + DOMINION ENERGY: PV INSTALLATION - SITE ACCESS



Site Plan

- 1. Diamond District: Hotel Pad
- 2. Diamond District: Retail Pad
- 3. Diamond District: Blue Lot
- 4. Diamond District:
City of Richmond Park
- 5. Carmax Park: Home of
The Richmond Squirrels
- 6. Carmax Park:
Fan Main Entrance
- 7. Carmax Park: Access Gate
- 8. Carmax Park: Loading Dock
- 9. Carmax Park:
Field Access Drive
- 10. Carmax Park: Solar Carports
- 11. Carmax Park: Solar Panels
- 12. Solar PV Contractor:
Laydown Area
- 13. Sports Backer Stadium - VCU



CARMAX PARK + DOMINION ENERGY: PV INSTALLATION - AERIAL VIEW



CARMAX PARK + DOMINION ENERGY: PV INSTALLATION - AERIAL VIEW



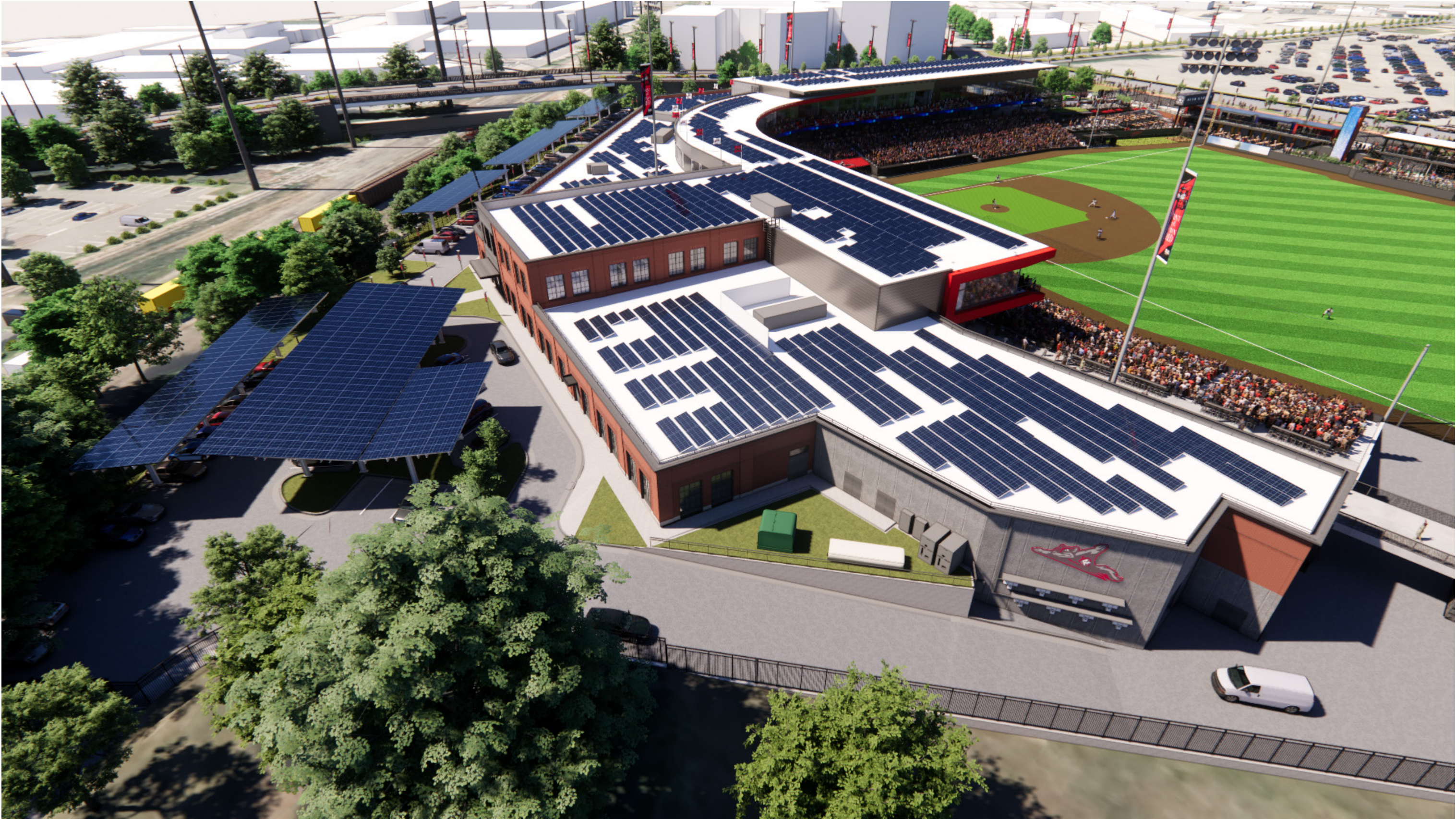
PV CARMAX PARK + DOMINION ENERGY: PV INSTALLATION - AERIAL VIEW



CARMAX PARK + DOMINION ENERGY: PV INSTALLATION - AERIAL VIEW



CARMAX PARK + DOMINION ENERGY: PV INSTALLATION - AERIAL VIEW





UDC 2024-37 Approval Letter (AMENDED)

July 30, 2025

The application for **UDC 2024-37 FINAL Location, Character, and Extent review of the proposed Diamond District Stadium located at 3001 North Arthur Ashe Boulevard** was reviewed by the Urban Design Committee, on August 8, 2024, and approved by the City of Richmond Planning Commission, on August 20, 2024, with the following conditions of approval.

1. The UDC recommends that final details on outdoor lighting be sensitive to light pollution or dark-skies compliant.
2. The UDC recommends inclusion of permeable hardscape materials and sustainable stormwater features, where appropriate, and as suggested by the Urban Design Guidelines.
3. The UDC recommends the applicant incorporate public art, where feasible.
4. The UDC recommends that the Applicant explore additional brick proportions and detailing visible from Arthur Ashe Boulevard.
5. The UDC recommends that the Applicant include additional shade and seating.
6. The UDC supports consideration for solar power generation.
7. The UDC recommends that the Applicant include for Planning Commission review, renderings of the view from Arthur Ashe Boulevard and the Arthur Ashe Boulevard Bridge, as well as renderings showing architecture during the night time.
8. The UDC supports changes to the architectural façade that make it more iconic and monumental.

(AMENDMENT)

The Applicant has proposed an addition to the previously approved plans that consists of solar power generation, part of which will be upon newly constructed canopies in the rear parking area. Staff recommended, and the UDC and Planning Commission approved a condition that states “6. The UDC supports consideration for solar power generation.” **It was at the time of approval that this condition was intended by Staff to allow future solar installations to be installed without additional UDC or Planning Commission approval.** The secretaries to both the UDC and Planning Commission attest that no further approvals are needed for the proposed solar project from the UDC or CPC. Additionally, that the proposed solar project does not trigger any further action as related to the other conditions 1 through 8.

(Cont. next page)



UDC 2024-37 Approval Letter (AMENDED)

Current plans, staff report, and a recording of the UDC meeting is available on the City of Richmond's Legistar Website which is linked here:

<https://richmondva.legistar.com/MeetingDetail.aspx?ID=1143311&GUID=67E084F8-526C-4323-9015-107B5DEC42A6&Options=info|&Search=>

Should you have any questions please do not hesitate to contact me at 804-646-5467 or raymond.roakes@rva.gov.

Thank You,

A handwritten signature in black ink, appearing to read "Ray Roakes", is written over a light gray rectangular background.

Ray Roakes, Urban Design Committee Planner