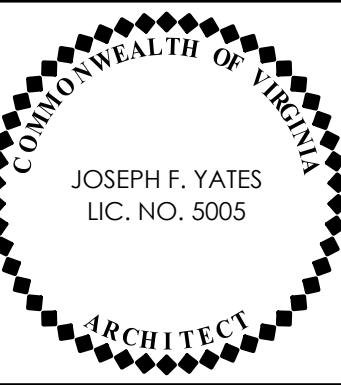


1209 HULL STREET APARTMENTS



GENERAL NOTES:

RICHMOND, VIRGINIA

DEMOLITION NOTES:

- It shall be the responsibility of the General Contractor to remove all demolition debris from the building, prior to beginning construction.
- It shall be the responsibility of the General Contractor to provide and pay for a commercial size dumpster to kept on or adjacent to the site until the project is substantially complete. The dumpster is to be emptied on a regular basis, not to exceed every two weeks. Coordinate dumpster location with Owner.
- It shall be the responsibility of the General Contractor to keep the site neat and orderly during the period of construction.
- The General Contractor shall take all necessary precautions to insure that the building has been secured at the end of each workday.
- GC shall take reasonable precautions to insure that the building has been secured at the end of each work day.

GENERAL NOTES:

The General Contractor, hereafter referred to as the "Contractor", shall guarantee all materials and workmanship for a period of one (1) year from the date of Substantial Completion. The Contractor shall repair any deficient work during this period, at no cost to Owner.

- Contractor shall verify all existing conditions prior to proceeding with any work, and shall notify Architect if any condition does not coincide with Construction Documents.
- It shall be the Contractor's responsibility to pay for all permits and coordinate all inspections, including final inspection, unless directed in writing by Owner.
- Coordinate with the City of Richmond regarding the Tax Abatement process when the Contractor applies for the building permit.
- Dimensions shown are to face of studs in new construction, and to face of plaster in existing construction unless noted otherwise.
- Submit shop drawings to Architect for Review on the following: NEW WINDOWS & NEW DOORS.
- Protect all existing surfaces and finishes that will remain from any damage during construction.

STRUCTURAL:

Presumed allowable soil bearing load is 2000 psf. GC shall follow the recommendations of the engineer prior to proceeding with foundation work.

CONCRETE

- Mixed, poured-in-place concrete shall be designed to produce compressive strengths as follows:
 - Slab-on-grade: 3500 psi at 28 days.
 - Footings: 3000 psi at 28 days.
- Provide proper protection when air temperature falls below 40 degrees F. Concrete exposed to freeze-thaws cycle shall be air entrained.
- Reinforcing Steel: Deformed bars - ASTM A615, Grade 60. Welded wire fabric (WWF) -ASTM A185.
- Framing lumber shall be Southern Yellow Pine, kiln-dried, min Fb=1200 psi.

EXTERIOR:

- All unpainted wood exposed to exterior in contact with concrete or CMU or below grade shall be pressure treated.
- Plywood: Use 5/8" CC exterior grade for roof deck.
- All trim shall be solid wood: clear White Pine or Fir, unless otherwise noted. Profiles as indicated in details.
- Doors shall be wood with double glazed glass panel. Stiles and rails shall be solid wood.
 - Door Hardware: (3) Hinges at each door. Latch and Door knob to be deadbolt keyed to Master Key.
- New Windows: Wood double-hung windows, except as noted. A minimum of two coat of an oil-based wood preservative shall be brushed on all exposed exterior wood surfaces, including edge cuts of wood trim, prior to installation. Back prime all wood trim.
- Exteriors are to receive (2) two coats of oil base or acrylic paint. All bare and new wood to be primed prior to receiving finish coats. Colors to be selected by Architect or Owner.
 - Hand sand all exposed painted surfaces, prior to painting
- All bedroom windows shall meet egress requirements.

INTERIOR:

- All new joists, rafters and beams shall have a minimum bearing of not less than 3-1/2" x 3-1/2", or as noted on drawings. All bearing masonry must be grouted solid to footings.
- Use Southern Yellow Pine framing lumber, No. 2, kiln dried, min. Fb = 1200 psi. Space wood studs at 1'-4" o.c.
- Plywood: Use 3/4" CC exterior grade tongue and groove for floor decks. Glue and nail floor decking to floor joists.
- Install fiberglass batt insulation in exterior walls, to achieve a minimum rating of R-19. Butt edges of insulation, do not leave voids in wall.
- WALLS/CEILINGS:
 - New Walls: Install 5/8" gypsum board at all new walls. New Ceilings: 1/2" gypsum board at ceilings.
 - Use only brand name gypsum board and finishing materials. Install ceilings first, so that edges are supported and concealed by gypsum board at walls.
- FLOORS:
 - Concrete floor stain color must be approved by Owner.
 - Ceramic tile floor coverings are to be selected by Owner and installed by Contractor.
- INTERIOR PAINTING:
 - The following are acceptable paint manufacturers:
 - Bennette, Porter, Duron, Sampson, Benjamin Moore, Sherwin Williams
 - All new and existing plaster and new gypsum board walls and ceilings are to be primed with one coat of latex primer and shall receive two coats of latex paint. All existing bare and new wood trim to be primed with one coat of oil based primer two finish coats of oil or acrylic paint. Colors to be selected by Architect.
 - Scrape and hand sand all exposed painted wood surfaces, prior to repainting.
 - Color scheme to be chosen by Owner/Interior Designer, or three (3) colors as follows:
 - New gypsum board
 - New wood trim and baseboards
 - Doors

ROOFING:

- Roofing Materials
 - Low Pitched Roof: install reinforced EPDM roofing.
 - Provide and install fully adhered 75 mil thick EPDM roofing by Carlisle.
 - Flashing shall be as recommended by manufacturer. Extend flashing a minimum of 8".
 - Install new 5/8" tongue and groove plywood sheathing underlayment.
 - Gutters/ Downspouts:
 - Gutters: half-round aluminum - color: white. Downspouts: 4" diameter round aluminum downspouts. Coordinate location of downspouts with Architect and Owner. Coordinate color selection of downspouts with Owner.

ELECTRICAL:

REFER TO ELECTRICAL DRAWINGS

PLUMBING:

REFER TO PLUMBING DRAWINGS

MECHANICAL:

REFER TO MECHANICAL DRAWINGS

PROJECT INFORMATION:

- Parcel Number: S00000 85018
- Owner & Developer:
 - CHURCH HILL VENTURES
 - 1011 BOULDER SPRINGS DR., SUITE 400
 - RICHMOND, VA 23225
 - Phone: (804) 306-4314
- Project Summary:
 - Existing Use: Vacant
 - Acreage: .281 acre



UNIT AREAS		
SPACE #	UNIT TYPE	SQUARE FOOTAGE
101A	COMMERCIAL (Future Restaurant)	4,810 (w/ Mezzanine)
DELETE FOUR APARTMENT UNITS (SPACE FOR CRAFT BEER BREWERY)		
201	ONE BEDROOM APARTMENT	647 SF
202	HC ONE BEDROOM APARTMENT	619 SF
203	ONE BEDROOM APARTMENT	743 SF
204	ONE BEDROOM APARTMENT	496 SF
205	ONE BEDROOM APARTMENT	686 SF
206	ONE BEDROOM APARTMENT	613 SF
301	ONE BEDROOM APARTMENT	704 SF
302	ONE BEDROOM APARTMENT	619 SF
303	ONE BEDROOM APARTMENT	686 SF
304	ONE BEDROOM APARTMENT	453 SF
305	ONE BEDROOM APARTMENT	682 SF
306	ONE BEDROOM APARTMENT	620 SF
401A	ROOF DECK (w/ Bathrooms)	4,627 SF

BUILDING DATA

1. **BUILDING HISTORY:** The Baldwin building at 1204-06 Hull Street is listed as a contributing building in the Manchester Residential and Commercial Historic District. Built in 1905, the building is representative of the commercial buildings built in Manchester after the turn of the century and is an example of a major full service department store designed by D. Wiley Anderson. It is referred to in the 1906 city directory as the Baldwin Building, H.V. Baldwin, the proprietor, started the business in Farmville, VA, the his father as R.A. Baldwin & Sons. It later became part of the Thalhimers Department Store chain. The building's height, massing and scale are typical of other historic commercial buildings in the Hull Street corridor. The building retains essential character-defining architectural features. The building clearly contributes to the architectural and historic significance of the historic district.

2. **Code:** 2012 Virginia Rehabilitation Code

3. **Zoning:** UB2-PE1

4. **Current Use:** Vacant (formerly a used book store)

5. **Proposed Use:** Commercial on the 1st Floor, Craft Beer Brewery in Existing Block Building, six (6) apartment units on the 2nd Floor, and six (6) apartments on the 3rd Floor.

6. **Square Footage:**

Basement	1,154 sq.ft., Storage
1st Floor	5,225 SF, (1) Commercial space/ 1,080 SF Craft Beer Brewery
2nd Floor	5,939 SF, (6) Apartments/ 1,080 SF Craft Beer Brewery
3rd Floor	5,535 SF, (6) Apartments
Roof/Top	5,459 SF, (1) Assembly/ Rooftop Patio
Total Square Footage: 22,872 SF	

Table 503 Allowable Building Heights and Areas

A-2 - Assembly (2) stories / 9,500 sq. ft.
R-2 - Residential: (4) stories / 16,000 sq. ft.

7. **Use Group:** Mixed 1st Floor A-2 (Assembly) & Craft Beer Brewery in Existing Block Building; 2nd Floor R-2 six (6) apartment units and Beer Brewery; 3rd floor R-2 six (6) apartment units

8. **Type of Construction:** III-B
Allowable Height & Bldg Areas: 4 stories above grade with 16,000 s.f. per floor

9. **Sprinkler:** Building will be fully sprinkled with an approved automatic sprinkler system in accordance with Section 903.2.8 VCC 2012

10. **Fire Alarm System:** A manual fire alarm system will be installed per Section 907.2.9 VCC 2012

11. **Fire Separations:**

- 2 Hour - Fire separation horizontally between 1st floor ceiling and Apartment units
- 1 Hour - Fire Separation between corridors and apartment units
- 1 Hour - Fire Separation between apartment units

12. **Occupancy:**

<u>Basement:</u>	Storage only (no occupants)
<u>1st Floor & Mezzanine:</u>	Assembly: 5,225 Gross Square Footage
	Dining Area Unconcentrated (Tables & Chairs): 2,120 ÷ 15 sf = 141 occupants
	Commercial Kitchen Area: 653 ÷ 200 sf = 3 occupants
	Bar Area: 471 ÷ 200 sf = 2 occupants
	Craft Brewery: 2 occupants
	Allowable Occupant Load: 148 occupants
<u>2nd Floor:</u>	Apartments: 5,939 sf ÷ 200 sf gross = 30 occupants
<u>3rd Floor:</u>	Apartments: 5,939 sf ÷ 200 sf gross = 30 occupants
<u>Roof Deck:</u>	Dining Area Unconcentrated (Tables & Chairs): 3,960 ÷ 15 sf gross = 264 occupants
	Service Area, Including Bar Area: 395 sf ÷ 200 sf gross = 2 occupants
	Allowable Occupant Load: 266 occupants

TOTAL OCCUPANCY: 474 OCCUPANTS

13. No apartments existed in the building.
The building was previously used as a Used Book Store, and is vacant.

14. HVAC will be conventional heat pumps. Soffits and dropped ceilings are noted on the reflected ceiling plans.

15. Windows are noted as original or new on the elevation drawings.

16. Generally, interior storm windows will be installed on the front windows, and exterior storm windows installed at the sides and rear of the building.

Architectural & Structural Drawing Index

- T1.1 TITLE DRAWING
- A1.1 FIRST FLOOR PLAN & MEZZANINE PLAN
- A1.2 FIRST & SECOND FLOOR PLANS - PART B, & ACCESS SCHEDULE TENANT/EMPLOYEE/GUEST
- A1.3 ROOF PLAN
- A2.1 INTERIOR FLOOR PLANS
- A6.1 SCHEDULES
- A7.1 ENLARGED PLANS & ELEVATIONS
- A7.2 ENLARGED PLANS & ELEVATIONS
- A7.3 ENLARGED PLANS & ELEVATIONS
- A7.4 ENLARGED PLANS & ELEVATIONS
- A7.5 RENDERINGS
- A9.1 REFLECTED CEILING PLAN
- E1.1 EQUIPMENT PLAN
- F1.1 FURNITURE & RECEPTACLES PLAN

1209 HULL STREET APARTMENTS

1209 HULL STREET
RICHMOND, VA

Joseph F. Yates
ARCHITECTS
804-839-3747
joe@jfyarchitects.com



Set Date:
DEC 19, 2017
Revisions:
1/5/18

Project No.:
2016-05A

T1.1

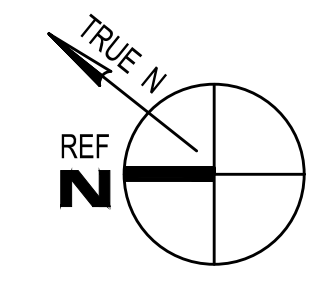
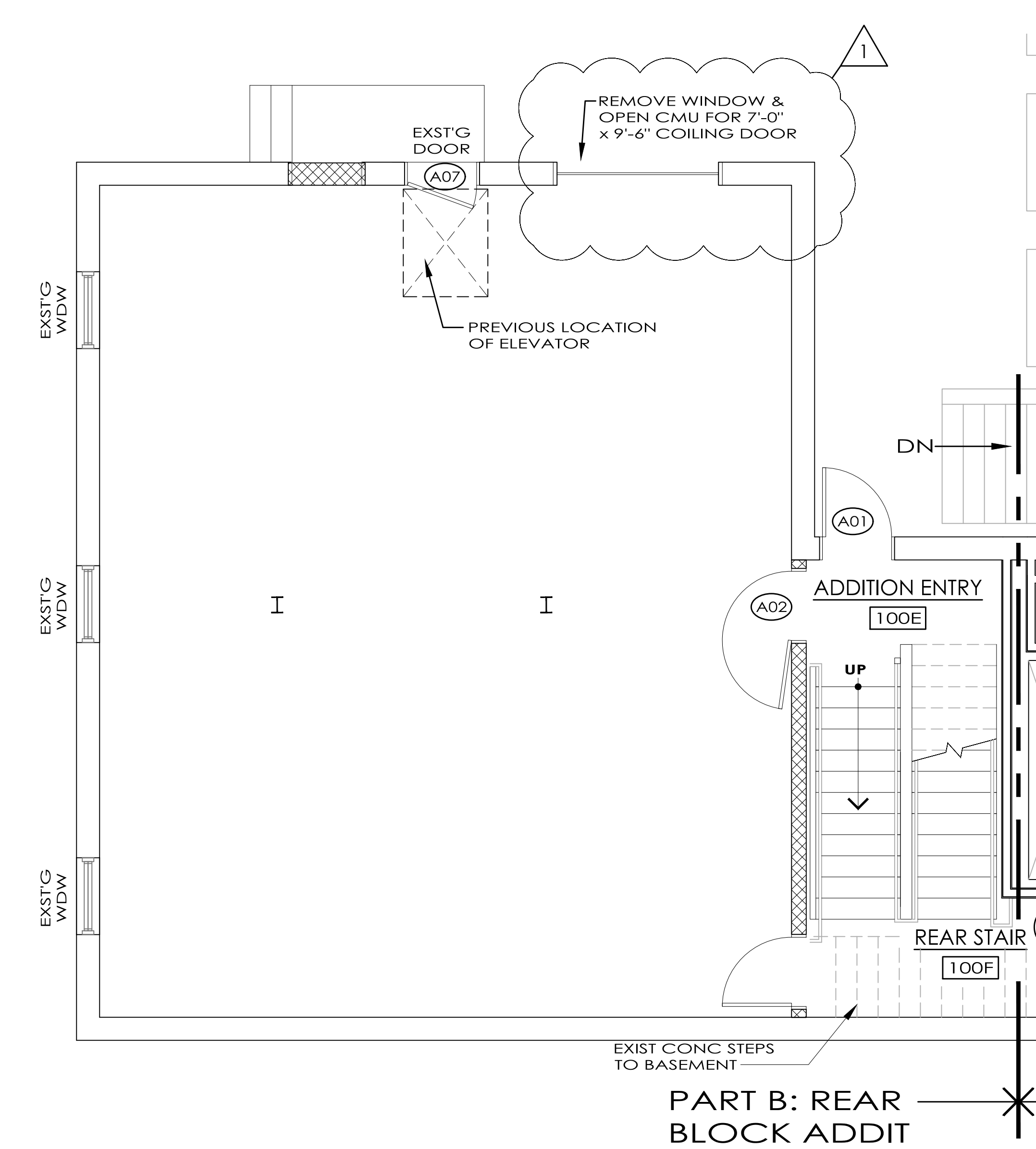
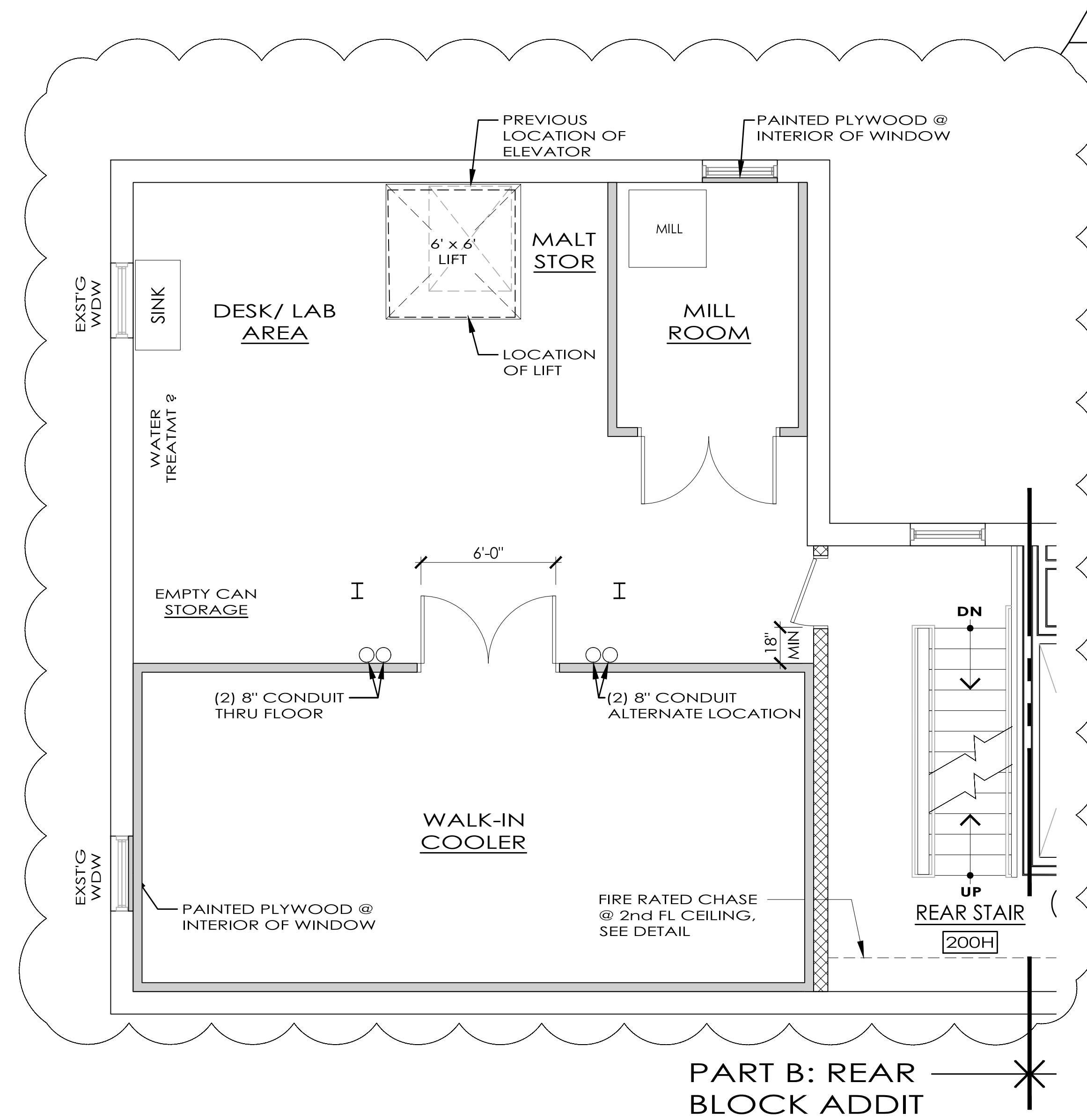
SPECIAL USE PERMIT

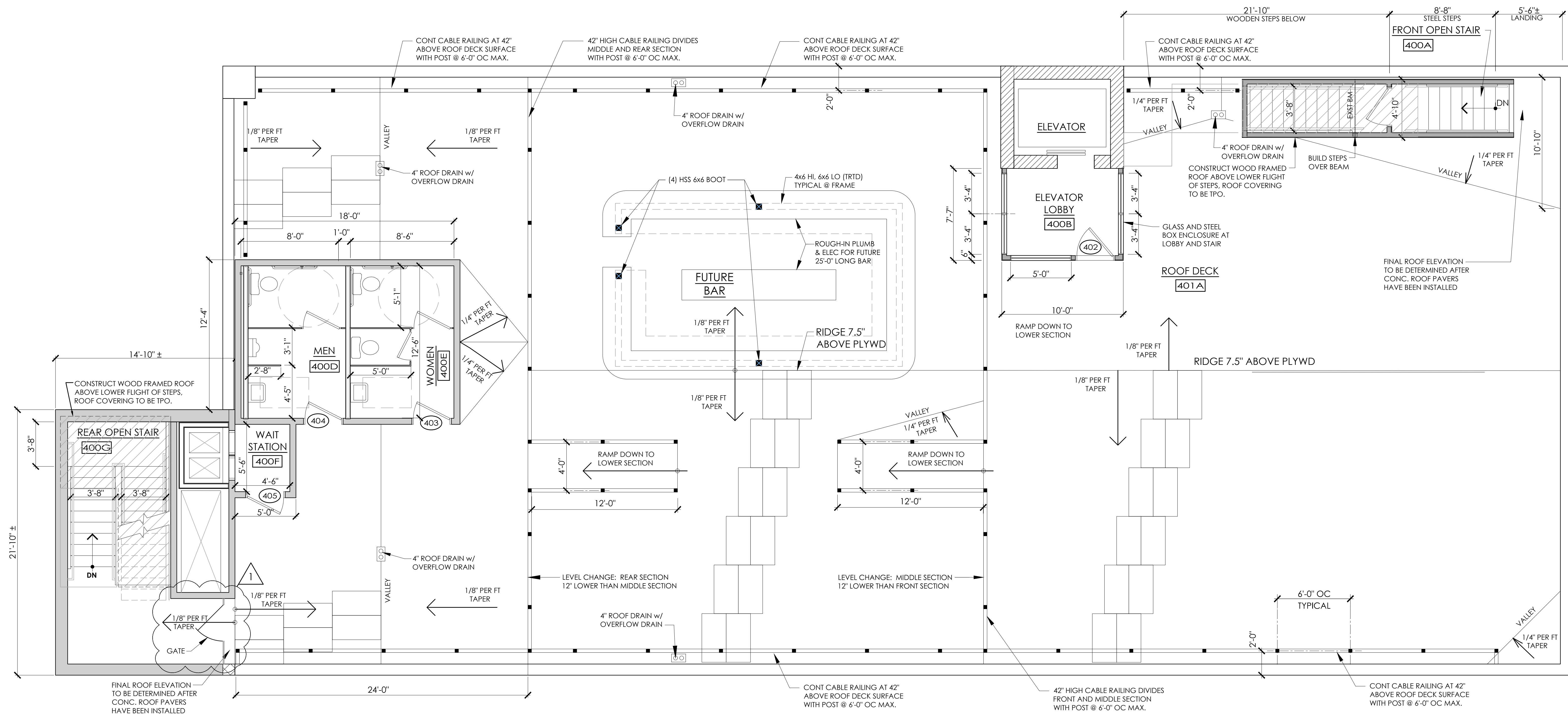
ACCESS SCHEDULE TENANT/EMPLOYEE/GUEST

Floor	Code	door description	access during business hours			access during off hours			Access control door
			Tenants	Employees	Guests	Tenants	Employees	Guests	
1	4	back access hallway to parking lot	open/unlocked door	open/unlocked door	open/unlocked door	open by access	exit only	exit only	yes
1	5	entrance from hall to back of restaurant	1 way: exit from restaurant only into hallway	1 way: exit from restaurant only into hallway	1 way: exit from restaurant only into hallway	1 way: exit from restaurant only into hallway	1 way: exit from restaurant only into hallway	1 way: exit from restaurant only into hallway	no
1		elevator doors	open to floor by access	management can unlock to roof only	management can unlock to roof only	open to floor by access	management can unlock to roof only	exit only	yes
1	1	front door entrance	open/unlocked door	open/unlocked door	open/unlocked door	exit only	exit only, except management	exit only	no access key, regular key only
1	2	front entrance to elevator/stair area	open/unlocked door	open/unlocked door	open/unlocked door	exit restaurant only	open by access	exit restaurant only	yes
1	6	kitchen entrance	exit only	open by employee access	exit only	exit only	exit only except management access - can be locked	exit only	yes
1	7	closet near elevator		Manager key					key lock
1	8	understair closet		Manager key					key lock
2		elevator doors	exit only down	exit only down	exit only down	exit only down	exit only down	exit only down	yes
									YES openable from stairs or hallway by tenants, or automatically going down during fire/sprinklers
2	200A/201	stairs from 1-2	up access by access key, otherwise exit only	exit only down	exit only down	up access by access key, otherwise exit only	exit only down	exit only down	
2	200C	stairs from 2-3	up access by access key, otherwise exit only	exit only down	exit only down	up access by access key, otherwise exit only	exit only down	exit only down	
2	202	access stairs to elevator	open by access key	CLOSED both ways	CLOSED both ways	open by access key	exit only when alarm triggers	exit only when alarm triggers	yes
2	235	rear stairs to mezzanine	CLOSED both ways	CLOSED both ways	CLOSED both ways	CLOSED both ways	CLOSED both ways	CLOSED both ways	KEYS
2	236	rear stairs	open by access key	exit only	exit only	open by access key	exit only	exit only	yes
2	237	rear stairs	open by access key	exit only	exit only	open by access key	exit only	exit only	yes

ACCESS SCHEDULE TENANT/EMPLOYEE/GUEST CONT.

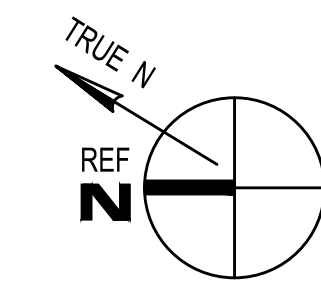
Floor	Code	door description	access during business hours			access during off hours			Access control door
			Tenants	Employees	Guests	Tenants	Employees	Guests	
rear exit stairwell	A01	outside to stairwell	up access by access key, otherwise exit only	up access by access key, otherwise exit only	exit only down	up access by access key, otherwise exit only	exit only, except management	exit only down	yes
	A02	stairwell into brewery	exit only	exit only, open by employee access	exit only	exit only	exit only, except management	exit only	yes
	A03	brewery to basement	exit only	exit only, open by employee access	exit only	exit only	exit only, except management	exit only	yes
	A04	2nd floor brewery to stairwell	exit only	exit only, open by employee access	exit only	exit only	exit only, except management	exit only	yes
3		elevator doors	exit only down	exit only down	exit only down	exit only down	exit only down	exit only down	yes
3	301/300A	down stairs from stair to elevator area	open by access key	exit only down	exit only down	up access by access key, otherwise exit only	exit only down	exit only down	See J12, above
3	302	rear stairs to mezzanine	open by access key	CLOSED both ways	CLOSED both ways	open by access key	exit only when alarm triggers	exit only when alarm triggers	
3	319	rear stairs to mezzanine	CLOSED both ways	CLOSED both ways	CLOSED both ways	CLOSED both ways	CLOSED both ways	CLOSED both ways	yes
3	338	rear stairs	up access by access key, otherwise exit only	exit only	exit only	up access by access key, otherwise exit only	exit only	exit only	yes
4		elevator doors	open by management	open by management	open by management	exit only from roof down	exit only from roof down	exit only from roof down	yes
4	402	elevator lobby	open by management	open by management	open by management	exit only from roof down	exit only from roof down	exit only from roof down	yes
4	400A	door to front stairs	exit only when alarm triggers	exit only when alarm triggers	exit only when alarm triggers	exit only when alarm triggers	exit only when alarm triggers	exit only when alarm triggers	no
4	TBD	door to rear stairs?	exit only when alarm triggers	exit only, access during business hours by fob	exit only when alarm triggers	exit only when alarm triggers	exit only when alarm triggers	exit only when alarm triggers	need ability to lock roof access

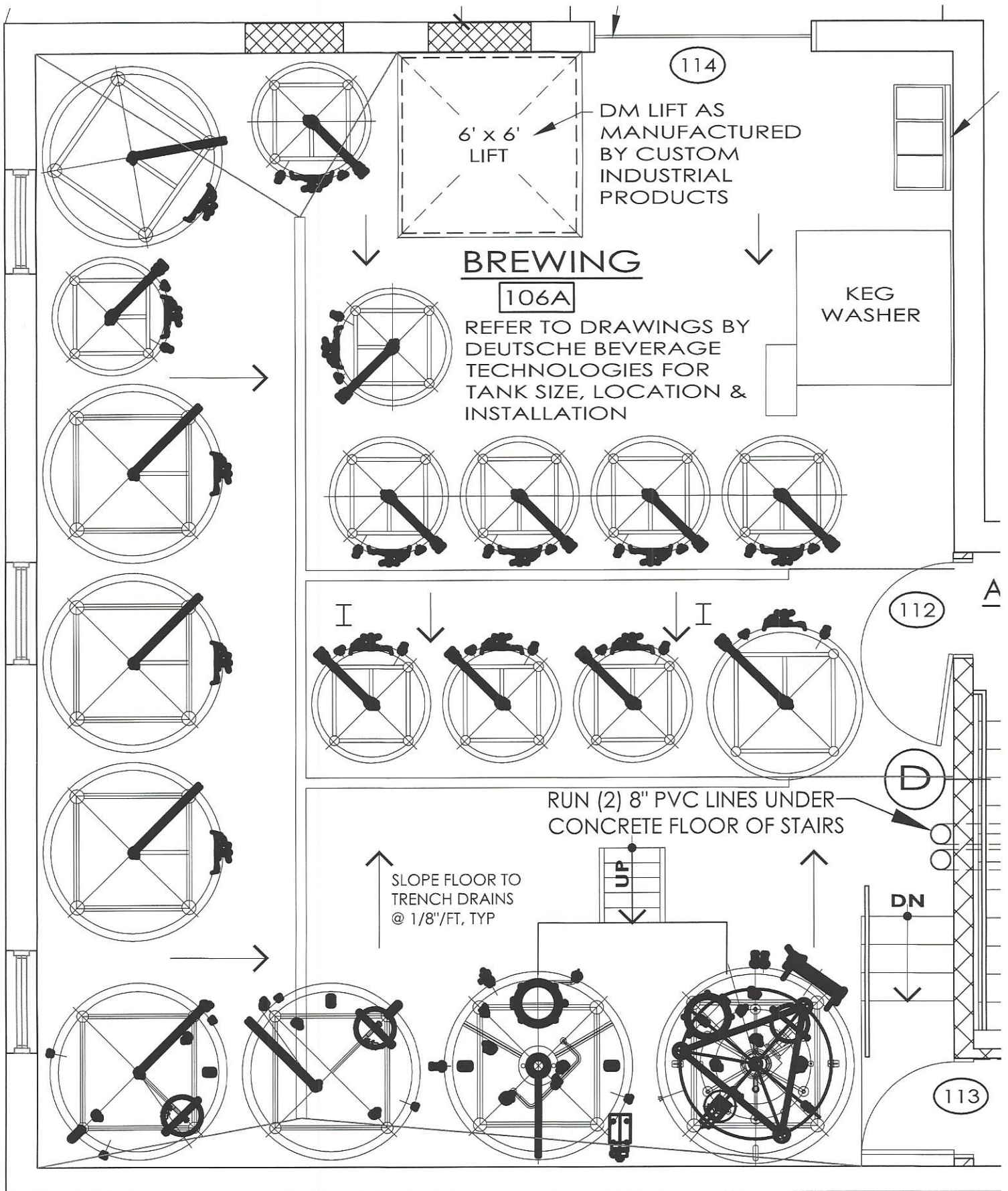




ROOF DRAINAGE PLAN

SCALE: 1/4" = 1' - 0"

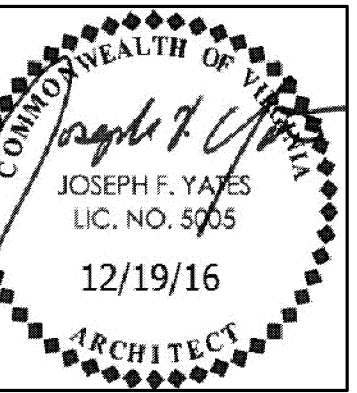




1st FLOOR - PART B

SCALE: 1/4" = 1' - 0"

Dogtown Brewery
 1209 Hull Street
 September 5, 2018



1209 HULL STREET APARTMENTS
1209 HULL STREET
RICHMOND, VA

Joseph F. Yates
ARCHITECTS
804-839-3747
joe@jfyarchitects.com

Set Date:
DEC 19, 2016
Revisions:

Project No.:
2016-05

C1

SCHEDULE B - TITLE EXCEPTION NOTES

This survey is based on a title report prepared by Stewart Title Guaranty Company Commitment No.16007-CHURCHILL VENT dated 1/22/2016 at 8:00 A.M.
Items not listed below are standard title exceptions and/or are not matters or issues that pertain to this survey.
No Easements On Subject Property.

FLOOD ZONE NOTE

By graphic plotting only, this property is in flood zone X of the Flood Insurance Rate Map, Community Panel No.5101290039E, which bears the effective date of July 16, 2014, and is not in a special flood hazard area.

GENERAL NOTES

1. THE BEARING BASE FOR THIS SURVEY ORIGINATED FROM SURVEY BY FREDERICK A. GIBSON & ASSOC. P.C. DATED 5/19/2004 FOR #1208 HULL STREET.
2. THIS PROPERTY HAS AN AREA OF 12,256.29 SQ.FT. OR 0.281 ACRE OF LAND
3. THIS PROPERTY IS DESIGNATED BY CITY OF RICHMOND, VIRGINIA AS TAX NUMBER S0000085018
4. INTERIOR ROADWAYS APPEAR TO BE PRIVATE, VARIABLE IN WIDTH AND UNNAMED. UNLESS OTHERWISE SHOWN
5. WATER AND SEWER IS CITY HOOK UP
6. NO ADJUSTMENT ON BOUNDARY NEEDED
7. NO OBSERVED EVIDENCE OF ANY WASTE DUMPING ON SUBJECT SITE.
8. NO EVIDENCE OF DELINEATED WETLANDS FOUND THROUGH ON LINE PUBLIC RESOURCES.
9. POWER & TEL. TO BLDG. OVERHEAD AS SHOWN ON OLAT
10. BASE DEED FOR SUBJECT PROPERTY IS FOUND IN 1D 2016-4406

LEGAL DESCRIPTION

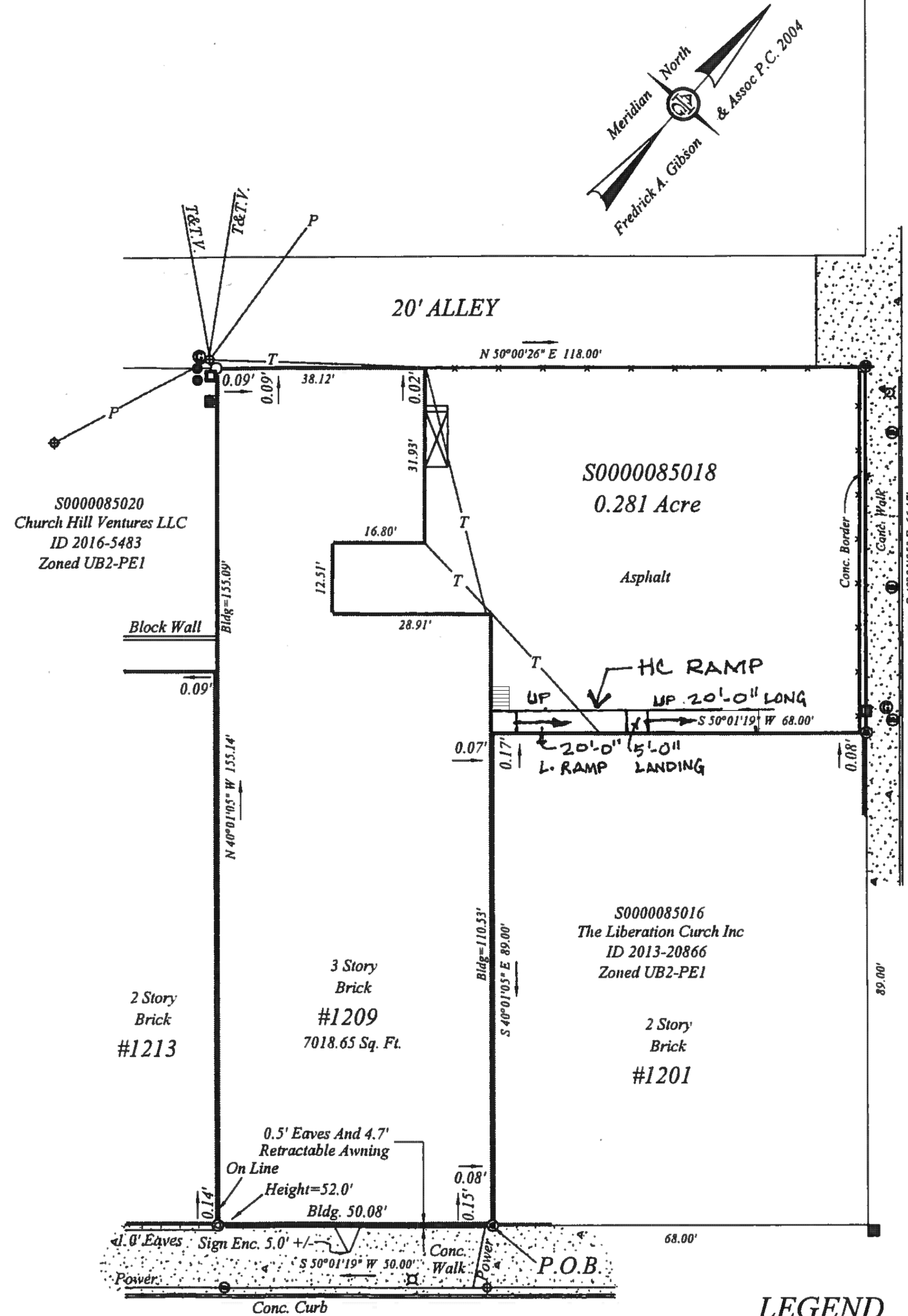
All that piece or parcel of land located in the City of Richmond, Virginia and designated as tax ID S0000085018 also known as #1209 Hull Street and being further described as beginning at a drill hole set on the North line of Hull Street a distance of 68.00' from the West line of W. 12th Street; Thence Proceeding on the North line of Hull Street S 50 01'19"W for a distance of 50.08' to a nail set; Thence N 40 01'05"W for a distance of 155.14' to a rod found on the South line of a 20' alley; Thence proceeding along the South line of the 20' alley N 50 00'26"E for a distance of 118.00' to a drill hole set on the West line of W 12th Street; Thence along the West line of W. 12th Street S 40 01'05"E for a distance of 66.17' to a drill hole set; Thence proceeding S 50 01'19" W for a distance of 68.00' to a point near the intersection of 2 buildings; Thence proceeding S 40 01'05"E for a distance of 89.00' to a drill hole set being the place and point of beginning.

ZONING NOTES

Zoned: UB2-PE1
Permitted use Classification: Commercial Shell
Observed Use(s): Commercial / Apartment Shell
Zoning regulations are subject to change and interpretation, for further information contact City Of Richmond, Virginia 804 646 6197 David Duckhardt.

Site Restrictions
Minimum Building Setbacks
Front 0' Side 0' Rear 0'
Minimum lot size 1000 Sq.Ft.
Minimum lot frontage None
Maximum building height 4 Stories
Each No Less Than 10' No More Than 14'
Maximum density ; None
Maximum floor area ratio ; None

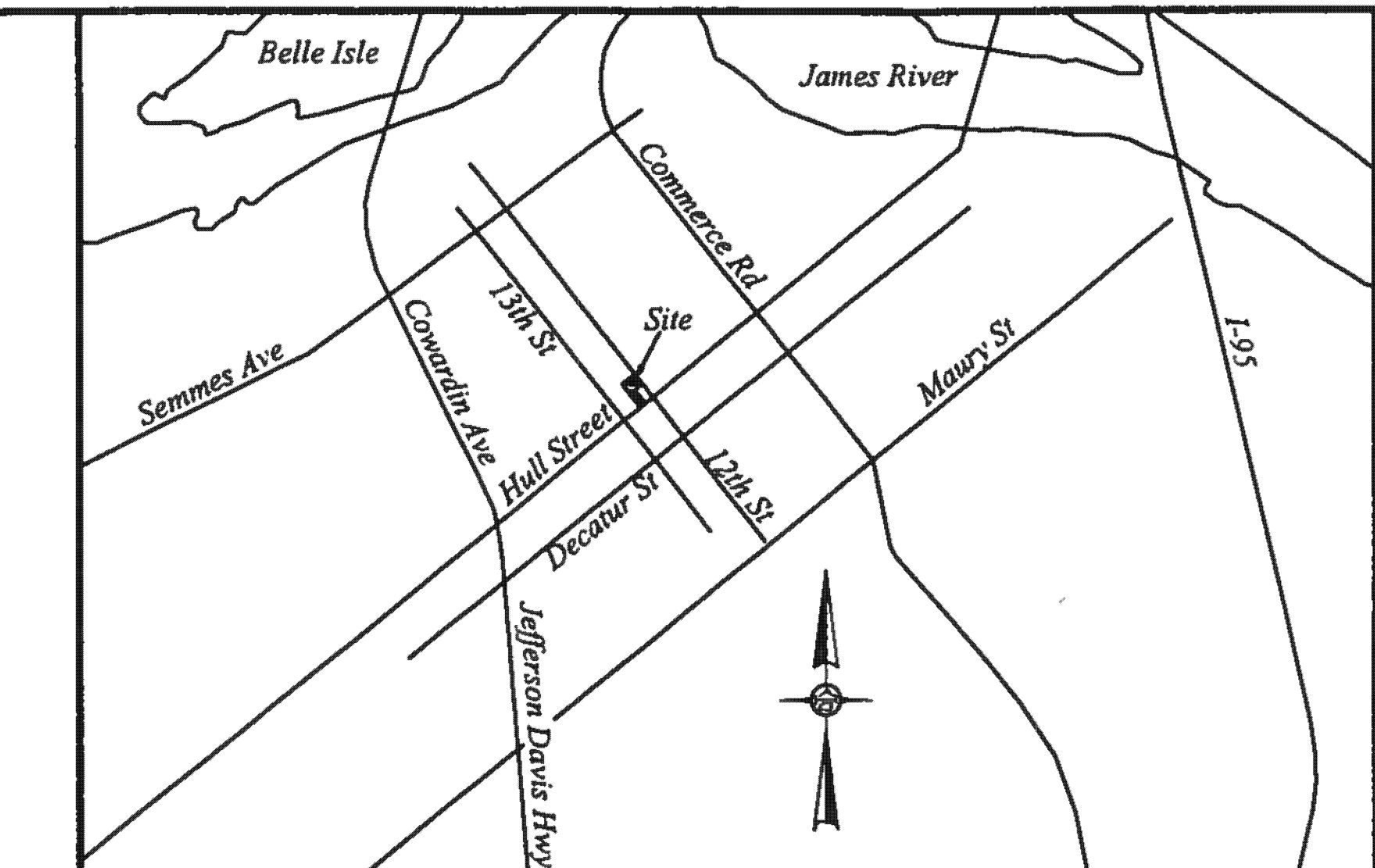
Parking Tabulations
No On Site Parking



HULL STREET
65.80' Right Of Way

LEGEND

- Trash Can
- Drill Hole/S
- Power Pole
- Rod Found
- Bollard
- Water Cap/Meter
- Gas Cap
- Nail/S
- Power Meter Box
- Gas Meter
- Stone/F



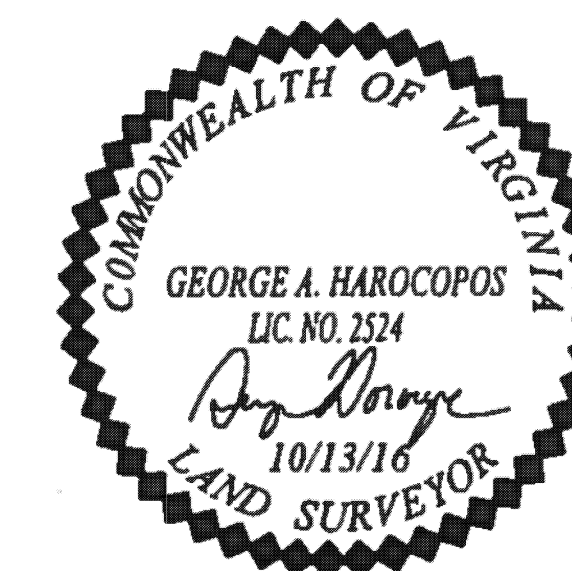
vicinity map
scale 1" = 2000'

SURVEYOR'S CERTIFICATION

TO: CHURCH HILL VENTURES, LLC AND STEWART TITLE GUARANTY COMPANY

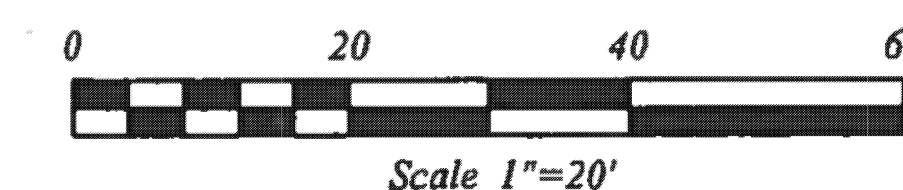
THIS IS TO CERTIFY THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6a, 7a, 8, 9, 10a, 10b, 11b, 12, 13, 16, 17, 18, 19 and 20a OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON OCTOBER 13, 2016.

REGISTERED SURVEYOR: *George A. Haroco*
REGISTRATION NUMBER 2524 IN THE STATE OF VIRGINIA
DATE OF LAST FIELD SURVEY: 10/13/16
DATE OF LAST REVISION



ALTA/NSPS LAND TITLE SURVEY

LOCATED AT
#1209 HULL STREET
CITY OF RICHMOND, VIRGINIA



JN 45903
A. G. HAROCOPOS & ASSOCIATES, P.C.
CERTIFIED LAND SURVEYOR AND CONSULTANT
4920 E. MILLRIDGE PKWY, SUITE 200 MIDLOTHIAN VA. 23112
Office 804 744 2630 FAX 804 744 2632
E-MAIL AGHAROCOPOS@VERIZON.NET
Scale 1"=20' Date 10/13/16 Drawn by GAH

C:\PROJECTS\2016 PROJECTS\2016-05 1209 Hull (Hild)_C1 1209 Survey w- Ramp.dwg, 12/19/2016 2:59:09 PM