



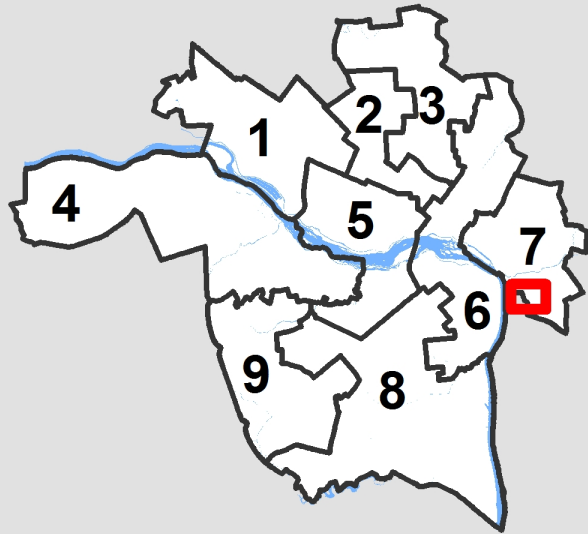
City of Richmond Department of Planning & Development Review

Location, Character, and Extent

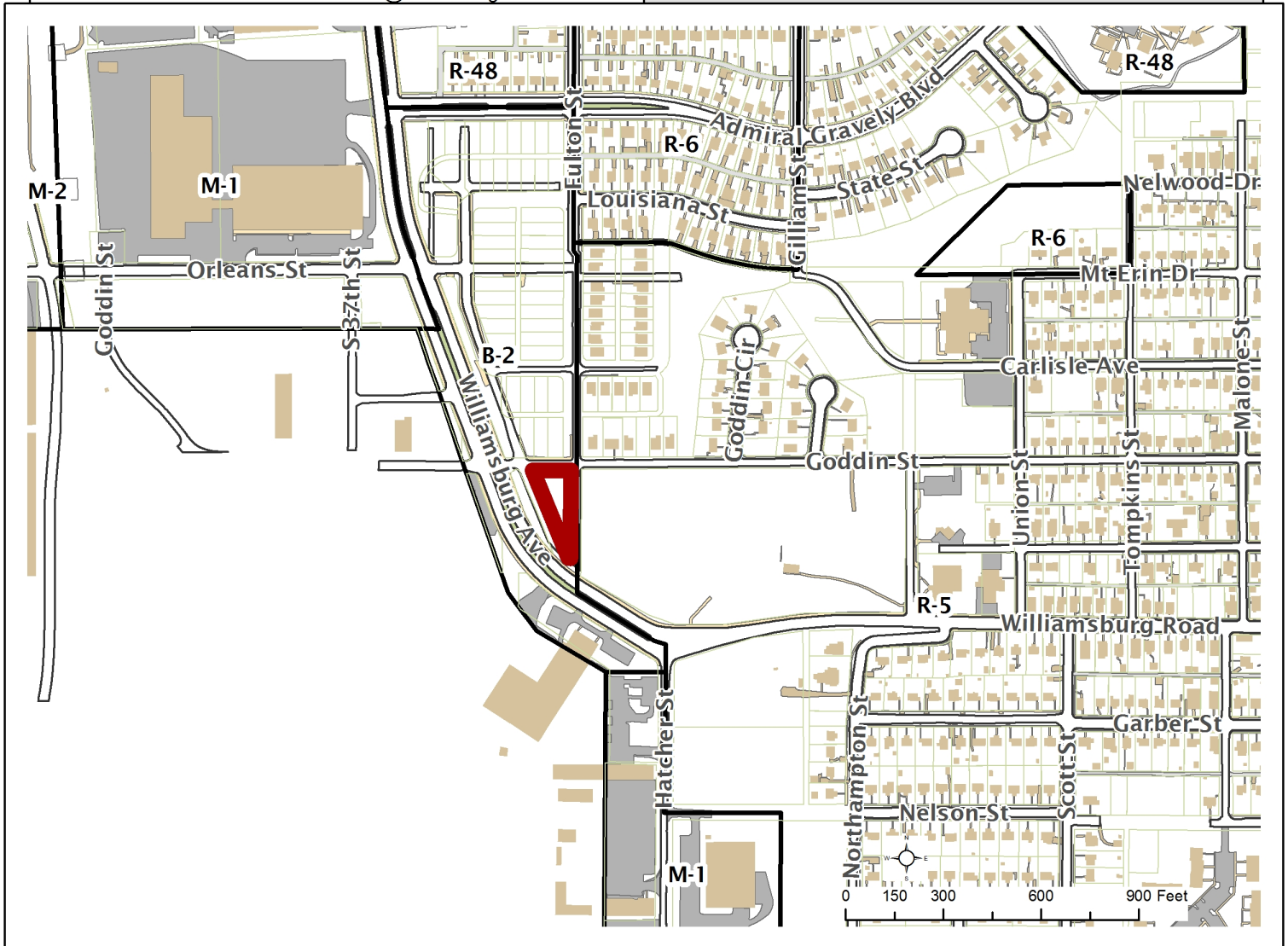
LOCATION: Historic Fulton Memorial Park

COUNCIL DISTRICT: 7

PROPOSAL: Final review of design for a new park



*For questions, please contact Kathleen Onufer
at 646-5207 or Kathleen.Onufer@richmondgov.com*





Application for URBAN DESIGN COMMITTEE Review

Department of Planning and Development Review
Planning & Preservation Division
900 E. Broad Street, Room 510
Richmond, Virginia 23219
(804) 646-6335

<http://www.richmondgov.com/CommitteeUrbanDesign>

Application Type

- Addition/Alteration to Existing Structure
 New Construction
 Streetscape
 Site Amenity

- Encroachment
 Master Plan
 Sign
 Other

Review Type

- Conceptual
 Final

Project Name: _____

Project Address: _____

Brief Project Description (this is not a replacement for the required detailed narrative) : _____

Applicant Information

(on all applications other than encroachments, a City agency representative must be the applicant)

Name: _____ Email: _____

City Agency: _____ Phone: _____

Address: _____

Main Contact (if different from Applicant): _____

Company: _____ Phone: _____

Email: _____

Submittal Deadlines

All applications and support materials must be filed no later than 21 days prior to the scheduled meeting of the Urban Design Committee (UDC). Please see the schedule on page 3 as actual deadlines are adjusted due to City holidays. **Late or incomplete submissions will be deferred to the next meeting.**

Filing

Applications can be mailed or delivered to the attention of "Urban Design Committee" at the address listed at the top of this page. **It is important that the applicant discuss the proposal with appropriate City agencies, Zoning Administration staff, and area civic associations and residents prior to filing the application with the UDC.**

UDC Background

The UDC is a ten member committee created by City Council in 1968 whose purpose is to advise the City Planning Commission on the design of projects on City property or right-of-way. The UDC provides advice of an aesthetic nature in connection with the performance of the duties of the Commission under Sections 17.05, 17.06 and 17.07 of the City Charter. The UDC also advises the Department of Public Works in regards to private encroachments in the public right-of-way.



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Submission Requirements

- 10 copies of the application cover sheet and all support materials (see below), unless the application is for an encroachment, in which case only 6 copies are required. Plan sheets should be 11" x 17", folded to 8 1/2" x 11". If it is not possible to scale plans to these dimensions, please provide one set of larger, scaled plans.
- An electronic copy (PDF preferred) of all application materials, which can be burned to disc, emailed, or delivered by FTP.

All applications must include the attached cover sheet and the following support materials, as applicable to the project:

For Conceptual Review

- A detailed project narrative which includes the following: purpose of the project, project background, project budget and funding sources, description of construction program and estimated construction start date (description should also provide information on the surrounding area to provide context).
- A site plan for the project indicating site characteristics which include: building footprints, parking areas, pedestrian routes, recreation areas, open areas and areas of future expansion.
- A set of floor plans and elevations, as detailed as possible.
- A landscaping plan which shows the general location and character of plant materials and notes any existing tree to be removed.

For Final Review

- A detailed project narrative which includes the following: purpose of the project, project background, project budget and funding sources, description of construction program and estimated construction start date (description should also provide information on the surrounding area to provide context).
- A site plan for the project indicating site characteristics which include: building footprints, parking areas, pedestrian routes, recreation areas, open areas and areas of future expansion.
- A set of floor plans and elevations, as detailed as possible.
- A landscaping plan that includes a complete plant schedule, the precise location of all plant materials, and a landscape maintenance analysis. The plant schedule must show number, size and type of each planting proposed. If existing trees are to be removed, their size, type and location must be noted on the landscape plan.
- The location of all lighting units should be noted on a site plan, including wall-mounted, site and parking lot lighting. Other site details, such as benches, trash containers and special paving materials, should also be located. Include specification sheets for each item.
- Samples of all proposed exterior building materials, including but not limited to brick, mortar, shingles, siding, glass, paint and stain colors. When an actual sample cannot be provided, a product information sheet that shows the item or a photo of an existing item may be substituted.

Review and Processing

Once an application is received, it is reviewed by staff, who compiles a report that is sent to the UDC. A copy of the report and the meeting agenda will be sent to the applicant prior to the meeting. The applicant or a representative should be present at the UDC meeting or the application may be deferred to the next regularly scheduled meeting. It is also strongly suggested that a representative of the City Agency which will have final responsibility for the item be present at the meeting (if the applicant and the representative are not the same). Once the UDC recommends action on the application, it is automatically placed on the agenda for the next City Planning Commission (CPC) meeting. An exception to this is encroachment applications, recommendations for which are forwarded to the Department of Public Works. The applicant or a representative must be present at the CPC meeting or the application may be deferred to the next regularly scheduled meeting.



Application for URBAN DESIGN COMMITTEE Review

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MEETING SCHEDULE 2015-2016

UDC Meetings	UDC Submission Deadlines	Anticipated Date of Planning Commission Following the UDC Meeting
December 10, 2015	November 12, 2015*	January 4, 2016
January 7, 2016	December 10, 2015**	January 19, 2016 ¹
February 4, 2016	January 14, 2016	February 16, 2016 ²
March 10, 2016	February 18, 2016	March 21, 2016
April 7, 2016	March 17, 2016	April 18, 2016
May 5, 2016	April 14, 2016	May 16, 2016
June 9, 2016	May 19, 2016	June 20, 2016
July 7, 2016	June 16, 2016	July 18, 2016
August 4, 2016	July 14, 2016	September 6, 2016 ³
September 8, 2016	August 18, 2016	September 19, 2016
October 6, 2016	September 15, 2016	October 17, 2016
November 10, 2016	October 20, 2016	November 21, 2016
December 8, 2016	November 10, 2016*	January 3, 2017 ⁴

¹ Monday, January 18th is a City of Richmond Holiday

² Monday, February 15th is a City of Richmond Holiday

³ Monday, September 5th is a City of Richmond Holiday

⁴ Monday, January 2nd, 2017 is a City of Richmond Holiday

* Moved forward to account for Thanksgiving Holiday Schedule

** Moved forward to account for Winter Holiday Schedule

For further information or assistance, please contact the Planning and Preservation Division by phone at (804) 646-6335 or by email at DCDCCompPlan@RichmondGov.com.

Information about the UDC along with the application and meeting schedule is available at the City of Richmond website, <http://www.richmondgov.com/CommitteeUrbanDesign>

July 14, 2016

Department of Planning and Development Review
Planning & Preservation Division
900 E. Broad Street, Room 510
Richmond, VA 23219

Reference: Historic Fulton Memorial Park

Project Narrative:

Historic Fulton Memorial Park is a collaboration of Greater Fulton Legacy Committee, Storefront for Community Design, Neighborhood Resource Center, and City Department of Parks and Recreation. Two parcels of land recently transferred from the Richmond Redevelopment and Housing Authority to City Department of Parks and Recreation. The vacant land is bounded on the north by Goddin Street, on the east by Fulton Street, and on the west and south tip by Williamsburg Avenue. Right of way segments of Fulton Street and Old Williamsburg Avenue are in the process of being vacated for the project.

The site is to be developed as a passive park for citizen gathering and events with a historic theme representing the historic value of the Fulton neighborhood and memorializing persons and events of Fulton.

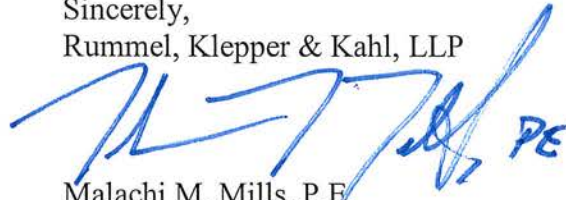
The construction will involve removal of the remnant concrete and granite curbs, cobblestone, asphalt, concrete and gravel surfaces of Fulton Street and Williamsburg Avenue. A concrete sidewalk along Goddin will be removed as well. Existing curb inlets on Fulton and Williamsburg near Goddin will all be modified to be converted to manhole tops or grate tops. The single, existing tree is intended to be saved.

The park is intended to blend with the Powhatan Park adjoining this site on the east. A walking path, 12' wide, is to replace the alignment of the removed roads. Cobblestoned entry aprons off Goddin Street will connect the walking paths in the park to provide maintenance vehicle access. Removable bollards will restrict this access to City vehicles only. Several cobblestoned seating areas will be included along the paths. The paths will join at a circular plaza area in the apex of the parcel overlooking Williamsburg Road due south and will provide a concrete sidewalk connection to the existing sidewalk running along Williamsburg Road. This plaza is intended to provide a setting for memorial sculpture and granite pylons and seating.

The project funding source is the City of Richmond. Other funds are being privately raised. The park development may be built in phases as additional funds become available. Currently the construction budget is \$600,000.00 and design budget is \$49,300.00.

Project Schedule is:
Advertisement- Winter 2016
Contract Award- Spring/Summer 2017
Start Construction- Fall 2017
Construction Complete- Spring 2018
Park Opening/Dedication- Spring/Summer 2018

Sincerely,
Rummel, Klepper & Kahl, LLP



Malachi M. Mills, P.E.
Director

Commission Number: 10013
MMM/dap
Attachments
Cc:

OWNER:

CITY OF RICHMOND
DEPT. OF PUBLIC WORKS
PARKS, RECREATION & COMMUNITY FACILITIES
900 E. BROAD ST., SUITE 704
RICHMOND, VA 23219
PHONE: 804-646-7000
Attn: MR. LARRY MILLER
E-MAIL: LARRY.MILLER@RICHMONDGOV.COM

ENGINEER:

RUMMEL, KLEPPER & KAHL, LLP
2100 EAST CARY STREET, SUITE 309
RICHMOND, VA 23223
PHONE: 804-782-1903
FAX: 804-782-2142
Attn: MR. MALACHI MILLS
E-MAIL: mmills@rkk.com

LANDSCAPE ARCHITECT:

CITE DESIGN
310 N. ADAMS STREET
RICHMOND, VA 23220
PHONE: 804-340-2848
FAX: 804-340-2656
Attn: MR. ANDREW BLECKLEY
E-MAIL: ABLECKLEY@CITE-DESIGN.COM

CITY OF RICHMOND, VIRGINIA

DEPARTMENT OF PUBLIC WORKS

PARKS, RECREATION AND COMMUNITY FACILITIES



HISTORIC FULTON MEMORIAL PARK

REVISIONS

NO.	DATE	COMMENTS

CITY OF RICHMOND

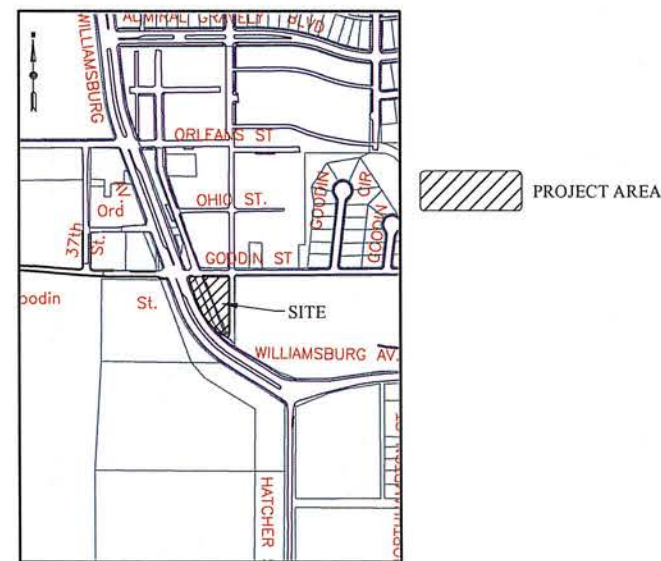
APPROVED FOR CONSTRUCTION

DATE	POSITION
	SURVEYS SUPERINTENDENT
	PROJECT MANAGER
	N/A
	MAINTENANCE ENGINEER
	CITY TRAFFIC ENGINEER
	CAPITAL PROJECTS ADMINISTRATOR
	CITY ENGINEER
	DIRECTOR OF PUBLIC WORKS

INDEX OF SHEETS

SHEET TITLE	SHEET NO.
TITLE SHEET	1
GENERAL NOTES & DETAILS SHEET	2
EXISTING CONDITIONS PLAN	3
DEMOLITION PLAN	4
EROSION AND SEDIMENT CONTROL NOTES	5
EROSION AND SEDIMENT CONTROL PLAN	6
LAYOUT AND SIGNAGE PLAN	7
GRADING AND DRAINAGE PLAN	8
DRAINAGE ANALYSIS PLAN	9
LANDSCAPE PLAN	L100
HARDSCAPE/ MATERIALS PLAN	L101
SITE ELEMENTS PLAN	L201
DETAILS	L300
DETAILS	L301
DETAILS	L302
DETAILS	L303
DETAILS	L304
DETAILS	L305
DETAILS	L306
DETAILS	L307
DETAILS	L308

LOCATION MAP



1"=400'

DESIGN FEATURES RELATING TO CONSTRUCTION OR TO REGULATION AND CONTROL OF TRAFFIC MAY BE SUBJECT TO CHANGE AS DEEMED NECESSARY BY THE CITY OF RICHMOND OR VDOT.

THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2009 VDOT ROAD AND BRIDGE SPECIFICATIONS, 2008 VDOT ROAD AND BRIDGE STANDARDS, 2009 FHWA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2011 VIRGINIA SUPPLEMENT TO THE MUTCD, 2011 VIRGINIA WORK AREA PROTECTION MANUAL, APPLICABLE CITY OF RICHMOND STANDARDS AND SPECIFICATIONS, AND AS AMENDED BY CONTRACT PROVISIONS AND THE COMPLETE ELECTRONIC VERSION OF THE PLAN ASSEMBLY.

NO ADDITIONAL RIGHT OF WAY REQUIRED FOR THIS PROJECT.



BEFORE YOU DIG CALL
1-800-552-7001
PROTECT YOURSELF, GIVE THREE
WORKING DAYS NOTICE



2100 EAST CARY STREET, SUITE 309
RICHMOND, VIRGINIA 23223
(P) 804 782-1903 (F) 804 782-2142

RUMMEL, KLEPPER & KAHL, LLP

JUNE 13, 2013

CONSTRUCTION NOTES:

ATTENTION: Utility Work in the Streets" permits
FROM: Department of Public Works-Division of Right of Way
Management - Office of the Permits Engineer

- All cuts in the streets and sidewalks shall be performed under a Permit and monitored by the permit inspector.
- Work shall not commence until the permit inspector has been notified, a pre-construction conference held and Miss Utility clears.
- Cuts shall be as clean and straight as possible, with no outline dimensions less than 3 feet without special approval of the department's inspector.
- The details of trenching cuts for utility strips must be shown in a typical section on the drawings or provided in a submittal with construction notes specifying widths, depths, methods, materials, compaction requirements and pavement restoration of abiding by the DPW attachment standard.
- All asphalt pavement restoration thickness shall be 1 1/2 times the existing section or a minimum of 8 inches whichever is greater. See the DPW trench restoration illustration for the typical conformance standards.
- The final restoration on open trench cuts requires the disturbed asphalt pavement zone to be a square pointed off and straight line. The area of pavement restoration is to be fully enveloped by the final surface course repairs. The adjoining surface/top course layer is to be over-milled a minimum depth of 1.25 inches or more, a minimum distance of one foot beyond each side of the trench wall. This step out is to occur along the entire trench line run and/or squared pointed area. Cuts involving continuous network runs, which exceed 350 feet in length or typically over one full City block, will be considered multiple block cuts. On multiple block cut zones, the over milling of the trench line and adjoining surface course layer must be done with typical high production roadway cold planning equipment. In multiple block restoration cases, where the high production cold planner is required, final paving shall be done by a high production highway paver.
- Permittees must provide and coordinate the necessary Geotechnical Services from a qualified firm to insure compaction approval. Approval of in-place material must be followed up with a written summary report. Compaction requirements will be reviewed for approval by the Permits Engineer or his representative.
- All disturbed sidewalk and curb shall be repaired and replaced in accordance with City Standards.
- All utility cuts are to be examined and approved by the appropriate utility inspector/representative.
- All encroachments must be satisfied by ordinance.
- Contractor to coordinate with the City of Richmond DPW 48 hours in advance of closing the parking lot to general vehicular traffic. All traffic closures shall be in compliance with the Virginia Work Area Protection Manual (VWAPM), 2011 Editions.

PAVEMENT DESIGN

Designs for "residential subdivisions" and "non-residential" Road Pavements

- Residential- the required design thickness of the aggregate base (6", 21A), base course asphalt (3.5", BM-2) and surface course asphalt (2", SM-2A) are shown in the street standards illustrations. Pavement section design thickness is based on a CBR value of ten and may be increased or decreased as allowed by the standards. It shall not be decreased below the City of Richmond's minimum design standard of 8 inches of 21A aggregate base, 2 inches of SM-2A base course asphalt and 1.5 inches of SM-2A surface/top course asphalt.
- Alternate equivalent pavement sections may be substituted for those called for in standards. The approval procedures call for a qualified pavement engineer to reference and follow the established Virginia Department of Transportation guidelines in their pamphlet entitled, "Pavement Design Guide for Subdivision and Secondary Roads", year 2000 edition, as amended. Alternate pavement sections must be pre-approved by the Department of Public Works, Right of Way Manager. Note the minimum City of Richmond residential pavement section described above.
- Non-residential street pavement sections must meet the minimum design thickness of 8 inches of 21A base aggregate, 6 inches BM-2 base course asphalt and 2 inches of SM-2A surface course asphalt. Any requested reductions in this design must be fully supported by a comprehensive engineering analysis.
- No reductions in the minimum pavement section design thickness (8 inches 21A base aggregate, 6 inches BM-2 base course asphalt and 2 inches of SM-2A surface course asphalt) will be considered in the downtown, arterial streets, major collectors and/or any other major connection streets.
- Designated Downtown areas, heavy commercial zones, particularly high volume bus routes, turning lanes, bus bays and major industrial zones will require a heavy duty pavement section. Heavy duty is described as a minimum of 8 inches of 21A aggregate base, with 8 inches of BM-2 base course asphalt and 2 inches of SM-2A surface course asphalt. No reductions of this pavement section will be allowed in so designated zones.
- As per direction of the Permits Engineer, right of Way Manager or the Director, the public works permitting requirements may designate specific anti-rutting types of asphalt mix designs requirements (i.e. SM-2D/SM-2E) that will better suit problem conditions and/or better serve locations with certain types and volumes of traffic.

ROAD SUBGRADE

- Inspection and approval of the subgrade will be required prior to the placement of the approved pavement section material.
- Any clay deposits in the top two feet of the subgrade must be removed or addressed as recommended by the geotechnical engineer.
- Subgrade approval shall be accompanied by the supporting documentation verifying density test results of 92% or greater.

The entire subgrade will have been proofrolled in the presence of the site inspector and geotechnical representative. Proofrolling shall be a rubber tire vehicle such as a loaded ten (10) ton truck or approval compaction equipment.

The final subgrade shall be approved by the geotechnical engineer and site inspector before placement of pavement section materials.

RESIDENTIAL STREET PAVEMENT SECTIONS

- Alternate equivalent pavement sections may be substituted for the City Standard Pavement Section Design when proper methods of subgrade soils analysis are conducted and with the approval of the Director.
- CBR sampling of the subgrade soils for final pavement design must be coordinated by the owner, through the geotechnical engineer and verified by the assigned site inspector during the construction phase.

Test for Final Pavement design shall be conducted on an approved reveal of the subgrade. These tests shall be made at each intersection, changes in subgrade soils, and at a maximum of two (2) CBR samples will be required for any cut-de-sac or dead end street less than 500 in length.

Test spacing and methods must follow the approved guidelines set forth and/or as recommended by the geotechnical engineer.

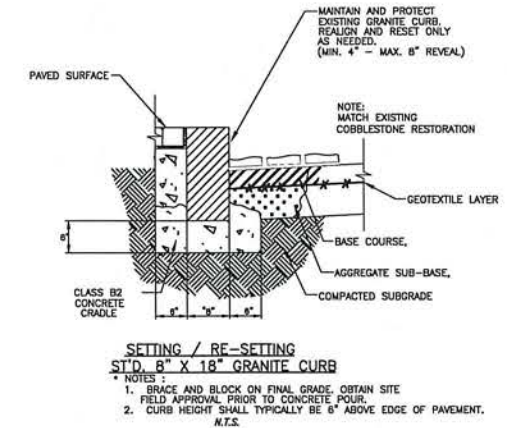
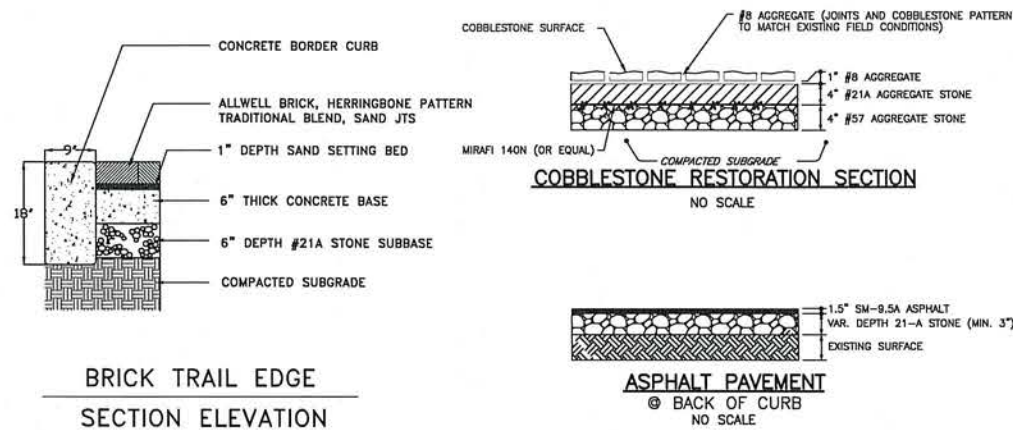
The Final Alternate Equivalent Pavement design must be submitted to the DPW Right of Way Manager for approval. The submission will be accompanied by the supporting geotechnical report as designed by a pavement engineer.

DPU UTILITY NOTES:

- The contractor shall notify the appropriate city department prior to making any utility adjustments or performing other work within the right-of-way.
- The sequence of utility construction shall be developed in such manner that water and sanitary sewer service is maintained at all times during construction except during tie-ins and connections. When service is interrupted, the contractor shall provide the City with 72 hours notice prior to the interruption. The affected property owner shall be notified 48 hours prior to service interruptions. Contractor shall provide the City with a detailed plan and schedule five (5) working days in advance to performing work, which requires interruption to customer utility service. Service interruptions shall be kept to a minimum.
- Unless otherwise noted, all gas and water utility materials and construction methods shall be in accordance with the standards specification for gas and water systems construction and maintenance DPU no. 1-92, latest edition. The City of Richmond's sewer specifications and the latest editions of the Virginia Department of Health Waterworks Regulations, and Proposed Sewage Collection and Treatment Regulation.
- Locations of existing utilities across or along the line of the proposed work are shown only in an approximate location on the plans. Contractor shall locate all underground lines and structures as necessary. Contractor shall call "Miss Utility" @ 1-800-522-7001 prior to construction and is responsible for any damage to underground lines or structures.
- Gate valves shall be U.S. pipe, metroseal 250, open right (clockwise), with mechanical joint end fittings, non-rising system.
- Fire hydrants shall be U.S. pipe, metropoliton 250, open right (clockwise) with 4 1/2" valve opening.
- All fire hydrants and valves boxes designated to be removed shall be salvaged and delivered to the Department of Utilities at 400 Jefferson Davis Highway.
- All gas and water services and sewer connections shall be renewed as directed by the City of Richmond, Department of Public Utilities Engineer.
- Contractor is responsible for obtaining all permits.
- Datum for all elevations shown is National Geodetic Survey. (year affiliation)
- Minimum depth of cover for gas and water mains is 42 inches.
- Water mains shall be ductile iron, double coat cement lined as manufactured by U.S. pipe, or equal. Pipe class shall be as follows:

Dia. (inches)	Special Class
3	52
4	53
6	52
8	52
10	52
12 and Larger	51

- The city will inspect all gas, water and sanitary sewer mains, connections and appurtenance to insure that the materials and construction methods are in accordance with the approved plans, specification and standards. All other lines and connections will be inspected and approved by the Department of Building Inspectors.
- The contractor shall request valve operation by the owner's force no less than 48 hours in advance. The contractor shall not operate any existing valves unless directed by owner.
- The city does not guarantee a 100% percent shutdown of its existing water mains. The contractor shall provide all plugs and dewatering equipment necessary to perform the work.
- Mechanical joint long solid sleeves shall be used for all connections to existing water mains.
- Couplings for connections to existing sanitary sewer laterals shall be ferroco or equal.
- Based on city records, existing sanitary sewer laterals are assumed to be 6 inch within the right-of-way and 4 inch on private property.



NEENAH FOUNDRY

R-4400 to R-499 Series

Types A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z

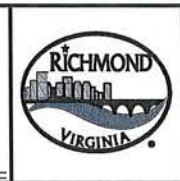
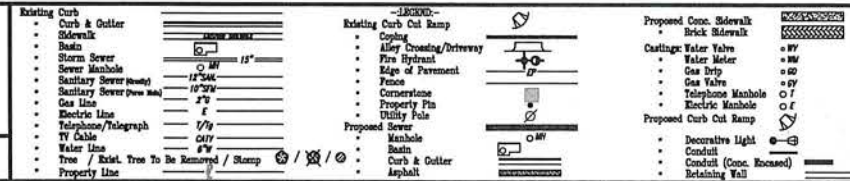
Copyright - Heary City

NOTES

- Lot dimensions in parentheses are from deed.
- Property owners correct as of _____ 00.
- Ordinance Number _____
- Adopted _____
- Accepted _____

REVISIONS

NO.	DESCRIPTION	DATE



Technical	Administrative
Surveys Superintendent	Capital Project Administrator
Project Manager	City Engineer
Maintenance Engineer	Director of Public Works
City Traffic Engineer	

DEPARTMENT OF PUBLIC WORKS
RICHMOND, VIRGINIA

RK&K Responsible People-Creative Solutions

HISTORIC FULTON MEMORIAL PARK

GENERAL NOTES & DETAIL SHEET

AUTHORITY: CITY OF RICHMOND, DPR

DESIGN BY: [Signature] CHECKED BY: [Signature]

REVIEWED BY: [Signature]

FIELD NOTES: [Blank]

SCALE: N.T.S.

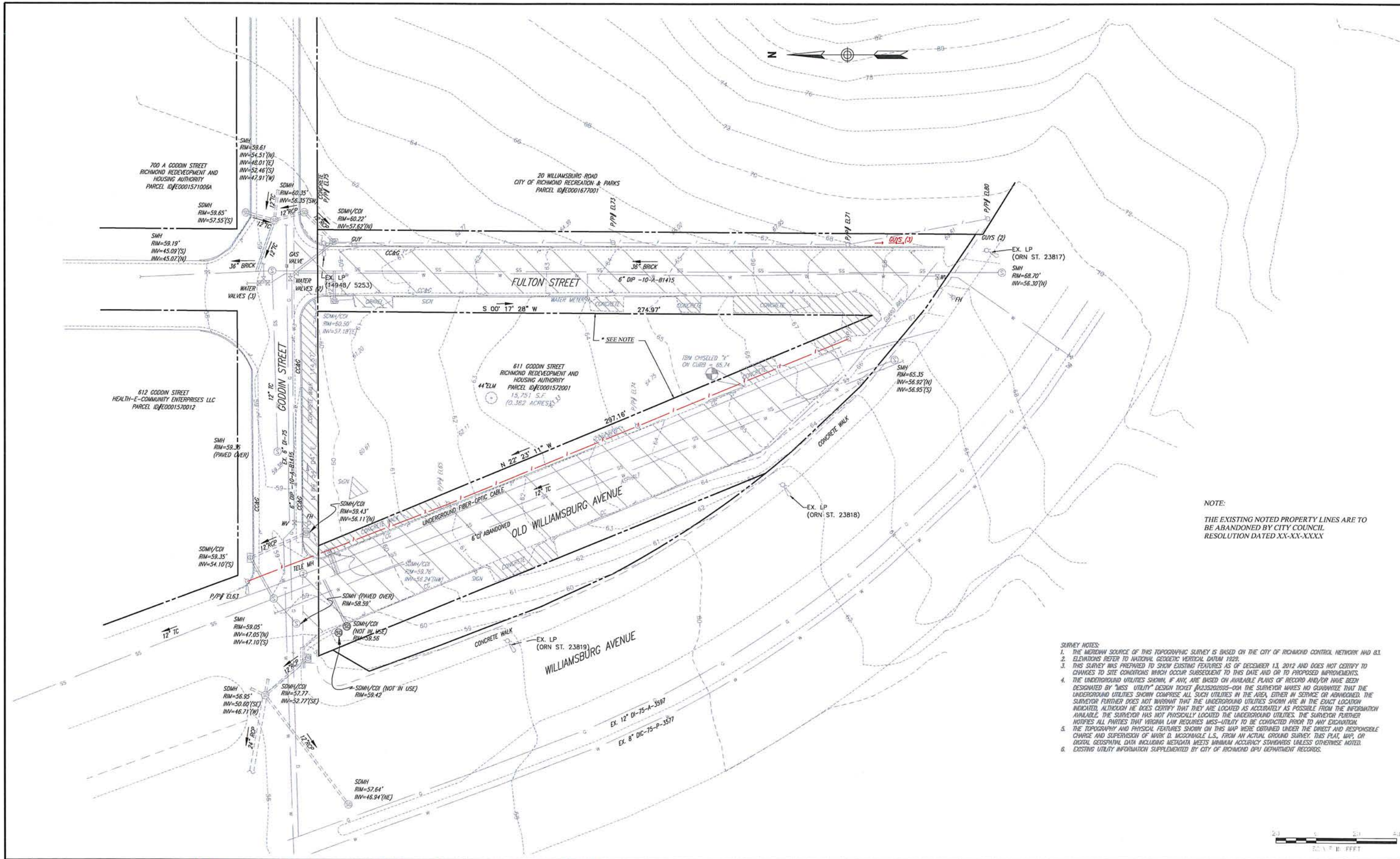
DATE: June 13, 2013

PROJECT: [Blank]

SHEET: [Blank]

VDOT PROJECT NO.: [Blank]

DRAWING NO.: SHEET 2



NOTE:
 THE EXISTING NOTED PROPERTY LINES ARE TO BE ABANDONED BY CITY COUNCIL RESOLUTION DATED XX-XX-XXXX

- SURVEY NOTES:**
1. THE MERIDIAN SOURCE OF THIS TOPOGRAPHIC SURVEY IS BASED ON THE CITY OF RICHMOND CONTROL NETWORK HAD 03.
 2. ELEVATIONS REFER TO NATIONAL GEODETIC VERTICAL DATUM 1929.
 3. THIS SURVEY WAS PREPARED TO SHOW EXISTING FEATURES AS OF DECEMBER 13, 2012 AND DOES NOT CERTIFY TO CHANGES TO SITE CONDITIONS WHICH OCCUR SUBSEQUENT TO THIS DATE AND OR TO PROPOSED IMPROVEMENTS.
 4. THE UNDERGROUND UTILITIES SHOWN, IF ANY, ARE BASED ON AVAILABLE PLANS OF RECORD AND/OR HAVE BEEN DESIGNATED BY "MISS UTILITY" DESIGN SYMBOLS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER BY SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE SURVEYOR FURTHER NOTIFIES ALL PARTIES THAT VIRGINIA LAW REQUIRES MISS-UTILITY TO BE CONTACTED PRIOR TO ANY EXCAVATION.
 5. THE TOPOGRAPHY AND PHYSICAL FEATURES SHOWN ON THIS MAP WERE OBTAINED UNDER THE DIRECT AND RESPONSIBLE CHANGE AND SUPERVISION OF MARK D. JACOBOWITZ, L.S., FROM AN ACTUAL GROUND SURVEY. THIS PLAN, MAP, OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
 6. EXISTING UTILITY INFORMATION SUPPLEMENTED BY CITY OF RICHMOND DPW DEPARTMENT RECORDS.

NOTES

1. Lot dimensions in parentheses are from deed.
2. Property owners correct as of _____, 20__.
3. Ordinance Number _____.
4. Adopted _____.
5. Accepted _____.

REVISIONS

<ul style="list-style-type: none"> Existing Curb & Gutter Existing Sidewalk Existing Storm Sewer Existing Sewer Manhole Existing Sanitary Sewer (new) Existing Sanitary Sewer (over old) Existing Gas Line Existing Electric Line Existing Telephone/Polegraph Existing TV Cable Existing Water Line Tree / Excl. Tree To Be Removed / Ramp Property Line 	<ul style="list-style-type: none"> Proposed Curb & Gutter Proposed Sidewalk Proposed Storm Sewer Proposed Sewer Manhole Proposed Sanitary Sewer (new) Proposed Sanitary Sewer (over old) Proposed Gas Line Proposed Electric Line Proposed Telephone/Polegraph Proposed TV Cable Proposed Water Line Proposed Tree / Excl. Tree To Be Removed / Ramp Proposed Property Line 	<ul style="list-style-type: none"> Proposed Conc. Sidewalk Proposed Brick Sidewalk Proposed Cast-iron Water Valve Proposed Water Valve Proposed Gas Stop Proposed Gas Valve Proposed Telephone Manhole Proposed Electric Manhole Proposed Curb Cut Ramp Proposed Decorative Light Proposed Conduit Proposed Conduit (Conc. Encased) Proposed Retaining Wall
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Technical	Administrative
Survey Superintendent	Capital Project Administrator
Project Manager	City Engineer
Maintenance Engineer	Director of Public Works
City Traffic Engineer	

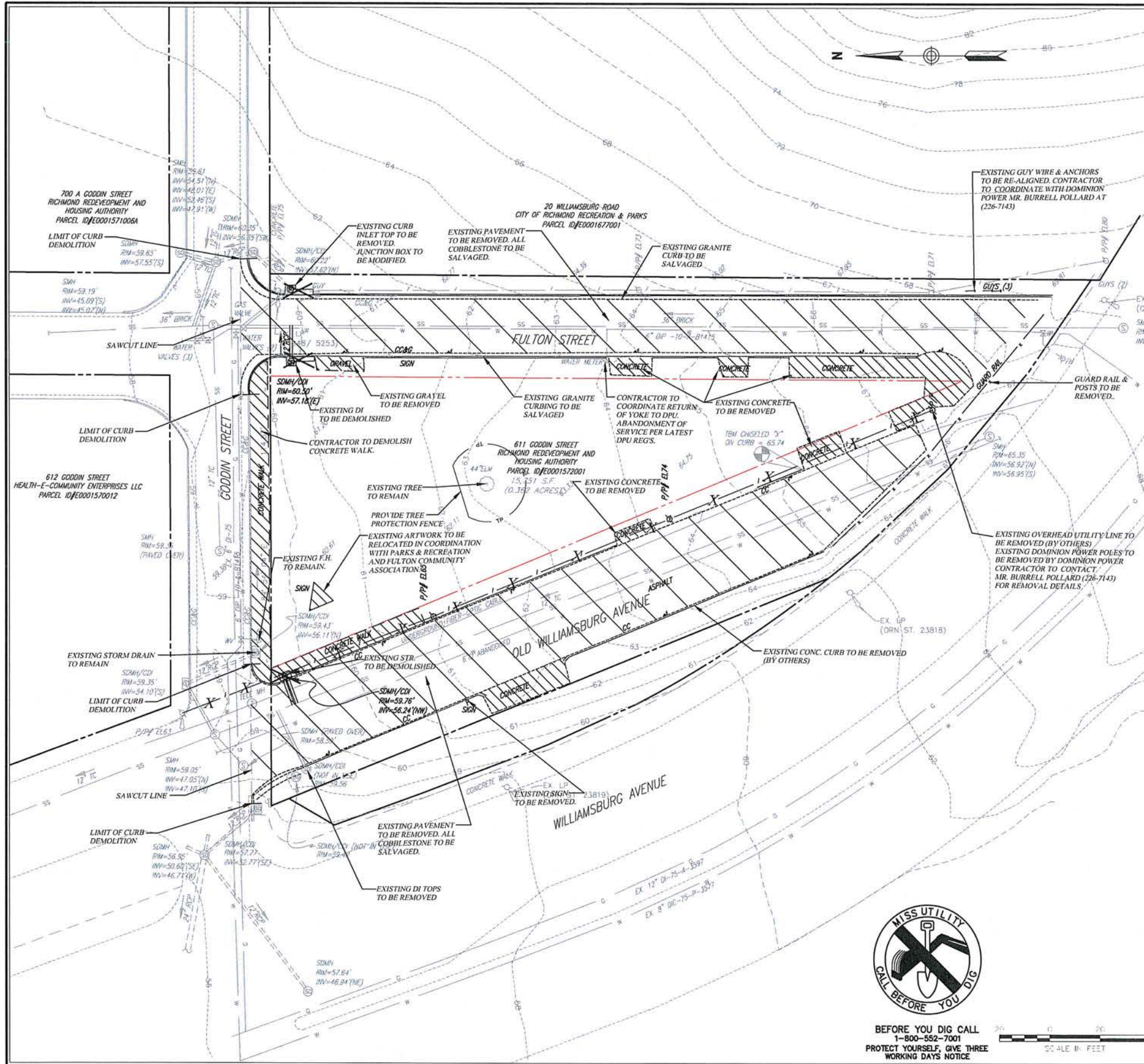
DEPARTMENT OF PUBLIC WORKS
 RICHMOND, VIRGINIA

RK&K
 Restore People - Create Solutions

HISTORIC FULTON MEMORIAL PARK
 EXISTING CONDITIONS SHEET

AUTHORITY: CITY OF RICHMOND, DPR
 VDOT PROJECT NO.:

DESIGN BY: [Signature]	REVIEWED BY: [Signature]	FIELD NOTES	SCALE: 1"=20'	DATE: June 13, 2013	PROJECT: [Blank]	DRAWING NO. SHEET 3
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DEMOLITION NOTES

1. CONTRACTORS SHALL LOCATE ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY. CONTRACTOR SHALL COORDINATE THE ABANDONMENT/RELOCATION OF ANY UTILITY WITH THE APPROPRIATE UTILITY COMPANY. EXTREME CAUTION SHALL BE TAKEN NEAR ANY "LIVE" UTILITY ESPECIALLY GAS AND ELECTRIC UTILITIES.
2. ALL EXISTING UTILITIES (I.E. WATER SEWER SERVICES, METERS, POWER POLES, STORM SEWER LINES & INLETS, TELEPHONE, GAS, ETC.) NOT USED FOR SERVICE SHALL BE ABANDONED AT THE MAIN. ALL COSTS ASSOCIATED WITH THE ALTERATION OF THE UTILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. ALL EXISTING GRAVEL, ASPHALT, AND CONCRETE PAVING NOTED IS TO BE REMOVED TO THE FULL DEPTH. CONTRACTOR SHALL DISPOSE OF THE EXCESS MATERIAL, DEBRIS, SPOIL FROM THE SITE AND DISPOSE OF IT IN A PROPER LOCATION.
4. ALL COBBLESTONE PAVERS AND GRANITE CURBING, THAT ARE TO BE REMOVED, ARE TO BE RETURNED TO THE CITY OF RICHMOND DPW IN A MANNER SPECIFIED BY THEM. CONTRACTOR SHALL COORDINATE WITH CITY DPW.
5. CONTRACTOR SHALL COORDINATE WITH DOMINION POWER AND VERIZON, OR SPECIFIC PROVIDER, TO ENSURE THAT SERVICE SHALL NOT BE INTERRUPTED FOR SIGNIFICANT PERIODS OF TIME.
6. THE CONTRACTOR SHALL NOT LEAVE ANY OPEN HOLES OR TRENCHES OVERNIGHT WITHIN 100' OF THE EDGE OF THE EXISTING PAVEMENT.
7. ALL NEW AND RELOCATED UTILITIES SHALL BE PLACED UNDER GROUND.
8. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS TO COMPLETE REQUIRED CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
10. ADEQUATE PEDESTRIAN PROTECTION SHALL BE PROVIDED AT ALL TIMES.
11. ENTRANCES SHALL BE BLOCKED TO TRAFFIC USING STANDARD VIRGINIA WORK PROTECTION DEVICES - SIGNS AND METHODS.
12. THE ABANDONMENT/ DEMOLITION OF EXISTING WATER/ SEWER LINES SHALL BE IN ACCORDANCE WITH THE LATEST REGULATIONS OF THE CITY OF RICHMOND REGULATIONS.

NOTES

1. Lot dimensions in parentheses are from deed.
2. Property owners correct as of 20__.
3. Ordinance Number _____
4. Adopted _____
5. Accepted _____

<ul style="list-style-type: none"> Existing Curb & Outlet Existing Sidewalk Existing Driveway Existing Storm Sewer Existing Sanitary Sewer Existing Gas Line Existing Electric Line Existing Telephone/Telegraph Existing TV Cable Existing Water Line Existing Tree / Plant Existing Property Line 	<ul style="list-style-type: none"> Proposed Conc. Sidewalk Proposed Brick Sidewalk Proposed Concrete Proposed Asphalt Proposed Storm Sewer Proposed Sanitary Sewer Proposed Gas Line Proposed Electric Line Proposed Telephone/Telegraph Proposed TV Cable Proposed Water Line Proposed Tree / Plant Proposed Property Line
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MISS UTILITY CALL BEFORE YOU DIG

BEFORE YOU DIG CALL 1-800-552-7001
PROTECT YOURSELF, GIVE THREE WORKING DAYS NOTICE

SCALE: 1"=20'

Technical		Administrative	
Surveys Superintendent	Project Manager	Capital Project Administrator	City Engineer
Maintenance Engineer	City Traffic Engineer	Director of Public Works	

**DEPARTMENT OF PUBLIC WORKS
RICHMOND, VIRGINIA**

RICHMOND

HISTORIC FULTON MEMORIAL PARK

DEMOLITION SHEET

VDOT PROJECT NO.:

DESIGN BY: [Signature]

CHECKED BY: [Signature]

REVIEWED BY: [Signature]

DATE: June 13, 2013

SCALE: 1"=20'

SHEET: [Number]

DRAWING NO. SHEET 4

EROSION CONTROL NARRATIVE:

-SITE DESCRIPTION: THIS PROJECT CONSISTS OF REMOVING AN EXISTING ROAD SECTION FROM THE CITY OF RICHMOND/RIGHT OF WAY LINE THEN CONSTRUCTING A 12' WIDE PATH IN THE SAME SPACE. APPROXIMATELY 1.32 ACRES WILL BE DISTURBED DURING CONSTRUCTION.

APPLICABLE MINIMUM STANDARDS (EROSION AND SEDIMENT CONTROL LAW AND REGULATIONS)

- MS-1: PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE.

TEMPORARY SEEDING PLANT MATERIALS, SEEDING RATES, AND DATES. Table with columns: SPECIES, SEEDING RATE, NORTH, SOUTH, PLANT CHARACTERISTICS.

ACCEPTABLE TEMPORARY SEEDING PLANT MATERIALS "QUICK REFERENCE FOR ALL REGIONS". Table with columns: Planting Dates, Species, Rate (lbs./acre).

LIMING REQUIREMENTS FOR TEMPORARY SITES. Table with columns: Agricultural Limestone, Recommended Application of Agricultural Limestone.

CITY OF RICHMOND - EROSION CONTROL NOTES

- 1. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE.

GENERAL E&S CONTROL NOTES

- ES-1: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.

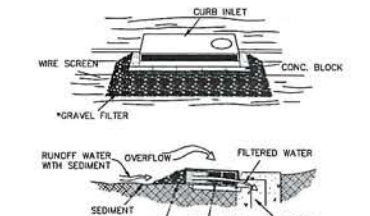
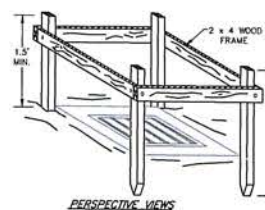
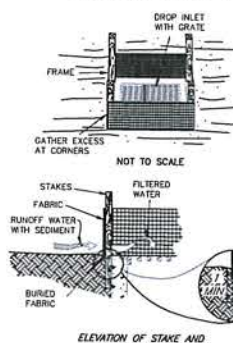
SEEDING MIXTURES, RATES AND DATES; SOUTHERN PIEDMONT AND COASTAL PLAIN

Table with columns: SITE CONDITIONS, SEEDING MIXTURES, PER ACRE, PER 1000 sq.ft., DATES (3/1 to 8/1).

ORGANIC MULCH MATERIALS AND APPLICATION RATES

Table with columns: MULCHES, Per Acre, Per 1000 sq.ft., NOTES.

DROP INLET PROTECTION



Specific Application: This method of inlet protection is applicable where the inlet drains a relatively flat area (slopes no greater than 3%)...

Specific Application: This method of inlet protection is applicable at curb inlets where overflow capability is necessary to prevent excessive ponding...

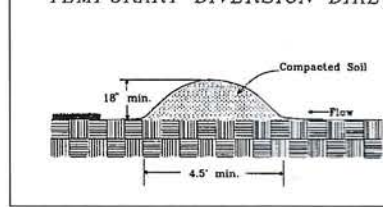
SILT FENCE NOTES

- SILT FENCE AND FILTER FABRIC MUST BE ENTRENCHED. POSTS FOR SILT FENCES SHALL BE EITHER 2" INCH DIAMETER OAK, 4" INCH DIAMETER PINE OR 1.33 POUNDS PER LINEAR FOOT STEEL.

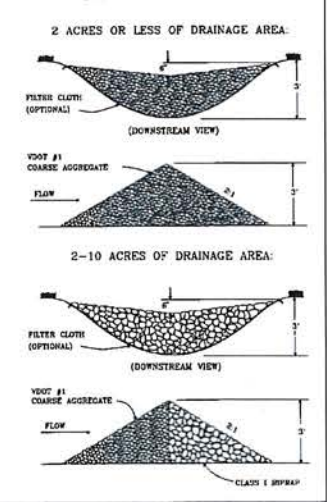


SOILS MAP

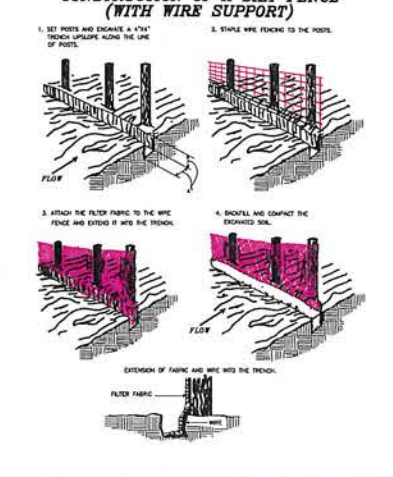
TEMPORARY DIVERSION DIKE



ROCK CHECK DAM



CONSTRUCTION OF A SILT FENCE (WITH WIRE SUPPORT)



SEEDING NOTES

- 1. ALL STABILIZATION/SEEDING WILL BE ACCOMPLISHED IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENTATION CONTROL HANDBOOK.

NOTES

- 1. Lot dimensions in parentheses are from deed.

Legend table listing existing and proposed features like Curb & Gutter, Sidewalk, Storm Sewer, etc.

Legend table listing existing and proposed features like Existing Curb Cut Ramp, Copying, Alley Crossing/Driveway, etc.

Legend table listing proposed features like Conc. Sidewalk, Brick Sidewalk, Castings Water Valve, etc.

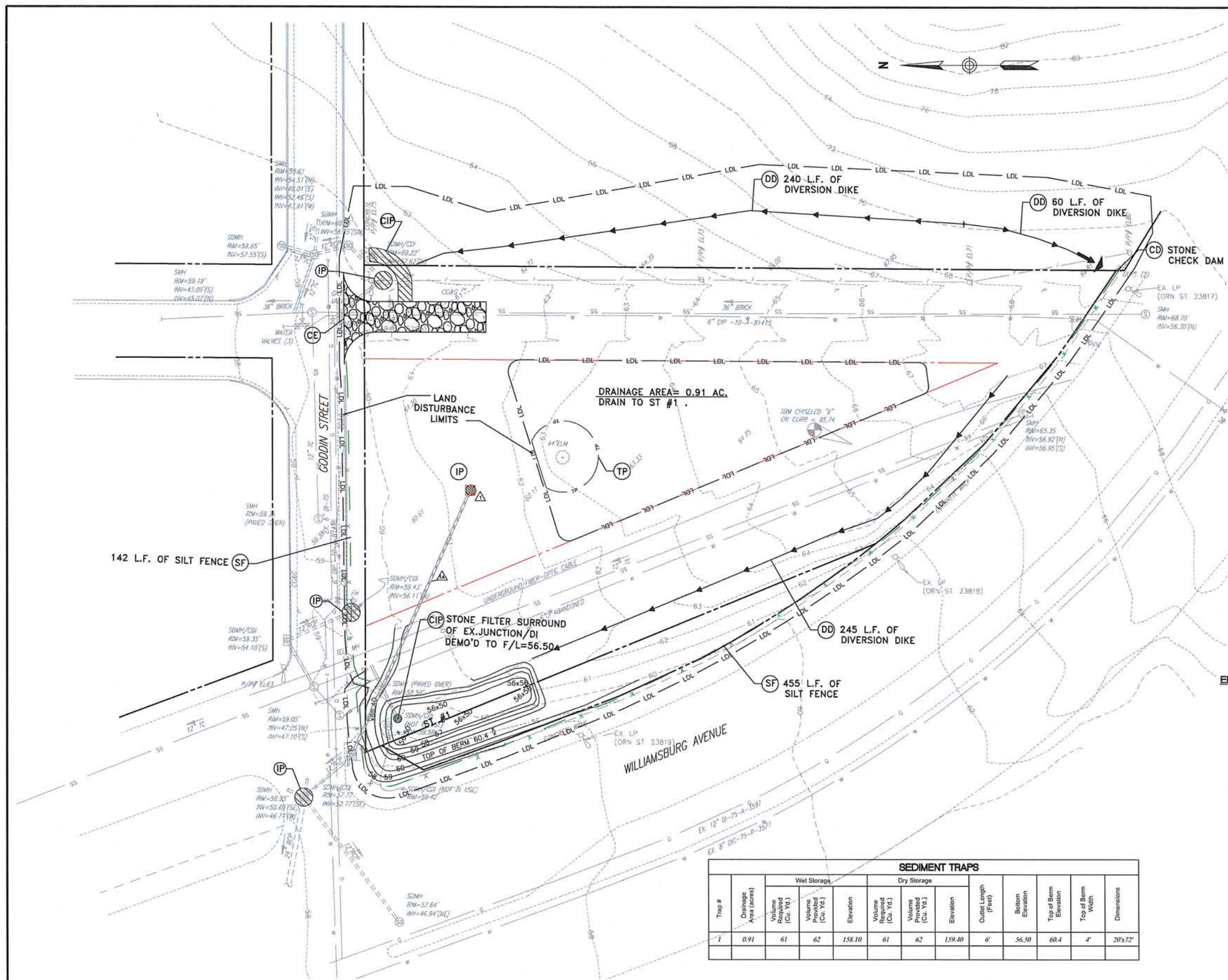


Technical and Administrative roles table including Survey Superintendent, Project Manager, Maintenance Engineer, etc.

Project information including RK&K logo, Historic Fulton Memorial Park, Erosion & Sediment Control Notes, Authority: City of Richmond, DFR, and sheet details.

- INITIAL EROSION CONTROL SEQUENCE**
- ONCE RELEASED BY THE CITY OF RICHMOND FOR ASSOCIATED EROSION & SEDIMENT CONTROL PERMITS, STORMWATER MANAGEMENT PERMITS, LAND DISTURBANCE AND WORK IN STREETS PERMITS, CONTRACTOR SHALL NOTIFY CITY OF RICHMOND INSPECTOR A MINIMUM OF 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
 - CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER MS-17. DRAINAGE INLET PROTECTION AT EXISTING INLETS TO BE INSTALLED PER MS-10.
 - APPROPRIATE INLET PROTECTION/OUTLET PROTECTION IS REQUIRED FOR OUTLET SYSTEM.
 - LAND DISTURBANCE OUTSIDE THE PRELIMINARY LIMITS OF DISTURBANCE MAY NOT OCCUR UNTIL
 - THE INITIAL ESC MEASURES INSTALLATION HAS BEEN APPROVED BY THE ENVIRONMENTAL INSPECTOR.
 - EROSION & SEDIMENT CONTROL MEASURES MAY BE REMOVED ONLY UPON THE APPROVAL OF THE ENVIRONMENTAL INSPECTOR.

- OVERALL EROSION CONTROL SEQUENCE**
- ONCE INITIAL EROSION CONTROL MEASURES ARE COMPLETED, AND THE CONTRACTOR IS RELEASED BY THE ENVIRONMENTAL INSPECTOR, SITE DEMOLITION MAY BEGIN.
 - IF JUST BECOMES A PROBLEM DURING CONSTRUCTION, A WATER TRUCK WILL BE REQUIRED ON-SITE AT ALL TIMES. DUST MUST BE CONTROLLED IN ACCORDANCE WITH STD. & SPEC. DUST CONTROL.
 - IN THE LATEST VERSION OF THE VA EROSION AND SEDIMENT CONTROL HANDBOOK.
 - COMPLETE ANY REMAINING GRADING OF OVERALL SITE AND INSTALLATION OF STORM SYSTEM WITH CURB AND GUTTER FOR ROADWAY AND PARKING.
 - COMPLETE CURB BACKFILL AND FINE GRADING ALONG WITH ALL SITE IMPROVEMENTS.
 - COMPLETE SEEDING ONCE TOPSOIL IS REPLACED ON DIRT SURFACES. STABILIZE ANY REMAINING DISTURBED AREAS.
 - STORM SYSTEM TO BE INSPECTED AND CLEANED OF ALL SEDIMENT RESULTING FROM CONSTRUCTION. (TO INCLUDE DOWNSTREAM EXISTING SYSTEM.)
 - ENVIRONMENTAL INSPECTOR MUST BE CONTACTED AND ALLOWED TO INSPECT STORM SYSTEM PRIOR TO FINAL SITE CONSTRUCTION.
 - ONCE RELEASED BY ENVIRONMENTAL INSPECTOR, ADJUST STORM STRUCTURE #1 & #2, PROVIDE AND MAINTAIN INLET PROTECTION ACCORDINGLY.
 - ANY REMAINING SODDING / LANDSCAPING SHALL BE COMPLETED.
 - ALL EROSION CONTROL MEASURES MUST BE INSTALLED AND MAINTAINED PER THE LATEST EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL MANUAL.
 - EROSION & SEDIMENT CONTROL MEASURES MAY BE REMOVED ONLY UPON THE APPROVAL OF THE ENVIRONMENTAL INSPECTOR.



- EROSION CONTROL LEGEND:**
- IP INLET PROTECTION (STD. & SPEC. 3.07)
 - CIP CULVERT INLET PROTECTION (STD. & SPEC. 3.08)
 - SF SILT FENCE (STD. & SPEC. 3.05)
 - TP TREE PROTECTION (STD. & SPEC. 3.38)
 - TS TEMPORARY SEEDING (STD. & SPEC. 3.31)
 - PS PERMANENT SEEDING (STD. & SPEC. 3.32)
 - CD ROCK CHECK DAM (STD. & SPEC. 3.20)
 - DD DIVERSION DIKE (STD. & SPEC. 3.12)
 - CE CONSTRUCTION ENTRANCE (SECTION 3.02)
- FOR CONSTRUCTION DETAILS AND SPECIFICATIONS REFER TO THE "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK" THIRD EDITION, 1992.
- LDL LIMITS OF DISTURBANCE LINE

SEDIMENT TRAPS

Trap #	Drainage Area (acres)	Wet Storage			Dry Storage			Outlet Length (Feet)	Bottom Elevation	Top of Berm Elevation	Top of Berm Width	Dimensions
		Volume Required (Cu. Yd.)	Volume Provided (Cu. Yd.)	Elevation	Volume Required (Cu. Yd.)	Volume Provided (Cu. Yd.)	Elevation					
1	0.91	61	62	158.10	61	62	159.40	6'	56.50	60.4	4'	20x72'

- NOTES**
- Lot dimensions in parentheses are from deed.
 - Property owners correct as of _____, 20__.
 - Ordinance Number _____
 - Adopted _____
 - Accepted _____

- REVISIONS**
- | NO. | DATE | DESCRIPTION |
|-----|------|---------------|
| 1 | | Initial Issue |
- Legend:**
- Existing Curb & Gutter
 - Existing Sidewalk
 - Existing Basin
 - Existing Storm Sewer
 - Existing Sewer Manhole
 - Existing Sanitary Sewer (Hwy)
 - Existing Sanitary Sewer (Pave area)
 - Existing Gas Lines
 - Existing Electric Lines
 - Existing Telephone/Telegraph
 - Existing TV Cables
 - Existing Water Lines
 - Existing Tree / Plant, Tree To Be Removed / Stump
 - Property Line

Technical

Surveys Superintendent _____

Administrative

Project Manager _____

Maintenance Engineer _____

City Traffic Engineer _____

Capital Project Administrator _____

City Engineer _____

Director of Public Works _____

DEPARTMENT OF PUBLIC WORKS
RICHMOND, VIRGINIA

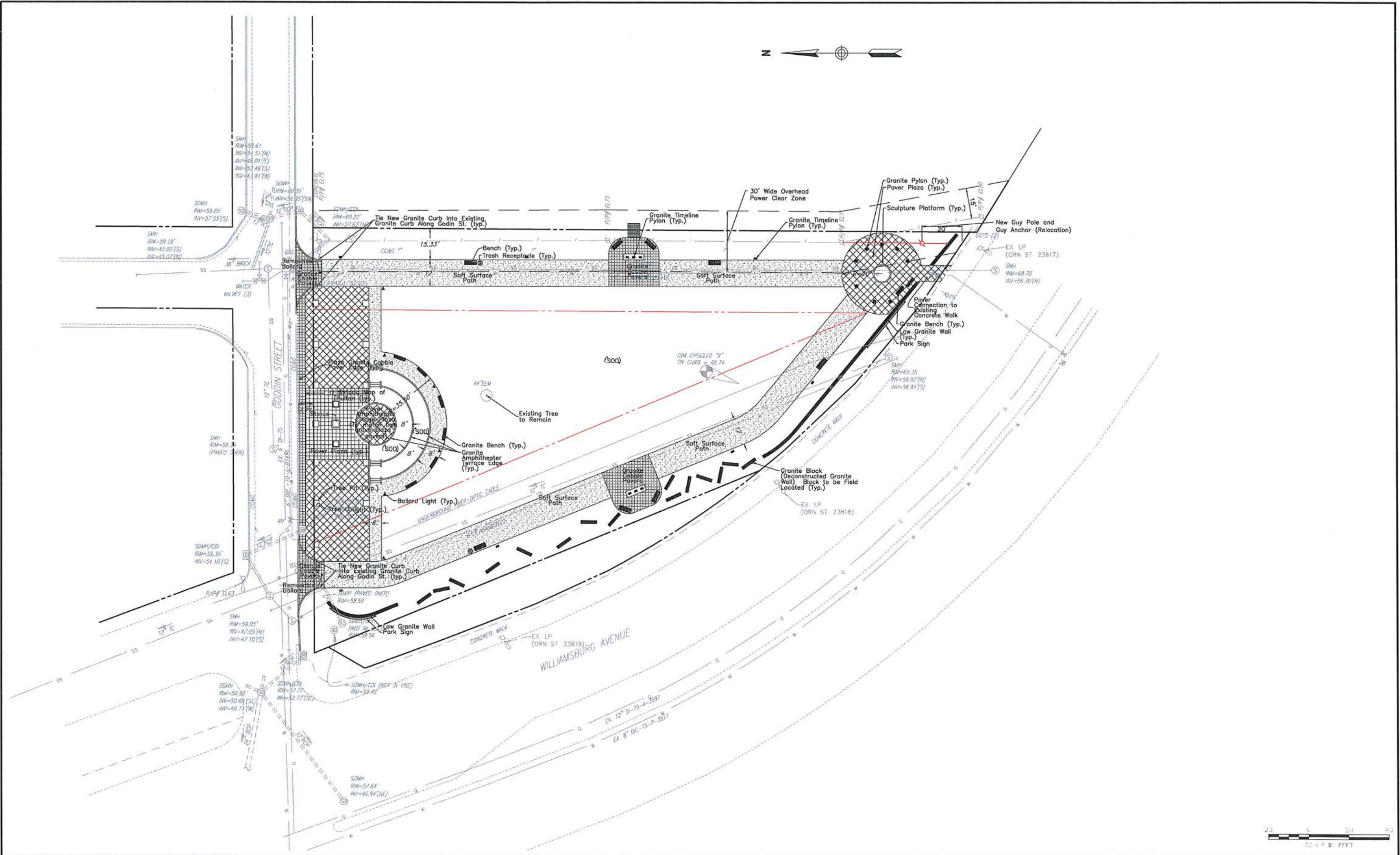
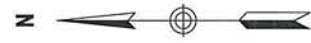
RK&K
Resource People - Creative Solutions

HISTORIC FULTON MEMORIAL PARK
EROSION CONTROL PLAN SHEET

VDOT PROJECT NO.: _____

DESIGN BY: AKCHAMAS	REVIEWED BY: _____	SCALE: 1"=20'	DATE: June 13, 2013	PROJECT: STREET	DRAWING NO. SHEET 6
DRAWN BY: AKCHAMAS	CHECKED BY: _____				

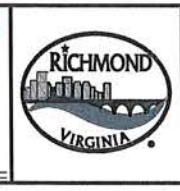
AUTHORITY: CITY OF RICHMOND, DPR



NOTES

1. Lot dimensions in parentheses are from deed.
2. Property owners correct as of _____ 20__.
3. Ordinance Number _____
4. Adopted _____
5. Accepted _____

Existing	Proposed	Legend
Curb & Outlet	Proposed Conc. Sidewalk	Proposed Conc. Sidewalk
Sidewalk	Brick Sidewalk	Brick Sidewalk
Manhole	Decorative Light	Decorative Light
Storm Sewer	Conduit	Conduit
Sanitary Sewer	Conduit (Open Channel)	Conduit (Open Channel)
Sanitary Sewer (man)	Retaining Wall	Retaining Wall
Sanitary Sewer (open man)		
Gas Line		
Electric Line		
Telephone/Telegraph		
TV Cable		
Water Line		
Tree / Plant, Tree to be Removed / Retain		
Property Line		



Technical	Administrative
Surveys Superintendent	Capital Project Administrator
Project Manager	City Engineer
Maintenance Engineer	Director of Public Works
City Traffic Engineer	

RK&K
Responsible People - Creative Solutions

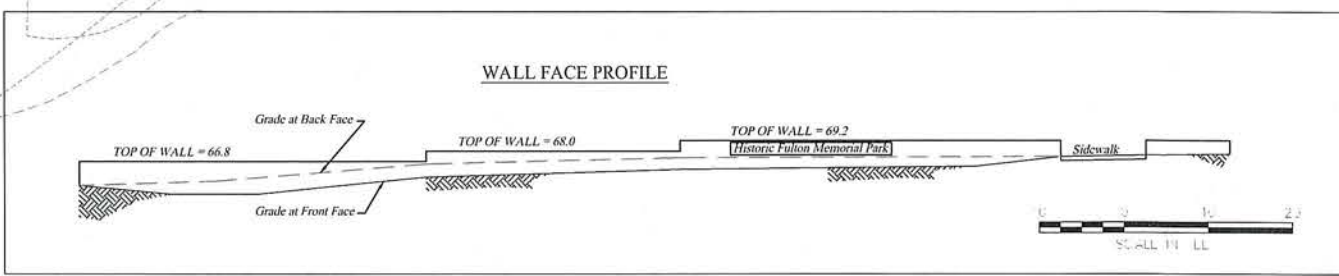
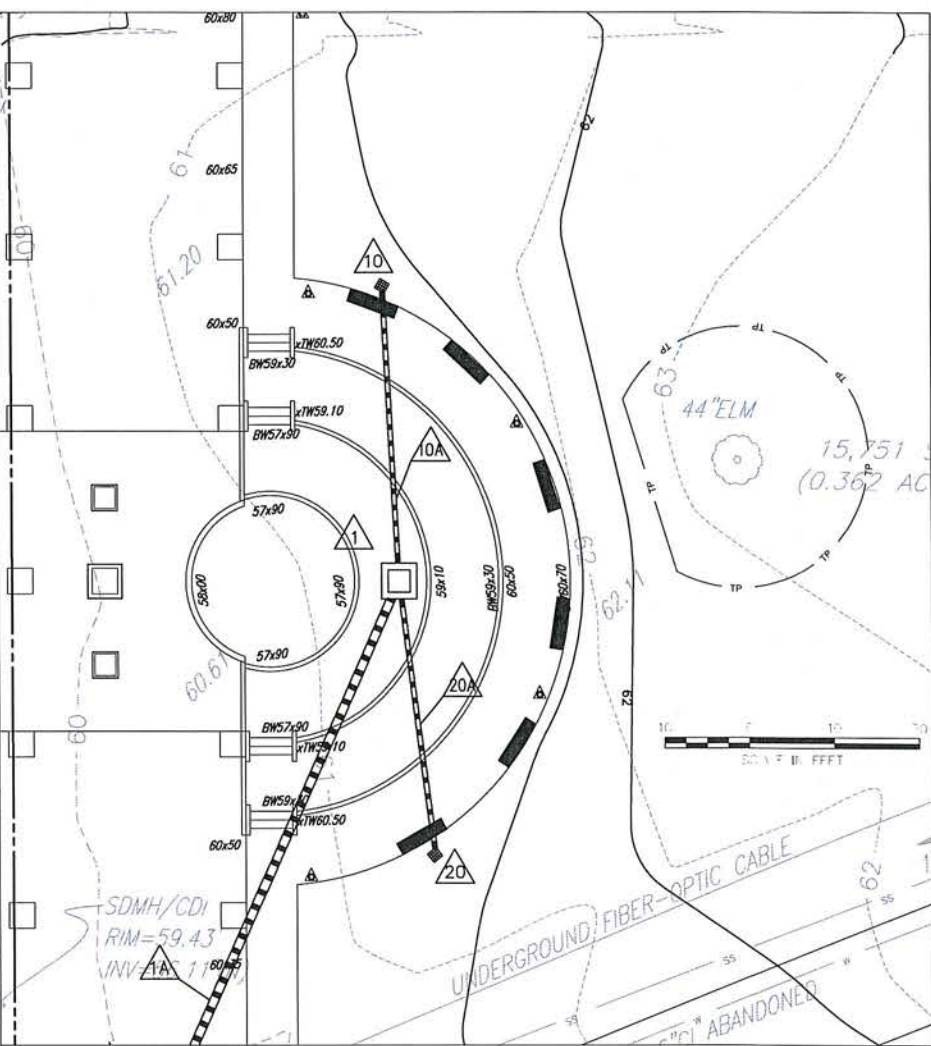
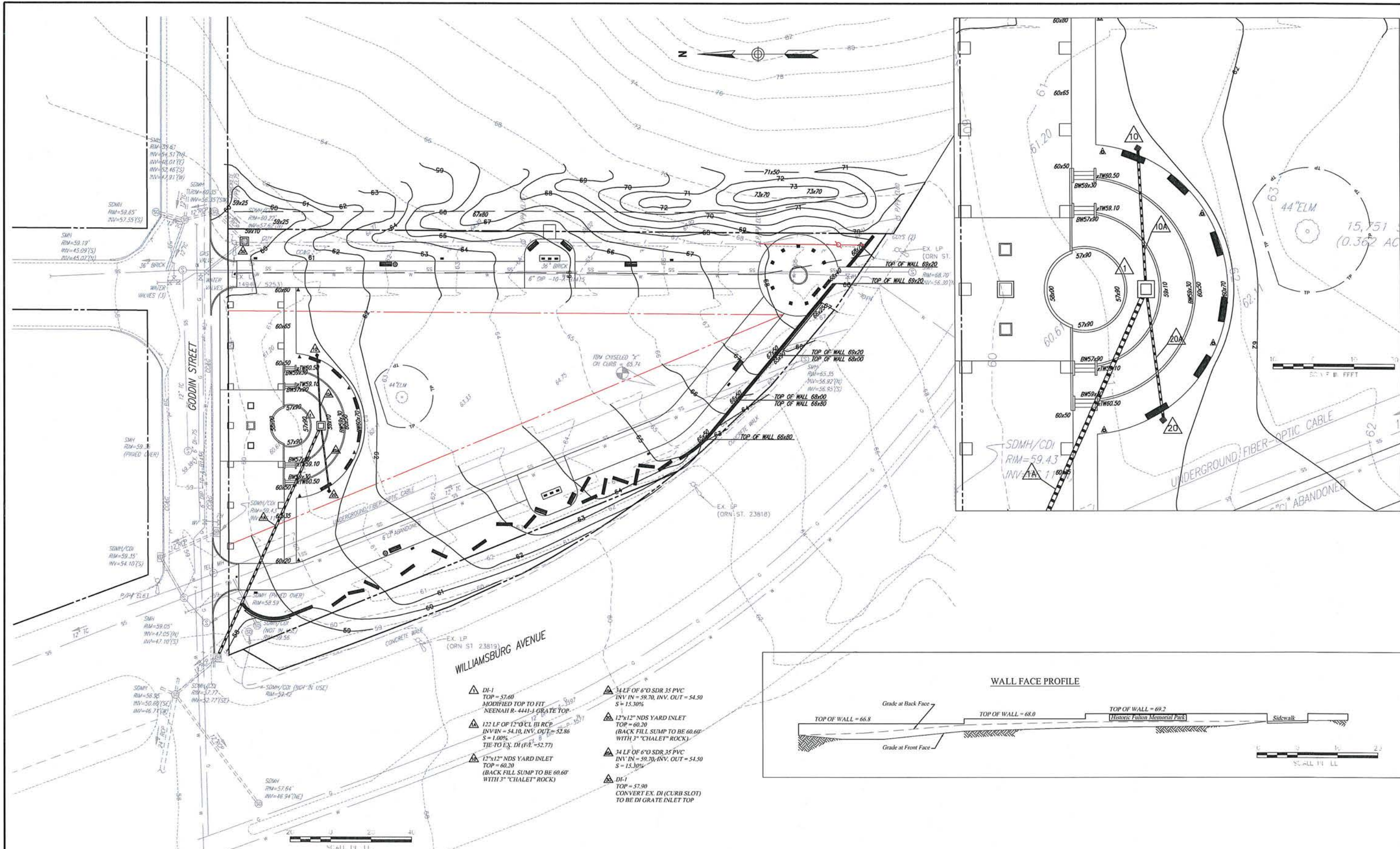
HISTORIC FULTON MEMORIAL PARK
LAYOUT PLAN SHEET

AUTHORITY: CITY OF RICHMOND, DPR
VDOT PROJECT NO.:

DESIGN BY: [Signature] CHECKED BY: [Signature] REVIEWED BY: [Signature] FIELD NOTES: [Signature]

SCALE: 1"=20' DATE: June 13, 2013 PROJECT: SHEET: SHEET 7

DEPARTMENT OF PUBLIC WORKS
RICHMOND, VIRGINIA



- ▲ DI-1
TOP = 57.60
MODIFIED TOP TO FIT
NEENAH R-4441-J GRATE TOP
- ▲ 122 LF OF 12" O.C. III RCP
INV IN = 54.10, INV. OUT = 52.86
S = 1.00%
TIE-TO EX. DI (PIL = 52.77)
- ▲ 12"x12" NDS YARD INLET
TOP = 60.20
(BACK FILL SUMP TO BE 60.60'
WITH 3" CHALET ROCK)
- ▲ 34 LF OF 6" O SDR 35 PVC
INV IN = 59.70, INV. OUT = 54.50
S = 15.30%
- ▲ 12"x12" NDS YARD INLET
TOP = 60.20
(BACK FILL SUMP TO BE 60.60'
WITH 3" CHALET ROCK)
- ▲ DI-1
TOP = 57.90
CONVERT EX. DI (CURB SLOT)
TO BE DI GRATE INLET TOP

NOTES

1. Lot dimensions in parentheses are from deed.
2. Property owners correct as of _____ 20__
3. Ordinance Number _____
4. Adopted _____
5. Accepted _____

REFERENCES: _____

EXTENSIONS: _____

<ul style="list-style-type: none"> Existing Curb & Gutter Existing Sidewalk Existing Basin Existing Storm Sewer Existing Sewer Manhole Existing Sanitary Sewer (over man) Existing Sanitary Sewer (under man) Existing Gas Main Existing Electric Line Existing Telephone/Telegraph Existing TV Cable Existing Water Line Tree / Plant Tree To Be Removed / Stump Property Line 	<ul style="list-style-type: none"> Proposed Conc. Sidewalk Proposed Brick Sidewalk Proposed Castings Water Valve Proposed Water Meter Proposed Gas Stop Proposed Gas Valve Proposed Telephone Manhole Proposed Electric Manhole Proposed Curb Cut Ramp Proposed Decorative Light Proposed Conduit (Cable Record) Proposed Retaining Wall
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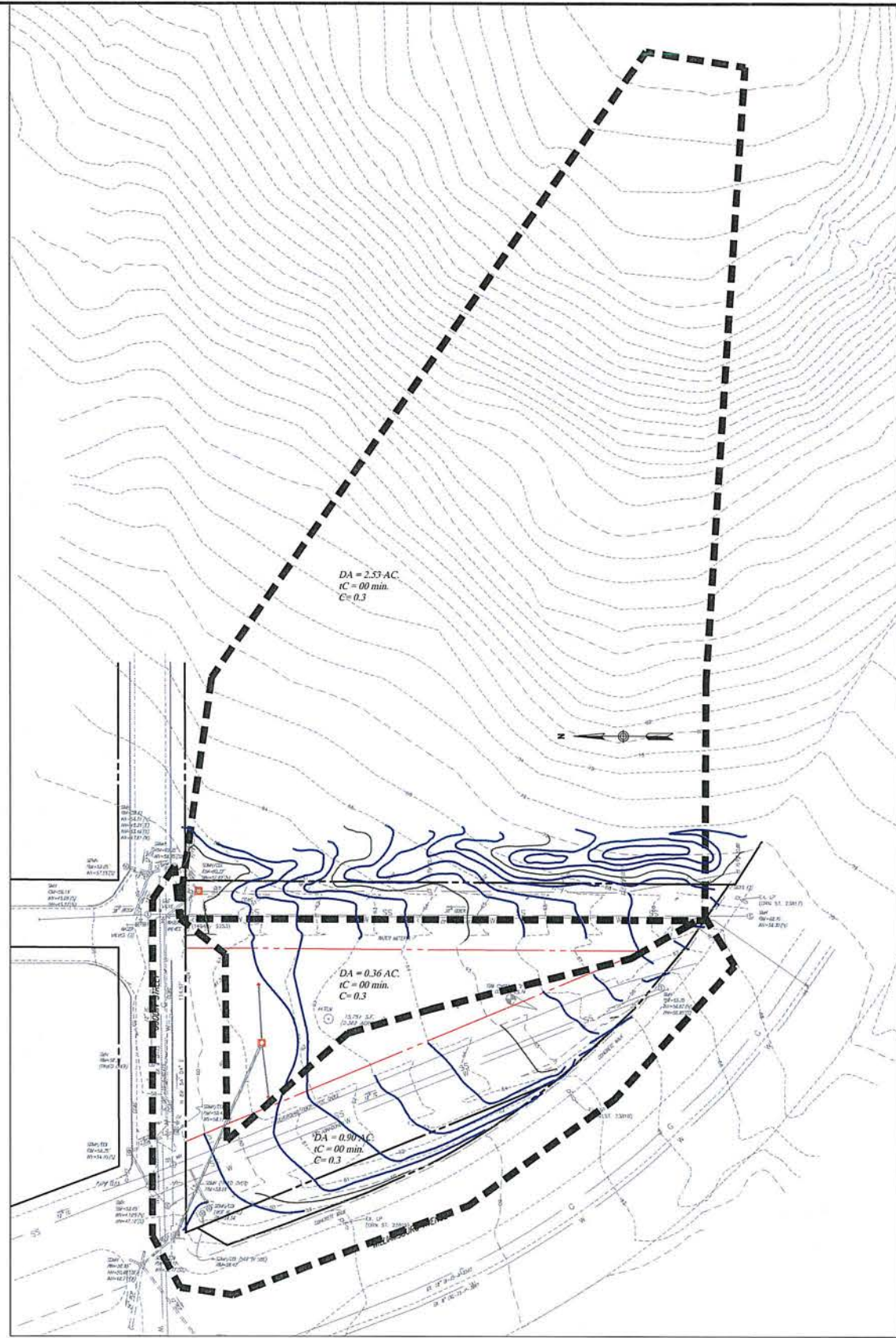
DEPARTMENT OF PUBLIC WORKS
RICHMOND, VIRGINIA

Technical	Administrative
Surveys Superintendent	Capital Project Administrator
Project Manager	City Engineer
Maintenance Engineer	Director of Public Works
City Traffic Engineer	

HISTORIC FULTON MEMORIAL PARK
GRADING & DRAINAGE PLAN SHEET

AUTHORITY: CITY OF RICHMOND, DPR VDOT PROJECT NO.:

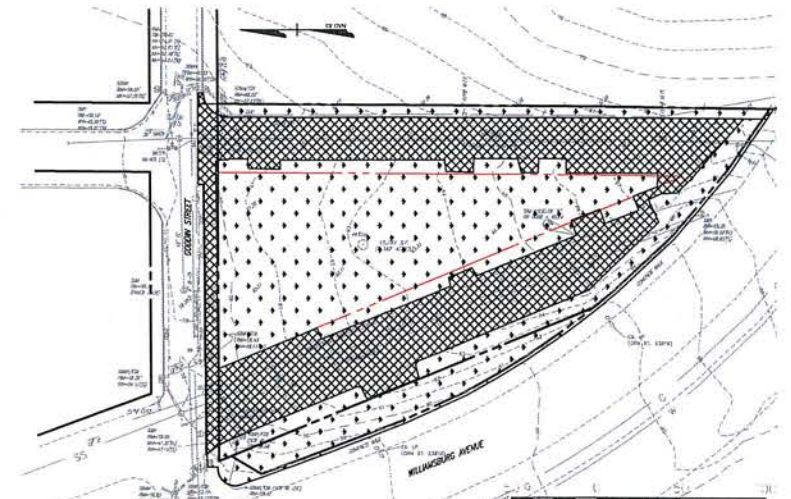
DESIGN BY: AK/MS	REVIEWED BY: _____	FIELD NOTES: _____	SCALE: 1"=20'	DATE: June 13, 2013	PROJECT: 50827	DRAWING NO. SHEET 8
CHECKED BY: _____	DATE: _____	SCALE: _____	DATE: _____	PROJECT: _____	DRAWING NO. _____	SHEET _____



DRAINAGE AREA PLAN



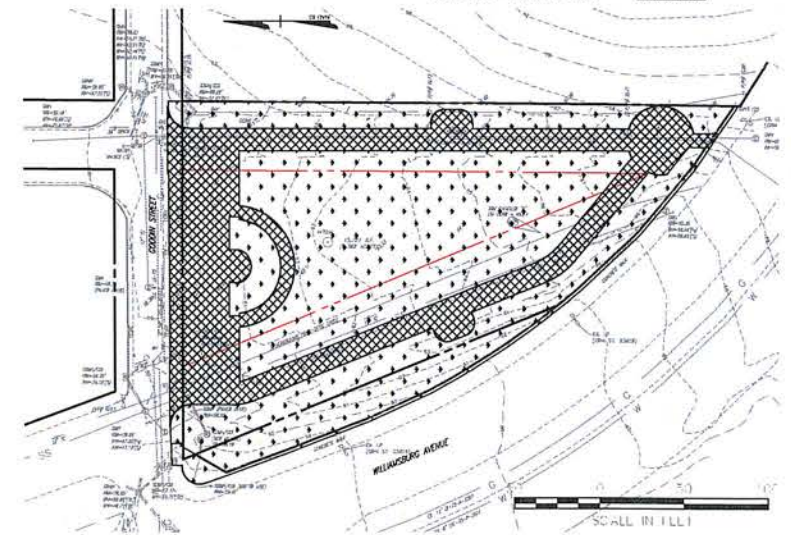
BEFORE YOU DIG CALL
1-800-552-7001
PROTECT YOURSELF, GIVE THREE
WORKING DAYS NOTICE



EXISTING IMPERVIOUS AREA

OVERALL PROJECT AREA = 1.13 AC.

EXISTING PERVIOUS AREA = 29056.35 S.F. (0.67 AC.) 59%
EXISTING IMPERVIOUS AREA = 20,065.03 S.F. (0.46 AC.) 41%



PROPOSED IMPERVIOUS AREA

OVERALL PROJECT AREA = 1.13 AC.

RE-DEVELOPED IMPERVIOUS AREA REDUCTION = 9%

PROPOSED PERVIOUS AREA = 33248.48 S.F. (0.76 AC.) 68%
PROPOSED IMPERVIOUS AREA = 15732.19 S.F. (0.36 AC.) 32%

- NOTES**
1. Lot dimensions in parentheses are from deed.
 2. Property owners correct as of _____, 20__.
 3. Ordinance Number _____.
 4. Adopted _____.
 5. Accepted _____.

<ul style="list-style-type: none"> Existing Curb & Outlet Existing Sidewalk Existing Storm Sewer Existing Sanitary Sewer (man) Existing Sanitary Sewer (open) Existing Gas Line Existing Electric Line Existing Telephone/Telegraph Existing TV Cable Existing Water Line Tree / Excl. Tree To Be Removed / Stump Property Line 	<ul style="list-style-type: none"> Proposed Conc. Sidewalk Proposed Brick Sidewalk Proposed Curbside Proposed Valve Proposed Meter Proposed Gas Stop Proposed Gas Valve Proposed Telephone Manhole Proposed Electric Manhole Proposed Curbside Ramp Proposed Decorative Light Proposed Conduit Proposed Conduit (Conc. Encased) Proposed Retaining Wall 	<ul style="list-style-type: none"> Existing Curb & Outlet Existing Sidewalk Existing Storm Sewer Existing Sanitary Sewer (man) Existing Sanitary Sewer (open) Existing Gas Line Existing Electric Line Existing Telephone/Telegraph Existing TV Cable Existing Water Line Tree / Excl. Tree To Be Removed / Stump Property Line 	<ul style="list-style-type: none"> Proposed Conc. Sidewalk Proposed Brick Sidewalk Proposed Curbside Proposed Valve Proposed Meter Proposed Gas Stop Proposed Gas Valve Proposed Telephone Manhole Proposed Electric Manhole Proposed Curbside Ramp Proposed Decorative Light Proposed Conduit Proposed Conduit (Conc. Encased) Proposed Retaining Wall
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Technical	Administrative
Survey Superintendent	Capital Project Administrator
Project Manager	City Engineer
Maintenance Engineer	Director of Public Works
City Traffic Engineer	

DEPARTMENT OF PUBLIC WORKS
RICHMOND, VIRGINIA

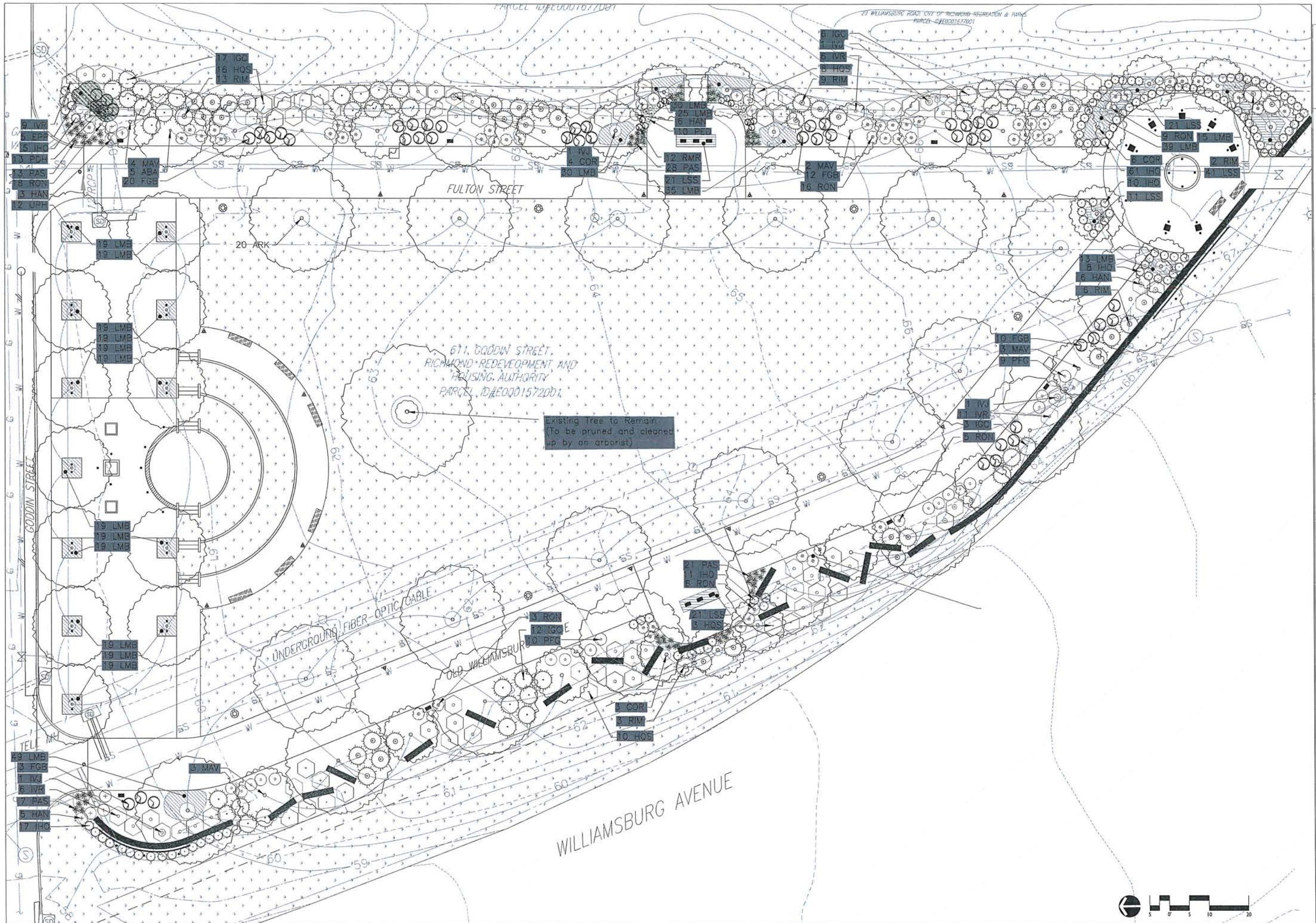
RK&K
Responsible People • Creative Solutions

HISTORIC FULTON MEMORIAL PARK
DRAINAGE AREA PLAN SHEET

AUTHORITY: CITY OF RICHMOND, DPR

DESIGN BY: [Signature] CHECKED BY: [Signature] REVIEWED BY: [Signature] FIELD NOTES: [Signature] SCALE: 1"=40' DATE: June 13, 2013 PROJECT: SHEET DRAWING NO.: SHEET 9

VDOT PROJECT NO.:

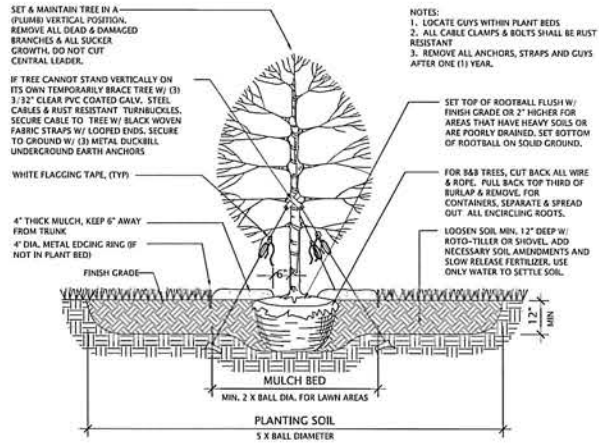


cite design

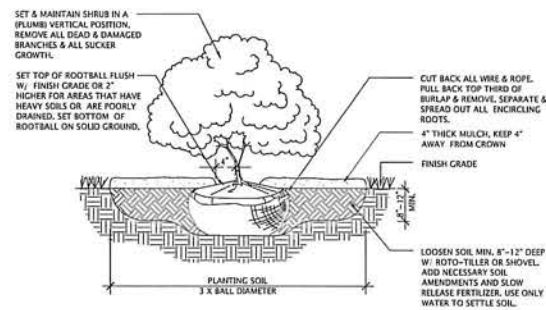
Project:	Historic Fulton Memorial Park
Location:	City of Richmond, Virginia
Scale:	1" = 10'
Sheet #	L100
DATE:	07.18.2013
DRAWN BY:	LC, JSH
DESIGNED BY:	LC, JSH
CHECKED BY:	
REVISION DESCRIPTION	
BY:	
DATE:	

DRAWINGS WERE PREPARED AT THE CITE DESIGN OFFICE
 310 N. ADAMS STREET, RICHMOND, VA 23220
 P.804.340.2848 F.804.340.2656

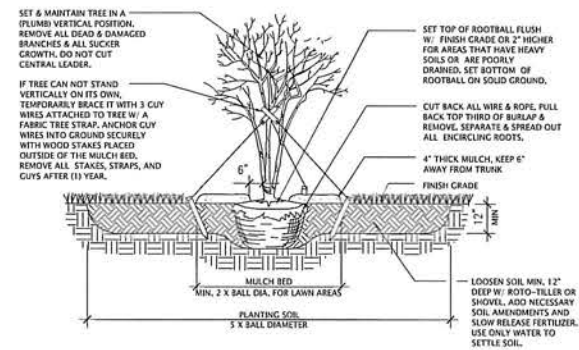
URBAN DESIGN | TOWN PLANNING | LANDSCAPE ARCHITECTURE



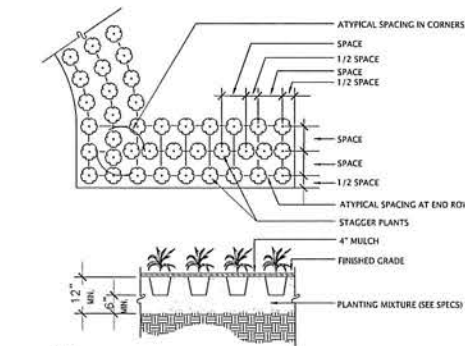
TREE PLANTING
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



MULTI-TRUNK TREE PLANTING
NOT TO SCALE



GROUND COVER PLANTING

Planting Notes:

- The utilities shown are for the contractor's convenience only. There may be other utilities not shown on these plans. The landscape architect assumes no responsibility for the locations shown and it shall be the contractor's responsibility to verify the locations of all utilities within the limits of work. Contractor shall contact "Miss Utility" and have all underground utilities marked prior to any land disturbance operations.
- Contractor shall verify plant material quantities shown on plan with totals in planting schedule. Notify Landscape Architect of any discrepancies prior to final bidding.
- All plant materials shall be guaranteed for one full year to be in a healthy growing condition. Plant materials which do not fulfill this guarantee shall be replaced at no cost to the owner. Replacement shall be guaranteed throughout the original guarantee period. Plants that die shall be replaced immediately.
- Contractor is responsible for watering all plant material during installation and until final inspection and acceptance by owner. Contractor shall not assume irrigation system is fully operational at completion of planting installation.
- Contractor is responsible for contacting Miss Utility prior to beginning of construction for location of all utility lines. Trees shall be located a minimum of 5 feet from sewer/water connections.
- All plant materials, topsoil, mulch, fertilizers, soil amenities, planting supplies and methods shall be subject to LA approval. Rejected materials shall be removed from the site without delay.
- All plant materials and planting methods shall conform to A.A.N. Standards.
- Contractor shall layout and mark location for all plant material, planting, and improvements shown and request in field approval from LA.
- Beds to contain shrubs or ground cover shall be tilled to a depth of 6" and the soil conditioned by adding clen, well rooted manure. If existing soil is considered to be unusable by owner, beds shall be treated to eliminate weeds and weed seeds.
- All planting bed areas shall be covered with a 3" min. layer of medium texture shredded hardwood mulch. Unless otherwise noted.
- All substitutions of plant material shall be requested in writing to the landscape architect and approved in writing by the owner.
- All planting operations shall be under the supervision of an experienced plantsman.
- For trees balled in wire baskets, cut and remove top and sides of basket after installation.
- Landscape Architect reserves the right to reject any plants and materials that are in an unhealthy or unsightly condition, as well as plants and materials that do not conform to A.A.N. Standards. See American Standard For Nursery Stock (current edition).
- Soil shall be free of all weeds.
- Any area within the limit of work that is disturbed shall be either re-seeded or mulched to match existing conditions.
- Existing tree to be pruned and cleaned up by arborist.
- Contractor to supply irrigation.**

Plant Schedule Explanatory Notes:

- The following plant palette is prepared as a selection of planting materials.
- Where an abbreviation is shown, the following notes apply:
 Quan. - quantity of plant materials required for the project.
 (Note: contractor responsible to verify quantities indicated. Plan shall take precedence over schedule).
 Abbrv. - Botanical abbreviation
 Botanical/common - name of plant material
 Height - height of plant material
 Spread - diameter of plant material
 Cont. - container type in which plant material is encased upon site delivery (size shall take precedence over container).
 Spacing - distance from center of each plant (plan shall take precedence over schedule)
 Cal. - caliper/diameter of trunk (refer to specs for more information - caliper shall take precedence over height and spread)
 Notes - specific notes further specifying or describing plant material
- The contractor shall locate all proposed and existing utilities prior to the beginning of work. The contractor shall repair any damage to utilities that are disturbed as a result of the work.
- The contractor shall maintain all grassed areas, including the repair of erosion areas, until the grass has reached the level of final acceptance and throughout maintenance contract period, if applicable.
- All areas that are disturbed by construction inside or outside the limit of work shall be repaired, graded, and grassed.
- All plant beds shall receive double shredded hardwood mulch at a depth of 4".
- All existing trees to be saved will have tree barricades installed around them prior to beginning of demolition. All work in those areas is to be done by hand. Fences shall be maintained and kept in place at all times.
- Provide erosion control where slopes are greater than 3:1 and where erosion is reoccurring.
- All tree, shrub, and ground cover materials shall be planted within 24 hours after delivery.
- Apply weed germination inhibitor ("Preen" or equal) to all planted areas.
- Any plants located in direct sun shall be nursery sun grown.

HISTORIC FULTON MEMORIAL PARK'S PLANT SCHEDULE

TREES						
QTY	KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	NOTES
5	ABA	Acer buergerianum 'ABMTF'	Aeryn Trident Maple	12-14'	3 1/2"	B&B, full uniform crown, symmetrical branching, full specimen
20	ARK	Acer rubrum 'Karpick'	Karpick Red Maple	14-16'	3 1/2"	B&B, full uniform crown, symmetrical branching, full specimen
12	UPH	Ulmus parvifolia 'Hope'	Hope Lacebark Elm	12-14'	3 1/2"	B&B, full uniform crown, symmetrical branching, full specimen

SMALL DECIDUOUS TREES						
QTY	KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	NOTES
13	COR	Cornus x 'Rutger'	Stellar Pink Dogwood	6-10'	2 1/2" Min.	B&B, full symmetrical branching

EVERGREEN TREES						
QTY	KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	NOTES
12	MAV	Magnolia virginiana	Sweet Bay Magnolia	8-10'	2 1/2" Min.	B&B, tree form, lashed up to 4', uniform, symmetrical branching, full specimen.

SHRUBS						
QTY	KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	NOTES
32	FGB	Fothergilla gardenii 'Blue Mist'	Blue Mist Dwarf Fothergilla	18" MIN.	18" MIN.	3 gal., healthy, full well formed, rooted & established in container
20	HAN	Hydrangea arborescens 'NCHAI'	Invincible Spirit Hydrangea	18-24" MIN.	18-24" MIN.	3 gal., healthy, full well formed, rooted & established in container
34	HQS	Hydrangea quercifolia 'Pee Wee'	Pee Wee Oak Leaf Hydrangea	24" MIN.	24" MIN.	3 gal., healthy, full well formed, rooted & established in container
116	HO	Ilex crenata 'Hoogendorn'	Hoogendorn Holly	18" MIN.	18" MIN.	3 gal., healthy, full well formed, rooted & established in container
38	IGC	Ilex glabra 'Compacta'	Compact Inkberry Holly	24" MIN.	24" MIN.	3 gal., healthy, full well formed, rooted & established in container
4	IJD	Ilex verticillata 'Jim Dandy'	Jim Dandy Winterberry Holly (Male)	18-24" MIN.	18-24" MIN.	3 gal., healthy, full well formed, rooted & established in container
29	IVR	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry Holly	18-24" MIN.	18-24" MIN.	3 gal., healthy, full well formed, rooted & established in container
19	PFG	Potentilla fruticosa 'Gold Star'	Gold Star Potentilla	12-18"	15-18"	3 gal., healthy, full well formed, rooted & established in container
57	RON	Rosa x 'Noels'	Flower Carpet Coral Groundcover Rose	18-24" MIN.	15-18"	3 gal., healthy, full well formed, rooted & established in container
33	RIM	Rhaphtolepis indica 'Monts'	Indian Princess Indian Hawthorn	18-24" MIN.	18-24" MIN.	3 gal., healthy, full well formed, rooted & established in container
12	RMR	Rosa 'Meigappi'	Red Drift Rose	12-18"	15-18"	3 gal., healthy, full well formed, rooted & established in container

PERENNIALS, ORNAMENTAL GRASSES, FERNS						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COLOR	NOTES
5	EPP	Echinacea purpurea 'Prairie Splendor'	Prairie Splendor Coneflower	3 Gal.		24" o.c., full specimen, healthy, rooted & established
69	PAS	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	3 Gal.		30" o.c., full specimen, healthy, rooted & established
13	PDH	Penstemon digitalis 'Husker Red'	Husker Red Penstemon	3 Gal.		12" o.c., full specimen, healthy, vigorous, well rooted & established
10	PED	Pennisetum alopecuroides 'Hamelin'	Dwarf Fountain Grass	3 Gal.		18" o.c., full specimen, healthy, rooted & established
	SOD	To match existing SOD/ grass	To match existing SOD/ grass	NA		Landscape contractor to submit sod recommendation to LA for approval

GROUND COVERS						
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COLOR	NOTES
464	LMB	Liriope muscari 'Big Blue'	Big Blue Liriope	1 qt.		12" o.c., full specimen, healthy, vigorous, well rooted & established
115	LSS	Liriope spicata 'Silver Dragon'	Silver Dragon Liriope	1 qt.		12" o.c., full specimen, healthy, vigorous, well rooted & established

Mulch .
 Mulch to be shredded hardwood bark mulch. L.A. to approve color/variety before installation.

Project: Historic Fulton Memorial Park

DATE: 07.18.2013
 DRAWN BY: LC, JSH
 DESIGNED BY: LC, JSH
 CHECKED BY:

REVISION DESCRIPTION

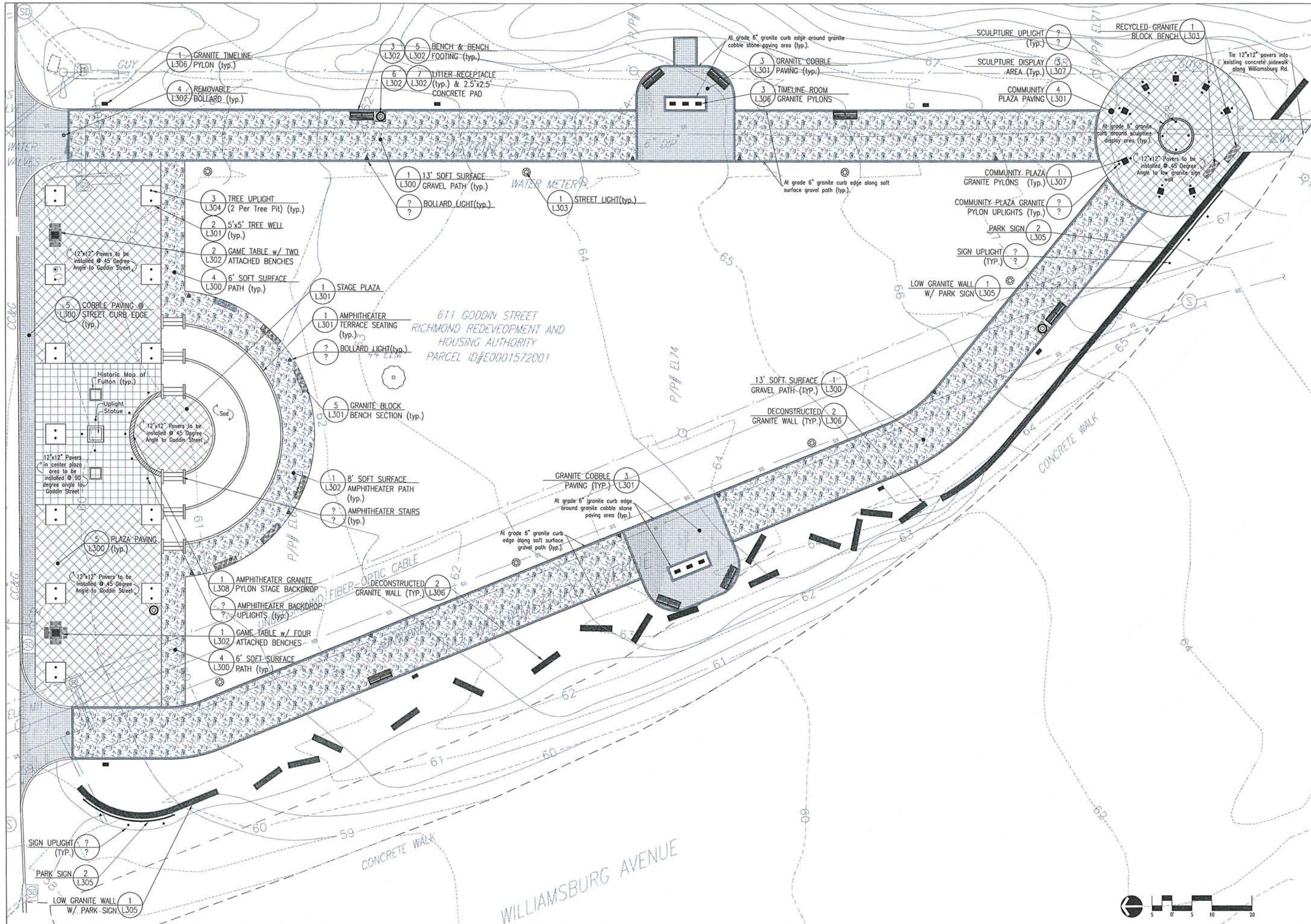
DATE:

Location: City of Richmond, Virginia

URBAN DESIGN | TOWN PLANNING | LANDSCAPE ARCHITECTURE

Scale

Sheet #
L101



cite design

Project: Historic Fulton Memorial Park
Location: City of Richmond, Virginia

Scale: 1" = 10'
Sheet #: L201

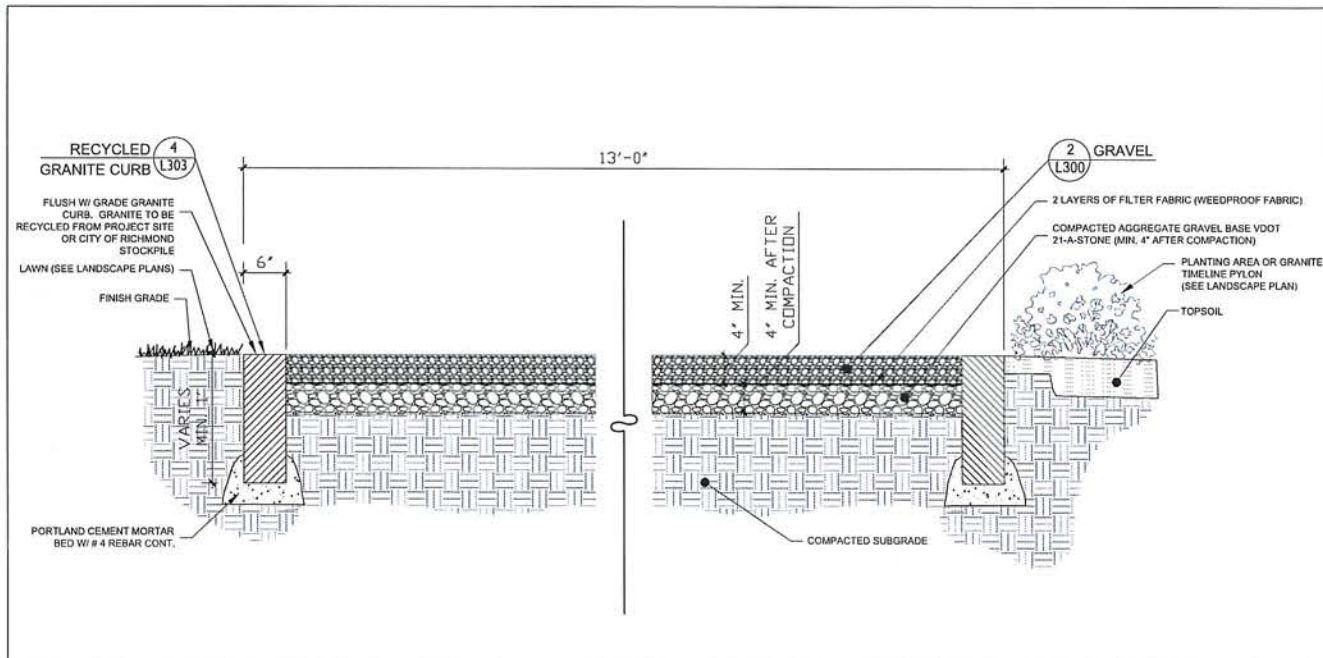
Site Elements Plan

REVISION DESCRIPTION	DATE

DATE: 07.18.2013
DRAWN BY: LC, JSH
DESIGNED BY: LC, JSH
CHECKED BY: LC, JSH

DRAWINGS WERE PREPARED AT THE CITE DESIGN OFFICE
 310 N. ADAMS STREET, RICHMOND, VA 23220
 P.804.340.2848 F.804.340.2656

URBAN DESIGN | TOWN PLANNING | LANDSCAPE ARCHITECTURE



1 13' SOFT SURFACE GRAVEL PATH
Section NTS

- Notes:
1. Verify Paver install method with paver manufacturer before installation of patio base and pavers.
 2. Pavers to be installed in a random pattern with 6"x9" edge paver. Coordinate w/ LA as needed.
 3. Fill paver joints with polymeric sand paver set (apply/install per manufacturers recommendations).



Gravel (Honey Dust) Specifications:
 Model: Honey Dust (or equivalent to be approved by LA)
 Manufacturer: Luck Stone
 Contact: Luck Stone 804-708-5700

- Notes:
- 1.) Contractor to submit Honey Dust sample for approval by LA before ordering.
 - 2.) Contractor to add stabilizer if needed. Coordinate with LA
 - 3.) Contractor to use steel edging where Honey Dust is adjacent to planting areas (see plans)

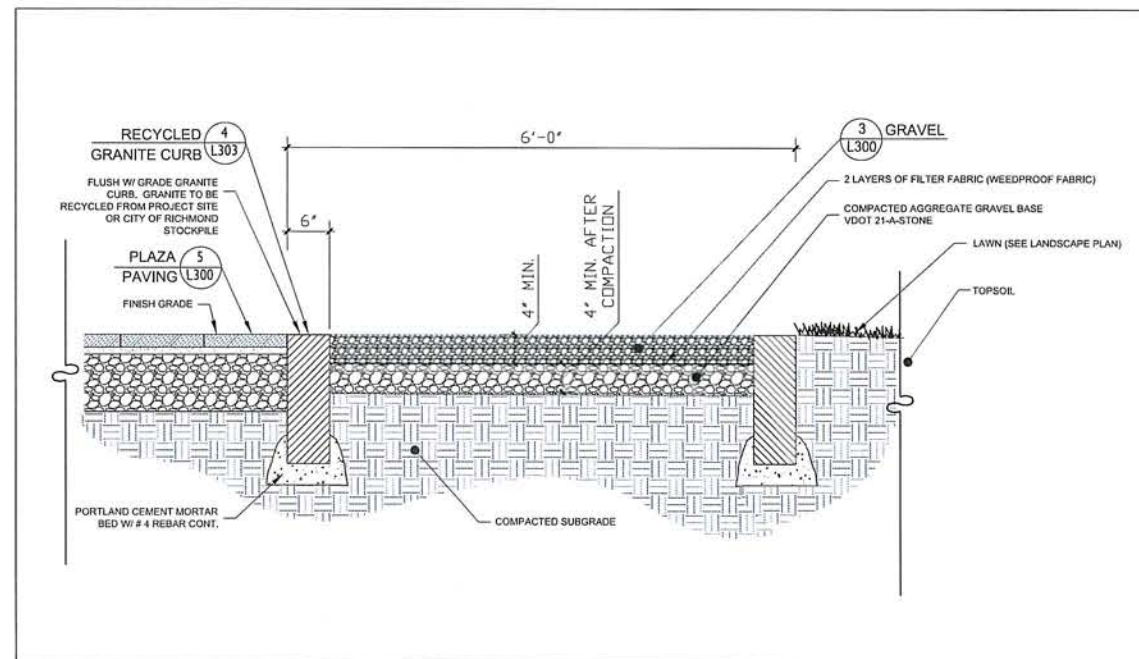
2 GRAVEL (Honey Dust)
Specification NTS



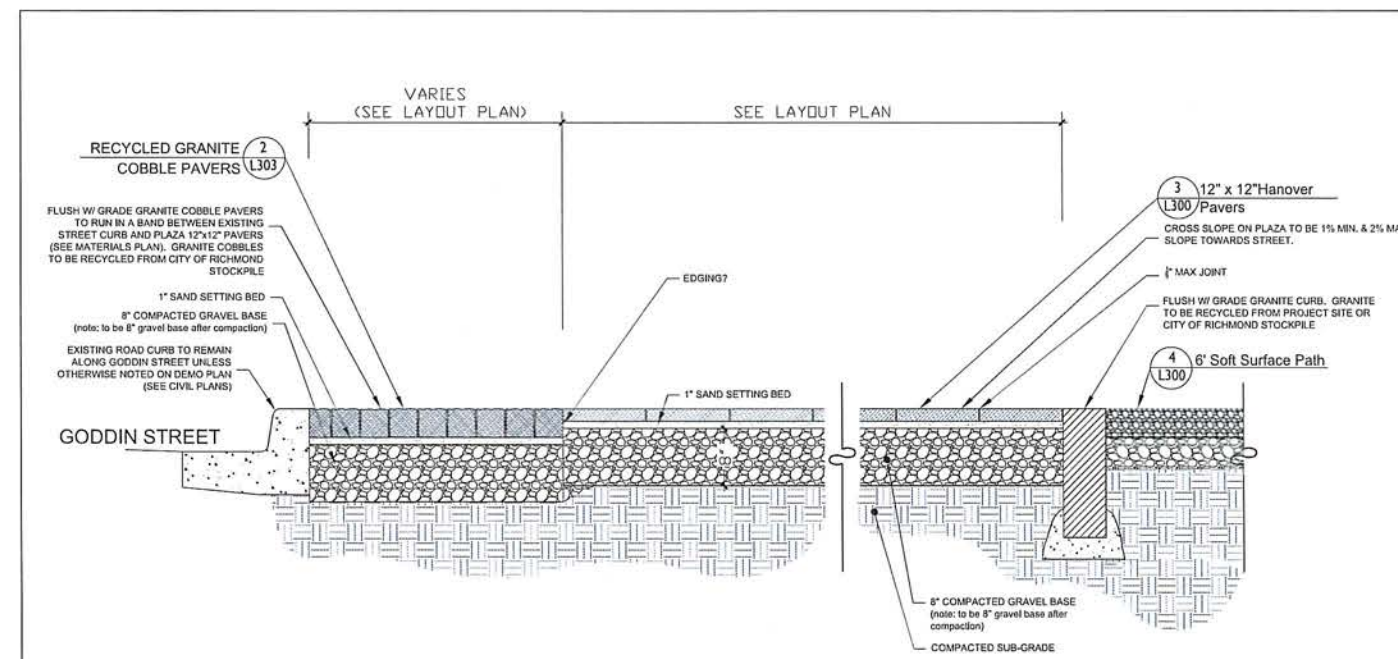
12" x 12" Hanover SlateFace Bluestone Paver Specifications:
 Model: Hanover 12" x 12" SlateFace Bluestone Paver
 Quantity: See Plan
 Size & Color: 12" x 12" & Blue Stone
 Paving Pattern: See Plan
 Manufacturer: Hanover Architectural Products
 Supplier: Shade & Wise 2010 Dabney Road Richmond, VA 23230 (p) 804-355-2888
 Contact: Megan McClenny (p) 804-357-2049

- Notes:
1. Pavers to be install per manufacturer's recommendations.
 2. Contractor to coordinate with manufacturer for specifics on base compaction.

3 12"x12' HANOVER PAVERS
Specification NTS



4 6' SOFT SURFACE PATH
Section NTS



5 PLAZA PAVING & COBBLE PAVING @ STREET CURB EDGE
Section NTS

- Notes:
1. Verify Paver install method with paver manufacturer before installation of patio base and pavers.
 2. See Hardscape Plan for Paving Pattern. Coordinate w/ LA as needed.

cite design

Details

Project: HISTORIC FULTON MEMORIAL PARK
 Location: Henrico County, Virginia

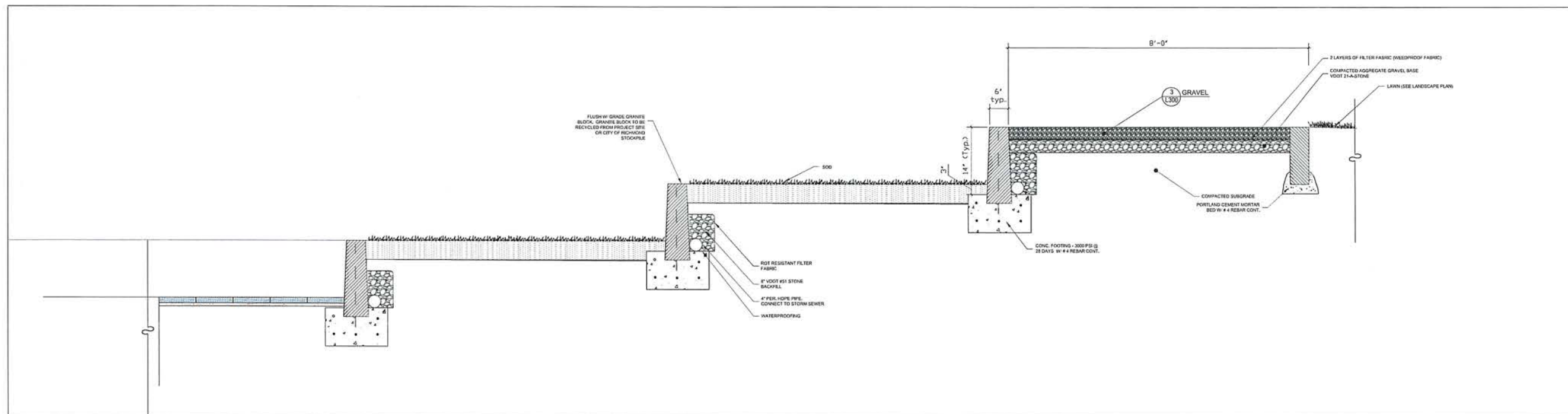
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DESIGNED BY:	
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REVISION DESCRIPTION	

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 2000 S. BRADY STREET, RICHMOND, VA 23220
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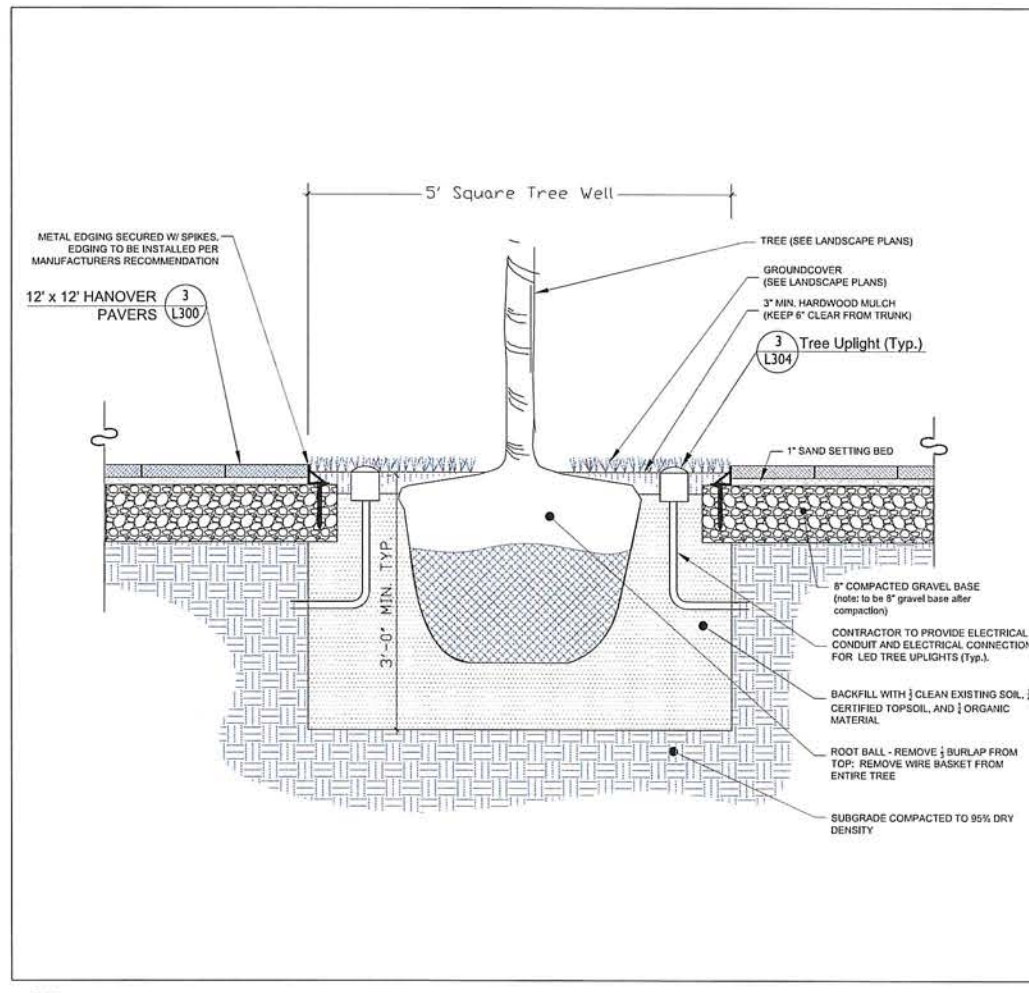
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Scale

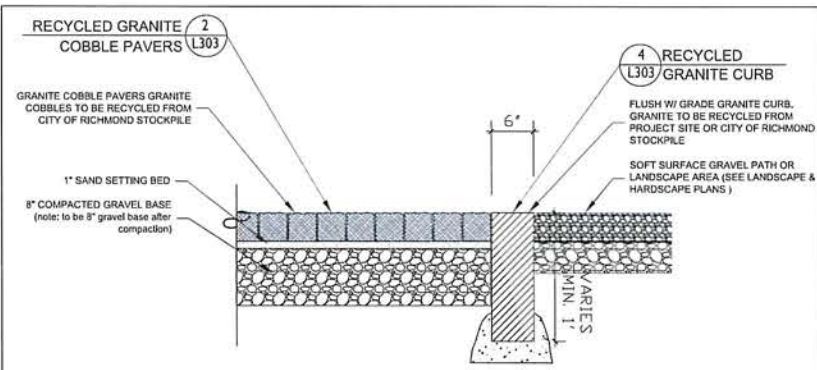
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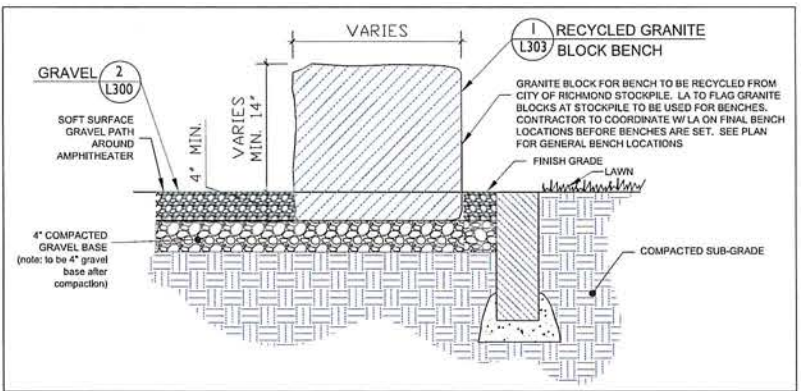
1 AMPHITHEATER TERRACED SEATING & STAGE PLAZA
Section NTS



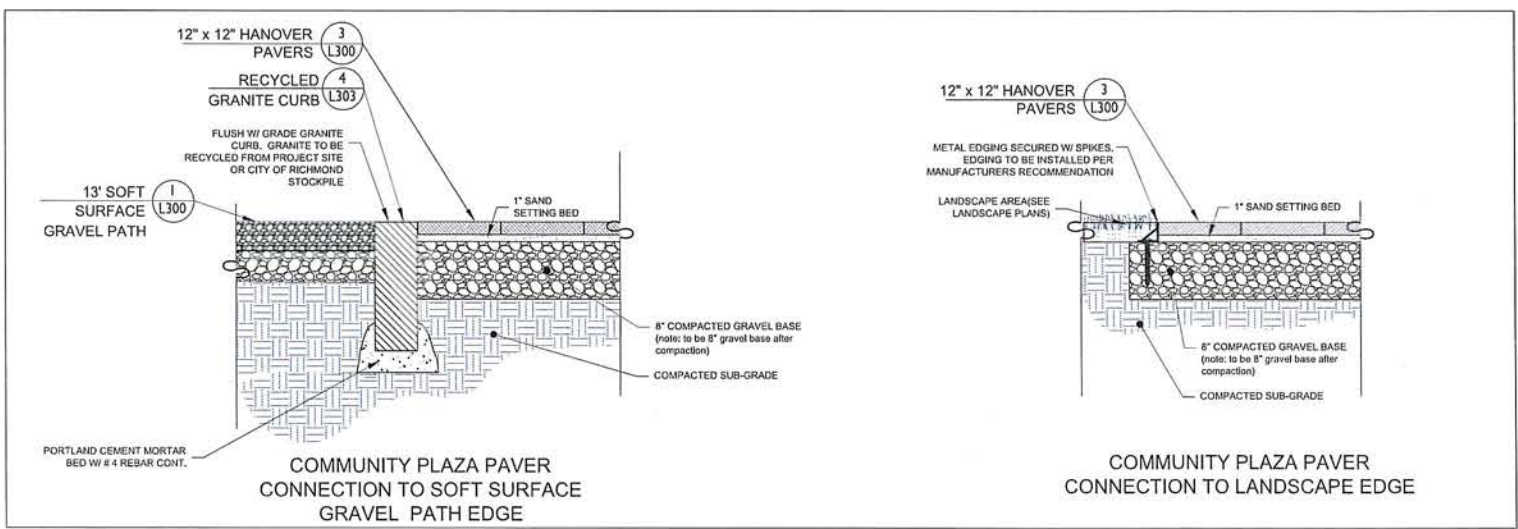
2 5' x 5' TREE WELL
Section NTS



3 GRANITE COBBLE PAVING
Section NTS



5 GRANITE BLOCK BENCH SECTION
Section NTS



4 COMMUNITY PLAZA PAVING
Section NTS

DATE:	07.18.2013
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Project:	HISTORIC FULTON MEMORIAL PARK
Location:	Henrico County, Virginia
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Sheet #	L301

DRAWINGS WERE PREPARED AT THE CITE DESIGN OFFICE
3 PAVANNAH STREET, RICHMOND, VA 23220
P.804.340.2848 F.804.340.2656



3' Square Top Game Table w/ Four Attached Benches Specification:

Model: Four-seat Homestead Series center-post table (standard in-ground mount) with four attached benches(CP-4), and Gameboard (IP-36)
*(or equivalent to be approved by LA)

Finish/Material: Black Power Coating Frames & Ipe Wood Slats

Quantity: Two (2) = 36" Square Game Table (IP-36)
Eight (8) = 2' Bench (FB-324)

Contact: <http://victorstanley.com>
(p) 1-866-579-5182

Notes:

- 1.) Install per manufacturer's recommendation

1 GAME TABLE w/ FOUR ATTACHED BENCHES
Specification N.T.S



VICTOR STANLEY, INC.
CP-2 Homestead Series picnic table

3' Square Top Game Table w/ Two Attached Benches Specification:

Model: Two-seat Homestead Series center-post table (standard in-ground mount) with two attached benches(CP-2), and Gameboard (IP-36)
*(or equivalent to be approved by LA)

Finish/Material: Black Power Coating Frames & Ipe Wood Slats

Quantity: Two (2) = 36" Square Game Table (IP-36)
Eight (8) = 2' Bench (FB-324)

Contact: <http://victorstanley.com>
(p) 1-866-579-5182

Notes:

- 1.) Install per manufacturer's recommendation

2 GAME TABLE w/ TWO ATTACHED BENCHES
Specification N.T.S



Bench Specification:

Model: Steelsite RB Series
RB-28 (6' bench)
(or equivalent to be approved by LA)

Quantity: See Plan

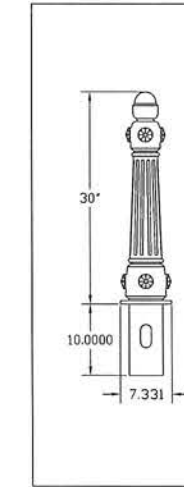
Color: Black

Manufacturer: Victor Stanley, Inc.
P.O. Drawer 330
Dunkirk, MD 20754 USA
(p) 301-855-8300 or toll free 800-368-2573
Website: www.victorstanley.com

Notes:

- 1.) LA to approve in field bench locations before attaching w/ anchor bolts. Bench to be anchored to brick paver areas with anchor bolts. See bench anchor detail footings for gravel area. Coordinate w/ LA as needed.
- 2.) For mounting it is not recommended to locate anchor bolts until bench is in place. Use Anchor bolts to attached bench in place.

3 6' BENCH
Specification N.T.S



Removable Bollard Specification:

Model: Victorian 31" Tall CAST IRON bollard w/ lock tab for removable application (Item ID: 9022-30RM)

Quantity: See Plan

Color/Finish: Black w/ powder coat finish

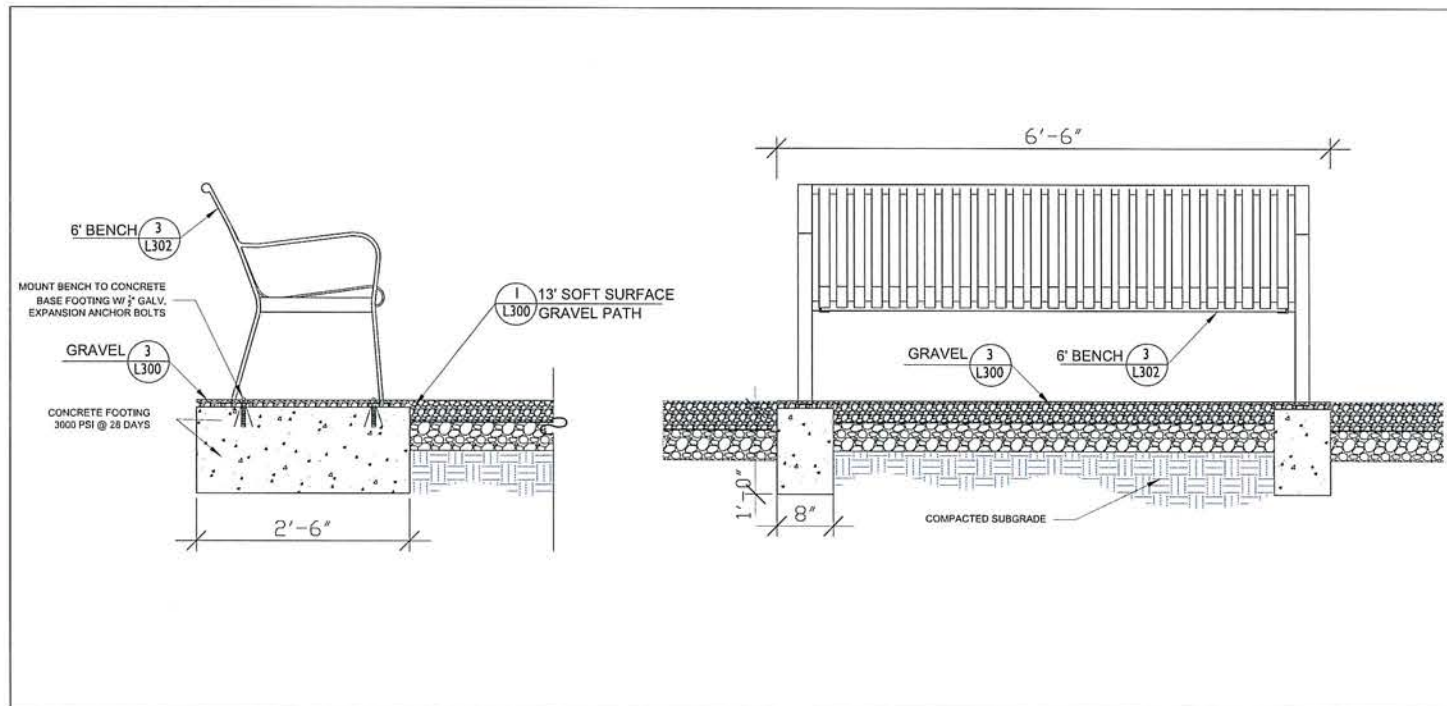
Manufacturer: IRONSMITH

Contact: Paul Jackson (w/ site Innovations Group, Inc.)
704-301-7319
paul@siteinnovations.net

Note:

- 1) Removable bollard to be installed per manufacturers recommendation.

4 REMOVABLE BOLLARD
Specification N.T.S



5 BENCH FOOTING
Section N.T.S



Litter Receptacle Specification:

Model: Ironsites Series Litter Receptacle
S-42 36 Gallon w/ standard tapered form lid
(or equivalent to be approved by LA)

Quantity: 3

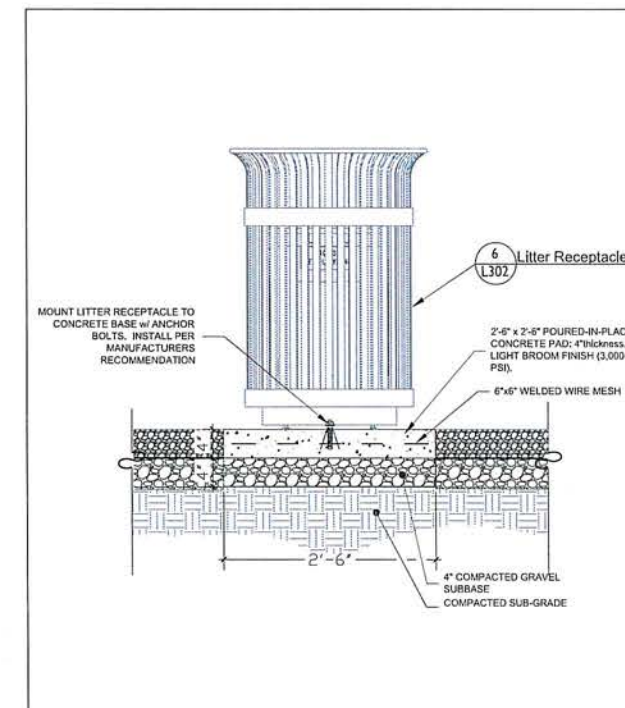
Color/Finish: Black Powder Coated

Manufacturer: Victor Stanley, Inc.
P.O. Drawer 330
Dunkirk, MD 20754 USA
(p) 301-855-8300 or toll free 800-368-2573
Website: www.victorstanley.com

Notes:

- 1.) LA to approve in field litter receptacle locations before attaching w/ anchor bolts. Litter receptacle located along soft surface gravel path to be anchored to concrete pad with anchor bolts. Litter receptacle located within paver area to be anchored to pavers.
- 2.) For mounting it is not recommended to locate anchor bolts until litter receptacle is in place.

6 LITTER RECEPTACLE
Specification N.T.S



7 LITTER RECEPTACLE CONCRETE PAD
Section N.T.S

cite design

DATE:	07.18.2013
DRAWN BY:	
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BY:	
DATE:	
REVISION DESCRIPTION:	

Project: HISTORIC FULTON MEMORIAL PARK
Location: Henrico County, Virginia

URBAN DESIGN | TOWN PLANNING | LANDSCAPE ARCHITECTURE

DRAWINGS WERE PREPARED AT THE CITE DESIGN OFFICE
3110 W. ARLINGTON STREET, RICHMOND, VA 23220
P:804.340.2848 F:804.340.2656

Scale
Sheet #
L302



Notes:
 1.) Contractor to utilize existing granite blocks located at the City of Richmond stockpile.
 2.) Landscape Architect to flag granite blocks to be used for benches before the start of construction. Contractor to coordinate w/ LA.
 3.) Sizes and heights of granite block benches to vary.
 4.) Granite block benches located in community plaza to be placed directly on pavers (see plans for general locations).

1 RECYCLED GRANITE BLOCK BENCH
 Specification N.T.S



Notes:
 1.) Contractor to utilize existing granite cobble pavers located on site or at the City of Richmond stockpile. Coordinate w/ LA as needed.

2 RECYCLED GRANITE COBBLE PAVERS
 Specification N.T.S



Notes:
 1.) Contractor to utilize existing granite block pylons located at the City of Richmond stockpile.
 2.) Landscape Architect to flag granite blocks to be used for timeline pylons, community plaza pylons, and amphitheater stage backdrop before the start of construction. Contractor to coordinate w/ LA.

3 RECYCLED GRANITE PYLONS
 Specification N.T.S



Notes:
 1.) Contractor to utilize existing granite curb located on site or at the City of Richmond stockpile. Coordinate w/ LA as needed.

4 RECYCLED GRANITE CURB
 Specification N.T.S



Notes:
 1.) Contractor to utilize existing granite block/slabs located at the City of Richmond stockpile for low granite sign wall, deconstructed wall, and amphitheater seating.
 2.) Contractor to coordinate w/ LA in the field on specific locations for granite block to be used for deconstructed granite wall (see plan for general locations). Coordinate w/ LA as needed.

5 RECYCLED GRANITE BLOCK/SLABS
 Specification N.T.S



River Rock Specification:

Model: Chalet Large River Stone
 *(or equivalent to be approved by LA)

Color: Mix

Supplier: Luck Stone
 (p) 1-800-255-5825
<http://www.charlesluck.com/products/>

Notes: 1. Install per manufacturer's recommendations.

8 RIVER ROCK
 L3.01 Specification N.T.S

cite design

Details

DATE:	07.18.2013
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Project: HISTORIC FULTON MEMORIAL PARK
 Location: Henrico County, Virginia
 URBAN DESIGN | TOWN PLANNING | LANDSCAPE ARCHITECTURE

DRAWINGS WERE PREPARED AT THE SITE DESIGN OFFICE
 5101 N. ARLING STREET, RICHMOND, VA 23220
 P.804.340.2848 F.804.340.2656

Scale

Sheet #
L303

STREETLIGHT SPECIFICATION:

Model: Coordinate w/ Supplier Contact for Specific Item #'s

Quantity: See Plan

Color : Black
(Coordinate w/ LA if questions)

Manufacturer: Niland Company

Supplier: Helfrich Lighting
2569 Homeview Drive
Richmond, VA 23294

Contact: Suzanne Green
(p) 804-218-0616

Notes:
1.) Final street light design subject to change based on final detail design.
2.) Install Per Manufacturers recommendations
3.) Contractor is responsible for providing electrical wiring, hookup, and conduit as needed.

STREETLIGHT SPECIFICATION:

Model: Coordinate w/ Supplier Contact for Specific Item #'s

Quantity: See Plan

Color : Black
(Coordinate w/ LA if questions)

Manufacturer: Niland Company

Supplier: Helfrich Lighting
2569 Homeview Drive
Richmond, VA 23294

Contact: Suzanne Green
(p) 804-218-0616

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STREETLIGHT SPECIFICATION:

Model: Coordinate w/ Supplier Contact for Specific Item #'s

Quantity: See Plan

Color : Black
(Coordinate w/ LA if questions)

Manufacturer: Niland Company

Supplier: Helfrich Lighting
2569 Homeview Drive
Richmond, VA 23294

Contact: Suzanne Green
(p) 804-218-0616

Notes:
1.) Final street light design subject to change based on final detail design.
2.) Install Per Manufacturers recommendations
3.) Contractor is responsible for providing electrical wiring, hookup, and conduit as needed.

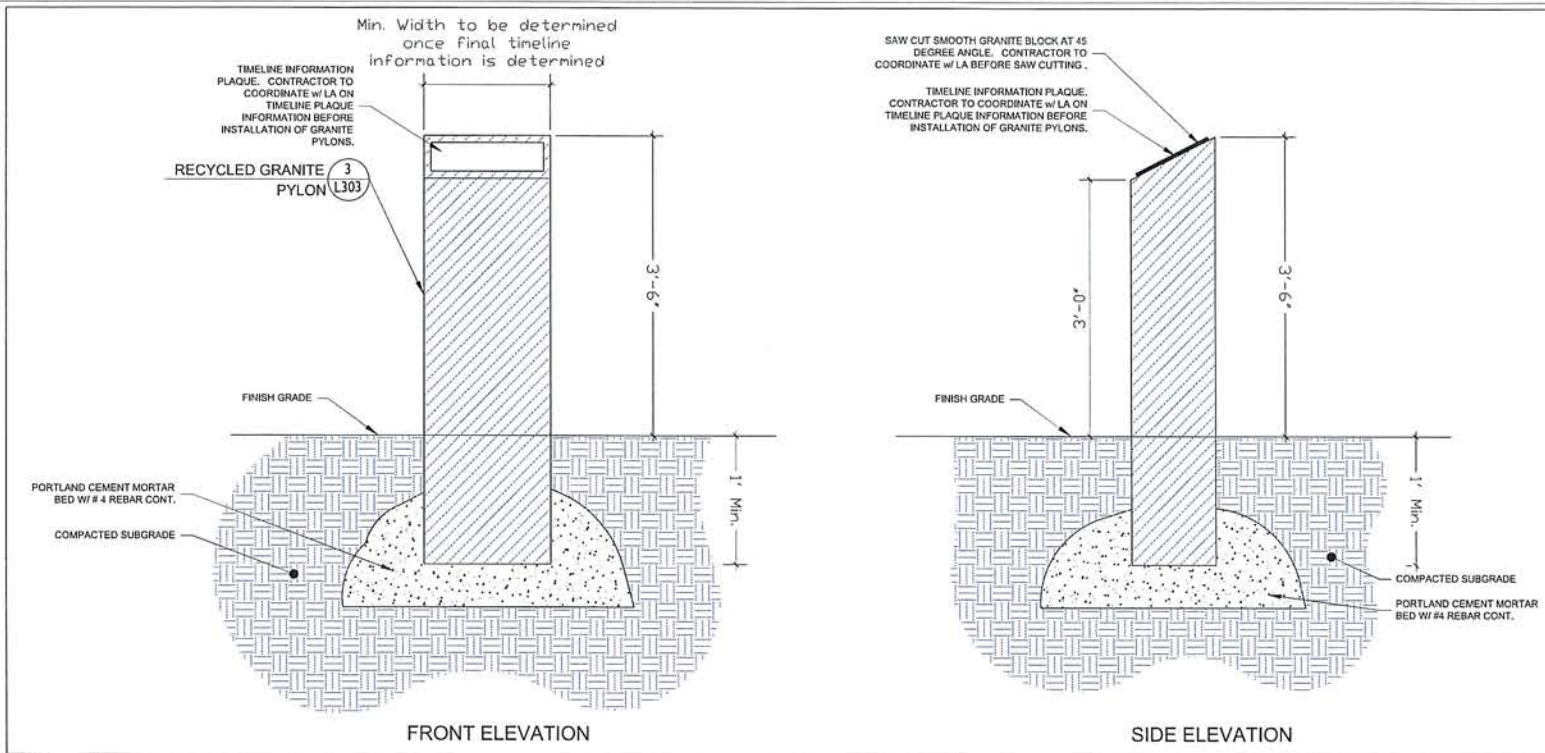
1 STREETLIGHT
Specification N.T.S.

2 BOLLARD LIGHT
Specification N.T.S.

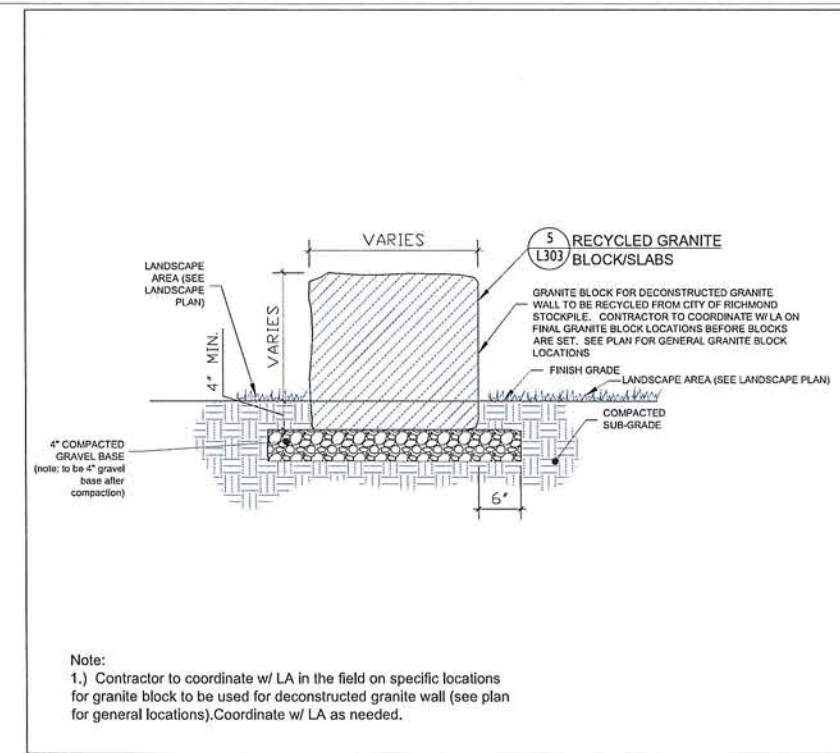
3 TREE UPLIGHT
Specification N.T.S.

Details	
DATE:	07.18.2013
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BY:	
REVISION DESCRIPTION	
DATE:	
Project: HISTORIC FULTON MEMORIAL PARK	
Location: Henrico County, Virginia	
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Scale	
Sheet #	
L304	

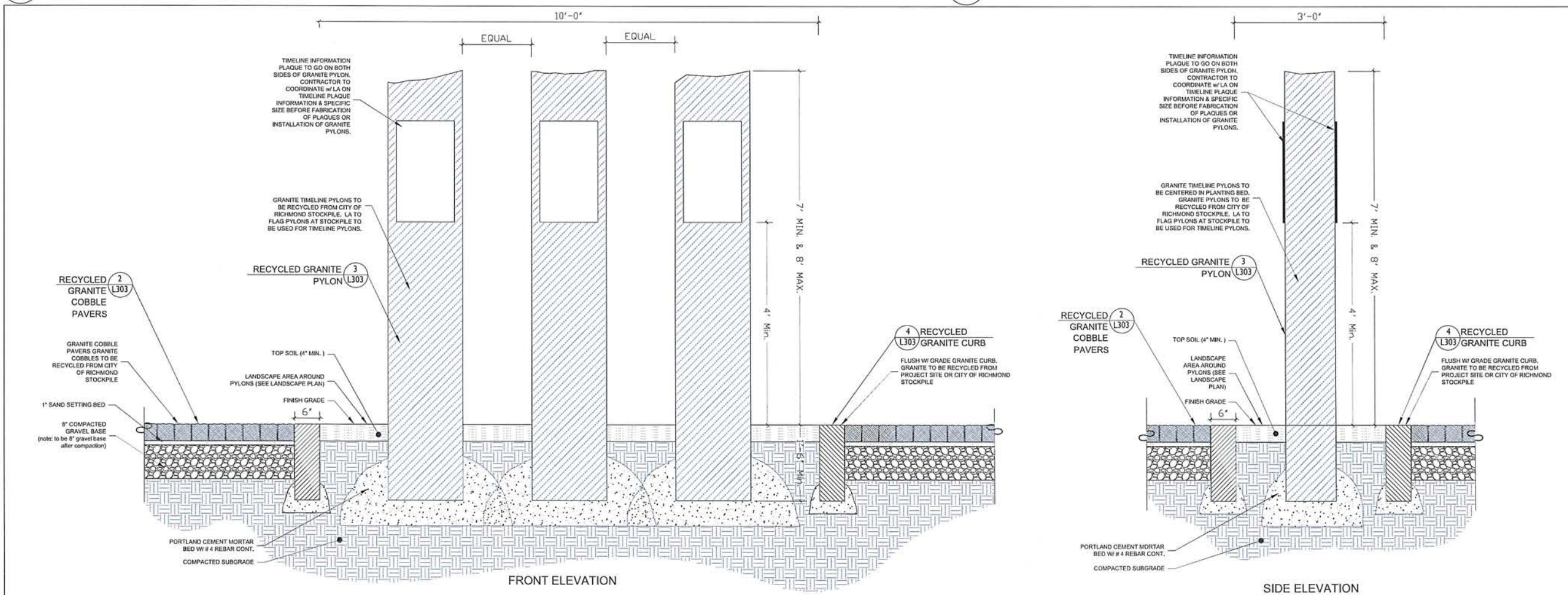
DRAWINGS WERE PREPARED AT THE CITE DESIGN OFFICE
1000 W. MAIN STREET, RICHMOND, VA 23220
P: 804.340.2848 F: 804.340.2656



1 GRANITE TIMELINE PYLON
Elevation N.T.S.



2 DECONSTRUCTED GRANITE WALL
Elevation N.T.S.



3 TIMELINE ROOM GRANITE PYLONS
Elevation N.T.S.

cite design

Details

DATE:	07.18.2013
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3100 W. 8TH STREET, RICHMOND, VA 23220
P.804.340.2848 F.804.340.2656

Project: HISTORIC FULTON MEMORIAL PARK
Location: Henrico County, Virginia

Scale
Sheet #
L306

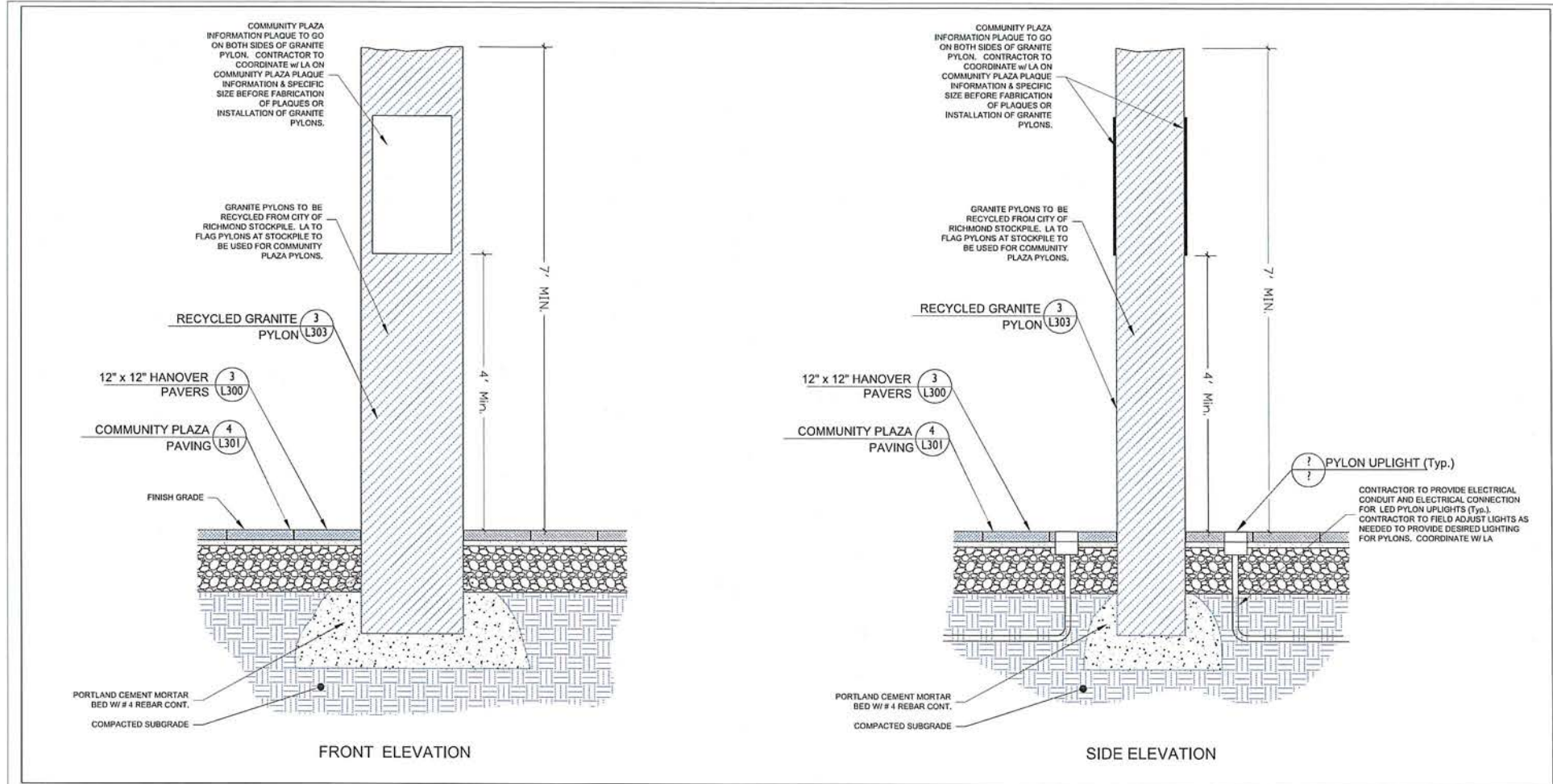
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Project: HISTORIC FULTON MEMORIAL PARK
Location: Henrico County, Virginia
URBAN DESIGN | TOWN PLANNING | LANDSCAPE ARCHITECTURE

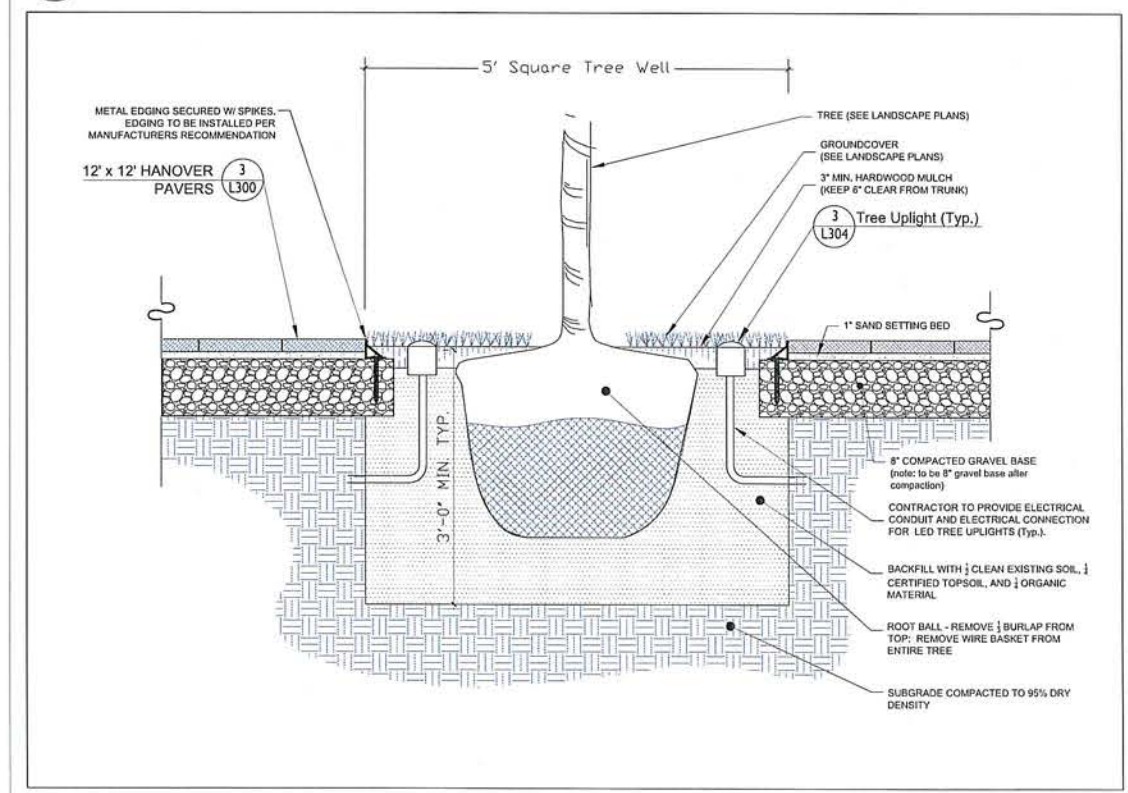
DATE:	07.18.2013
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CHECKED BY:	

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2322 D STREET, RICHMOND, VA 23220
P.804.340.2848 F.804.340.2656

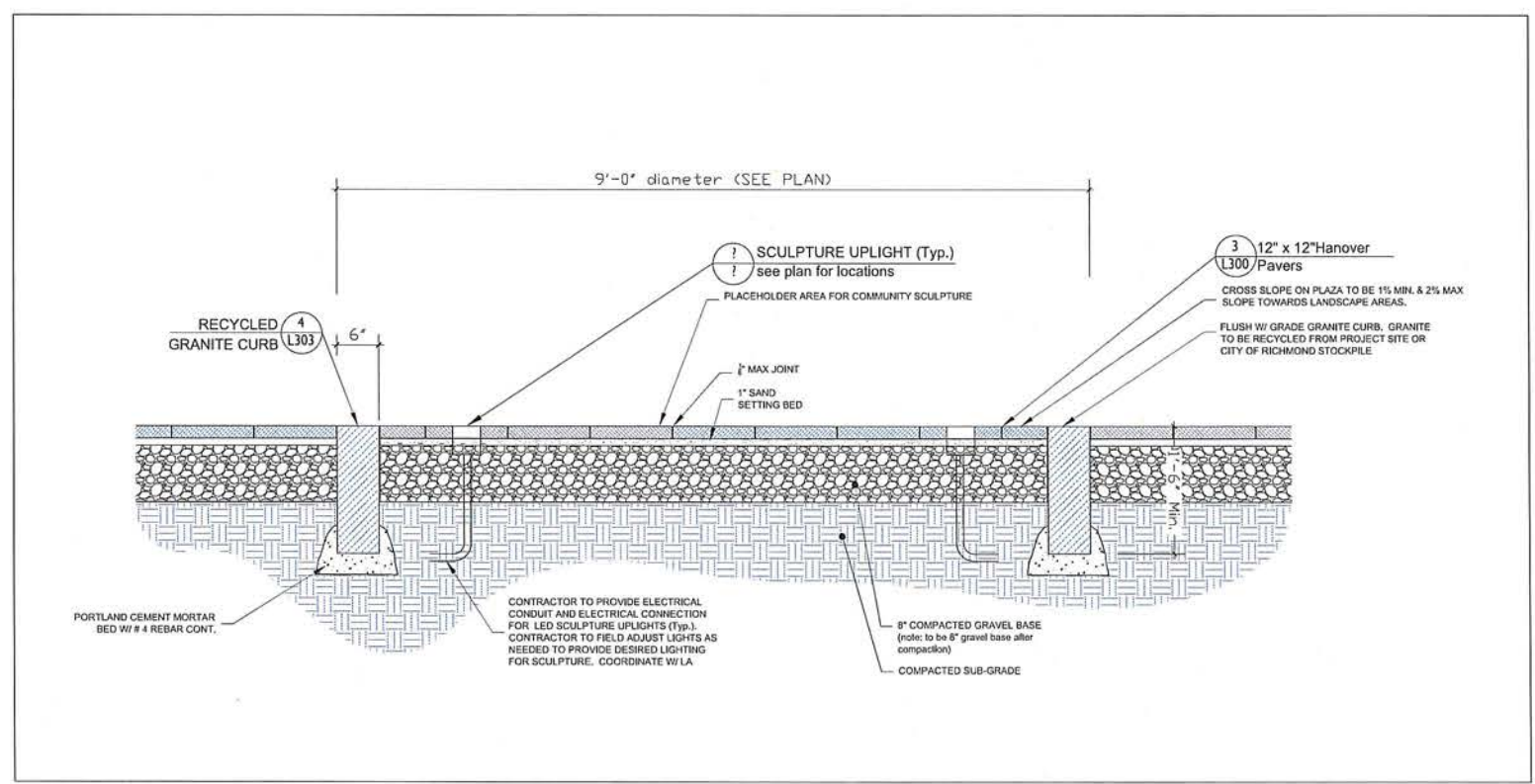
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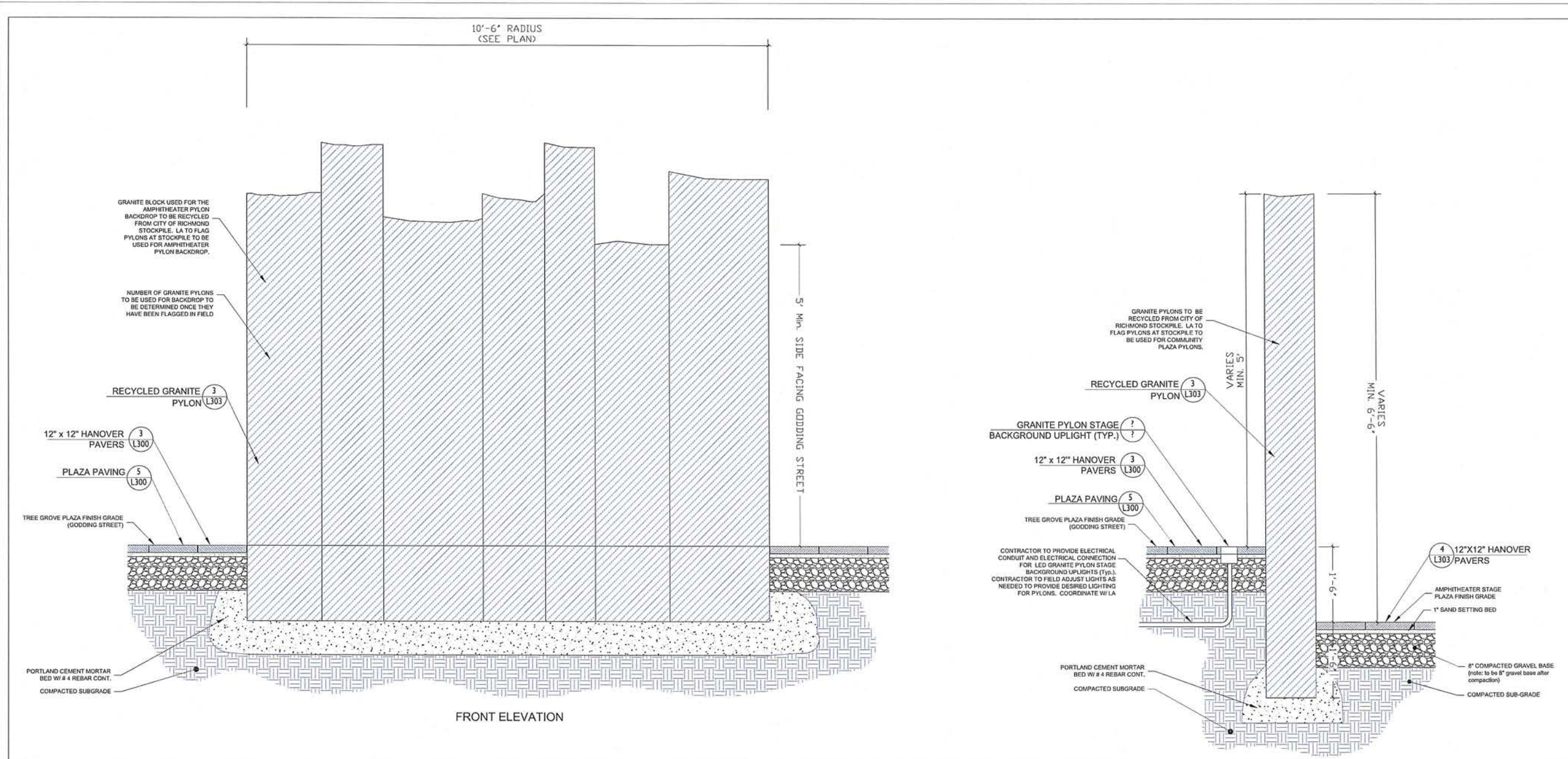
1 COMMUNITY PLAZA GRANITE PYLONS
Elevation N.T.S.



2 5' x 5' TREE WELL
Section N.T.S.



3 SCULPTURE DISPLAY AREA
Section N.T.S.



1 AMPHITHEATER GRANITE PYLON STAGE BACKDROP
Elevation N.T.S.

cite design

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DRAWINGS WERE PREPARED AT THE CITE DESIGN OFFICE
500 N. 40th STREET, RICHMOND, VA 23220
P.804.340.2848 F.804.340.2656

Project: HISTORIC FULTON MEMORIAL PARK
Location: Henrico County, Virginia

URBAN DESIGN | TOWN PLANNING | LANDSCAPE ARCHITECTURE

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L308