



COMMISSION OF ARCHITECTURAL REVIEW

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

PROPERTY (location of work)

Address 101 N Boulevard

Historic district Boulevard

Date/time rec'd: 8/8/2018 6PM

Rec'd by: LLS

Application #: COA-039896-2018

Heating date: _____

APPLICANT INFORMATION

Name David Payne

Phone 804-398-0175

Company Payne & Son Home Improvements Inc

Email payneandsonhic@aol.com

Mailing Address 400 Turner Rd

Applicant Type: Owner Agent

N. Chesterfield, VA 23225

Lessee Architect Contractor

Other (please specify): _____

OWNER INFORMATION (if different from above)

Name John A. Phelps

Company _____

Mailing Address 101 N Boulevard

Phone 804-690-1335

Richmond, VA 23220

Email _____

PROJECT INFORMATION

Review Type: Conceptual Review Final Review

Project Type: Alteration Demolition New Construction (Conceptual Review Required)

Project Description: (attach additional sheets if needed)

Modification of site to accommodate new wheelchair lift. See attached drawings.

ACKNOWLEDGEMENT OF RESPONSIBILITY

Compliance: If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

Requirements: A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

Zoning Requirements: Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner

Date

8/8/2018

VPL - RL Unenclosed Design - Straight Through



Mobile Home Deck



Basement Landing with
Upper Landing Gate



Lift up to Game Room



Landscape Elevation Change



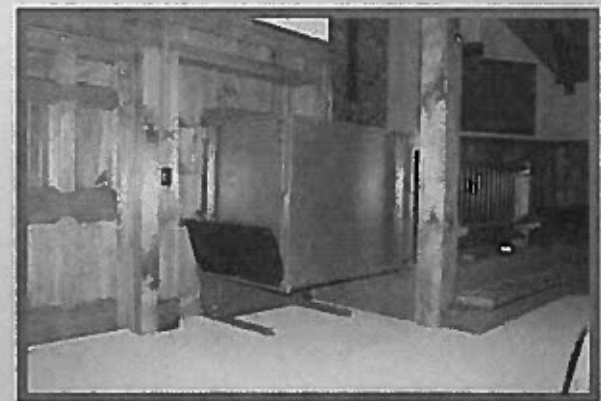
Upper Landing Elevation with Upper Landing Gate



Elevated Deck Custom
Color Option



Porch Landing - Elevated Residence
with Platform Gate



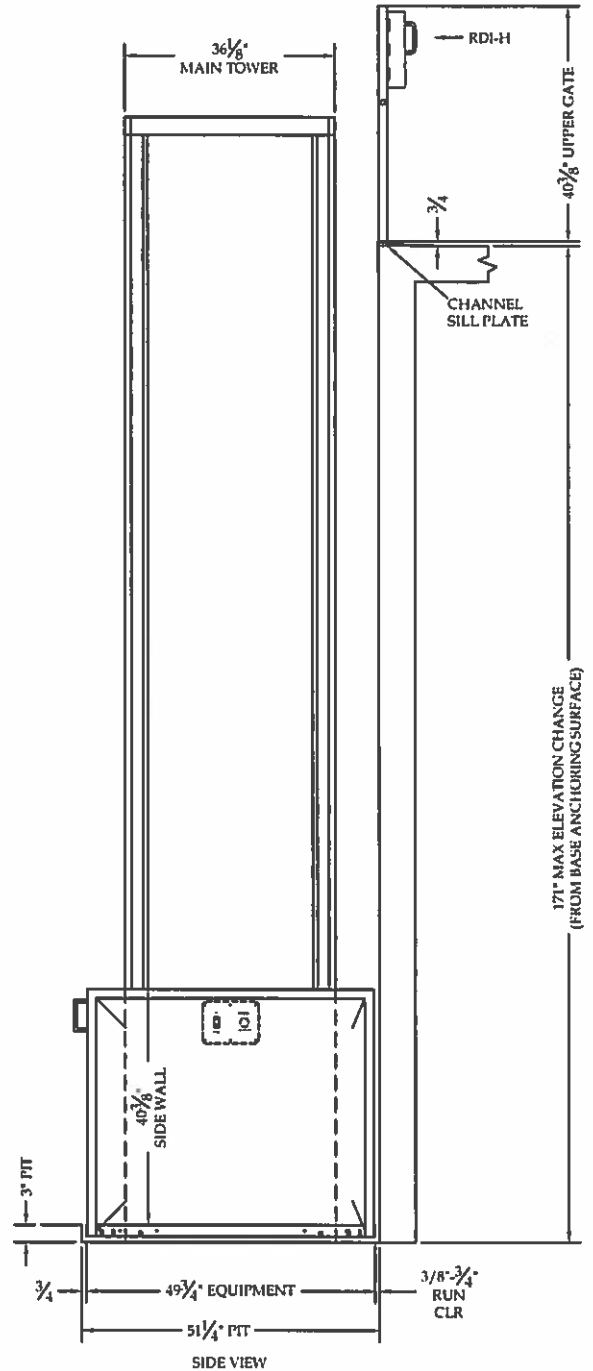
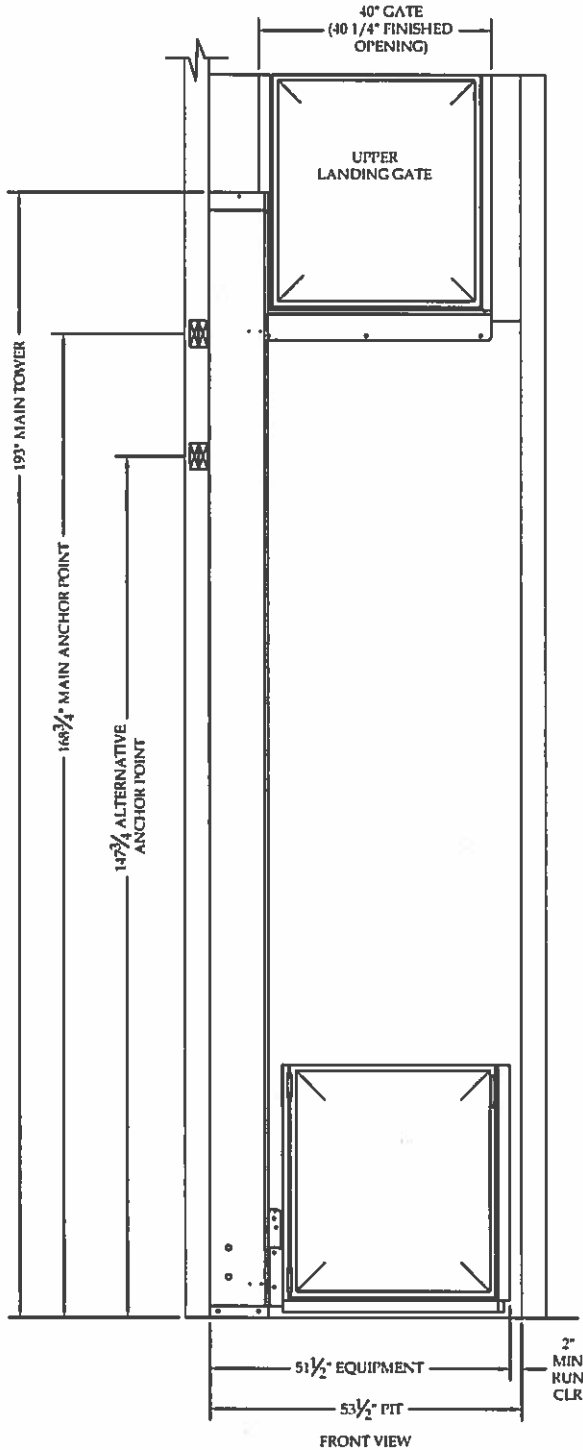
Low Rise Vertical with Platform Gate

CONSTRUCTION NOTES

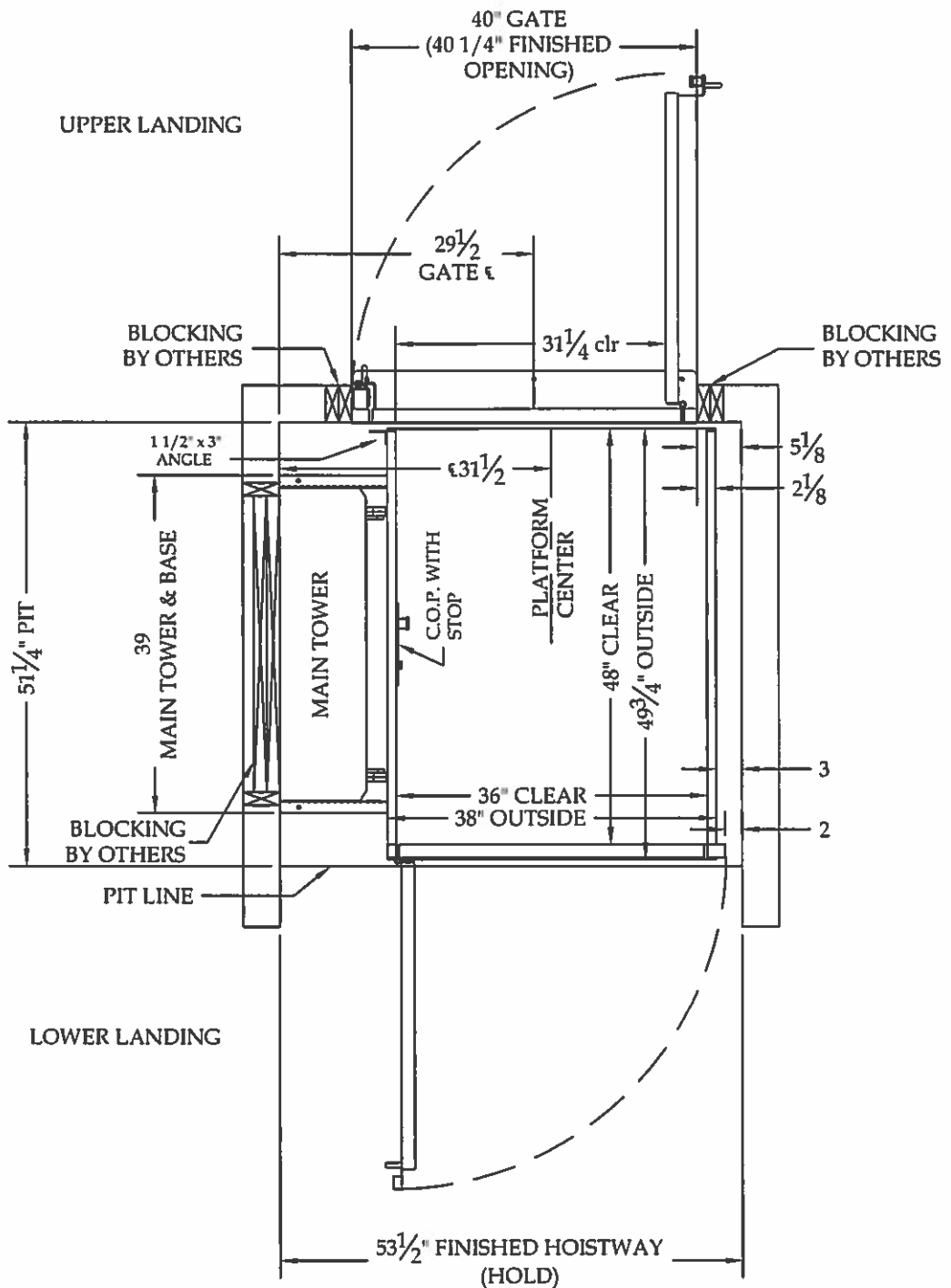
- FLOOR TO BE SMOOTH AND LEVEL, CONSTRUCTED OF 4" CONCRETE MINIMUM WITH 3200 PSI MINIMUM LOAD.
- IF THE CONVEYANCE IS INSTALLED WITHIN A PIT AND IS IN AN OUTDOOR APPLICATION, THE PIT MUST BE PROVIDED WITH AN ADEQUATE DRAIN.
- HOISTWAY WALLS MUST BE PLUMB, SQUARE, AND TURNOVER FINISHED BEFORE UNIT INSTALLATION.
- UPPER AND LOWER DOORS OR GATES MUST BE INSTALLED FLUSH TO THE INTERIOR OF THE HOISTWAY.
- 50 INCH MINIMUM HEAD CLEARANCE IS REQUIRED THROUGHOUT TRAVEL.
- HOISTWAY LIGHTING IS PROVIDED BY OTHERS. 5FTC REQUIRED ON THE PLATFORM SURFACE THROUGHOUT TRAVEL. AN AUXILIARY LIGHT CONSISTING OF NO FEWER THAN 2 LAMPS PRODUCING .2FTC ON THE FLOOR AND CONTROLS FOR NOT LESS THAN 4 HOURS, AND ACTIVATED AUTOMATICALLY IN THE EVENT OF A POWER OUTAGE.
- MAIN TOWER MUST BE FASTENED TO THE WALL AND FLOOR WITH ANCHORS SUITABLE TO THE SITE CONDITIONS, AND CAPABLE TO WITHSTAND THE FORCES PLACED UPON THEM.
- ALL BLOCKING IS PROVIDED BY OTHERS.
- THE DISCONNECT (PROVIDED BY OTHERS) SHALL BE A LISTED DEVICE CONFORMING TO NFPA 70 / NEC 620.51 AND SHALL BE INSTALLED WITHIN SIGHT OF THE MOTOR CONTROLLER. THE DISCONNECTING MEANS SHALL BE EXTERNALLY OPERABLE, HAVE PERMANENT MEANS OF LOCKING THE DEVICE IN THE OPEN POSITION, AND BE LABELED WITH THE LOCATION OF THE SUPPLY SIDE OVERCURRENT PROTECTION MEANS.

SYMMETRY		AREA ACCESS	
VERTICAL PLATFORM LIFT, MODEL		SCALE	
VPC RL-168		N/A	
DRAWN BY:	DATE:	DRAWING NUMBER:	REV.
K	7/27/18	1004	3
JOB INFORMATION			
BLACKBURN RESIDENCE			

FINAL DRAWING
SERIAL NUMBER 22802-V



PLAN VIEW

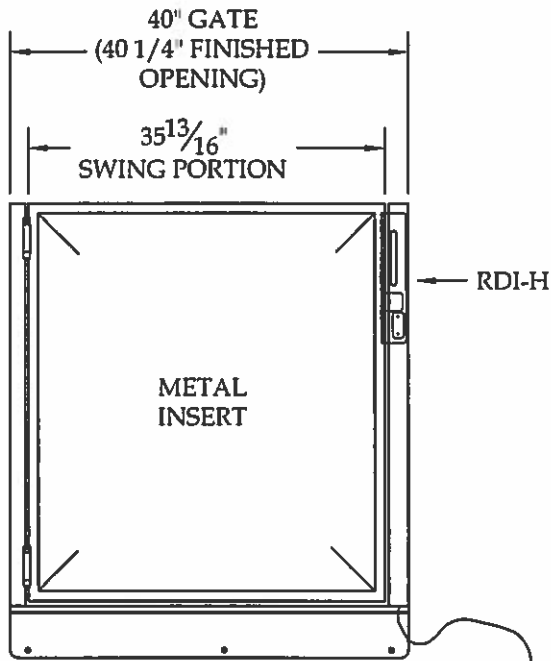


CONSTRUCTION NOTES

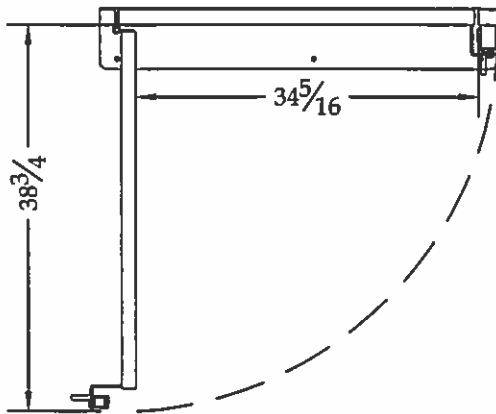
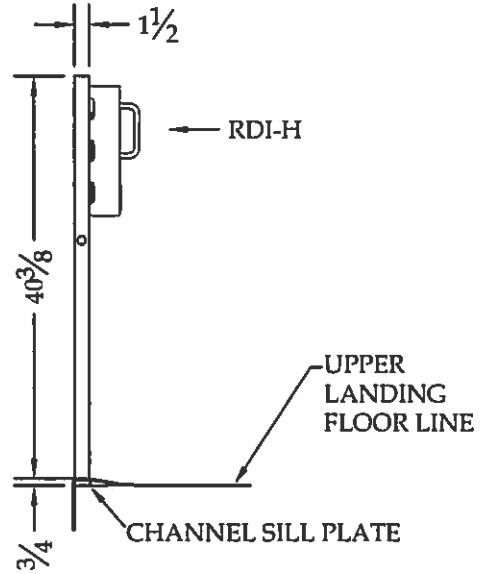
1. FLOOR TO BE SMOOTH AND LEVEL, CONSTRUCTED OF 4" CONCRETE MINIMUM, WITH 3200 PSI MINIMUM LOAD.
2. IF THE CONVEYANCE IS INSTALLED WITHIN A PIT AND IS IN AN OUTDOOR APPLICATION, THE PIT MUST BE PROVIDED WITH AN ADEQUATE DRAIN.
3. HOISTWAY WALLS MUST BE PLUMB, SQUARE, AND TURNOVER FINISHED BEFORE UNIT INSTALLATION.
4. UPPER AND LOWER DOORS OR GATES MUST BE INSTALLED FLUSH TO THE INTERIOR OF THE HOISTWAY.
5. 80 INCH MINIMUM HEAD CLEARANCE IS REQUIRED THROUGHOUT TRAVEL.
6. HOISTWAY LIGHTING IS PROVIDED BY OTHERS. 5FT C REQUIRED ON THE PLATFORM SURFACE THROUGHOUT TRAVEL. AN AUXILIARY LIGHT CONSISTING OF NO FEWER THAN 2 LAMPS PRODUCING 2FT C ON THE FLOOR AND CONTROLS FOR NOT LESS THAN 4 HOURS, AND ACTIVATED AUTOMATICALLY IN THE EVENT OF A POWER OUTAGE.
7. MAIN TOWER MUST BE FASTENED TO THE WALL AND FLOOR WITH ANCHORS SUITABLE TO THE SITE CONDITIONS, AND CAPABLE TO WITHSTAND THE FORCES PLACED UPON THEM.
8. ALL BLOCKING IS PROVIDED BY OTHERS.
9. THE DISCONNECT (PROVIDED BY OTHERS) SHALL BE A LISTED DEVICE CONFORMING TO NFPA 70 / NEC 620.51 AND SHALL BE INSTALLED WITHIN SIGHT OF THE MOTOR CONTROLLER. THE DISCONNECTING MEANS SHALL BE EXTERNALLY OPERABLE, HAVE PERMANENT MEANS OF LOCKING THE DEVICE IN THE OPEN POSITION, AND BE LABELED WITH THE LOCATION OF THE SUPPLY SIDE OVERCURRENT PROTECTION MEANS.

FINAL DRAWING
SERIAL NUMBER 22802-V

SYMMETRY		AREA ACCESS <small>2207 TAZEWELL ST., RICHMOND, VA 23223</small>	
VERTICAL PLATFORM LIFT, MODEL: VPC RL-168			SCALE: N/A
DRAWN BY: RF	DATE: 7/27/18	DRAWING NUMBER: 10064	REV.: 3
JOB INFORMATION: BLACKBURN RESIDENCE			



15 FT OF WIRE OUT
BOTTOM OF STRIKE POST



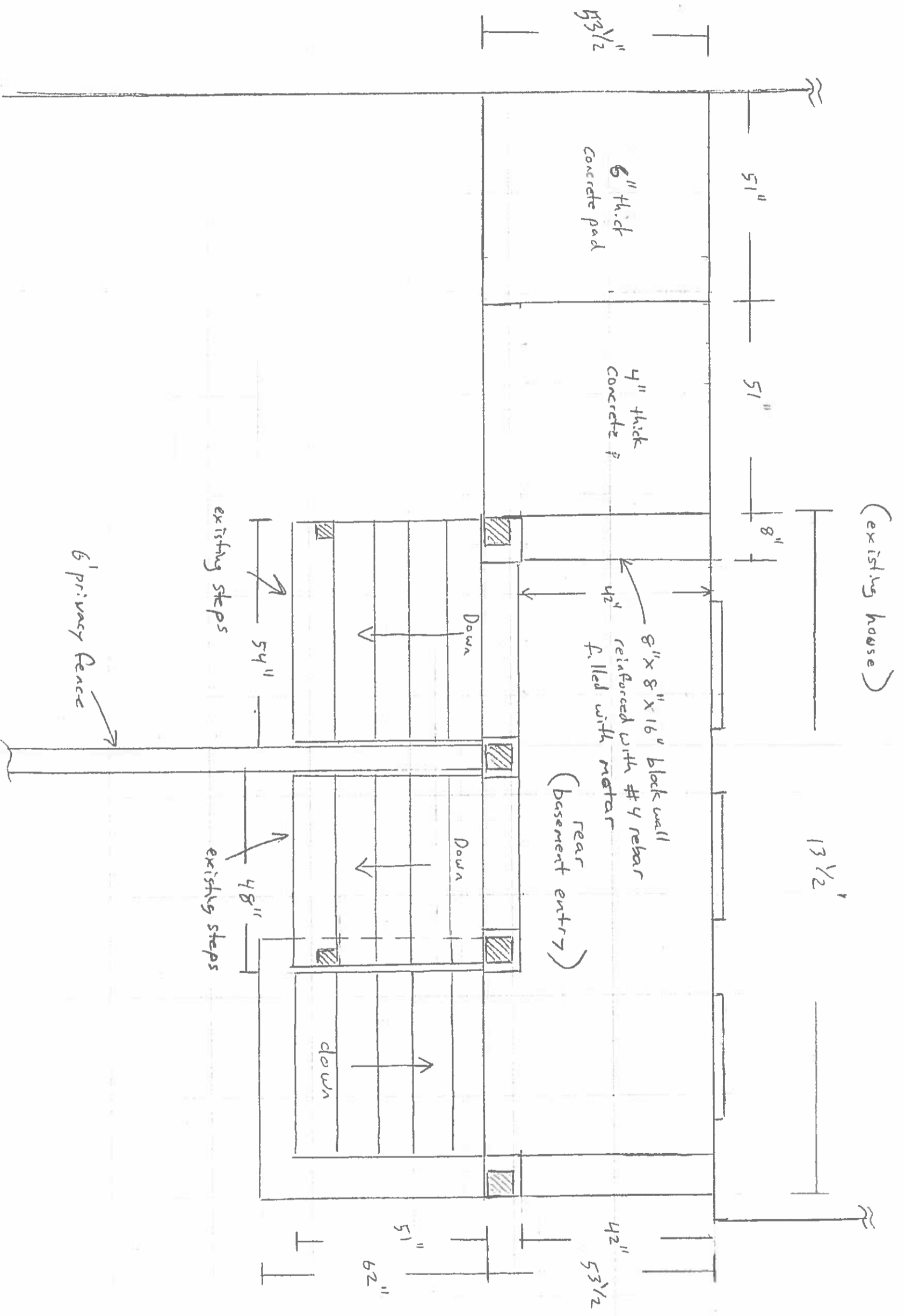
UPPER LANDING GATE

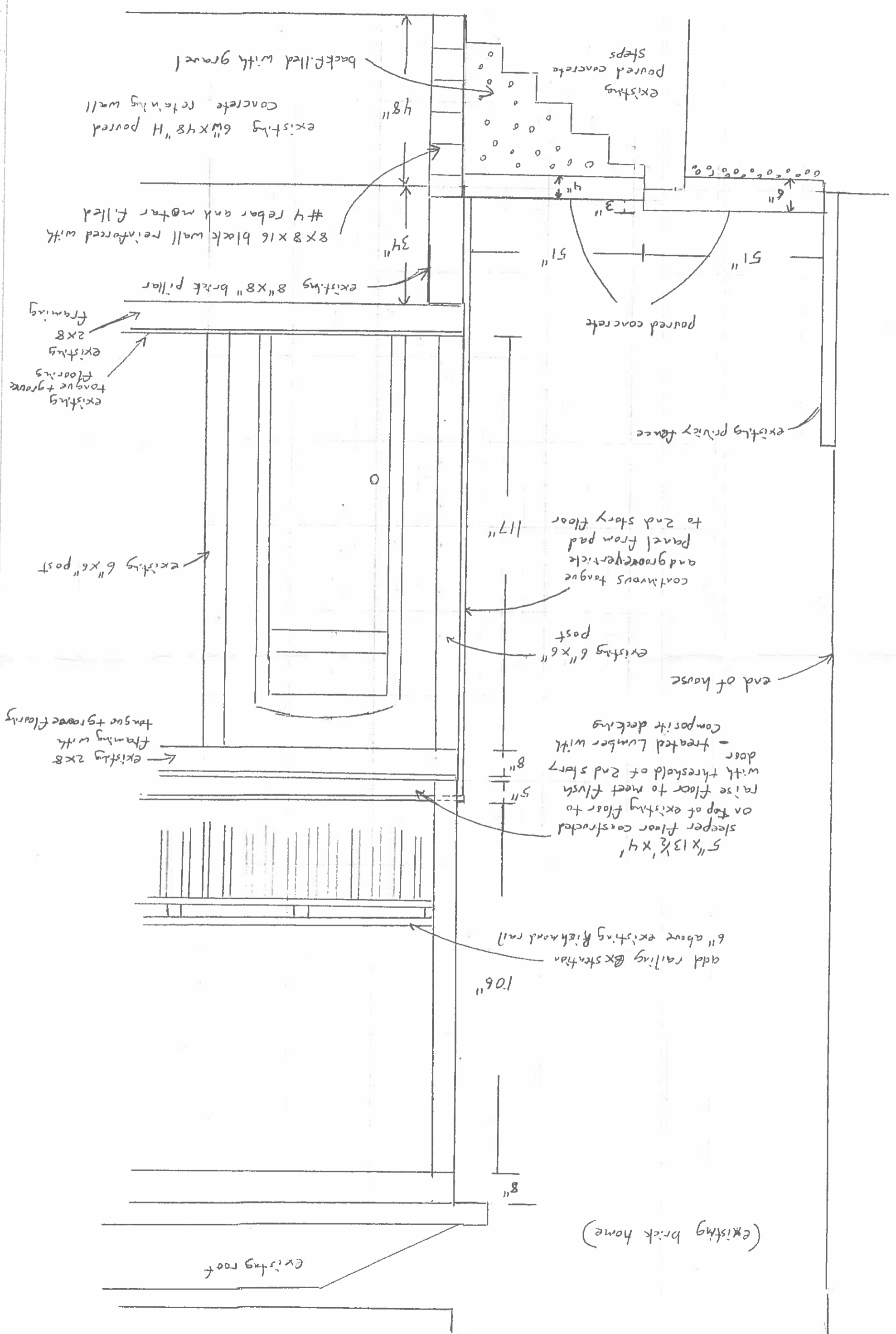
FINAL DRAWING

SERIAL NUMBER 22802-V

SYMMETRY		AREA ACCESS <small>2297 TAZEWELL ST., RICHMOND, VA 23222</small>	
VERTICAL PLATFORM LIFT, MODEL: VPC RL-168			SCALE: N/A
DRAWN BY: RF	DATE: 7/27/18	DRAWING NUMBER: 10064	REV.: 3
JOB INFORMATION: BLACKBURN RESIDENCE			

STANDARD FEATURES				
CAPACITY: 750 LBS.		---		
SPEED: 20 FPM		----		
ILLUMINATED EMERGENCY STOP		LED DIAGNOSTICS		
TOP MOUNTED MOTOR AND CONTROLLER		ETL LISTED CONTROLLER		
TOP CAP SWITCH		PLATFORM WITH NON-SLIP SURFACE		
ELECTRICAL DATA				
POWER SUPPLY	VOLTAGE	AMPERAGE	PHASE	
	115	30 AMP	1 PHASE	
DESIGN SPECIFICATIONS				
DRIVE: ACME SCREW, ACCELERATED		LANDINGS SERVICED: 2		
EXIT CONFIGURATION: STRAIGHT THROUGH		TOWER LOCATION: LEFT HAND		
PIT 3"	TRAVEL: 168"	TOTAL ELEVATION CHANGE: 171" MAX		
UPPER ENTRY: RIGHT HAND LANDING GATE		LOWER ENTRY: RIGHT HAND PLATFORM GATE		
MID ENTRY: N/A				
INTERLOCKS:	UPPER: RDI-H	MID: N/A	LOWER: STD	
CALLS:	UPPER: SURFACE MOUNT	MID: N/A	LOWER: SURFACE MOUNT	
CLEAR FLOOR SIZE: 36" X 48"		WITH NON-SLIP SURFACE		
INDOOR/OUTDOOR: INDOOR				
COLOR: IVORY				
OTHER OPTIONAL EQUIPMENT:				
SAFETY PAN, CALL/SEND ROCKER CONTROLS,				
CHANNEL SILL PLATE ON UPPER GATE w/ 15 FT OF WIRE OUT STRIKE POST BOTTOM,				
1 1/2" X 2" ANGLE BRACKET MOUNTED TO PLATFORM SIDE WALL				
			AREA ACCESS <small>2207 TAZEWELL ST., RICHMOND, VA 23222</small>	
	VERTICAL PLATFORM LIFT, MODEL: VPC RL-168		SCALE: N/A	
	DRAWN BY: RF	DATE: 7/27/18	DRAWING NUMBER: 10064	REV.: 3
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backfilled with gravel
 existing poured concrete retaining wall
 existing 6"X48" H poured
 48"

8x8x16 block wall reinforced with #4 rebar and mortar filled
 34"
 existing 8"X8" brick pillar

existing tongue + groove flooring
 existing 2x8 framing

existing 6"X6" post

existing 2x8 framing with tongue + groove flooring

existing poured concrete steps

poured concrete

existing privacy fence

continuous tongue and groove particle board from pad to 2nd story floor
 117"

existing 6"X6" post

end of house

5"X13 1/2'X4' sleeper floor constructed on top of existing floor to raise floor to meet flush with threshold of 2nd story door - treated lumber with composite decking

add railing @ station 6" above existing Richmond rail
 106"

8"

(existing brick home)

existing roof