

INTRODUCED: June 27, 2022

AN ORDINANCE No. 2022-215

To authorize the special use of the property known as 2301 Old Dominion Street for the purpose of an industrial use within an addition to an existing building, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: JUL 25 2022 AT 6 P.M.

WHEREAS, the owner of the property known as 2301 Old Dominion Street, which is situated in a M-1 Light Industrial District and a R-6 Single-Family Attached Residential District, desires to use such property for the purpose of an industrial use on the portion of the property situated within a R-6 Single-Family Attached Residential District in the form of an addition to an existing building, which use, among other things, is not currently allowed by section 30-412.1 of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 8 NOES: 0 ABSTAIN: _____

ADOPTED: JUL 25 2022 REJECTED: _____ STRICKEN: _____

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 2301 Old Dominion Street and identified as Tax Parcel No. S000-0475/015 in the 2022 records of the City Assessor, being more particularly shown on a survey entitled “Plat Showing Existing Improvements on 2301 Old Dominion Street, Located in the City of Richmond, Virginia,” prepared by The Bay Companies, and dated August 31, 2021, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of an industrial use on the portion of the Property situated within a R-6 Single-Family Attached Residential District in the form of an addition to an existing building, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Addition to J. E. Fifer Sheet Metal Fabricators Inc., 2301 Old Dominion St, Richmond, Virginia,” prepared by TAW Construction LLC, and dated October 18, 2021, “Reno/Addition to Existing Building, 2301 Old Dominion Road, Richmond, Virginia,” prepared by Tim Amos, and dated March 18, 2021, and “Fifer Warehouse addition,” prepared by NLS Lighting, and undated, hereinafter referred to, collectively, as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a)□ The Special Use of the Property shall be as an industrial use in the portion of the Property situated within a R-6 Single-Family Attached Residential District in the form of an addition to an existing building, substantially as shown on the Plans.

(b)□ All building materials, elevations, and site improvements, including landscaping, shall be substantially as shown on the Plans.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

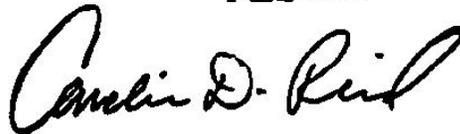
(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

**A TRUE COPY:
TESTE:**

A handwritten signature in black ink, appearing to read "Carolin D. Reed". The signature is written in a cursive, flowing style.

City Clerk



City of Richmond

□□□□ □s □□□□ □d □□□□ □□□□
□d □□□□ □□□□ □□□□ □□□□
R □□□ □□□ □□□□ □□□□ □□□□
□ □□ □□□□ □□□□

Item Request File Number: PRE.2022.0139

O & R Request

DATE: May 27, 2022

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Mayor, by Request)
(This is no way reflects a recommendation on behalf of the Mayor.)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic
Development and Planning

FROM: Kevin J. Vonck, Director, Department of Planning and
Development Review

RE: To authorize the special use of the property known as 2301 Old Dominion Street to allow an addition to the existing building, currently containing an industrial use, upon certain terms and conditions.

ORD. OR RES. No. ____

PURPOSE: To authorize the special use of the property known as 2301 Old Dominion Street to allow an addition to the existing building, currently containing an industrial use, upon certain terms and conditions.

REASON: The applicant is requesting a Special Use Permit which would allow for the construction of a 3,300 square foot addition to an industrial use that is located on a property that is split between the M-1 Light Industrial zone and R-6 Residential (Single-Family Attached) zone, the addition being on the portion of the property that is zoned R-6 which does not allow industrial uses. The addition will also be closer than 5ft to the east property line, which does not meet the requirements of the R-6 zoning district. A Special Use Permit is therefore requested.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its July 18, 2022, meeting.



BACKGROUND: The property is located in the Swansboro neighborhood at 2301 Old Dominion Street between East Pilkington Street and East 21st Street. The property is currently 60,984sq. ft. (.033 acre) in size and contains an existing single story warehouse currently containing an industrial use and associated vehicle storage. The application requests to allow the construction of 3,300 square foot addition a the rear of the building. The property is split between the M-1 Light Industrial zone and R-6 Residential (Single-Family Attached) zone, with the addition located within the R-6 zone.

The City’s Richmond 300 Master Plan designates a future land use for the subject property as Neighborhood Mixed Use. This designation is defined as a “Cluster of medium-density, walkable commercial and residential uses that provide neighborhood services to nearby residential communities and sometimes feature regional attractions.”

Primary Uses: Retail/office/ personal service, multi-family residential, cultural, and open space.
Secondary Uses: Single-family houses, institutional, and government.

The property is split between the M-1 Light Industrial zone and R-6 Residential (Single-Family Attached) zone, with the addition located within the R-6 zone. Adjacent properties are generally zoned M-1 Light Industrial along the front of the subject property and R-6 Residential along the rear. Surrounding land uses include commercial and industrial to either side of the subject property (east, west, southwest) with residential single family to the rear (southwest) of the subject property.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City’s budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: June 27, 2022

CITY COUNCIL PUBLIC HEARING DATE: July 25, 2022

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
July 18, 2022



AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: Ray Roakes, Associate Planner, Land Use Administration
(Room 511) 804-646-5467



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 2301 Old Dominion Street Date: 2/1/22
 Tax Map #: 50000475015 Fee: 1,800
 Total area of affected site in acres: .07

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: R-6

Existing Use: gravel storage yard

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

inside storage / m-1
 Existing Use: gravel storage yard

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Dorenda Etue

Company: TAW Construction
 Mailing Address: 10004 Lickinghole Rd
 City: Ashland State: VA Zip Code: 23005
 Telephone: (804) 441-1677 Fax: (804) 747-9601
 Email: d.etue@taw.us.com

Property Owner: Fifer Properties LLC

If Business Entity, name and title of authorized signee: Jason Fifer

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 2301 Old Dominion St
 City: Richmond State: VA Zip Code: 23224
 Telephone: (804) 233-8403 Fax: (804) 232-6308
 Email: jtfifer@jefifersheetmetal.com

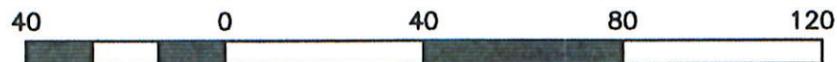
Property Owner Signature: [Signature]

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

GENERAL NOTES:

1. THE LAND DELINEATED HEREON IS LOCATED IN THE CITY OF RICHMOND, VIRGINIA AND IS KNOWN AS PARCEL ID: S0000475015
2. CURRENT OWNER: FIFER PROPERTIES LLC
INST.# 14-22143
3. TOTAL AREA = 1.408 ACRES
4. PROPERTY IS CURRENTLY ZONED: M-1 \approx R-6
5. THIS PLAT IS NOT BASED ON A CURRENT TITLE REPORT AND DOES NOT NECESSARILY SHOW ALL EASEMENTS, COVENANTS AND SERVITUDES OF RECORD.
6. THIS PROPERTY LIES IN AN AREA DESIGNATED AS ZONE "X" AS SHOWN ON FEMA FLOOD RATE MAP COMMUNITY PANEL #5101290039E, REVISED EFFECTIVE DATE 07/16/2014.
7. PROPERTY ADDRESS: 2301 OLD DOMINION ST
RICHMOND, VA 23224

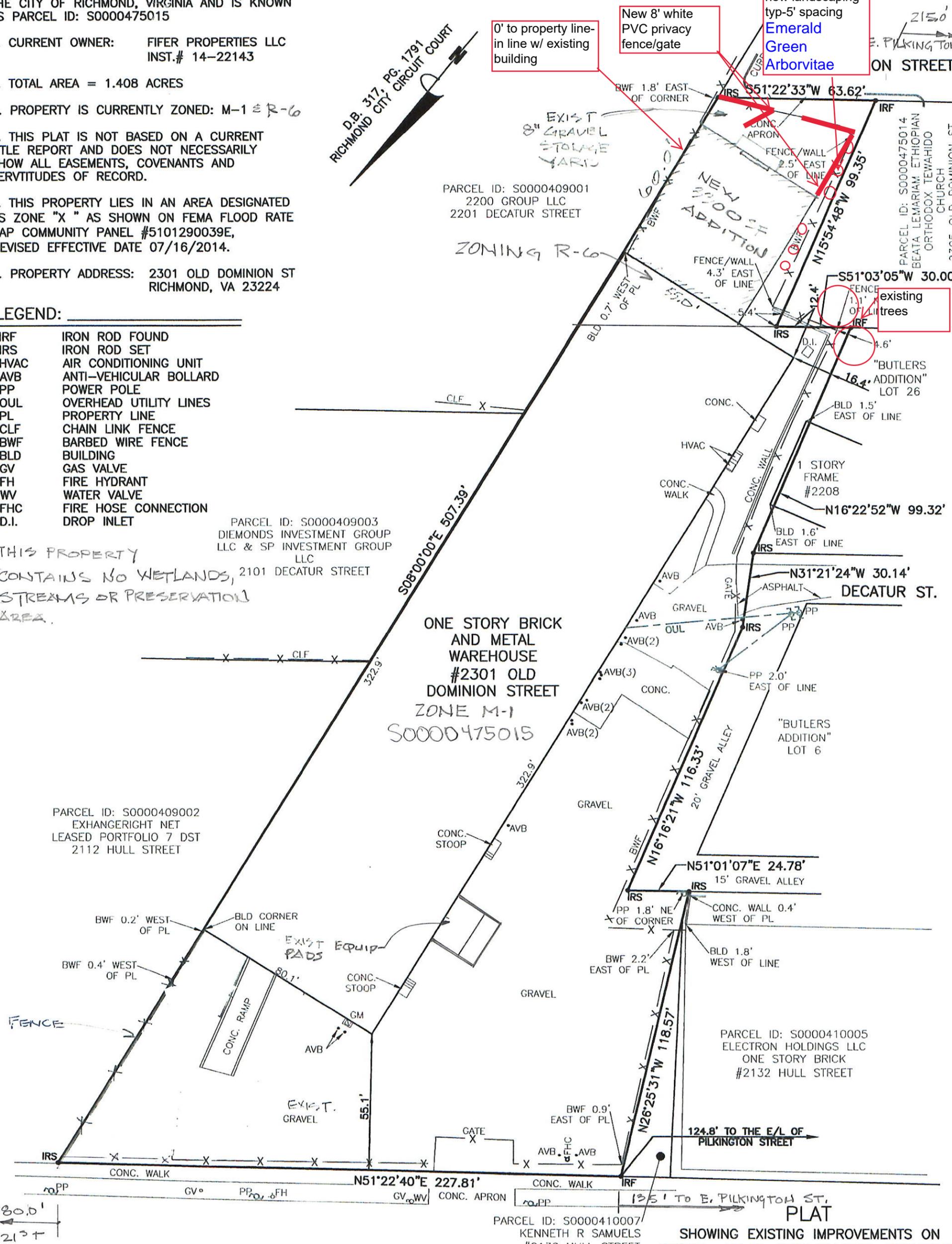


Scale: 1" = 40'

LEGEND:

IRF	IRON ROD FOUND
IRS	IRON ROD SET
HVAC	AIR CONDITIONING UNIT
AVB	ANTI-VEHICULAR BOLLARD
PP	POWER POLE
OUL	OVERHEAD UTILITY LINES
PL	PROPERTY LINE
CLF	CHAIN LINK FENCE
BWF	BARBED WIRE FENCE
BLD	BUILDING
GV	GAS VALVE
FH	FIRE HYDRANT
WV	WATER VALVE
FHC	FIRE HOSE CONNECTION
D.I.	DROP INLET

THIS PROPERTY CONTAINS NO WETLANDS, STREAMS OR PRESERVATION AREA.

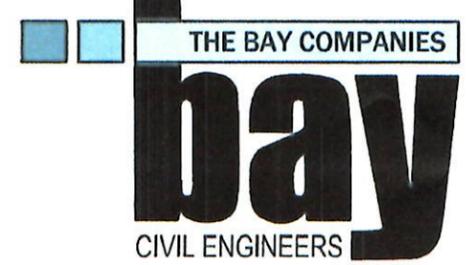
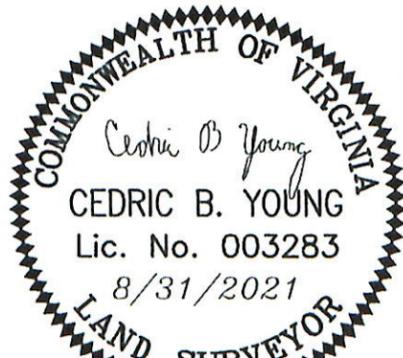


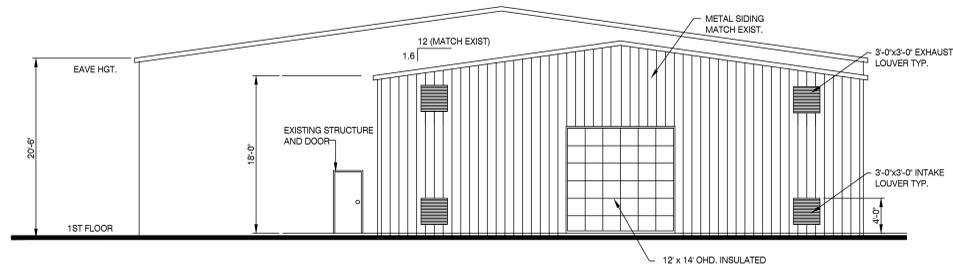
HULL STREET ROAD (U.S. ROUTE 360)

PLAT
SHOWING EXISTING IMPROVEMENTS ON
2301 OLD DOMINION STREET
LOCATED IN THE CITY OF
RICHMOND, VIRGINIA
SCALE: 1" = 40'
DATE: AUGUST 31, 2021

CERTIFICATION:

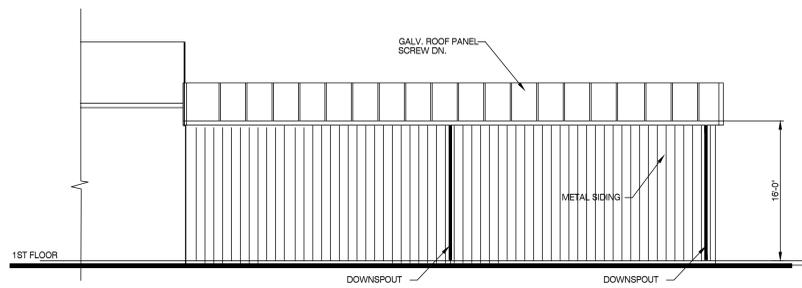
I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND IS BASED ON A CURRENT FIELD SURVEY.





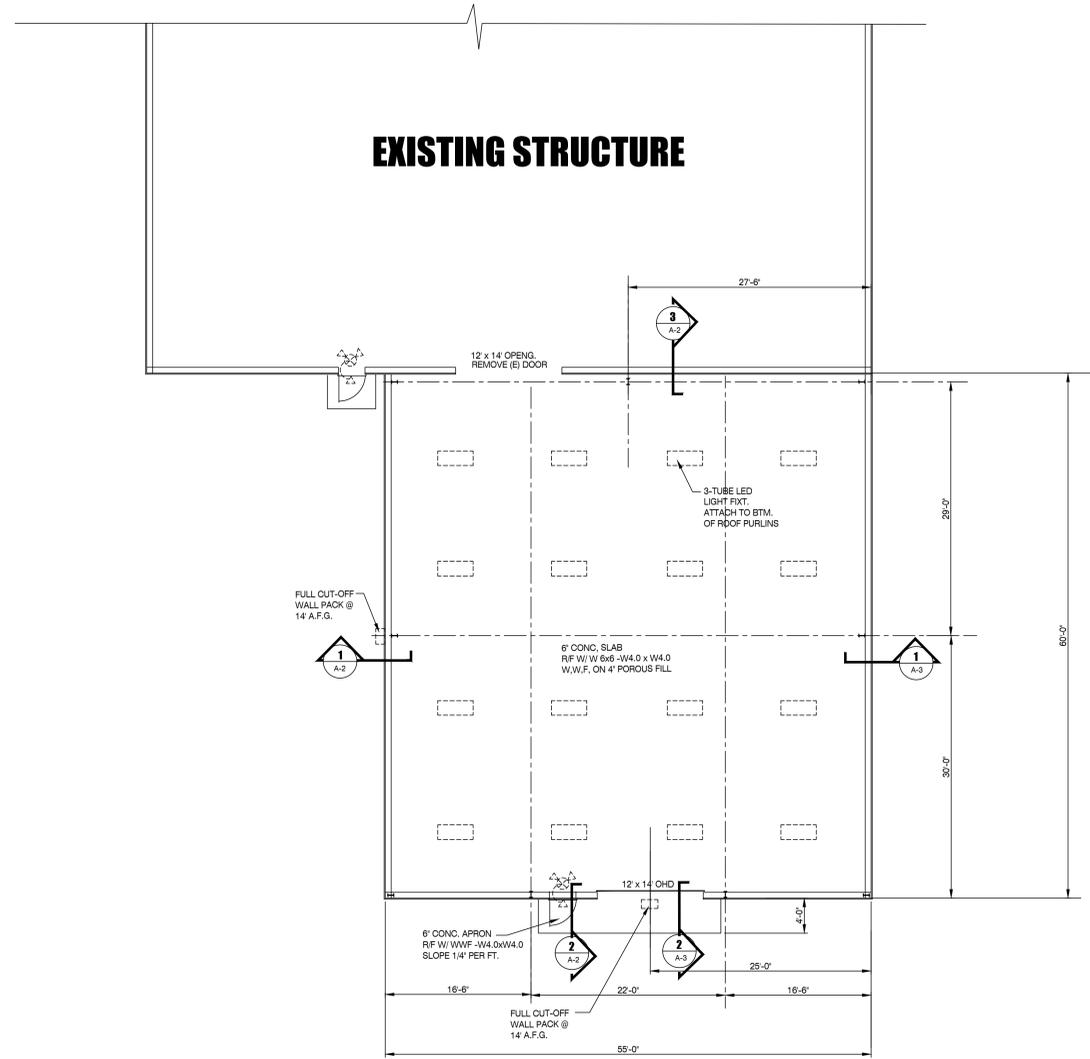
REAR ELEVATION

1/8" = 1'-0"



LEFT & RIGHT ELEVATION

1/8" = 1'-0"



FLOOR PLAN

1/8" = 1'-0"

BUILDING CODE NOTES:

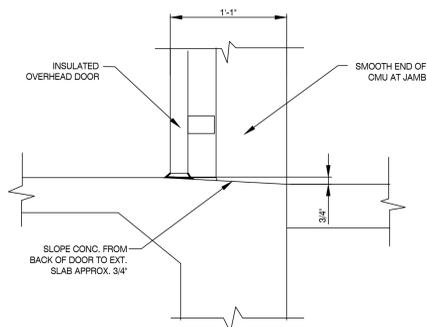
VUSBC / IBC 2015 , ICC / ANSI A117.1 2009
 BUILDING USE : M
 CONSTRUCTION TYPE : IIB SPRINKLERED
 AREA / OCCUPANCY : (S1) 3000 S.F. = 6

TAW CONSTRUCTION LLC
 CLASS "A" CONTRACTOR
 10004 LICKINGHOLE RD
 GLEN ALLEN , VIRGINIA 23059
 CONSTRUCTION / PLANNING / DESIGN
 PHONE: (804) 747-9600 / EMAIL: TAMOS@TAW.US.COM

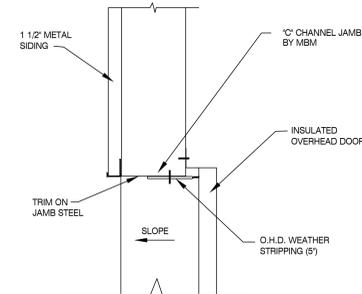


ADDITION TO
J.E. FIFER SHEET METAL
FABRICATORS INC.
 2301 OLD DOMINION ST, RICHMOND, VIRGINIA

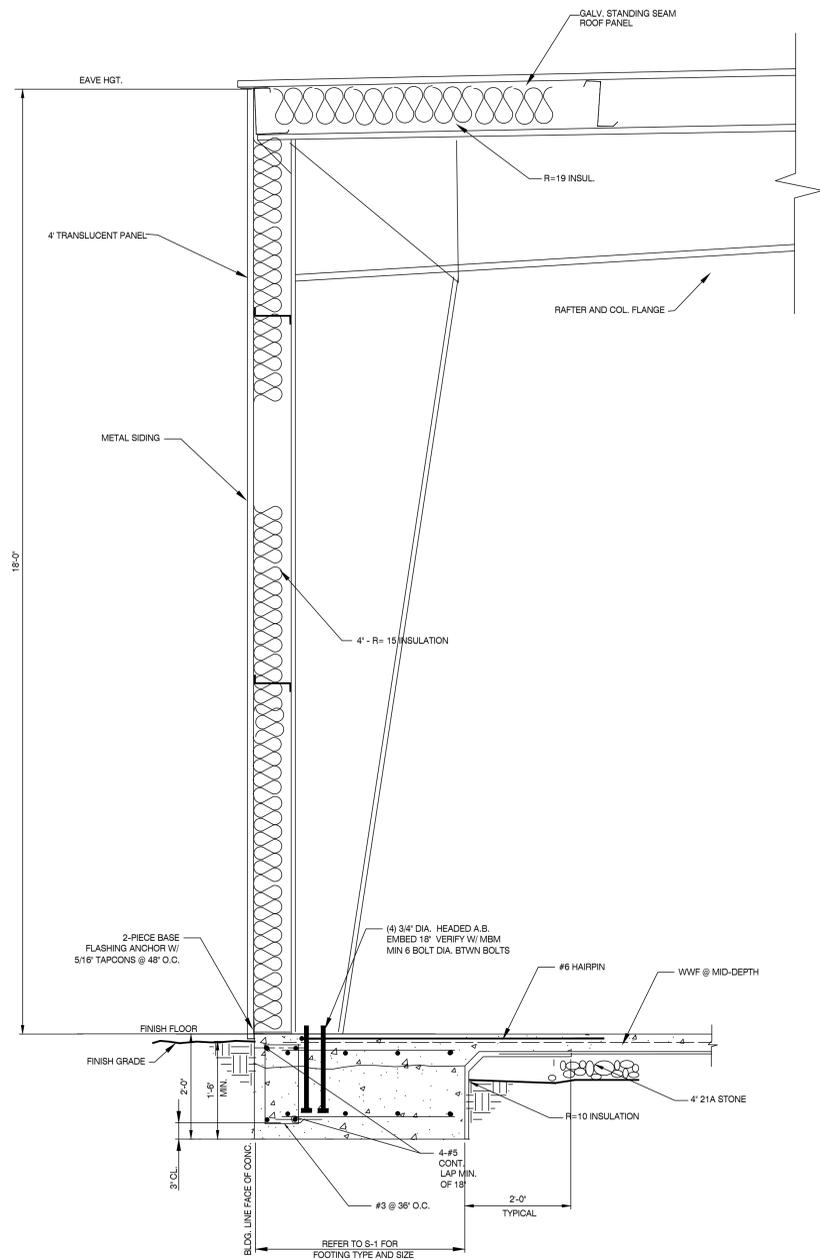
JOB NO:	2119
DATE:	10-18-21
REV:	
SCALE:	AS NOTED
SHEET:	SECTIONS/DETAILS



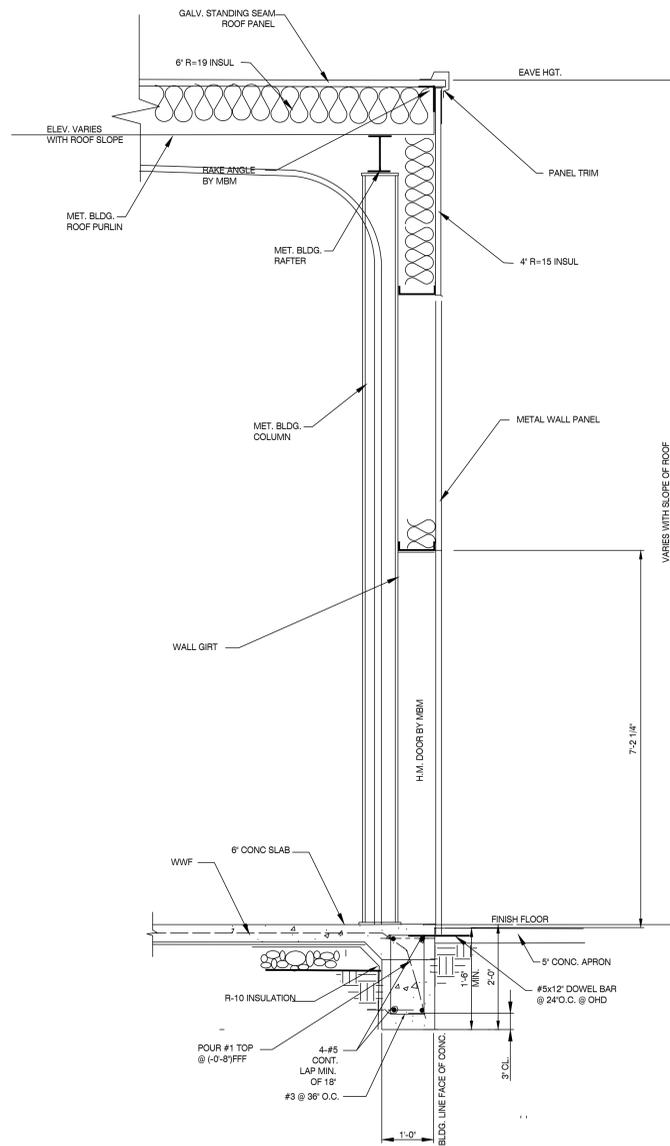
DETAIL A
1 1/2" = 1'-0"



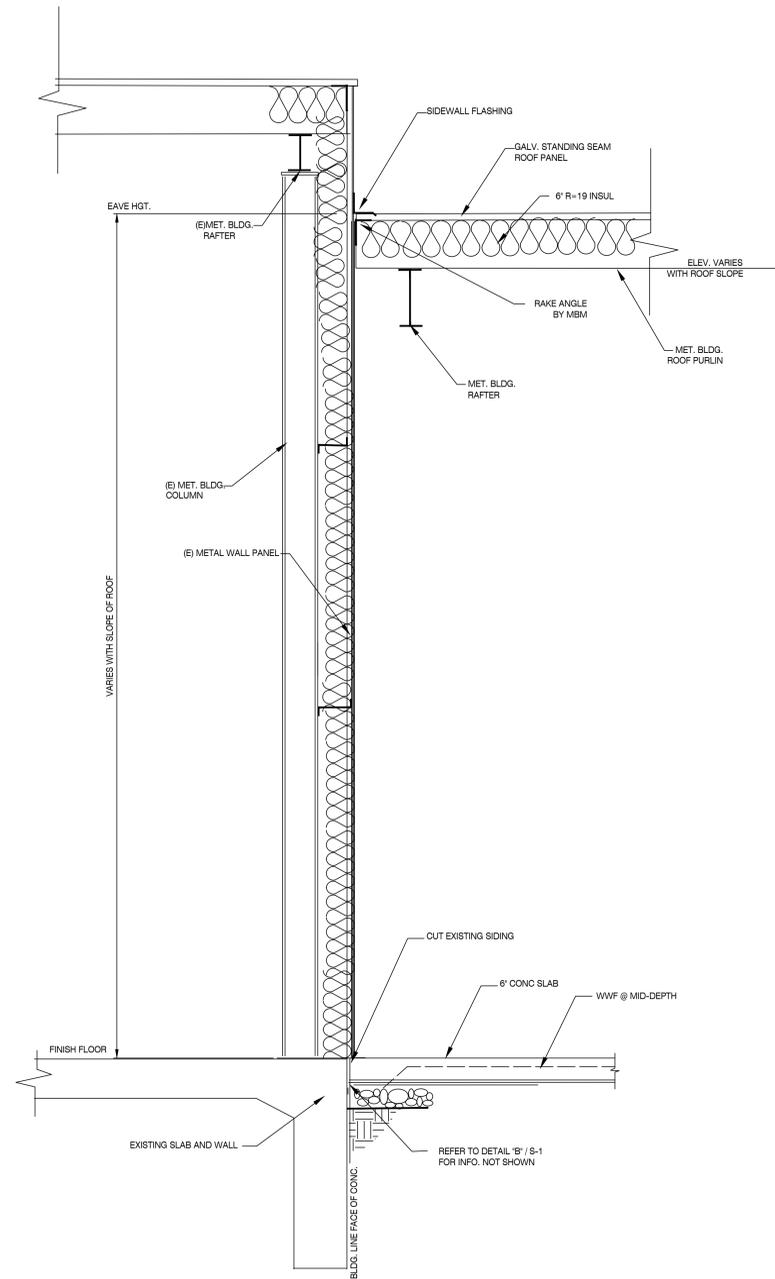
DETAIL B
1 1/2" = 1'-0"



SECTION 1
3/4" = 1'-0"



SECTION 2
3/4" = 1'-0"



SECTION 3
3/4" = 1'-0"

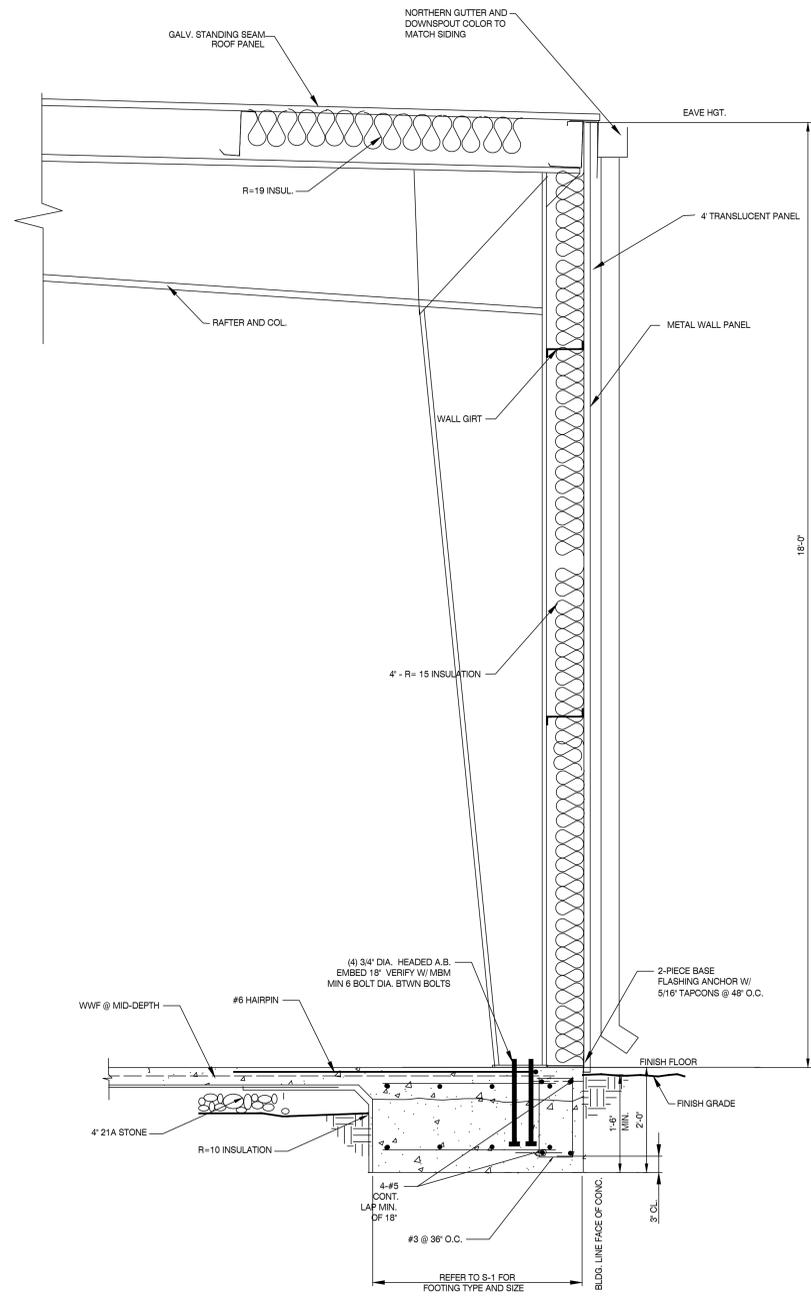
TAW CONSTRUCTION LLC
CLASS "A" CONTRACTOR
1 0004 LICKINGHOLE RD
GLEN ALLEN, VIRGINIA 23059
CONSTRUCTION / PLANNING / DESIGN
PHONE: (804) 747-9600 / EMAIL: TAMOS@TAW.US.COM

JZ
STRUCTURAL CONSULTING, INC
42820 NATIONS ST
CHANTILLY, VA 20152
P (703) 327-9912 F (703) 327-8285

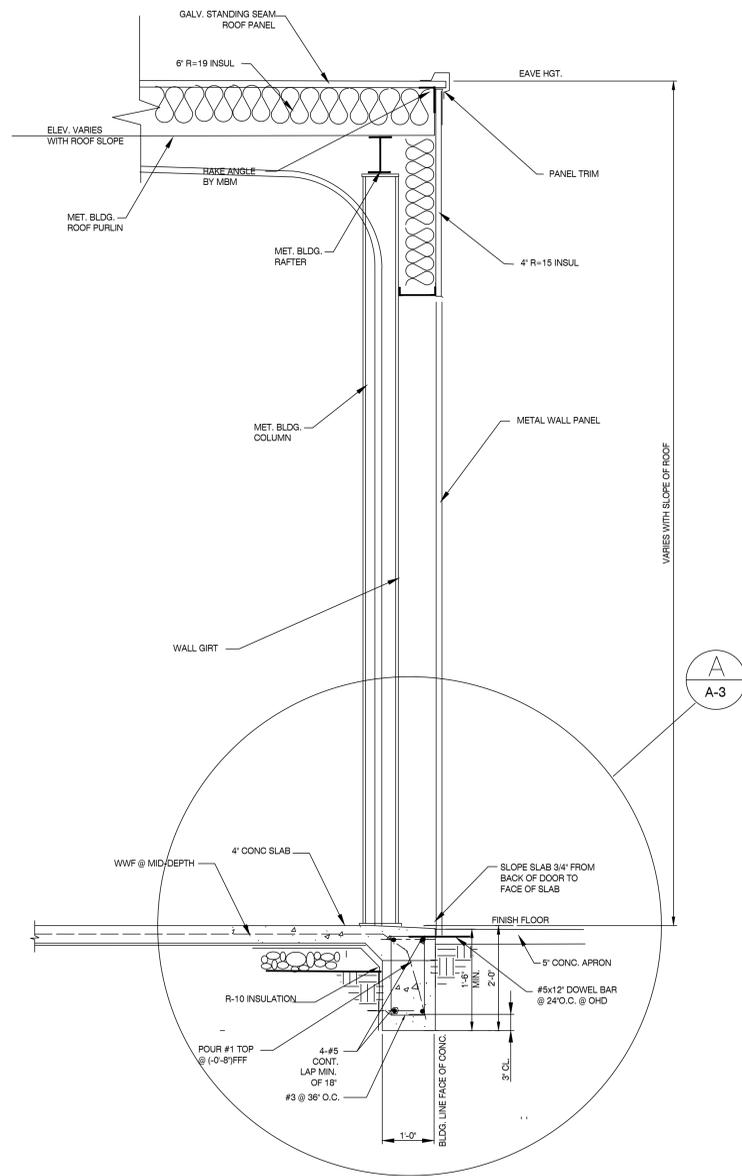
ADDITION TO
J.E. FIFER SHEET METAL
FABRICATORS INC.
2301 OLD DOMINION ST, RICHMOND, VIRGINIA

JOB NO:	2119
DATE:	10-18-21
REV:	
SCALE:	AS NOTED
SHEET:	SECTIONS/DETAILS

A-2
© TAW CONSTRUCTION LLC



SECTION 1
3/4" = 1'-0"



SECTION 2
3/4" = 1'-0"

TAW CONSTRUCTION LLC
CLASS "A" CONTRACTOR
10004 LICKINGHOLE RD
GLEN ALLEN, VIRGINIA 23059
CONSTRUCTION / PLANNING / DESIGN
PHONE: (804) 747-9600 / EMAIL: TAMOS@TAW.US.COM



ADDITION TO
J.E. FIFER SHEET METAL
FABRICATORS INC.
2301 OLD DOMINION ST, RICHMOND, VIRGINIA

JOB NO:	2119
DATE:	10-18-21
REV:	
SCALE:	AS NOTED
SHEET:	SECTIONS/DETAILS

A-3
© TAW CONSTRUCTION LLC

GENERAL NOTES

PRE-ENGINEERED BUILDINGS:

- THE DESIGN SHALL BE THE RESPONSIBILITY OF THE PRE-ENGINEERED BUILDING MANUFACTURER AND SHALL BE PREPARED UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER REGISTERED IN THE COMMONWEALTH OF VIRGINIA.
- DESIGN CRITERIA
 - PRIMARY AND SECONDARY STRUCTURAL MEMBERS AND EXTERIOR COVERING MATERIALS: METAL BUILDING MANUFACTURERS ASSOCIATION'S (MBMA) 'DESIGN PRACTICES MANUAL'.
 - STRUCTURAL STEEL MEMBERS: AMERICAN INSTITUTE OF STEEL CONSTRUCTIONS (AISC) 'SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS'.
 - LIGHT GAGE STEEL MEMBERS: AMERICAN IRON AND STEEL INSTITUTE'S (AISI) 'SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS' AND 'DESIGN OF LIGHT GAGE STEEL DIAPHRAGMS'.
 - FOR WELDED CONNECTIONS: AMERICAN WELDING SOCIETY'S (AWS) 'STANDARD CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION'.
- DESIGN LOADS: BASIC DESIGN LOADS, AS WELL AS AUXILIARY AND COLLATERAL LOADS, ARE INDICATED BELOW.
 - GRAVITY LIVE LOADS, WIND AND SEISMIC LOADS AS INDICATED IN 'DESIGN LIVE LOADS' SECTION OF THESE NOTES.
 - BASIC DESIGN LOADS INCLUDE, IN ADDITION TO DEAD LOAD, LIVE LOAD, WIND LOAD, SEISMIC LOAD, CRANE LOAD WHERE INDICATED ON THE DRAWINGS.
 - AUXILIARY LOADS INCLUDE DYNAMIC LIVE LOADS SUCH AS THOSE GENERATED BY CRANES AND MATERIALS HANDLING EQUIPMENT.
 - COLLATERAL LOADS INCLUDE ADDITIONAL DEAD LOADS OVER AND ABOVE THE WEIGHT OF THE METAL BUILDING SYSTEM SUCH AS MECHANICAL SYSTEMS, LIGHTING, MEZZANINE FLOOR LOADS.
 - DESIGN EACH MEMBER TO WITHSTAND STRESSES RESULTING FROM COMBINATIONS OF LOADS THAT PRODUCE ALLOWABLE STRESSES IN THAT MEMBER, AS PRESCRIBED IN MBMA'S 'DESIGN PRACTICES MANUAL'.
- SUBMIT COMPLETE DESIGN CALCULATIONS AND ERECTION DRAWINGS SHOWING ANCHOR BOLT SETTINGS, SIDEWALL, ENDWALL, AND ROOF FRAMING, TRANSVERSE CROSS SECTIONS, COVERING AND TRIM DETAILS, AND ACCESSORY INSTALLATION DETAILS TO CLEARLY INDICATE PROPER ASSEMBLY OF BUILDING COMPONENTS.
- DESIGN CALCULATIONS AND ERECTION DRAWINGS SHALL BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE COMMONWEALTH OF VIRGINIA.

DESIGN LOADS:

- ROOF LIVE LOAD: 20 PSF OR ROOF SNOW LOAD WHICHEVER IS GREATER
- ROOF COLLATERAL: 5 PSF
- GROUND SNOW LOAD (Pg): 20 PSF
- LATERAL LOADS:
 - WIND LOAD: BASIC WIND SPEED (V30) = 90 MPH
 - EXPOSURE CATEGORY: 'B'
 - IMPORTANCE FACTOR, I = 1.0
- SEISMIC DESIGN:
 - SPECTRAL ACCELERATION VALUES: S_s = 0.240, S₁ = 0.062

GENERAL:

- IBC LATEST ADDITION (AS AMENDED)
- J2C CONSULTING HAS PROVIDED STRUCTURAL DESIGN DOCUMENTS FOR THE BUILDING FOUNDATION OF THE METAL BLDG. MANUFACTURER IS RESPONSIBLE FOR THE BUILDING ROOF, DECK, PURLINS, GIRTS, AND MAIN FRAMES INCLUDING ANCHOR BOLT SIZE AND LOCATION. THE MANUFACTURER SHALL IDENTIFY ALL LOADS PLACED ON THE BUILDING FRAMING INCLUDING WIND, SEISMIC, LIVE, SNOW, COLLATERAL (SPRINKLER, INSULATION, CEILING, MECHANICAL, PLUMBING, ARCHITECTURAL) FROM THE APPROPRIATE PLANS SPECIFICATIONS AND SHOP DRAWINGS. THE MANUFACTURER SHALL PROVIDE SUPPORT BOTH HORIZ. AND VERT. AND FOR WALLS AND SECTIONS OF WALLS AS REQUIRED BY CONTRACT DOCUMENTS WITHIN PRESCRIBED DRIFT AND DEFLECTION LIMITS FOR THE TYPE OF CLADDING MATERIAL SUPPORTED. LIVE LOAD REDUCTION (ASCE 705) IS NOT PERMITTED TO BE USED IN THE DESIGN OF BUILDING PURLINS, GIRTS OR FRAMES. FOR DESIGN PURPOSES A 10 YEAR WIND MAY BE TAKEN AS 75% OF THE 50 YEAR DESIGN WIND.
- STRUCTURAL DRAWINGS ARE INTENDED TO BE USED IN CLOSE COORDINATION WITH METAL BUILDING DRAWINGS; ANY DIMENSIONAL DISCREPANCY OR OMISSION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE BEGINNING CONSTRUCTION.
- VERIFY AND COORDINATE ALL MECHANICAL UNIT SUPPORTS AND OPENINGS WITH EQUIPMENT PURCHASED FOR THE PROJECT. SHOP DRAWINGS SUBMITTED SHALL INDICATE ACTUAL MECHANICAL REQUIREMENTS.

CONCRETE:

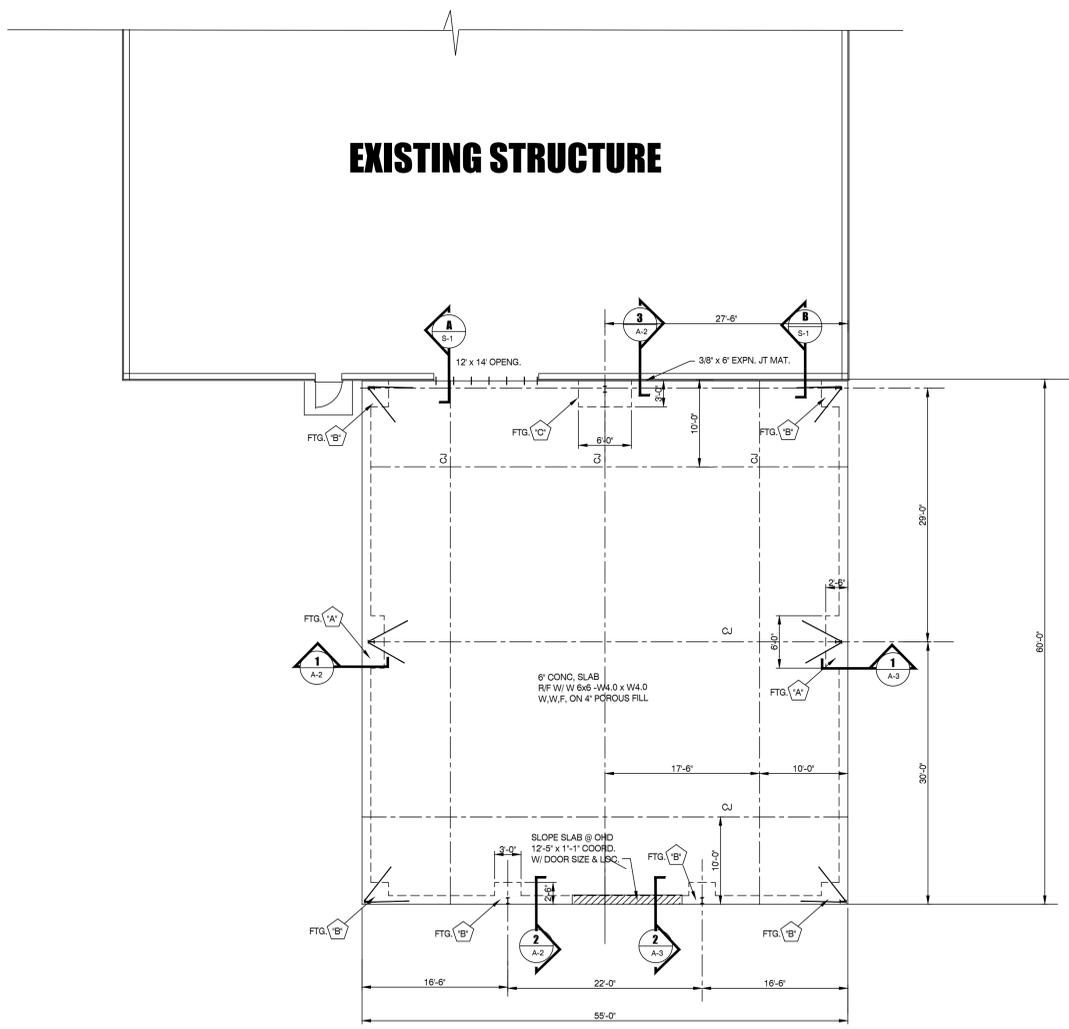
- CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ACI 318-95 'BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE' WITH COMMENTARY AND SHALL HAVE THE FOLLOWING PROPERTIES:
 - SLUMP 2"-4"
 - MAXIMUM AGGREGATE 1" MAXIMUM NORMAL WEIGHT.
 - AIR ENTRAIN ALL EXTERIOR CONCRETE 6% ± 1.5.
 - MINIMUM 28 DAY COMPRESSIVE STRENGTH:
 - FOOTINGS 3500 PSI
 - INTERIOR & EXT. SLAB ON GRADE 3500 PSI

FLY ASH OR GROUND GRANULATED BLAST-FURNACE SLAG MAY BE USED AS A SUBSTITUTE FOR A PORTION OF THE PORTLAND CEMENT IN A CONCRETE MIX. FLY ASH, WHEN USED, SHALL CONFORM TO ASTM C618, CLASS F, GROUND GRANULATED BLAST-FURNACE SLAG, WHEN USED, SHALL CONFORM TO ASTM C989, GRADE 120. CONCRETE MIXES USING EITHER OF THESE MATERIALS SHALL BE PROPORTIONED TO ACCOUNT FOR THE SPECIFIC PROPERTIES OF BOTH THE MATERIAL USED AS WELL AS THE CONCRETE PRODUCED. WHEN USED, THE RATIO OF THE AMOUNT OF EITHER MATERIAL TO THE TOTAL AMOUNT OF MATERIAL AND PORTLAND CEMENT IN THE MIX SHALL NOT EXCEED 25%. THE USE OF EITHER MATERIAL IS AT THE OPTION OF THE GENERAL CONTRACTOR, NOT CONCRETE SUPPLIER.

- REINFORCING:
 - #4 OR GREATER: ASTM A615 GRADE 40, UNLESS OTHERWISE INDICATED.
 - WELDED WIRE FABRIC: ASTM A185
- PROVIDE 4" STONE BASE (VDOT #57) AND 10 MIL POLYETHYLENE VAPOR RETARDER. CONCRETE SLABS SHALL BE LEVEL TO WITHIN 1/4" IN 10'-0", UNLESS OTHERWISE INDICATED.
- REINFORCE ALL RE-ENTRANT CORNERS OF SLAB CASTINGS WITH 2-#4 x 3'-0" LONG IN ADDITION TO WELDED WIRE FABRIC SPECIFIED.
- WHERE FLOOR SLAB ABUTS CMU OR CONCRETE WALL, PROVIDE BOND BREAK BY TURNING UP VAPOR RETARDER AT PERIMETER.
- CONCRETE CONTRACTOR SHALL COORDINATE WITH ALL OTHER SUB-CRONTACTORS TO PROVIDE INSERTS, SLEEVES AND WELD PLATES FOR FUTURE ATTACHMENT OF WORK BY OTHER TRADES.
- PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:
 - CONCRETE CAST AGAINST EARTH 3 INCHES
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - #5 OR SMALLER 1-1/2 INCHES
 - #6 OR LARGER 2 INCHES
 - OTHER CONCRETE: SLABS & WALLS 3/4 INCHES
- REINFORCING STEEL SHALL CONFORM TO A615-GR60; MESH SHALL CONFORM TO ASTM A185 WITH MINIMUM LAPS OF 8". PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES. FINISH SUPPORT BARS AND ACCESSORIES IN ACCORDANCE WITH C.R.S.I. STANDARDS.
- ANCHOR BOLTS SHALL BE A36 AND SHALL BE PLACED PER ANCHOR BOLT PLAN BY CHIEF, THE BUILDING MANUFACTURER.

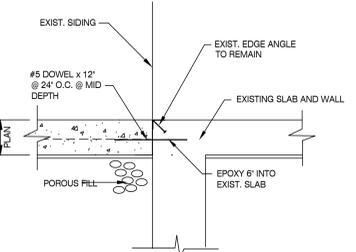
EARTHWORK:

- SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 2000 PSF. THIS VALUE WILL BE VERIFIED BY ATLANTIC GEOTECHNICAL SERVICES, INC. IN THE FIELD PRIOR TO CONSTRUCTING FOOTINGS.
- BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 1'-6" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.
- COMPACTED BACKFILL BELOW BUILDING SLABS - ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. MATERIALS TO BE FREE FROM ORGANIC MATERIAL, TRASH, MUCK, CONCRETE, ASPHALT OR OTHER DELETERIOUS SUBSTANCES. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO MIN. 95% OF THE DRY MAX. DENSITY AS DETERMINED BY ASTM D698.

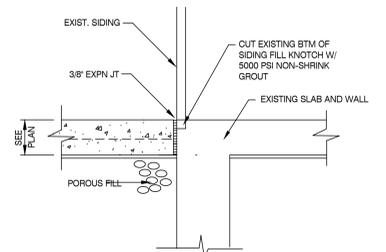


FOUNDATION PLAN

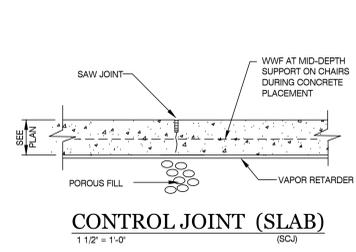
1/8" = 1'-0"



DETAIL "A"
1 1/2" = 1'-0"

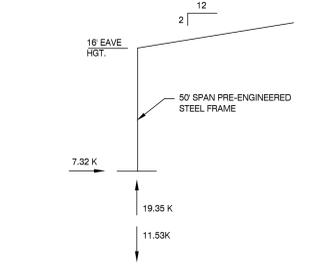


DETAIL "B"
1 1/2" = 1'-0"



CONTROL JOINT (SLAB)
1 1/2" = 1'-0"

NOTES:
1. SAWCUT 1/8" x 1/4" SLAB THICKNESS AS SOON AS CONCRETE WILL SUPPORT EQUIPMENT AND NOT MORE THAN (4) HOURS AFTER PLACEMENT.



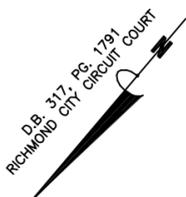
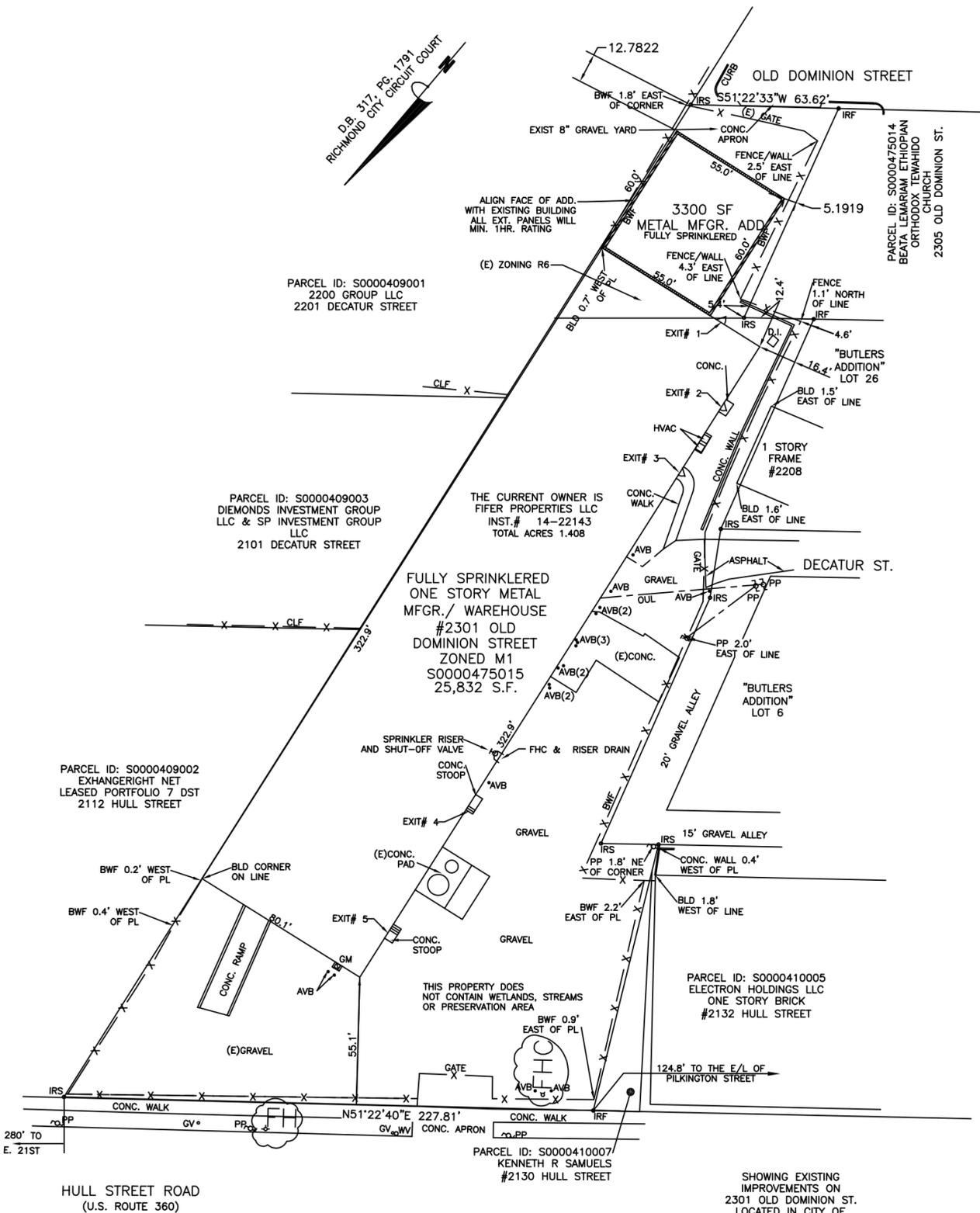
REACTION DIAGRAM
THE FOUNDATION IS DESIGNED FOR THE REACTIONS SHOWN.

TAW CONSTRUCTION LLC
CLASS "A" CONTRACTOR
10004 LICKINGHOLE RD
GLEN ALLEN, VIRGINIA 23059
CONSTRUCTION / PLANNING / DESIGN
PHONE: (804) 747-9600 / EMAIL: TAMOS@TAW.US.COM

JZ
STRUCTURAL CONSULTING, INC.
42820 NATIONS ST
CHANTILLY, VA 20152
P (703) 327-9912 F (703) 327-8286

ADDITION TO
J.E. FIFER SHEET METAL
FABRICATORS INC.
2301 OLD DOMINION ST, RICHMOND, VIRGINIA

JOB NO:	2119
DATE:	10-18-21
REV:	
SCALE:	AS NOTED
SHEET:	SECTIONS/DETAILS



RENO/ADDITION TO EXISTING BUILDING
 2301 OLD DOMINION ROAD
 RICHMOND, VIRGINIA

- LEGEND:**
- | | | | |
|------|------------------------|------|------------------|
| IRF | IRON ROD FOUND | PL | PROPERTY LINE |
| IRS | IRON ROD SET | CLF | CHAIN LINK FENCE |
| HVAC | AIR CONDITION UNIT | BWF | BARB WIRE FENCE |
| AVB | PIPE BOLLARD | GV | GAS VALVE |
| PP | POWER POLE | FH | FIRE HYDRANT |
| OUL | OVERHEAD UTILITY LINES | WV | WATER VALVE |
| | | FHC | FIRE HOSE CONN. |
| | | D.I. | DROP INLET |

THIS PROPERTY LIES IN AN AREA DESIGNATED AS ZONE "X" AS SHOWN ON FEMA FLOOD RATE MAP COMMUNITY PANEL #5101290039E. REVISED EFFECTIVE DATE 07/16/2014

THE LAND DELINEATED HERON IS LOCATED IN THE CITY OF RICHMOND, VIRGINIA AND IS KNOWN AS PARCEL ID: S0000475015



FIRE PLAN

1" = 40'

COMMISSION NO.: 2110

DATE: 3-18-22
 REVISIONS:
 DRAWN BY: TIM AMOS
 REVIEWED BY:

FIRE PLAN



ELECTRICAL

- 120-277 Volts (UNV)
- 0-10V dimming driver by Philips Advance
- Driver power factor at maximum load is $\geq .95$, THD maximum load is 15%
- All internal wiring UL certified for 600 VAC and 105°C
- All drivers, controls, and sensors housed in enclosed IP-65 compartment
- Lumileds Luxeon MX LED's
- CRI >70 MIN.
- Color temperatures: 3000K, 4000K, 5000K

OPTIONS

- **MARINE GRADE FINISH (MGF)**—A multi-step process creating protective finishing coat against harsh environments.
 - Chemically washed in a 5 stage cleaning system.
 - Pre-baked
 - Powder coated 3-5 mils of Zinc Rich Super Durable Polyester Primer.
 - 1-2 feet inside pole coverage top and bottom.
 - Oven Baked.
 - Finished Powder Coating of Super Durable Polyester Powder Coat 3-5 mil thickness.
- **VANITY PLATE (VP)**—The Vanity Plate was designed to cover the unsightly remains on a wall where a larger HID wallpack was removed. The Vanity Plate will be painted to match the finish of the NV-W, custom finishes are available, please consult factory. The standard Vanity Plate is 16" x 16".

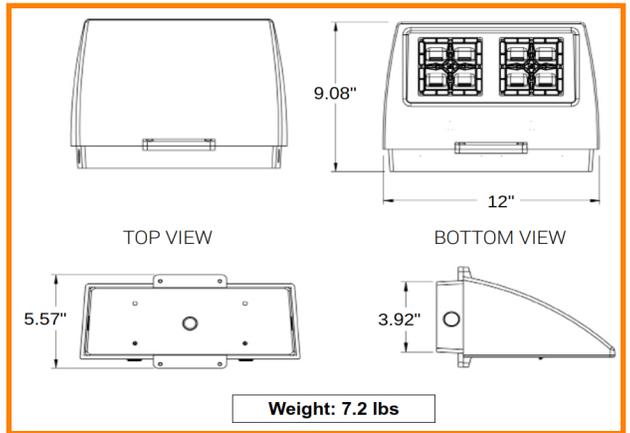
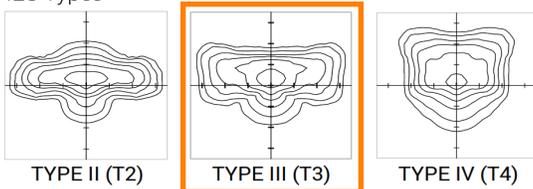
CONTROLS

- **DIMMING CONTROL (DCX)**—Passive infrared (PIR) sensor providing multi-level control based on motion/daylight contribution.
 - All control parameters adjustable via wireless configuration remote storing and transmitting sensor profiles.
 - DC8 mounting heights 8 feet and below
 - DC20 mounting heights 9-20 feet
 - DC40 mounting heights 21-40 feet.
 - Includes 5 dimming event cycles, 0-10V dimming with motion sensing, reprogrammable in the field.
- **NEMA 7-PIN RECEPTACLE (PE7)**—An ANSI C136.41-2013 receptacle provides electrical and mechanical interconnection between photo control cell and luminaire. Dimming receptacle available two or four dimming contacts supports 0-10 VDC dimming methods or Digital Addressable Lighting Interface (DALI), providing reliable power interconnect.
- **EMERGENCY BATTERY OPERATION**— The emergency battery backup is integral to the NV-W. All emergency backup configurations include a standalone secondary driver with integral relay to detect power loss. This meets NFPA 70/NEC 2008. The emergency battery will power the NV-W for 90 minutes once power is lost. Emergency battery pack are of NiCAD batteries. (EMCP) Emergency Cold Pack Batteries are rated for -20°C to 50°C.

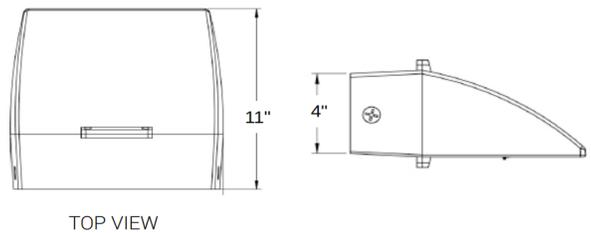
OPTICS

Silicone optics high photothermal stability and light output provides higher powered LEDs with minimized lumen depreciation LED life. UV and thermal stability with scratch resistance increases exterior application durability.

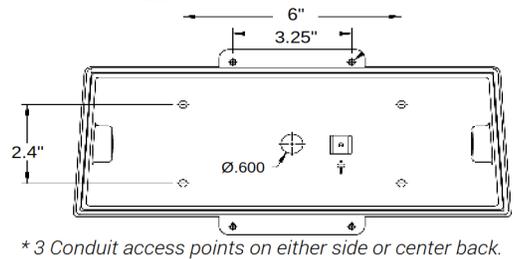
- IES Types



EMERGENCY BATTERY AND 7-PIN EXTENSION BOX DIMENSIONS



MOUNTING HOLE



MOTION SENSOR PLACEMENT



VANITY PLATE (VP)

