



# Commission of Architectural Review SUBMISSION APPLICATION

City of Richmond, Room 510 – City Hall  
900 East Broad Street, Richmond, Virginia 23219  
PHONE: (804) 646-6335 FAX: (804) 646-5789

**12 COPIES OF SUPPORTING DOCUMENTATION ARE REQUIRED FOR PROCESSING YOUR SUBMISSION**

LOCATION OF WORK: 511 N. 26th st

DATE: 12-15-15

OWNER'S NAME: Evolve HLD LLC

TEL NO.: 804-991-4111

AND ADDRESS: 3420 Pump Rd Suite 169

EMAIL: DVKSFOYAMOO.COM

CITY, STATE AND ZIPCODE: Richmond, VA 23233

ARCHITECT/CONTRACTOR'S NAME: Jimmy Freeman

TEL. NO.: 757-237-9199

AND ADDRESS: \_\_\_\_\_

EMAIL: JIMMY.FREEMAN757@gmail.com

CITY, STATE AND ZIPCODE: \_\_\_\_\_

Would you like to receive your staff report via email? Yes  No

### REQUEST FOR CONCEPTUAL REVIEW

I hereby request Conceptual Review under the provisions of Chapter 114, Article IX, Division 4, Section 114-930.6(d) of the Richmond City Code for the proposal outlined below in accordance with materials accompanying this application. I understand that conceptual review is advisory only.

### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

I hereby make application for the issuance of a certificate under the provisions of Chapter 114, Article IX, Division 4 (Old and Historic Districts) of the Richmond City Code for the proposal outlined below in accordance with plans and specifications accompanying this application.

### DETAILED DESCRIPTION OF PROPOSED WORK (Required):

**STATE HOW THE DESIGN REVIEW GUIDELINES INFORM THE DESIGN OF THE WORK PROPOSED.** (Include additional sheets of description if necessary, and 12 copies of artwork helpful in describing the project. The 12 copies are not required if the project is being reviewed for an administrative approval. See instruction sheet for requirements.)

Please see attached

Signature of Owner or Authorized Agent: X Daniel Weyman

Name of Owner or Authorized Agent (please print legibly): DANIEL V. WEYMAN

(Space below for staff use only)

RECEIVED

Received by Commission Secretary

DEC 18 2015

APPLICATION NO. \_\_\_\_\_

DATE \_\_\_\_\_ 3:30

SCHEDULED FOR \_\_\_\_\_

Note: CAR reviews all applications on a case-by-case basis.

Daniil Kleyman  
Evolve Development, Inc  
3420 Pump Rd Suite 169  
Richmond, VA 23233

December 14, 2015

To whom it may concern,

Attached you will find proposed architectural plans for a new 4-unit building at 511 N. 26<sup>th</sup> st.

This is an amendment to the already approved application earlier this fall.

After CAR approved this project, we had to make some minor changes to the plans, primarily to meet building code requirements.

Changes from the approved set of plans are as follows:

- 1) A door on the South elevation was added along with a small set of stairs and a landing. This door is necessary to access the closet with the backflow preventer (per plumbing requirements). The door will be a 6-panel metal door, no transom. Stairs, landing and railing will be simple treated wood and will not be stained or painted.
- 2) Rear elevation window configuration has been reduced by 1 window on each floor and door on each floor has been moved to the center of the elevation.
- 3) Left Side Elevation (North): 2 windows added on the 2<sup>nd</sup> story and window positioning changed slightly per an updated floor plan
- 4) Right Side Elevation (South): 2 windows removed from the 2<sup>nd</sup> story (same ones added on the opposite side). Per floor plan revisions.

Additionally, as requested before, handicap ramp specs:

- The ramp itself will be constructed with a concrete foundation and a concrete slab. The look will be simple (see attached pic).
- Metal railings will be used, painted black, in a style similar to the pic attached. Similar style railings were approved and used on our projects at 805, 805 ½ and 807 N. 23<sup>rd</sup> st.
- *Please see pics below for examples*

If you have any additional questions, please feel free to contact me. Thank you.

Daniil Kleyman  
Evolve Development, Inc



Example of a similar ramp at a recent project



Example of railings to be used

# MULTI-FAMILY RESIDENCE

# 511-511 1/2 26TH STREET

## RICHMOND, VA 23223

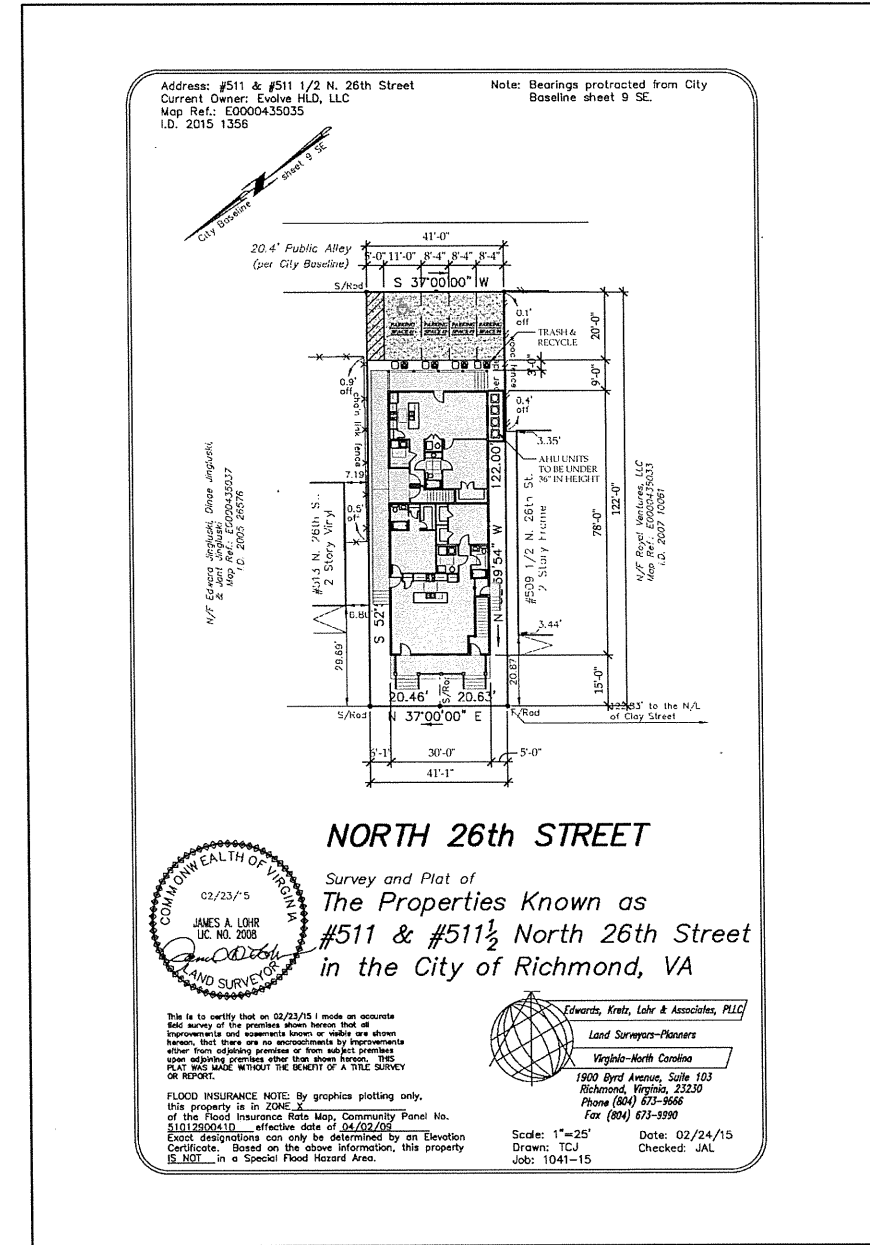
### BUILDING INFORMATION:

REGULATORY AGENCY BUREAU OF PERMITS AND INSPECTIONS CITY HALL 900 E. BROAD ST. RM. 110 RICHMOND, VA 23219	
TYPE OF PROJECT MULTI-FAMILY RESIDENTIAL R-2	
APPLICABLE CODES INTERNATIONAL BUILDING CODE (IBC) 2012 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC) 2012 INTERNATIONAL ENERGY CODE 2012	
BUILDING CODE CONSTRUCTION TYPE: 5B	EXTERIOR BEARING WALLS: 1 HOUR (AT WALLS WITHIN 10' OF PROPERTY LINE) SEE PLAN FOR 1 HR EXTERIOR WALLS
USE GROUP: R-2 QUADPLEX SPRINKLED: YES (NFPA-13R) MAX ALLOWED AREA PER FLOOR: 7,000 SF MAX HEIGHT: 40 FT NUMBER OF TYPE 'B' UNITS: 2	
PROPOSED AREA: 2,340 SF PROPOSED HEIGHT: 29'-9" TYPE 'B' UNITS PROVIDED: 2	
ZONING R-63	
ZONING REQUIREMENTS MINIMUM LOT AREA: 4,000 SF MINIMUM OPEN SPACE: 30% (1,504 SF) MAXIMUM BUILDING HEIGHT: 40 FT	PROPOSED LOT AREA: 5,012 SF OPEN SPACE: 2,672 SF 2,672 / 5,012 = 54% BUILDING HEIGHT: 29'-9"
SETBACKS REQUIRED: (SECTION 114-419.5) FRONT YARD: NO SETBACK SIDE YARD: 5 FT REAR YARD: 15 FT	FRONT YARD: 15 FT SIDE YARD: 5 FT & 6 FT REAR YARD: 29 FT
PARKING REQUIREMENTS: 1 PER DWELLING UNIT (4 TOTAL) (3) STANDARD & (1) HANDICAP ACCESSIBLE	PROPOSED PARKING: STANDARD SPACES: 3 HANDICAP ACCESSIBLE: 1
GENERAL STRUCTURAL NOTE: STRUCTURAL ITEMS ARE SHOWN FOR REFERENCE. ALL STRUCTURAL ELEMENTS ARE TO BE SPECIFIED/APPROVED BY A STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION	

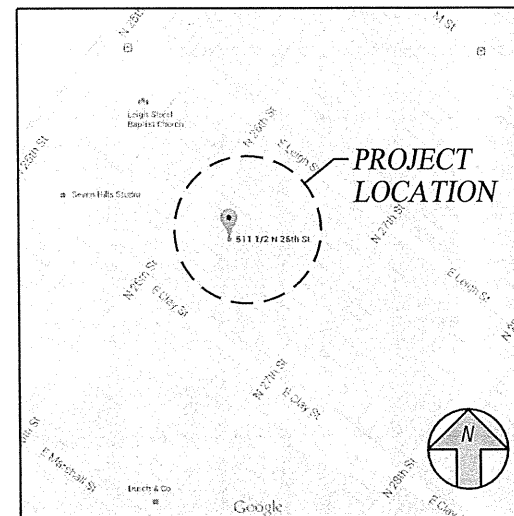
### DRAWING INDEX:

- T-1 TITLE SHEET, SURVEY PLAN, CODE DATA & DRAWING INDEX
- C-1 CONTEXT DRAWINGS
- A-1 GENERAL NOTES
- A-2 FOUNDATION & ROOF PLAN, TYPICAL WALL SECTION & DETAILS
- A-3 SHEAR WALL PLANS & DETAILS
- A-4 1ST & 2ND FLOOR PLANS AND DOOR & WINDOW SCHEDULES
- A-5 EXTERIOR ELEVATIONS
- A-6 EXTERIOR ELEVATIONS

### PROPOSED SURVEY PLAN



### VICINITY MAP:



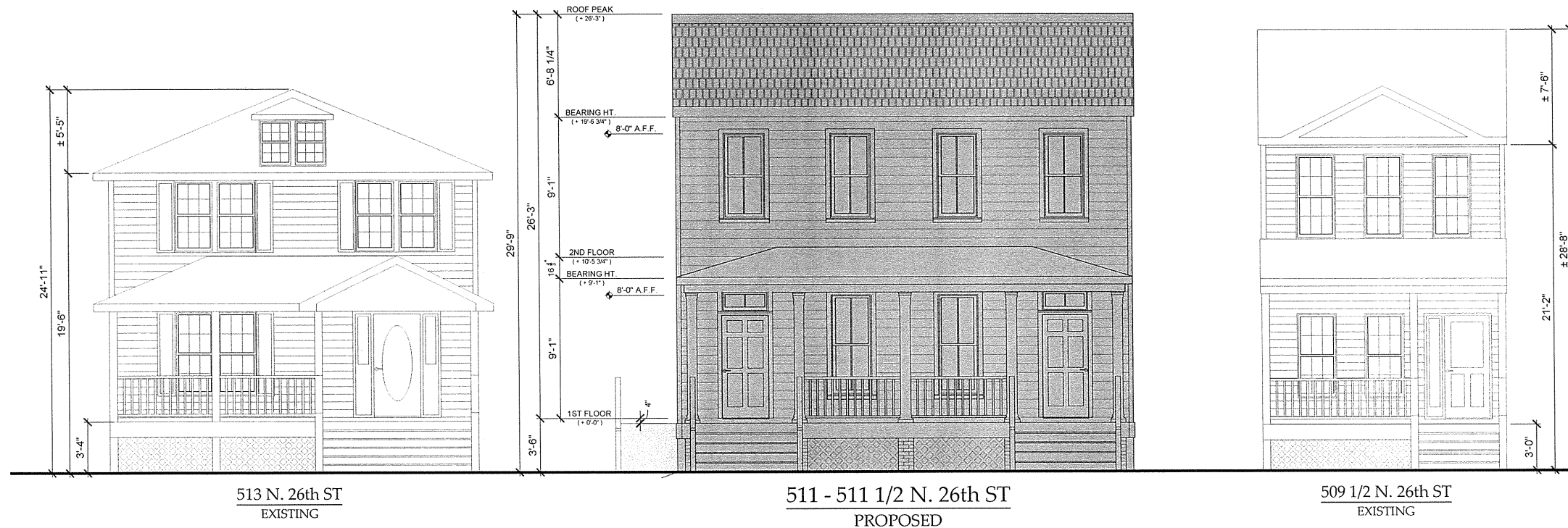
**EVOLVE**  
DEVELOPMENT INC

3420 PUMP RD SUITE 169  
RICHMOND, VA 23233  
evolve@evolve.com  
804-991-4111

MULTI-FAMILY RESIDENCE  
**511-511 1/2 26TH ST**  
RICHMOND, VA 23223

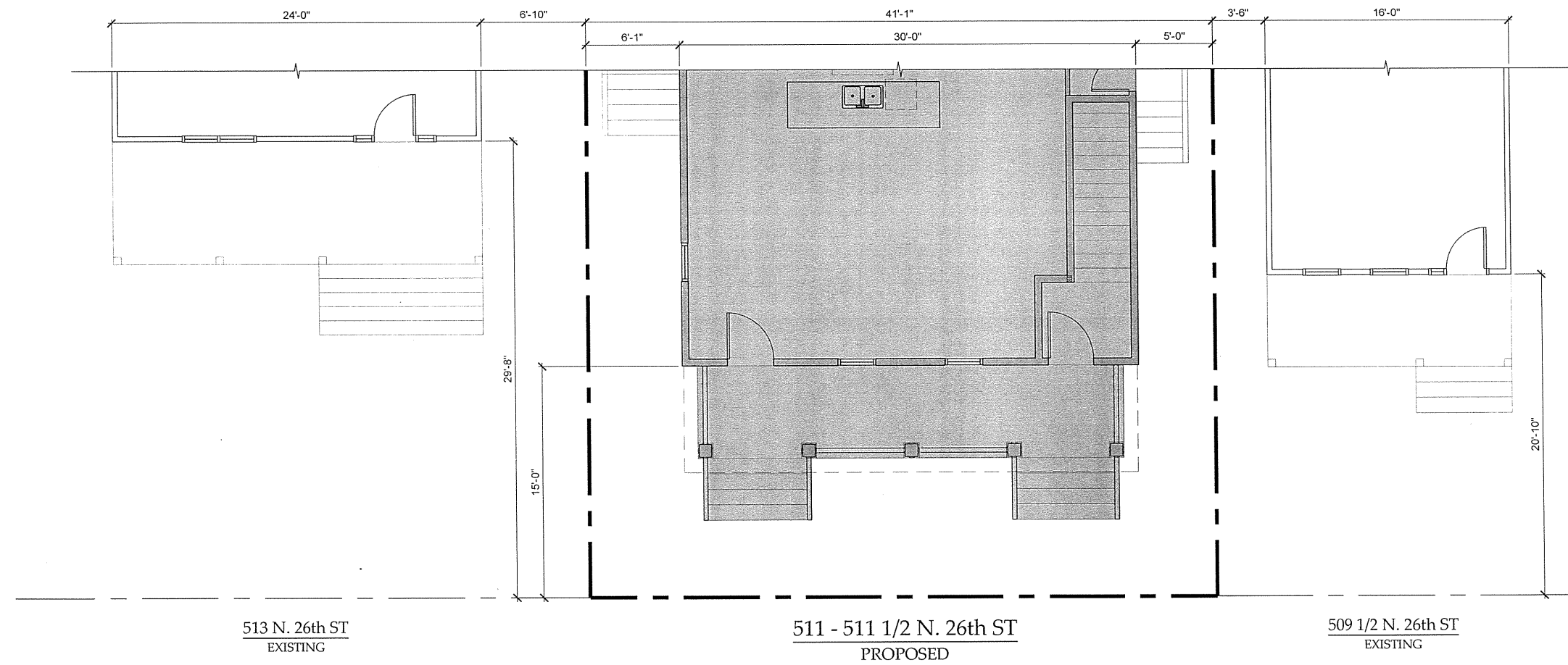
DATE: 12-14-15

T1



**CONTEXT ELEVATIONS**

SCALE: 1/4"=1'-0"



**CONTEXT SETBACK PLANS**

SCALE: 1/4"=1'-0"

**EVOLVE**  
DEVELOPMENT INC

3420 PUMP RD SUITE 169  
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dvk5f@yahoo.com  
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MULTI-FAMILY RESIDENCE  
**511-511 1/2 26TH ST**  
RICHMOND, VA 23223

DATE: 12-14-15

**C-1**

## GENERAL NOTES

### GENERAL REQUIREMENTS

- These Plans and Specifications for pricing purposes only. Not for construction unless so issued. The intent of these documents is for a General Contractor (G.C.) to provide itemized price breakdowns for all items noted on this document set.
- The contract documents include the working drawings, addenda, specifications, modifications, instructions to bidders, and the conditions of the construction contract.
- All bids should be itemized. All overhead, profit, general conditions, and other costs should be clearly identified and noted. All specific job related insurance, temporary facilities costs, permit and permit expediting fees, performance and payment bonds, and other associated project costs should be clearly identified and enumerated. The G.C. is responsible for obtaining all necessary permits, inspections, and occupancy permits for the Work shown and any certifications of structural loading by an outside structural engineer.
- All exclusions by the G.C. must be clearly and explicitly itemized. All exclusions shall be stated in the Bid Form and approved by the Owner in writing.
- All work shall conform with the requirements of all agencies having jurisdiction. In the event of a conflict, the most stringent requirements shall govern. Codes include but are not limited to: 2006 IBC, NFPA Life Safety 101, American with Disabilities Act, Virginia Construction Code 2006, ANSI 117.1.
- The G.C. is required to verify existing field conditions All Work to be performed in a workmanlike manner. The G.C.s are to fully acquaint themselves with the drawings and field conditions and notify the Architect of any questions, problems, errors, conflicts, or omissions inhibiting the completion or Pricing of the Work in writing. Clarification regarding any conflicts shall be resolved in written addenda prior to commencing the related Work.
- The G.C. shall be responsible for checking contract documents, dimensions and field conditions for accuracy and confirming that work is buildable as shown prior to commencement of construction. Clarifications regarding any conflicts shall be resolved in writing prior to any related work being started. All exclusions by the G.C. must be clearly and explicitly listed in the bid.
- The G.C. shall verify that no conflicts exist in locations of any and all mechanical, telephone, electrical, plumbing and sprinkler equipment. Indications for mechanical, telephone, electrical, plumbing and sprinkler systems/equipment are diagrammatic in nature. The G.C. is responsible for coordinating location and installation of all such systems. The G.C. shall continuously check all structures and required clearances for the installation and maintenance of such equipment and systems. Elements to be exposed or concealed are to be determined and reviewed with the Architect prior to proceeding with construction. No allowance of any kind will be made for the G.C.'s negligence to foresee means of installing equipment into position inside structure.
- Mechanical, electrical and plumbing drawings, schedules and specifications ("documents") are issued by the engineers to accompany the architectural documents. Architect will attempt to coordinate the two sets of documents. The G.C. shall notify the Architect in case of discrepancy, error or omission between the two sets of documents prior to taking related action. G.C. and all subcontractors are to use all sheets in compiling pricing and performing their work. In case of conflict between the two sets of documents, Architect's drawings shall govern issues regarding quantities and location. All subcontractor queries are to be communicated in writing to the Architect by the G.C. No subcontractor is to contact the Architect directly.
- Do not scale the drawings, dimensions govern. Verify dimensions with field conditions. If discrepancies are discovered between field conditions and drawings, consult the Architect for resolution prior to proceeding.
- Written specifications (either in note format or in a detail) take precedence over large scale details. Large scale details and sections take precedence over large scale plan details. Large scale plan details take precedence over regular plans. In case of error, discrepancy, field variations, lack of adequate dimensions or other information, do not proceed with the Work affected prior to consulting with the Architect.
- Dimensions are not adjustable without the approval of the Architect unless noted (\_\_\_ +/-) or V.I.F.
- Horizontal dimensions are indicated from finished face to finished face unless otherwise noted.
- Attachments, connections, or fastenings of any nature are to be properly and permanently secured in conformance with best practice and the G.C. is responsible for improving them accordingly and to these conditions. The drawings show only special conditions to assist the G.C. They do not illustrate every such detail. All work shall be erected and installed plumb, level, square and true, and in proper alignment.
- The G.C. shall be responsible for and shall provide protection for any existing finishes, materials, equipment, or other items to remain that are subject to exposure or damage during the project. Remove means of protection at the end of the project. Damage to any finishes, materials, equipment, or other items to remain shall be repaired immediately by the G.C. at no expense to the Owner.
- Long-lead and other items affecting delivery of the space within the required project schedule should be brought to the attention of both the Owner and the Architect.
- G.C. shall order and schedule delivery of materials in ample time to avoid delays in construction. If an item is found to be unavailable, G.C. shall notify the Architect in writing immediately to allow their Project Manager a reasonable amount of time in which to select a suitable substitute.
- All work must follow manufacturer's specifications and installation procedures. If these are contrary to contract documents, the G.C. shall notify the Architect in writing immediately, to resolve discrepancies prior to proceeding. Architectural, mechanical, electrical, fire protection, and plumbing shop drawings for each trade and specialty shall be submitted as soon as possible after the award of contract to the Architect, allowing five working days for review. No construction shall proceed until the approval of these drawings.
- The G.C. shall provide manufacturer's specifications, installation instructions, shop drawings and samples for review and approval of all materials and methods to be used prior to ordering, fabrication, or proceeding with the work.
- Make all necessary provisions for items, such as furniture, electrical equipment, light fixtures, security cameras and related equipment, appliances, installed or furnished by Owner. Provide protection for these provisions until project completion. G.C. to coordinate those items not in contract with appropriate trades and Owner.
- All manufacturer supplied items to be installed in accordance with manufacturer's guidelines or specifications. If these are contrary to the contract documents, G.C. shall notify the Architect in writing to resolve discrepancies prior to proceeding. No substitutions are allowed without the written approval of the Architect.
- Materials and workmanship specified by reference to number, symbol, to the title of a commercial standard, federal specification, trade association standard, or other similar standard, shall comply with requirements in latest edition or revision thereof and with any amendment or supplement thereto in effect on date of origin of the contract documents. Such standards, except as modified herein, shall have full force and effect as though printed in contract documents.
- No work defective in construction, quality, or deficient in any requirements of the contract documents will be acceptable in consequences of the G.C.'s failure to discover or to point out defects or deficiencies during construction. Defective work revealed with required time guarantees shall be replaced by work conforming with the intent of the contract. No payment, whether partial or final, shall be construed as an acceptance of defective work or improper materials.
- The G.C. shall guarantee all work and material supplied to the job, to be free of defects, properly installed, operational, finished correctly, etc. by their own means as well as by their subcontractors, vendors, and agents. The guarantee shall be in place for minimally one (1) year after the date of completion.
- If at any time before commencement of work, or during progress thereof, G.C.'s methods, equipment, or appliances are ineffective or inappropriate for securing quality of work, or rate of progress intended by contract documents, Owner may order G.C. to improve their quality or increase their efficiency. This will not relieve G.C. of their sureties from their obligations to secure quality of work and rate of progress specified in contract.
- Upon completion of Contract, the G.C. is responsible with providing to the Owner operation and maintenance manuals, bound together in a single volume, for all mechanical, electrical and other operating equipment, finishes, etc. installed during the performance of the Contract. Include manufacturer's or equipment information regarding maintenance and service, care of finishes, technical specification data, warranty information, purchasing source, repair, servicing, replacement information, as well as a set of as-built drawings of the sprinkler and life safety systems, and a final air balance report.
- The contract documents are instruments of service and shall remain the property of the Architect whether or not the project for which they are prepared is executed. The contract documents are not to be used by the G.C. for other projects or extension to the project nor are they to be modified in any manner whatsoever except by agreement in writing and with appropriate compensation to the Architect.

### GYPSUM BOARD PARTITION NOTES

- All construction per Gypsum Association standards.
- (Not Used)
- Caulk all slab to slab partitions at bottom and top, both sides, as gypsum board makes contact with concrete slab.
- Joint compound shall be dry-mix, low VOC content. Utilize only paper joint tape (no fiberglass tape) to be used.
- Screw-attach multiple layers of gypsum board in lieu of using adhesive compounds.
- G.C. shall "chalk-out" locations of partitions, doors, mullions, sidelights and transoms, soffits and bulkhead, millwork, electrical outlets, voice/data outlets and other major elements, for review by the Architect at the beginning of the project prior to proceeding with construction.
- Provide necessary structural metal support, fire treated wood blocking/grounds, etc. for all wall surface mounted casework, ceiling supported elements, and specialties such as bulkheads, soffits, glass doors, laminate doors/panels, wall cabinets, shelving, blind/drape tracks, lighting, and low partitions, etc.
- All rated walls, all shower/tub areas shall be "pre-rocked" with scheduled GWB.

### DOOR AND HARDWARE NOTES

- The G.C. is responsible for providing all hardware described whether by manufacturer's model number or generically. Provide cut sheets for the Architect for approval prior to ordering and installation.
- Undercut all doors as required to clear new flooring finish height not greater than 1/2".
- All new doors to have lever-type hardware, unless noted otherwise.
- Not used.
- Provide caulk around door frames as required.

### GENERAL FINISH NOTES

- All interior finishes to have minimum Class II flame spread rating.
- See Finish Schedule sheet for additional information.
- Notify the Architect regarding areas where finishes are not noted or are not clear before proceeding with pricing.
- All finishes to be installed per manufacturer's suggested guidelines.
- All finishes are to be protected, sealed and maintained according to manufacturer's recommendations.
- Submit samples of all finishes specified to the Architect for review and approval prior to ordering. The Architect shall review and respond to all submittals within a reasonable time frame.
- All finish application pricing to be based on substrate conditions and proper preparation. Clean and prepare surfaces prior to application of primers and finishes.
- All items are to be from the same dye lot or production run.
- Provide Owner with an "attic stock" of all paints and other finishes used on job, along with associated color codes and manufacturer's information for coordination of future work and building maintenance. Assume quantity to be 10 gallons of each color or finish type unless otherwise directed.

### FLOORING NOTES

- Center intersection of different flooring types or color beneath door centerline.
- Provide a 1% overage of all flooring types for Owner's future use.

### WALL AND DOOR FINISH NOTES

- Any painted surface is to receive one coat of primer and minimum two coats of paint.
- Any existing surface being repainted is to be covered from corner to corner.
- All paint-grade doors to be painted semi-gloss.
- All stain-grade doors and wood frames are to match their finish.

### CEILING NOTES

- G.C. shall coordinate with all trades to ensure clearances for fixtures, ducts, ceilings, etc. necessary to maintain the specified finish ceiling height.
- All gypsum board soffits and bulkheads to be 1/2" gypsum board on a 2x4 wood stud system or a 2-1/2" metal stud system attached and braced to the deck above as required. Provide lateral support as required. Maintain a continuous fire rated ceiling as scheduled above all soffits and dropped ceilings.

### EQUIPMENT

- All kitchen and laundry appliances and garbage disposals shall be supplied by owner unless noted otherwise. Provide waterlines for refrigerator ice makers. GC is responsible for installation of vent hoods over range, venting microwave ovens installed over the range, refrigerators, garbage disposals, and dishwashers.

### MILLWORK NOTES

- All new millwork construction to comply with American Woodworking Institute Quality Standards for Premium Grade Construction except for plastic laminate covered casework, which is to be custom grade. Provide blocking and support as required for all millwork.
- Clean all millwork prior to move-in.
- All plastic laminate seams on lengths longer than 8'-0" are to be centered or equally spaced on countertop lengths. Indicate seam locations (if required) on shop drawings. All exposed surfaces are to be finished. Scribe all ends as required.
- Field verify exact millwork dimensions in coordination with the G.C. and prior to ordering or fabricating. Verify both width and heights. Notify the Architect of any discrepancies.

### MECHANICAL

- Utilize low VOC joint and seam sealers at joints and seams.
- Utilize a solder that does not contain lead for basic piping materials, underground utilities, and pipe fittings.
- Mechanical sound insulation materials within the duct, where specified by mechanical drawings, shall include an impervious, non-porous coating that prevents dust from accumulating in the insulating materials.
- Test and balance the entire system upon completion. HVAC shall be tested and balanced, with Contractor to forward a copy of the air balancing report to the Owner.

### ELECTRICAL

- All floor penetrations for wiring (or plumbing) to be U.L. rated and sealed, fire-packed, and watertight to maintain fire rating of floor separation and prevent moisture penetration. Coordinate penetration locations to clear structural members. Notify the Architect of any location changes.
- All electrical outlets by water areas to be ground fault interrupter circuit.

### LIGHTING

- See engineering drawings for additional information.
- All light, fan, and dimmer switches to be located at 4'-0" AFF unless noted otherwise.
- All switches, including all lighting, fan, dimmer, and other room controls should be grouped at points adjacent to the major entryways of rooms and abut as closely as possible or share common switch plates. Cover plates must be level and aligned.
- All light fixtures are to be supplied by Owner. Coordination of delivery and installation of fixtures shall be included in electrician's scope of work.
- See note #3 under electrical for direction with regard to the installation of light fixtures and switching in existing historic plaster walls.

### PLUMBING

- Plumbing fixtures must meet water conservation requirements of the Energy Protection Act.
- Provide single bowl stainless steel sinks with lever faucets as noted. Provide all drains and fittings as required.
- Install a garbage disposal at all new kitchen sink locations. Provide power and connections as required.
- Provide a cold waterline to each refrigerator location.

### FIRE AND LIFESAFETY

- Provide for ADA-compliant strobes throughout per local code.
- Sprinkler work to meet the strictures of NFPA 13.

### PROJECT CLOSE-OUT

- Substantial Completion**
  - The G.C. shall give the Architect and other interested parties ten (10) days advance notice in writing of the date the Work will be substantially complete and ready for inspections and tests.
  - An endorsement by the officer of the contracting firm who signed the contract stating that all terms of the contract have been carried out, with such exceptions as may be noted, shall be attached to this notice.
  - The Yellow Room, Inc. will not coordinate the inspection of the Work and prepare the "Punch List" until after this notice of substantial completion has been received. Final inspection and testing will be made within two (2) weeks of substantial completion.
  - Should the Architect determine that the Work is not substantially complete, he/she will notify G.C. in writing giving the reasons therefore. Upon receipt of the "Punch List" the G.C. shall institute corrective action immediately and expedite completion of the Work involved. Within ten (10) days of the receipt of written notice that the deficiencies in the Work have been corrected, the Architect will coordinate the re-inspection of the Work.
  - When the Architect concurs that the Work is substantially complete, he/she will prepare a certificate of substantial completion accompanied by a list of items to be completed and corrected, and shall submit the certificate to the Owner and G.C. for their written acceptance.
- Final Inspection**
  - When the G.C. considers the Work to be complete, they shall submit written certification that the contract documents have been reviewed, that the Work has been inspected for compliance with the contract documents, and that the Work has been completed in accordance with the contract documents. The certification shall further state that all equipment and systems have been tested in the presence of the Owner's representative and are operational. The certification shall state that the Work is complete and ready for final inspection.
  - Within ten (10) days of receipt of the G.C.'s certification, the Architect will coordinate the inspection of the Work to verify the status of completion. When the Architect finds the Work acceptable, the G.C. shall make the required close-out submittal.
- Close-out Submittals and Certification of Occupancy**
  - Submit evidence of compliance with the requirements of the governing authorities, including but not limited to such items as certificates of inspection from the various divisions of the jurisdiction having authority.
  - It is the responsibility of the G.C. to schedule and attend all inspections by governing authorities as required for a timely completion of the Work to meet the project schedule.
  - The G.C. shall file for the certificate of occupancy from the jurisdiction having authority and shall expedite the granting of same by satisfying the requirements of the jurisdiction having authority.
  - Submit operating and maintenance instructions, warranties, bonds, spare parts and maintenance materials and similar items in accordance with the requirements of the various sections of the specifications.
- Guarantee**
  - The guarantee shall cover faulty or imperfect material and workmanship, damage or undue deterioration resulting from normal use and the satisfactory operation of all electrical and mechanical equipment and devices.
  - The G.C. shall comply with other guarantees called for elsewhere in these specifications.

**EVOLVE**  
DEVELOPMENT INC

3420 PUMP RD SUITE 169  
RICHMOND, VA 23233

dvk5f@yahoo.com  
804-991-4111

MULTI-FAMILY RESIDENCE

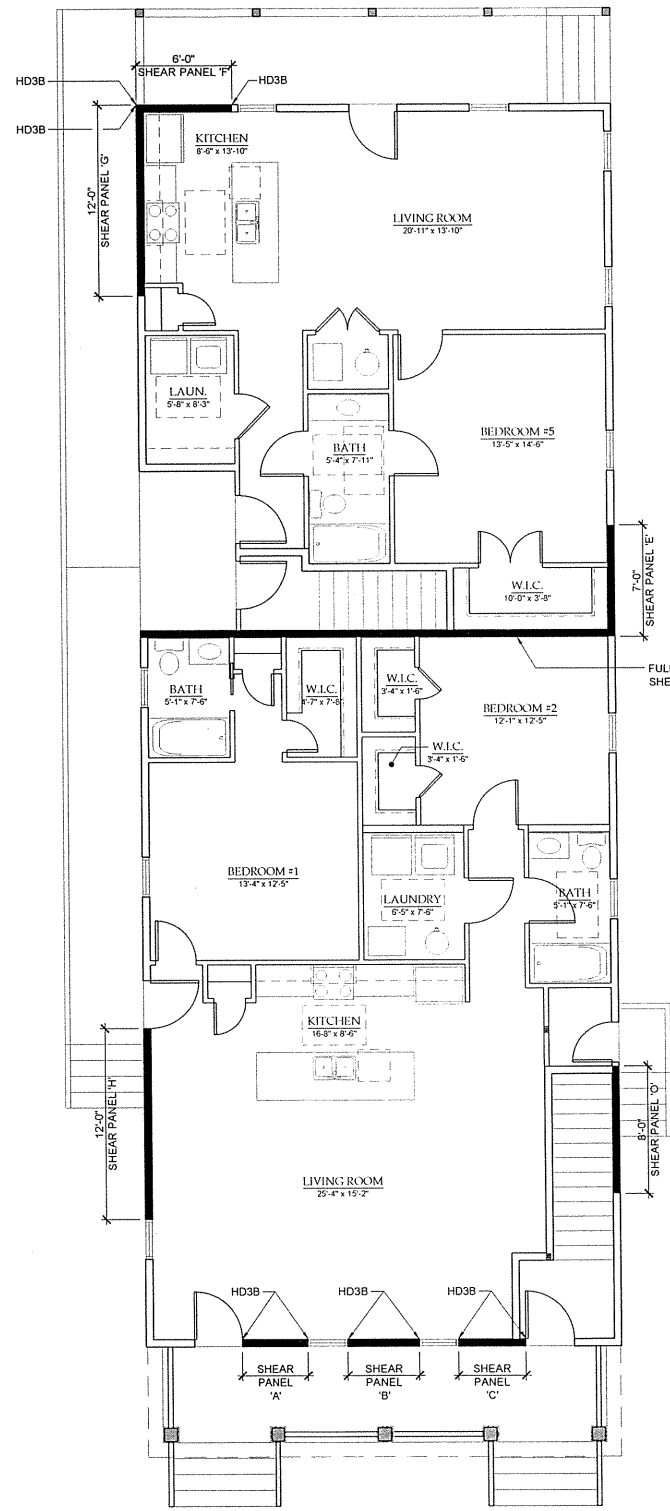
511-511 1/2 26TH ST

RICHMOND, VA 23223

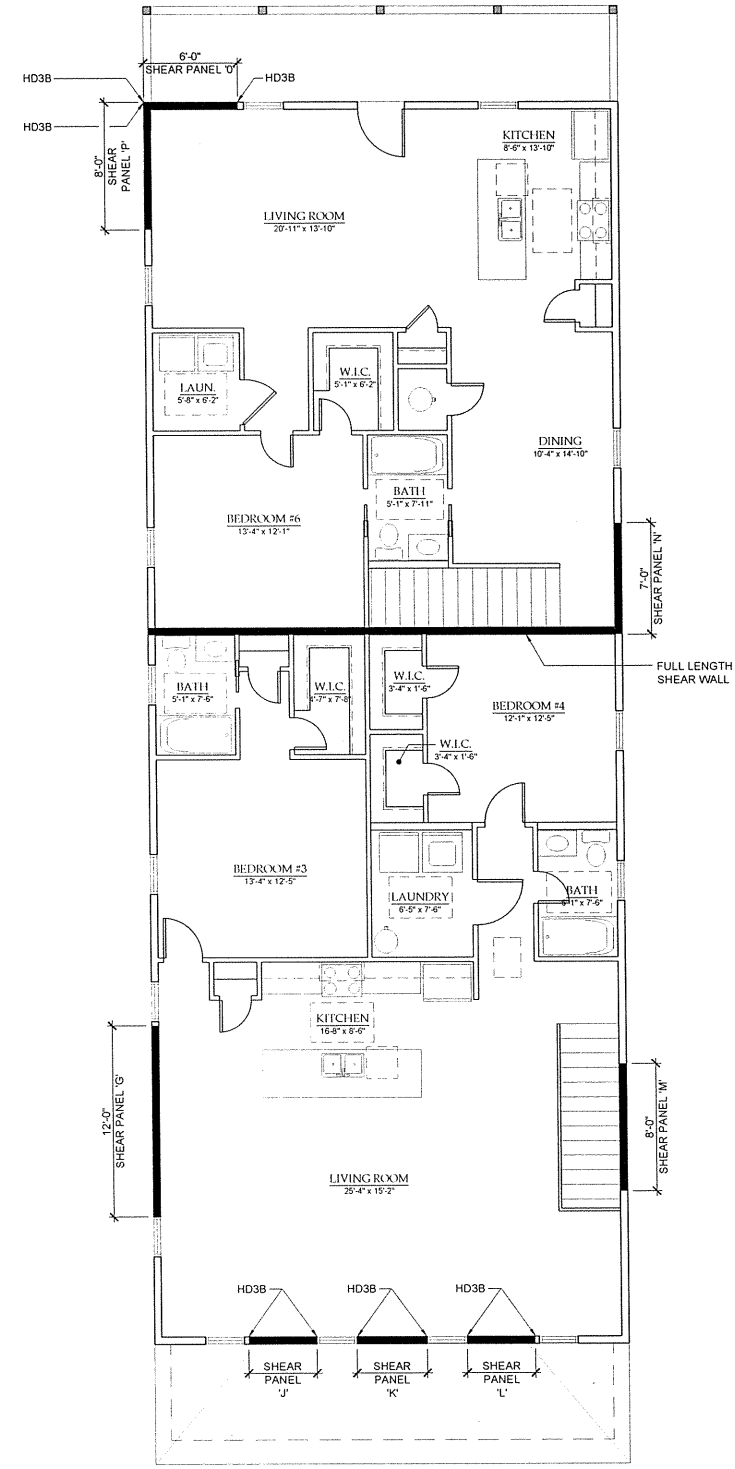
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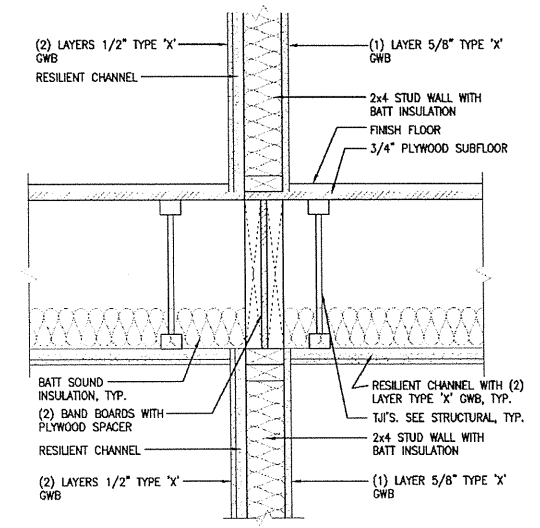




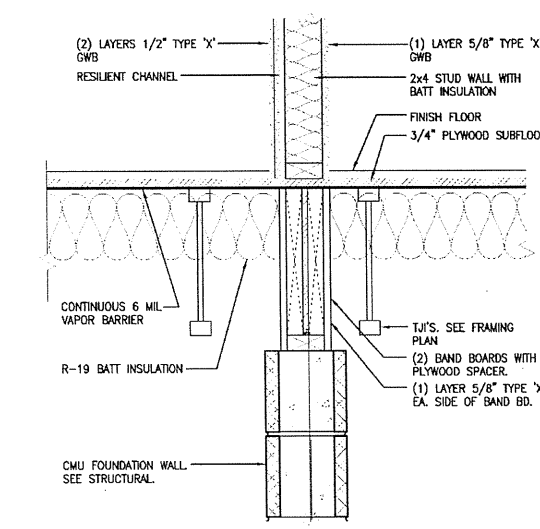
FIRST FLOOR - SHEAR WALL PANEL PLAN  
SCALE: 3/16"=1'-0"



SECOND FLOOR - SHEAR WALL PANEL PLAN  
SCALE: 3/16"=1'-0"



1 DETAIL  
SCALE: 3/4"=1'-0"

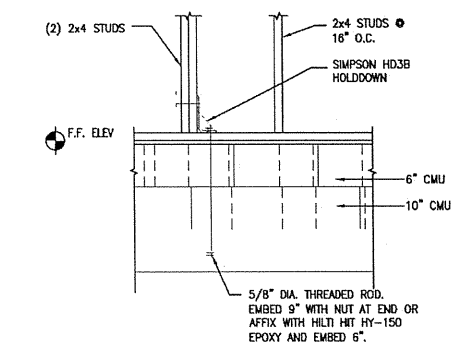


5 DETAIL  
SCALE: 1 1/2"=1'-0"

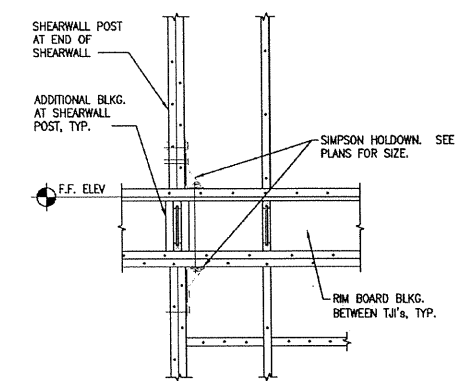
**HD3B DETAILS**  
INSTALL HOLDDOWN ON (2) 2x4 STUDS. ATTACH TO STUDS WITH (2) 5/8" DIA. THRU-BOLTS. ATTACH HOLDDOWN TO FOUNDATION OR THROUGH FLOOR TO HOLDDOWN BELOW WITH 5/8" DIA. THREADED ROD (ASTM A-36 OR EQUAL). SEE 3/A1.01 AND 4/A1.01 FOR DETAILED CONNECTION DATA.

**TRANSVERSE SHEAR WALLS (WALL RUNNING EAST-WEST) - NAIL PATTERN**  
TRANSVERSE SHEAR WALLS CONSTRUCTED OF 7/16" OSB SHEATHING ATTACHED TO 2x4 STUDS AT 16" O.C. WITH 8d NAILS AT 6" O.C. ALL EDGES AND 12" O.C. FIELD.

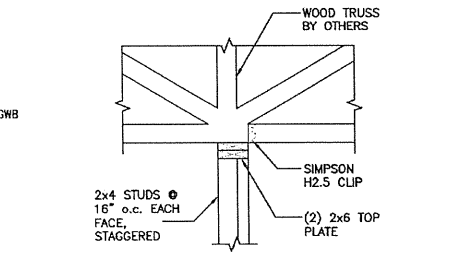
**LONGITUDINAL SHEAR WALLS (WALL RUNNING NORTH-SOUTH) - NAIL PATTERN**  
LONGITUDINAL SHEAR WALLS TO BE CONSTRUCTED USING DENS-GLOSS FIRE-RATED SHEATHING OR EXTERIOR GRADE 5/8" TYPE 'X' GYPSUM WALLBOARD SHEATHING, ATTACHED TO FRAMING WITH EITHER 1-3/4", 11 GA., GALV. ROOFING NAILS AT 7" O.C. EDGES, 14" O.C. FIELD, OR #8 X 1-5/8" RUST-RESISTANT BUGLE-HEAD SCREWS AT 7" O.C. EDGES, 14" O.C. FIELD.



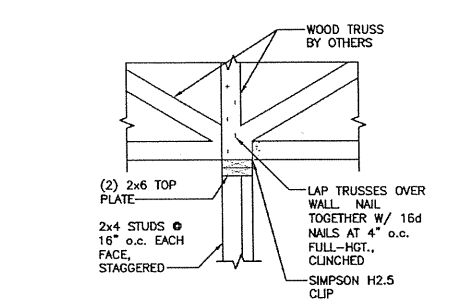
1 DETAIL: END CONDITION AT SHEAR WALL PANELS A, B, C, & F  
SCALE: 3/4"=1'-0"



2 CONNECTION DETAIL - STACKED SHEAR PANELS J, K, L, & O  
SCALE: 3/4"=1'-0"

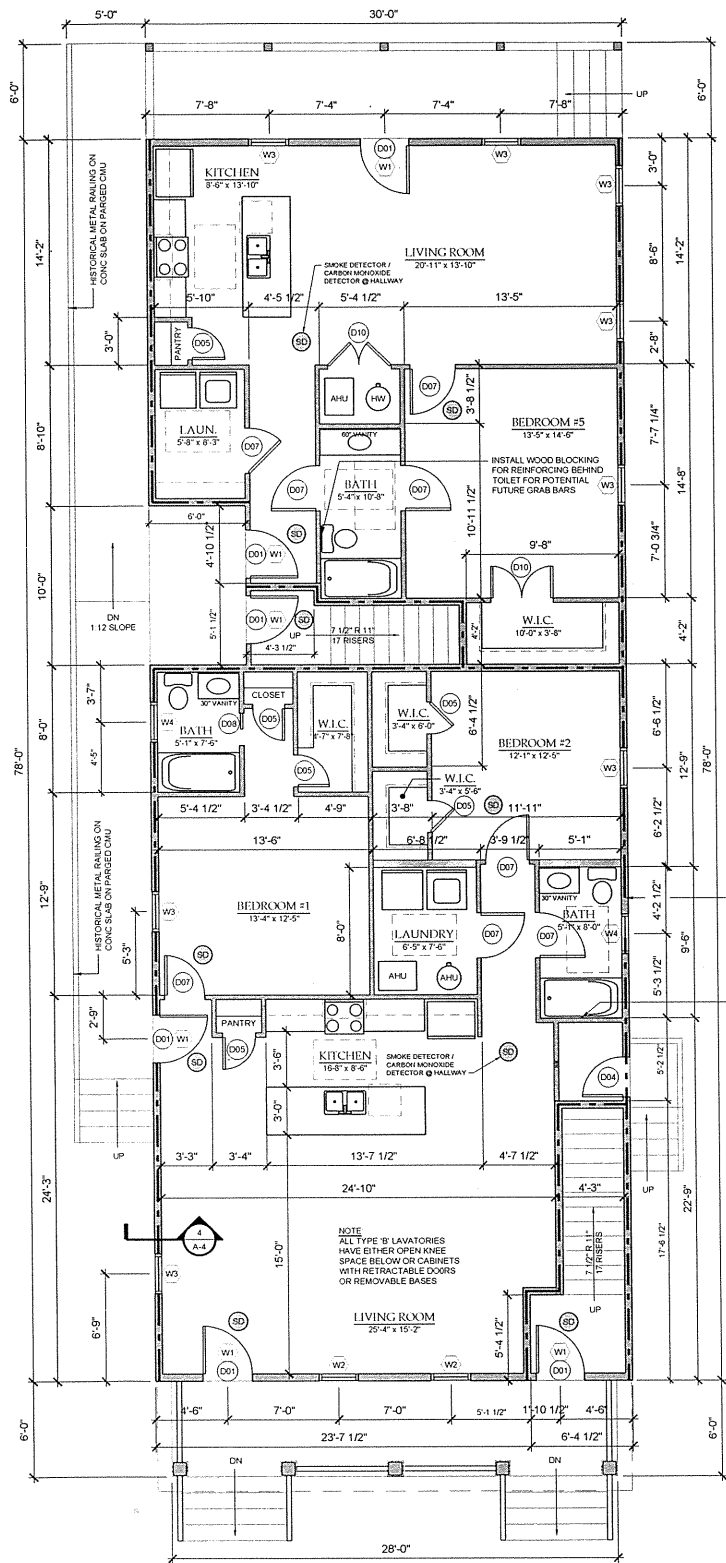


3 SECTION (1-PIECE TRUSS OPTION)  
SCALE: 3/4"=1'-0"



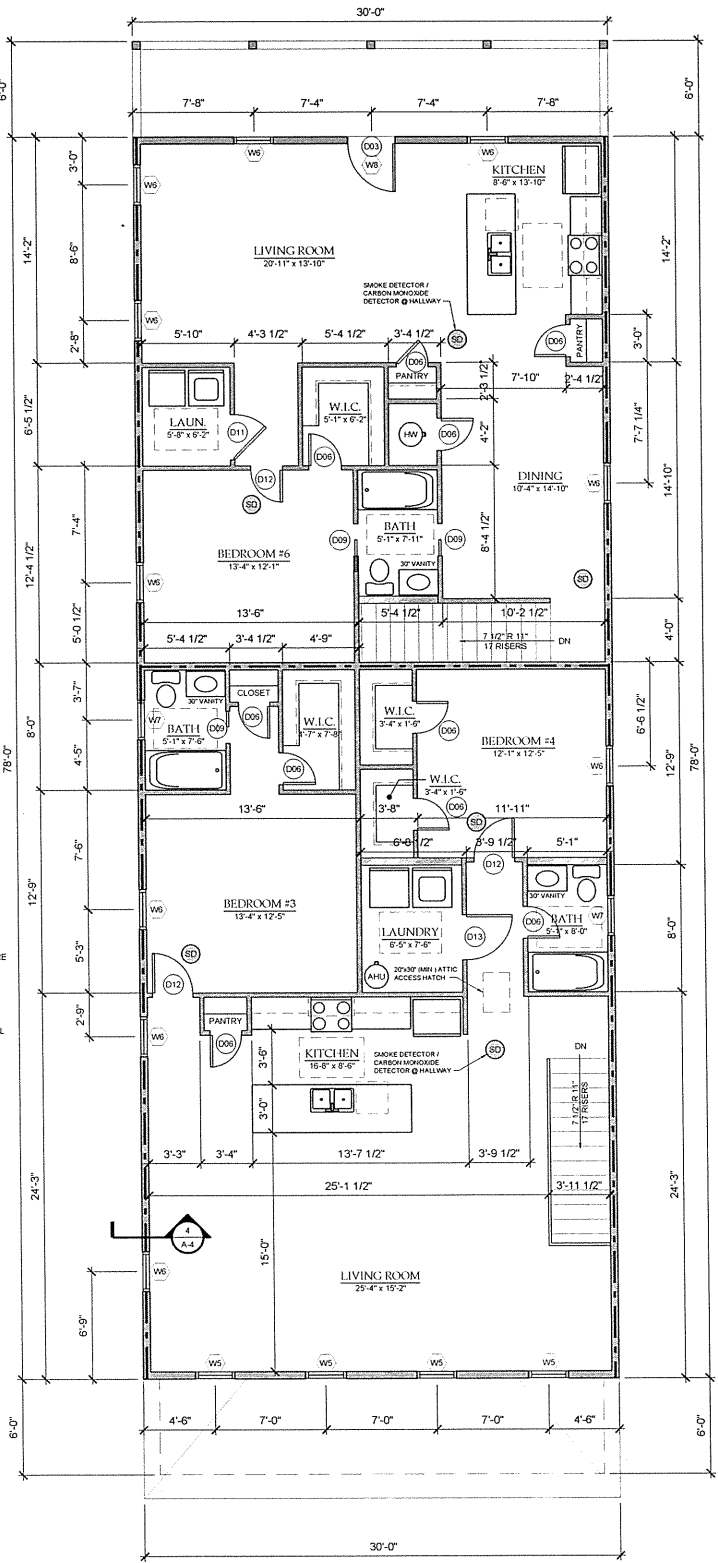
4 SECTION (2-PIECE TRUSS OPTION)  
SCALE: 3/4"=1'-0"





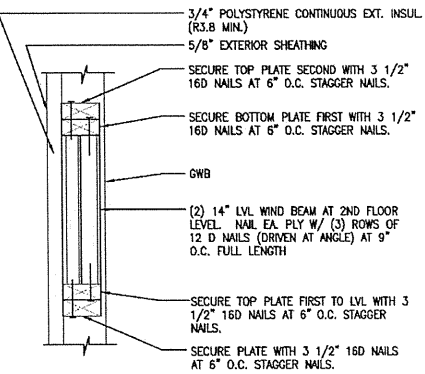
**FIRST FLOOR PLAN**  
SCALE: 3/16"=1'-0"

NO.	TYPE	SIZE	LOCATION	REMARKS
001	W1	3'-0" x 7'-0"	KITCHEN	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
002	W2	3'-0" x 7'-0"	LIVING ROOM	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
003	W3	3'-0" x 7'-0"	BEDROOM #1	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
004	W4	3'-0" x 7'-0"	BEDROOM #2	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
005	W5	3'-0" x 7'-0"	BEDROOM #3	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
006	W6	3'-0" x 7'-0"	BEDROOM #4	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
007	W7	3'-0" x 7'-0"	BEDROOM #5	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
008	W8	3'-0" x 7'-0"	BEDROOM #6	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
009	W9	3'-0" x 7'-0"	BEDROOM #7	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
010	W10	3'-0" x 7'-0"	BEDROOM #8	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
011	W11	3'-0" x 7'-0"	BEDROOM #9	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
012	W12	3'-0" x 7'-0"	BEDROOM #10	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
013	W13	3'-0" x 7'-0"	BEDROOM #11	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
014	W14	3'-0" x 7'-0"	BEDROOM #12	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
015	W15	3'-0" x 7'-0"	BEDROOM #13	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
016	W16	3'-0" x 7'-0"	BEDROOM #14	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
017	W17	3'-0" x 7'-0"	BEDROOM #15	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
018	W18	3'-0" x 7'-0"	BEDROOM #16	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
019	W19	3'-0" x 7'-0"	BEDROOM #17	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
020	W20	3'-0" x 7'-0"	BEDROOM #18	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS

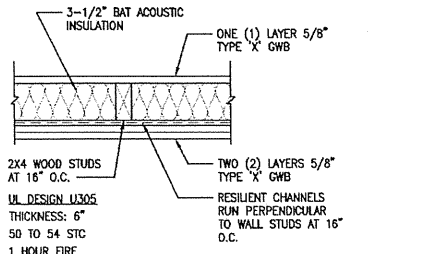


**SECOND FLOOR PLAN**  
SCALE: 3/16"=1'-0"

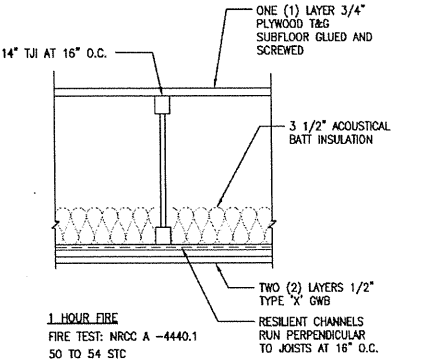
NO.	TYPE	SIZE	LOCATION	REMARKS
001	W1	3'-0" x 7'-0"	KITCHEN	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
002	W2	3'-0" x 7'-0"	LIVING ROOM	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
003	W3	3'-0" x 7'-0"	BEDROOM #1	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
004	W4	3'-0" x 7'-0"	BEDROOM #2	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
005	W5	3'-0" x 7'-0"	BEDROOM #3	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
006	W6	3'-0" x 7'-0"	BEDROOM #4	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
007	W7	3'-0" x 7'-0"	BEDROOM #5	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
008	W8	3'-0" x 7'-0"	BEDROOM #6	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
009	W9	3'-0" x 7'-0"	BEDROOM #7	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
010	W10	3'-0" x 7'-0"	BEDROOM #8	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
011	W11	3'-0" x 7'-0"	BEDROOM #9	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
012	W12	3'-0" x 7'-0"	BEDROOM #10	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
013	W13	3'-0" x 7'-0"	BEDROOM #11	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
014	W14	3'-0" x 7'-0"	BEDROOM #12	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
015	W15	3'-0" x 7'-0"	BEDROOM #13	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
016	W16	3'-0" x 7'-0"	BEDROOM #14	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
017	W17	3'-0" x 7'-0"	BEDROOM #15	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
018	W18	3'-0" x 7'-0"	BEDROOM #16	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
019	W19	3'-0" x 7'-0"	BEDROOM #17	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS
020	W20	3'-0" x 7'-0"	BEDROOM #18	WOOD BLOCKING FOR REINFORCING BEHIND AND TO THE SIDE OF THE TOILET FOR POTENTIAL FUTURE GRAB BARS



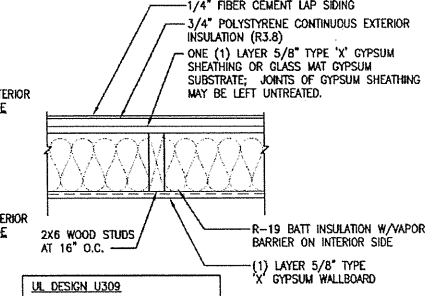
**1 DETAIL AT WIND BRACE**  
SCALE: 1 1/2"=1'-0"



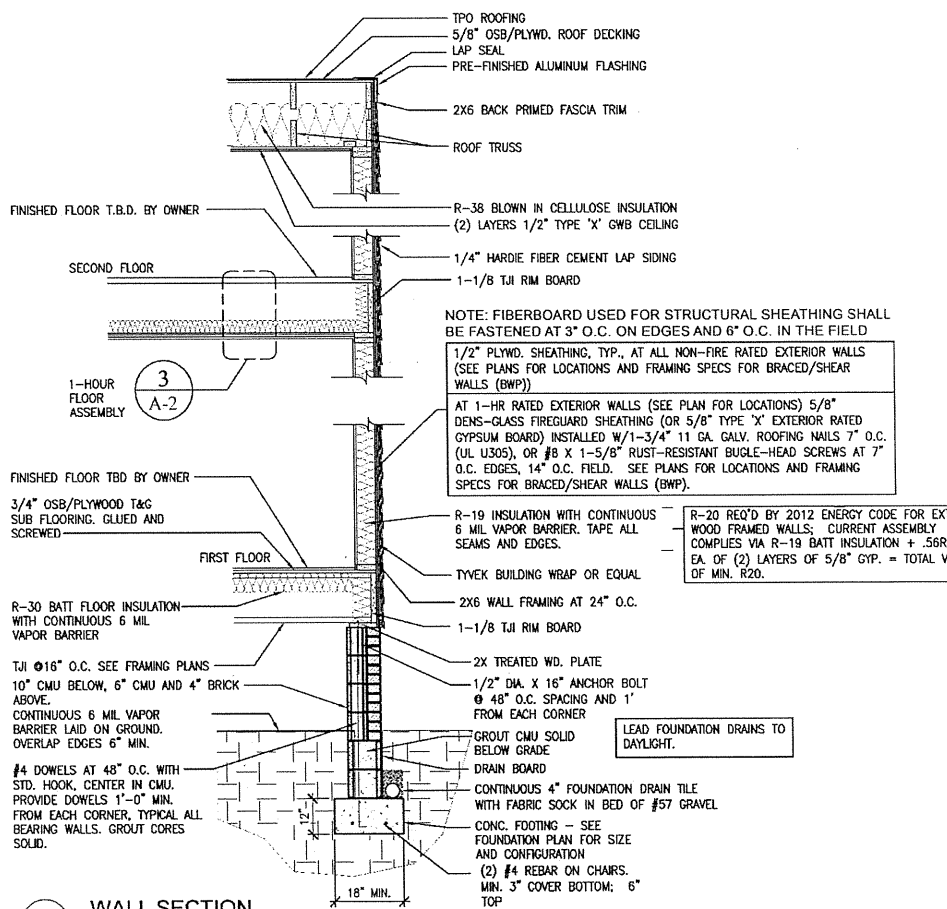
**2 1 HOUR PARTITION**  
SCALE: 1 1/2"=1'-0"



**3 1 HOUR FLOOR-CEILING**  
SCALE: 1 1/2"=1'-0"



**4 1 HOUR RATED EXTERIOR WALL**  
SCALE: 1 1/2"=1'-0"



**5 WALL SECTION**  
SCALE: 1/2"=1'-0"

**EVOLVE**  
DEVELOPMENT INC

3420 PUMP RD SUITE 169  
RICHMOND, VA 23233  
dvk5t@yahoo.com  
804-991-4111

MULTI-FAMILY RESIDENCE  
**511-511 1/2 26TH ST**  
RICHMOND, VA 23223

DATE: 12-14-15

**A-4**

ARCHITECTURAL KEY NOTES: 1

NOTE: 2" CONTINUOUS SHEATHING FOR ALL WALL BRACING, INCLUDING CORNERS BY DOORS AND WINDOWS

1. HISTORICAL METAL RAILING ON CONC SLAB ON PARGED CMU
2. FRONT PORCH FLOORING AND TRIM: TONGUE AND GROOVE DECKING
3. RAILING: RICHMOND RAIL, PAINTED
4. FRONT COLUMNS: FIBERGLASS DORIC COLUMNS PAINTED, 4X4 INTERIOR POST
5. PORCH ROOFING: MEMBRANE, BLACK FINISH
6. WINDOWS: ALUMINUM CLAD - DOUBLE PANE - SEE WINDOW SCHEDULE
7. DOORS: PAINTED FIBERGLASS-SEE DOOR SCHEDULE
8. SIDING AND TRIM: FIBER-CEMENT ('HARDIPANEL' MATERIAL OR EQUAL)
9. FASCIA BOARDS: FIBER-CEMENT ('HARDIPANEL' MATERIAL OR EQUAL)
10. WOOD STEPS & RAILING: RICHMOND STYLE
11. ROOF FLASHING: METAL, COLOR TO MATCH FASCIA BOARD
12. FRONT ROOF: MANSARD SLATE ROOF
13. 'A' FRAME ROOF: ARCHITECTURAL SHINGLES
14. REAR PORCH STRUCTURE: PRESSURE TREATED STAINED, VERTICAL 6X6 POSTS
15. PORCH PIER: 12"x12" BRICK PIER, 24X24X12 CONCRETE FOOTING, (3) #4 REBAR HORIZONTAL, (2) #4 REBAR VERTICAL, GROUT SOLID.
16. WOOD LATTICE PANEL
17. 18" x 24" ATTIC VENT
18. CRAWL SPACE ACCESS PANEL
19. 12" x 12" BRICK COLUMN



FRONT ELEVATION

SCALE: 1/4"=1'-0"

FRONT FENESTRATION

(2) WINDOWS X 23 S.F. =	46 S.F.
(2) TRANSOMS X 5.5 S.F. =	11 S.F.
<b>TOTAL:</b>	<b>57 S.F.</b>

FRONT ELEVATION TOTAL AREA  
(BETWEEN 2 AND 8 FEET IN HEIGHT) = 180 S.F.

$57 / 180 = 32\%$



RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"

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RICHMOND, VA 23223

DATE: 12-14-15

**A-5**

ARCHITECTURAL KEY NOTES: 1

NOTE: 2' CONTINUOUS SHEATHING FOR ALL WALL BRACING, INCLUDING CORNERS BY DOORS AND WINDOWS

1. HISTORIAL METAL RAILING ON CONC SLAB ON PARGED CMU
2. FRONT PORCH FLOORING AND TRIM: TONGUE AND GROOVE DECKING
3. RAILING: RICHMOND RAIL, PAINTED
4. FRONT COLUMNS: FIBERGLASS DORIC COLUMNS PAINTED, 4X4 INTERIOR POST
5. PORCH ROOFING: MEMBRANE, BLACK FINISH
6. WINDOWS: ALUMINUM CLAD - DOUBLE PANE - SEE WINDOW SCHEDULE
7. DOORS: PAINTED FIBERGLASS-SEE DOOR SCHEDULE
8. SIDING AND TRIM: FIBER-CEMENT (HARDIPANEL MATERIAL OR EQUAL)
9. FASCIA BOARDS: FIBER-CEMENT (HARDIPANEL MATERIAL OR EQUAL)
10. WOOD STEPS & RAILING: RICHMOND STYLE
11. ROOF FLASHING: METAL, COLOR TO MATCH FASCIA BOARD
12. FRONT ROOF: MANSARD SLATE ROOF
13. 'A' FRAME ROOF: ARCHITECTURAL SHINGLES
14. REAR PORCH STRUCTURE: PRESSURE TREATED STAINED, VERTICAL 6X6 POSTS
15. PORCH PIER: 12"x12" BRICK, PIER. 24X24X12 CONCRETE FOOTING. (3) # 4 REBAR HORIZONTAL. (2) #4 REBAR VERTICAL, GROUT SOLID.
16. WOOD LATTICE PANEL
17. 18" x 24" ATTIC VENT
18. CRAWL SPACE ACCESS PANEL
19. 12" x 12" BRICK COLUMN



REAR ELEVATION

SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

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**A-6**