

NO.	DESCRIPTION	DATE	APPR.
4	SITE PLAN REVISED	4-22-2021	
3	SITE PLAN REVISED	4-8-2021	
2	FINAL PLANS FOR SUP	12-14-2020	
1	CLIENT REVIEW	10-28-2020	

PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5779 PHONE
STRUCTURAL ENGINEER INFO

OWNER
 AC & STEPHANIE CATEDRAL
 4331 & 4337 SHACKLEFORD RD.
 RICHMOND, VA 23234
 804-874-2030

APPROVED

ACTIVITY

SATISFACTORY TO DATE
 DES: *** | DRW: JRP3 | CHK: JRP3

SCALE

PROJECT NO.: 2019-02

CONSTR. CONTR. NO.

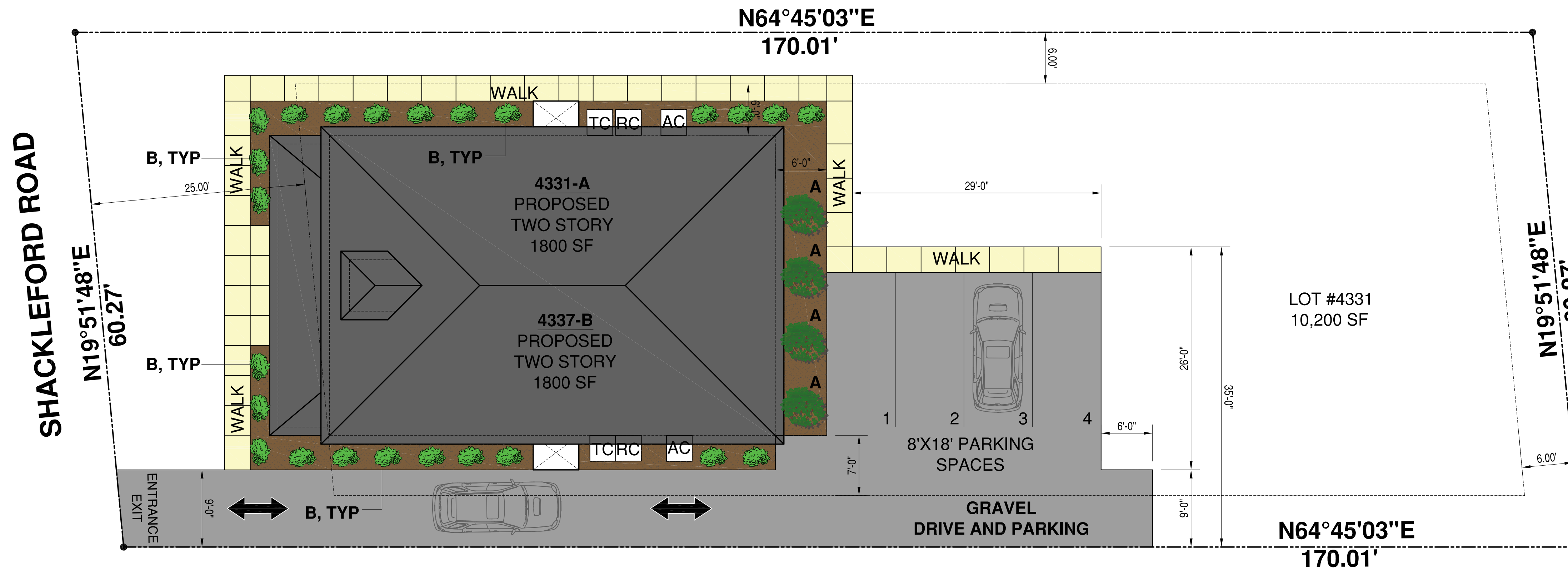
DRAWING NO.

SHEET OF

A-100

LANDSCAPING:

- A ARBORVITAE TREE OR EQUAL MAX. HEIGHT 5 FEET
- B BOX SHRUBS IN MULCH BED



DESIGNED LOT COVERAGE:
 1820 SF

ZONING:
 R-4
 SINGLE FAMILY-RESIDENTIAL

MINIMUM LOT REQUIREMENTS:
 7,500 SF

SETBACKS:
 FRONT YARD 25 FT.
 SIDE YARD 6 FT.
 REAR YARD 6 FT.

HEIGHT REQUIREMENTS:
 MAIN BUILDING 35 FT.
 ACCESSORY BUILDING 35 FT.
 FENCE OR WALL 6.5 FT. (SIDE & REAR YARD)

4331 SHACKLEFORD ROAD
ID:C0090950048

NOTES:

1. TC = TRASH CAN
2. RC = RECYCLING CAN
3. AC = HVAC UNIT
4. MULCH BEDS TO HAVE BOX SHRUBS EACH
5. WALKS TO PORCHES TO BE CONCRETE

PRELIMINARY NOT FOR CONSTRUCTION - FOR SPECIAL USE PERMIT APPLICATION

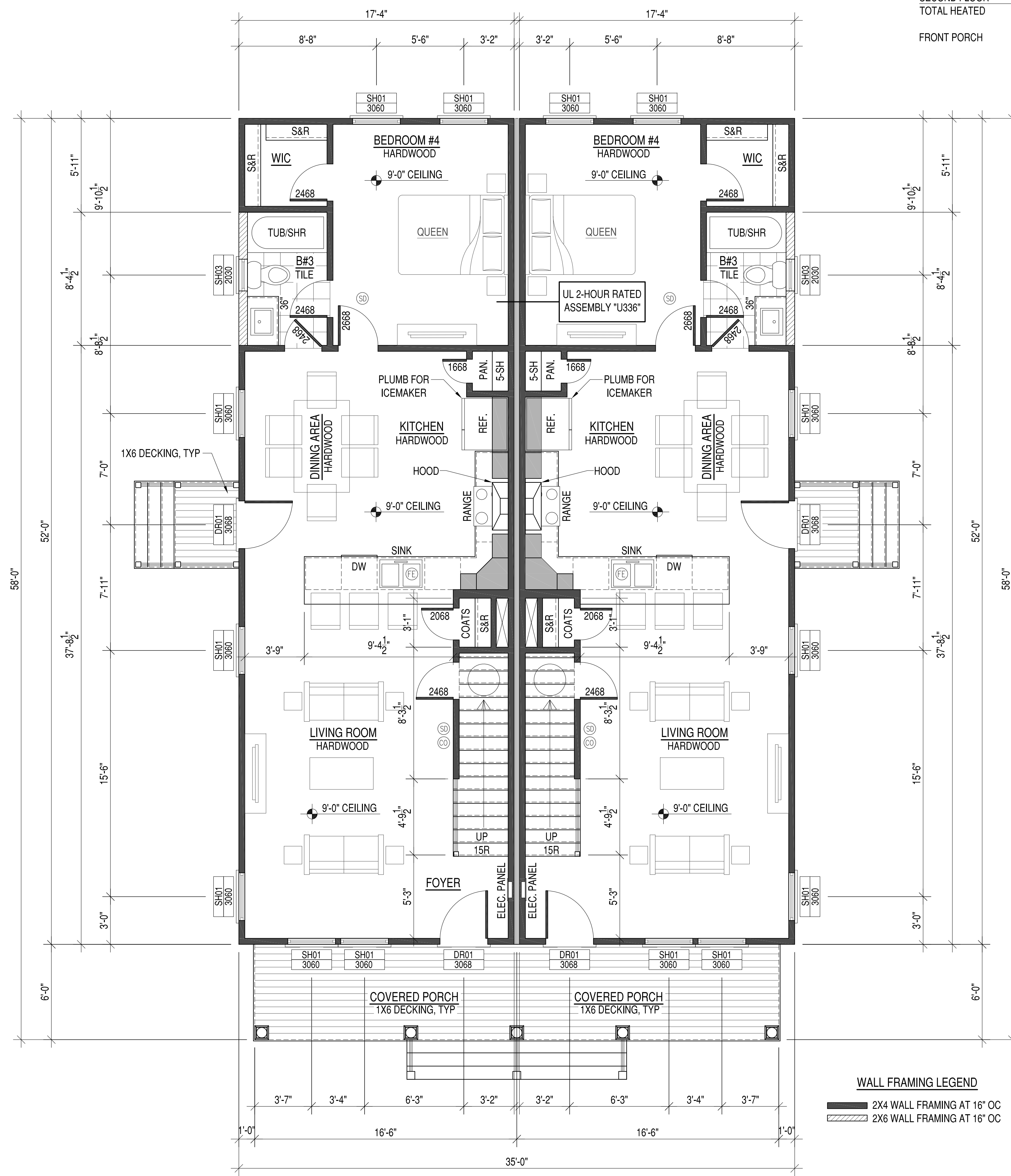
ATTACHED FOUR SQUARE HOMES

4331 & 4337 SHACKLEFORD ROAD
 RICHMOND, VA 23234

PROPOSED SITE PLAN

SQUARE FOOTAGES

FIRST FLOOR	=	900	SF
SECOND FLOOR	=	900	SF
TOTAL HEATED	=	1800	SF
FRONT PORCH	=	100	SF

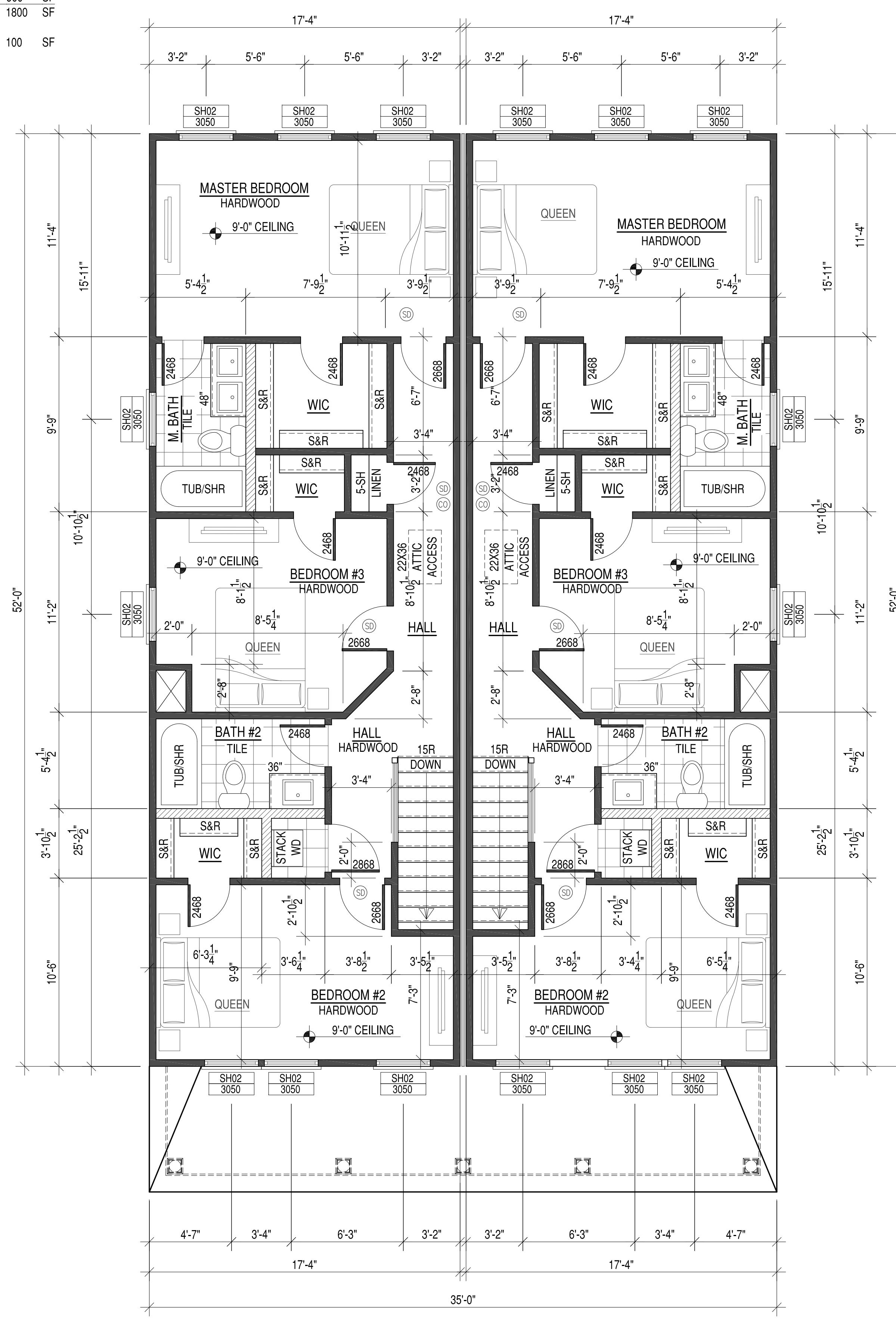


4331-A **4331-B**

PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

WALL FRAMING LEGEND
 — 2X4 WALL FRAMING AT 16" OC
 - - - 2X6 WALL FRAMING AT 16" OC



4331-A **4331-B**

PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

PRELIMINARY NOT FOR CONSTRUCTION - FOR SPECIAL USE PERMIT APPLICATION

ATTACHED FOUR SQUARE HOMES
 4331 & 4337 SHACKLEFORD ROAD
 RICHMOND, VA 23234

PROPOSED FIRST & SECOND FLOOR PLAN

AC & STEPHANIE CATEDRAL
 4331 & 4337 SHACKLEFORD RD.
 RICHMOND, VA 23234
 804-874-2030

PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5778 PHONE

NO.	DATE	DESCRIPTION	APPR.
2	10-28-2020	FINAL PLANS FOR SUP	
1	10-28-2020	CLIENT REVIEW	

APPROVED	OWNER
ACTIVITY	
SATISFACTORY TO DATE	
DES	DRW_JRP3
CHK	JRP3

SCALE:	
PROJECT NO.:	2018-02
CONSTR. CONTR. NO.:	
DRAWING NO.:	
SHEET	OF
A-101	

ATTIC AREA VENTILATION CALCULATIONS PER UNIT

ATTIC AREA:
 $1565 \text{ SQ. FT.} / 300 \times 144 =$
 $757 \text{ SQ. IN. NET FREE AREA REQUIRED}$
 (50% MIN AT RIDGE)

RIDGE VENT:
 $20 \text{ L.F.} \times 18 \text{ SQ. IN. PER LINEAR FOOT} =$
 $360 \text{ SQ. IN. PROVIDED}$

SOFFIT VENT:
 $146 \text{ L.F.} \times 5.867 \text{ SQ. IN. PER LINEAR FOOT} =$
 $856 \text{ SQ. IN. PROVIDED}$

TOTAL NET FREE ARE PROVIDED = **1,216 SQ. IN.**

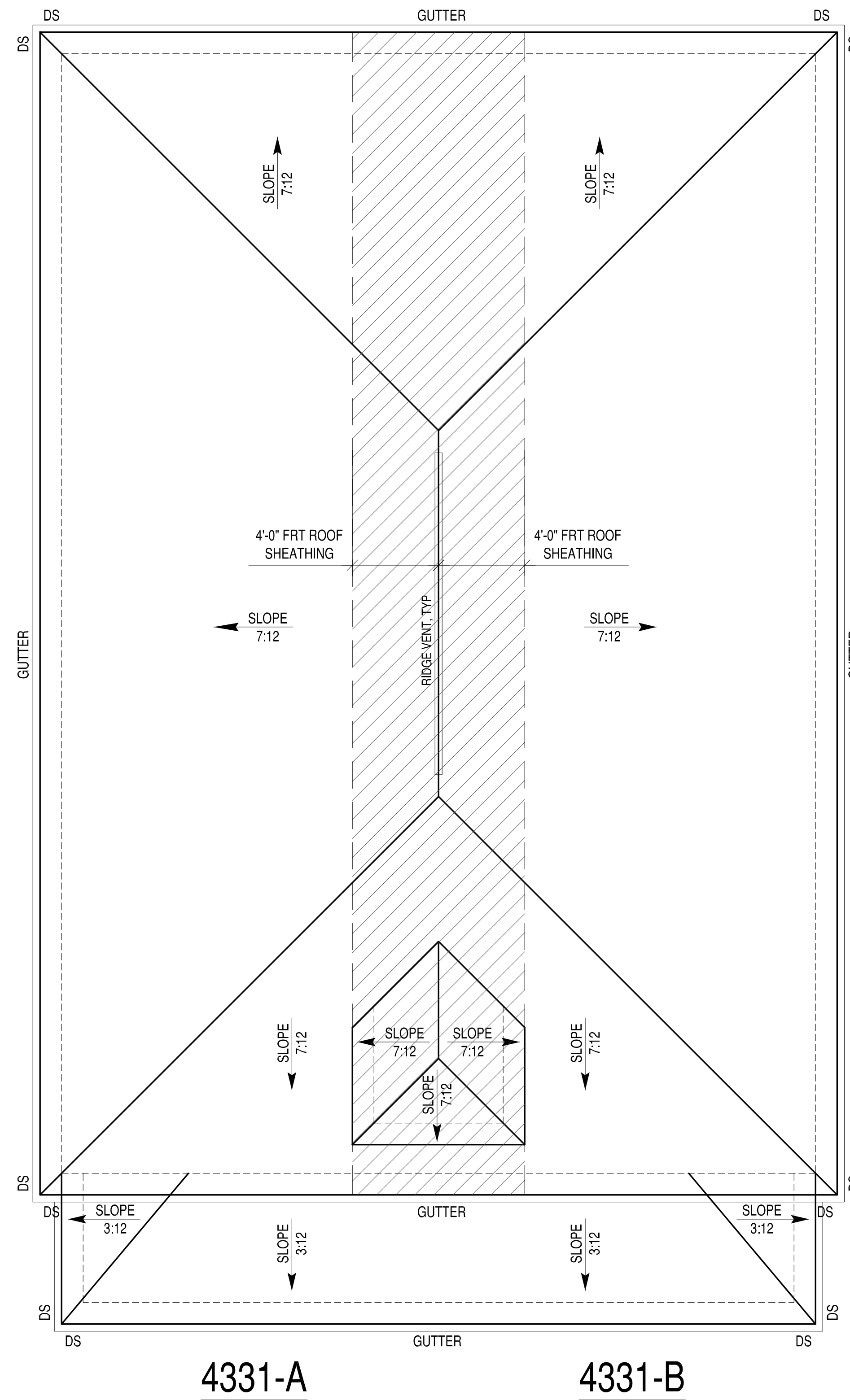
POWER VENT = (1) 12" AIRVENT, INC POWERCOOL PLUS 12
 AUTOMATIC THERMOSTAT W/ HUMIDSTAT VENT FOR UP TO
 1,650 SF OF ATTIC SPACE, INSTALL MULTIPLE VENTS FOR
 ADDITIONAL AREA.
**IF INSTALLING POWER VENT, DO NOT INSTALL
 RIDGE VENT**

PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES

1. THE DESIGN, FABRICATION AND INSTALLATION OF ALL PRE-ENGINEERED, PRE-FABRICATED WOOD TRUSSES SHALL CONFORM TO THE LATEST, ADOPTED EDITIONS OF THE STANDARDS AND MATERIAL SPECIFICATIONS REFERENCED HEREIN.
2. REFERENCE STANDARDS
 - 2.1. NDS "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION" BY THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA).
 - 2.2. TPI-1, "DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" BY THE TRUSS PLATE INSTITUTE.
3. MATERIALS
 - 3.1. THE TERM "TRUSS" USED IN THIS SECTION APPLIES TO TRUSSES THAT ARE DESIGNED AND FABRICATED AS SEPERATE ENGINEERED PRODUCTS, AND DELIVERED TO THE PROJECT SITE FOR INSTALLATION.
 - 3.2. LUMBER: SPECIES PER DESIGN BY THE TRUSS MANUFACTURER, NO.2 GRADE OR BETTER, 15% MAXIMUM M.C., EXCEPT THE TRUSS MANUFACTURER MAY USE STUD-GRADE FOR WEB MEMBERS.
4. DESIGN
 - 4.1. THE TRUSS MANUFACTURER SHALL DESIGN, DETAIL, PROVIDE AND INSTALL ALL INTERNAL TRUSS COMPONENT CONNECTIONS.
 - 4.2. THE TRUSS MANUFACTURER SHALL DESIGN AND DESIGNATE ALL TRUSS-TO-TRUSS HANGERS. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL TRUSS-TO TRUSS HANGERS IN ACCORDANCE WITH THE HANGER MANUFACTURER'S SPECIFICATIONS.
 - 4.3. METAL CONNECTOR PLATES: USE GALVANIZED SHEET STEEL CONFORMING WITH ASTM A653, COATING CLASS G60. MANUFACTURE WITH HOLES, PLUGS, TEETH, OR PRONGS UNIFORMLY SPACED AND FORMED.
 - 4.4. IN ADDITION TO THE UNIFORM LOADS INDICATED BELOW, DESIGN TRUSSES FOR ALL SUPERIMPOSED DEAD LOADS INCLUDING BUT NOT LIMITED TO OVERLAY FRAMING, CHIMNEYS, MECHANICAL EQUIPMENT, ETC. DESIGN TRUSSES AND REQUIRED BRACING TO RESIST THE NET WIND UPLIFT INDICATED ON THE DRAWINGS.
 - 4.5. DESIGN OF MEMBERS AND CONNECTIONS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE DISTRICT OF COLUMBIA, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
 - 4.6. DESIGN BOTTOM CHORDS OF GIRDER TRUSSES FOR THE END REACTIONS OF SUPPORTED TRUSSES.
 - 4.7. DESIGN ALL TRUSSES FOR ADDITIONAL SERVICE LOADS INDICATED ON PLAN.
5. DESIGN LOADS
 - 5.1. ROOF

5.1.1. TOP CHORD DEAD LOAD	=	10	PSF
5.1.2. TOP CHORD LIVE LOAD	=	20	PSF
5.1.3. BOTTOM CHORD DEAD LOAD	=	10	PSF
5.1.4. BOTTOM CHORD LIVE LOAD	=	0	PSF
5.1.5. WIND LOADING:	SEE DESIGN LOADS SECTION ON SHEET S 001		
5.1.5.1. NET WIND UPLIFT	=	8	PSF
 - 5.2. DEFLECTIONS
 - 5.2.1. ROOF

5.2.1.1. MAXIMUM LIVE LOAD DEFLECTION	=	L/360, OR .625" MAXIMUM
5.2.1.2. MAXIMUM TOTAL LOAD DEFLECTION	=	L/240, OR 1.0" MAXIMUM
 - 5.3. DESIGN ALL BRACING AND BRACING CONNECTIONS FOR ALL TRUSS TO CHORDS, BOTTOM CHORDS AND WEB MEMBERS. PARTICULAR ATTENTION SHALL BE GIVEN TO AREAS IN THE FINISHED STRUCTURE WHICH CONTAIN TRUSSES WITH UN-SHEATHED TOP AND/OR BOTTOM CHORD MEMBERS.
6. SUBMITTALS
 - 6.1. SUBMIT TRUSS SHOP DRAWINGS WHICH EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR TRUSS DESIGN.
 - 6.2. SUBMIT LAYOUT DRAWING WHICH INDICATES THE LOCATION OF EACH TRUSS.
 - 6.3. SUBMIT HANGER CONNECTOR TYPES AND LOCATIONS.
 - 6.4. INDICATE ALL TEMPORARY AND PERMANENT BRACING REQUIREMENTS OF TRUSS MEMBERS. IN AREAS WHERE TRUSS TOP CHORDS AND/OR BOTTOM CHORDS DO NOT RECEIVE SHEATHING, INDICATE THE REQUIRED CHORD BRACING AND BRACE SPACINGS FOR ALL APPLICABLE LOAD CASES. INDICATE ANCHORAGE OF "CAP" TRUSSES AND/OR "OVERLAY" TRUSSES.



PROPOSED TYPICAL ROOF PLAN

SCALE: 1/4"=1'-0"

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ATTACHED FOUR SQUARE HOMES

4331 & 4337 SHACKLEFORD ROAD
 RICHMOND, VA 23234

PROPOSED TYPICAL ROOF PLAN AND NOTES

SCALE:	
PROJECT NO.:	2019-02
CONSTR. CONTR. NO.:	
DRAWING NO.:	
SHEET	OF
A-103	

AC & STEPHANIE CATEDRAL
 4331 & 4337 SHACKLEFORD RD.
 RICHMOND, VA 23234
 804-874-2030

PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
 (703) 728-5778 PHONE

DATE	10-28-2020
DESCRIPTION	FINAL PLANS FOR SUP
SW	1
DATE	10-28-2020
DESCRIPTION	CLIENT REVIEW
SW	1

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DATE	10-28-2020
DESCRIPTION	CLIENT REVIEW
SW	1
DATE	10-28-2020
DESCRIPTION	FINAL PLANS FOR SUP12-14-2020
DATE	10-28-2020
DESCRIPTION	CLIENT REVIEW
SW	1

PENN & CO.
 10921 PARKSHIRE LANE
 HENRICO, VA 23233
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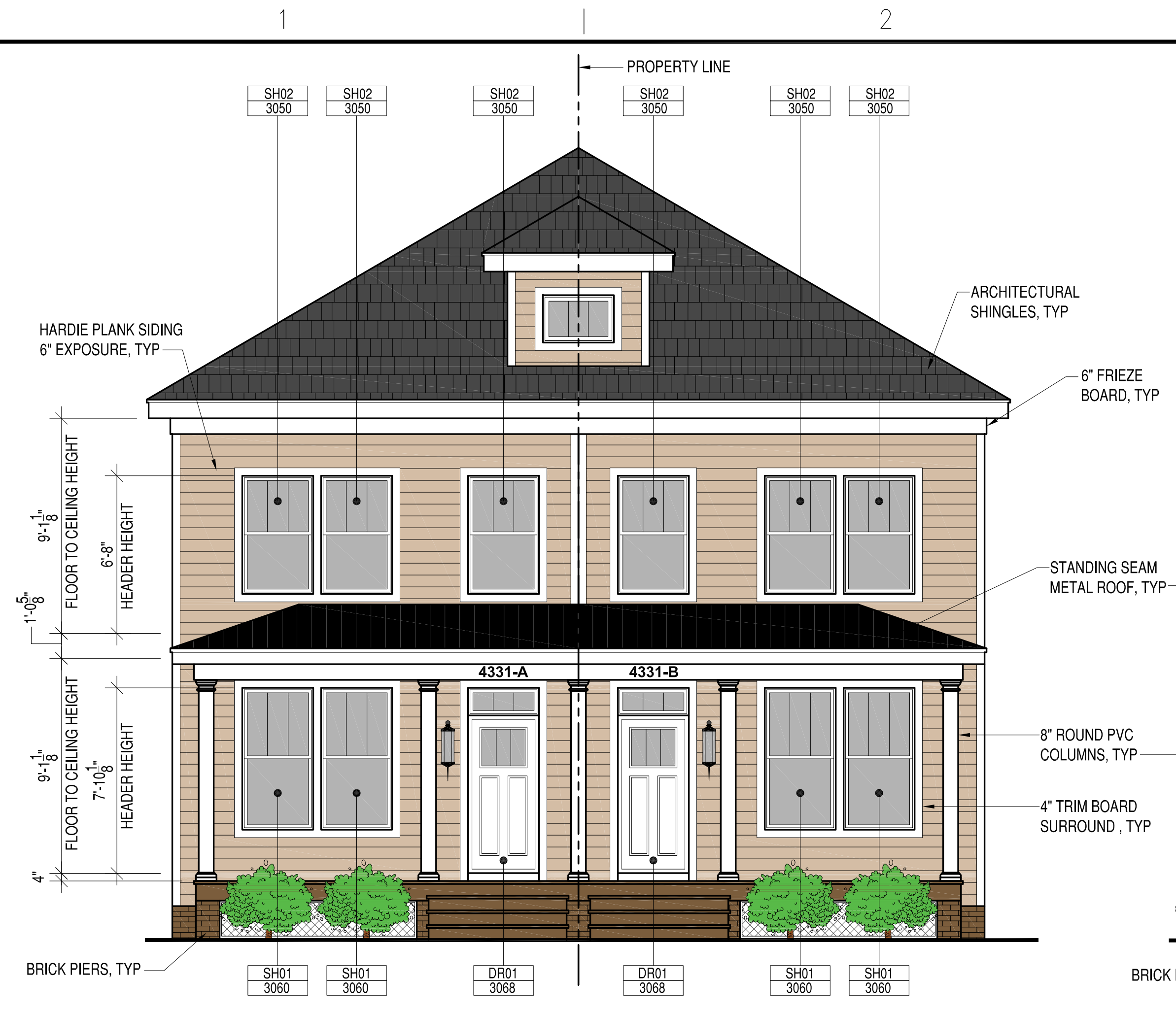
AC & STEPHANIE CATEDRAL
 4331 & 4337 SHACKLEFORD RD.
 RICHMOND, VA 23234
 804-874-2030

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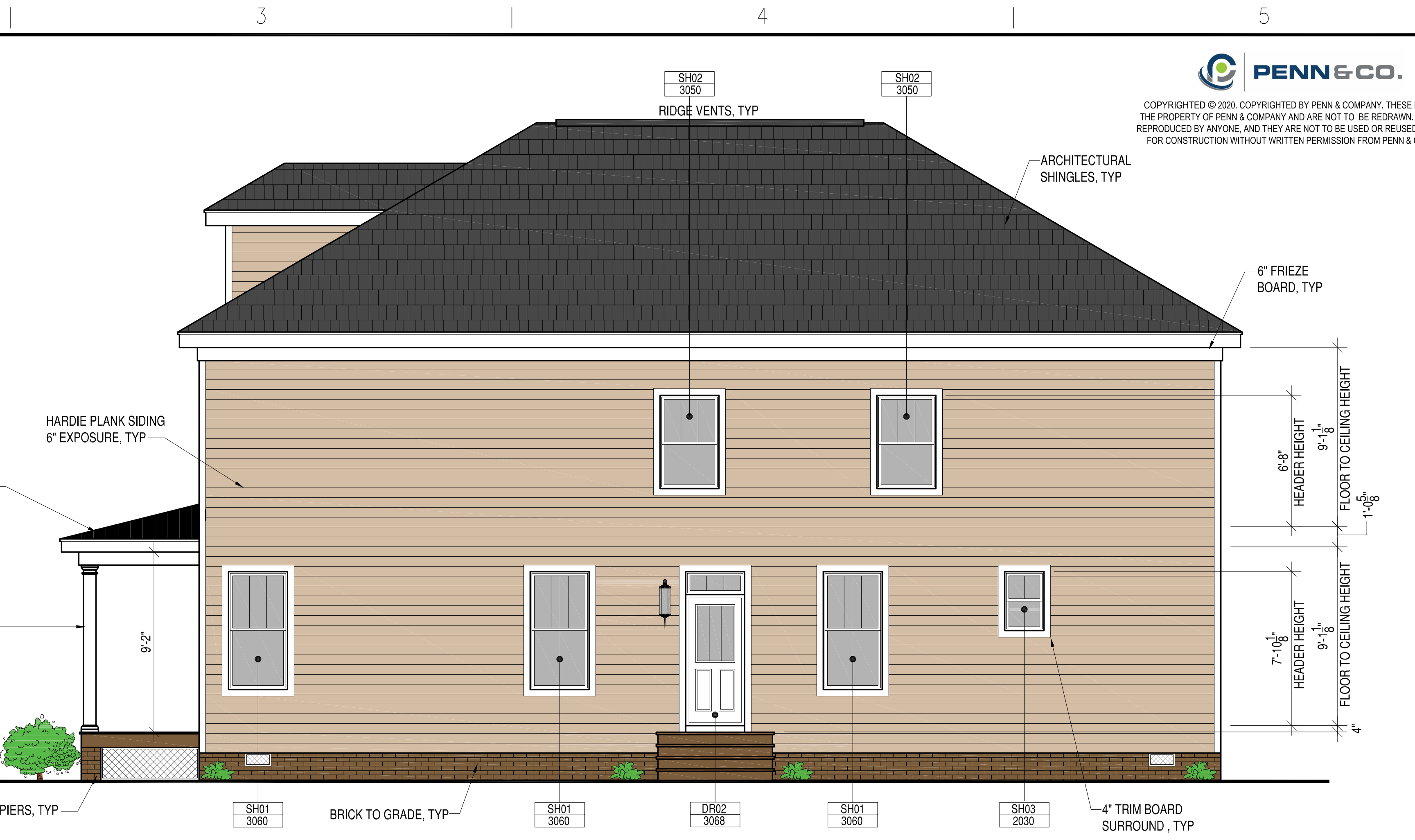
APPROVED	DATE
ACTIVITY	
SATISFACTORY TO DATE	
DES	DRW_JRP3 CHK_JRP3

ATTACHED FOUR SQUARE HOMES
 4331 & 4337 SHACKLEFORD ROAD
 RICHMOND, VA 23234
 PROPOSED ELEVATIONS

SCALE:	
PROJECT NO.:	2019-02
CONSTR. CONTR. NO.:	
DRAWING NO.:	
SHEET	OF
A-201	



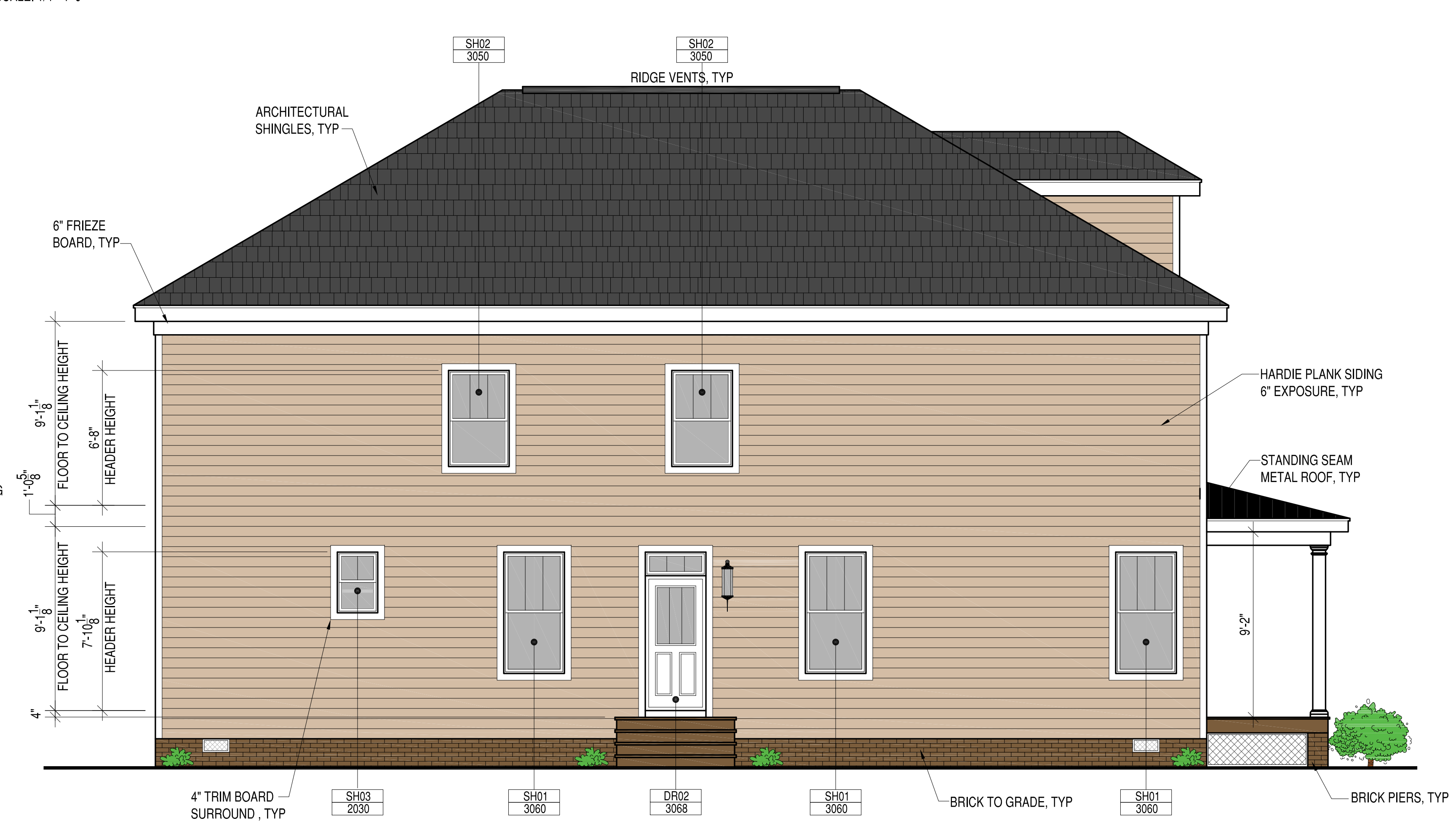
PROPOSED FRONT ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED RIGHT ELEVATION
 SCALE: 1/4"=1'-0"

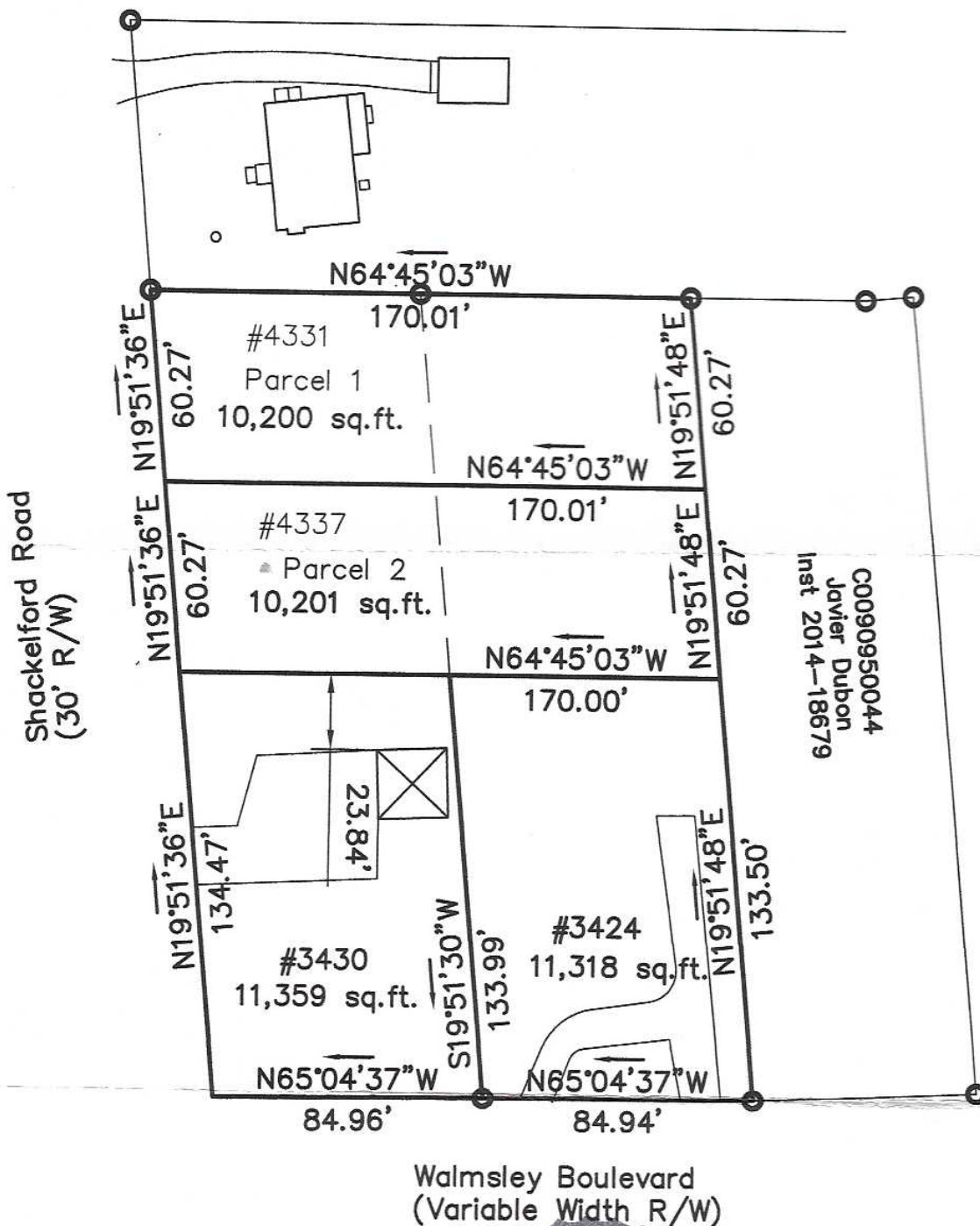


PROPOSED REAR ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED LEFT ELEVATION
 SCALE: 1/4"=1'-0"

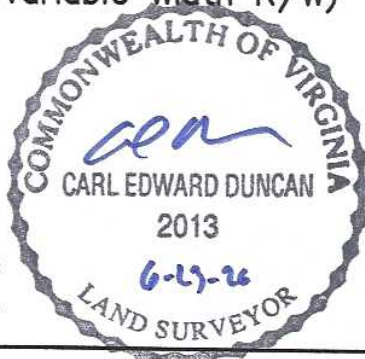
NORTH



C0090950044
Javier Dubon
Inst 2014-18679

Plat showing
two new parcels
4331 Shackelford Road
and 4337 Shackelford Road
Walley Dorsey, Jr.

Manchester District
City of Richmond



C. E. Duncan & Associates, Inc.
2809 Rocky Oak Road
POWhatan, VIRGINIA 23139
(804) 598-8240 Fax (804) 598-9240
DATE: 3/24/19 SCALE: 1"=50'
DRAWN BY: CED JOB NO.: 15-0497