



# COMMISSION OF ARCHITECTURAL REVIEW

## APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

**PROPERTY** (location of work)

Address 200 W Marshall Street  
Historic district Jackson Ward

Date/time rec'd: _____
Rec'd by: _____
Application #: _____
Hearing date: _____

**APPLICANT INFORMATION**

Name Bruce Vanderbilt  
Company Vanderbilt 5 LLC  
Mailing Address PO Box 707, #12788  
Richmond VA 23218

Phone 804-248-5462  
Email brucevanderbilt@gmail.com  
Applicant Type:  Owner  Agent  
 Lessee  Architect  Contractor  
 Other (please specify): \_\_\_\_\_

**OWNER INFORMATION** (if different from above)

Name Same  
Mailing Address \_\_\_\_\_

Company \_\_\_\_\_  
Phone \_\_\_\_\_  
Email \_\_\_\_\_

**PROJECT INFORMATION**

Review Type:  Conceptual Review  Final Review  
Project Type:  Alteration  Demolition  New Construction  
(Conceptual Review Required)

**Project Description:** (attach additional sheets if needed)

Install exterior fire escape in order to meet occupancy code requirements. To be installed along Brook Rd at the rear of the building attached to masonry. Convert existing window opening to a doorway. See attachments.

**ACKNOWLEDGEMENT OF RESPONSIBILITY**

**Compliance:** If granted, you agree to comply with all conditions of the COA. Revisions to approved work require staff review and may require a new application and CAR approval. Failure to comply with the COA may result in project delays or legal action. The COA is valid for one (1) year and may be extended for an additional year, upon written request.

**Requirements:** A complete application includes all applicable information requested on checklists to provide a complete and accurate description of existing and proposed conditions. Preliminary review meeting or site visit with staff may be necessary to process the application. Owner contact information and signature is required. Late or incomplete applications will not be considered.

**Zoning Requirements:** Prior to CAR review, it is the responsibility of the applicant to determine if zoning approval is required and application materials should be prepared in compliance with zoning.

Signature of Owner  Date 2/28/19

# Install Fire Escape for 2<sup>nd</sup> Egress

## Purpose:

- Code requires a 2<sup>nd</sup> egress for continued A-3 use.
- The triangle shape of the building offers no practical means of installing the 2<sup>nd</sup> egress internally.

## Proposed Solution

- Install exterior fire escape with counterbalanced stairs.
- Convert existing window opening to code compliant egress door.

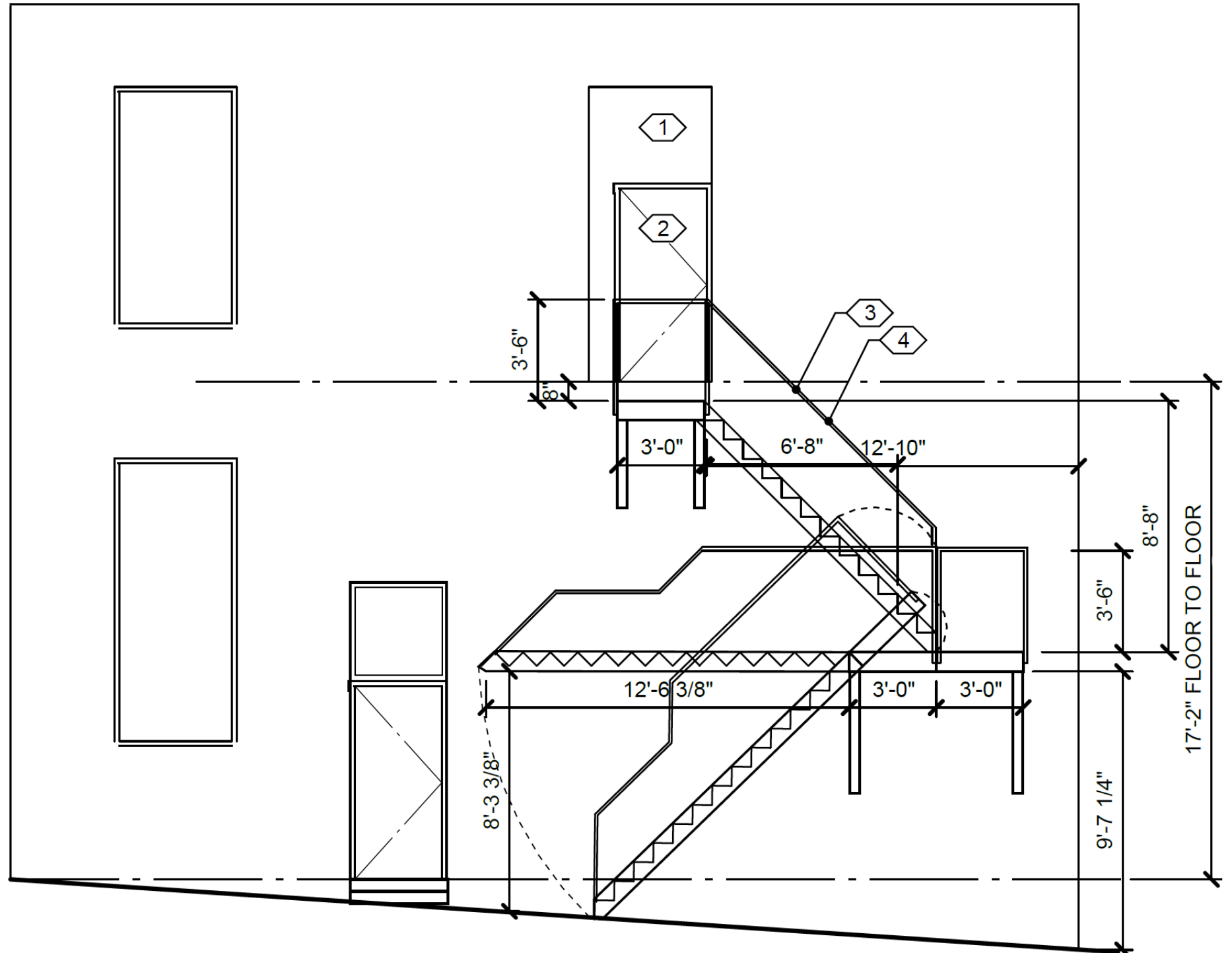
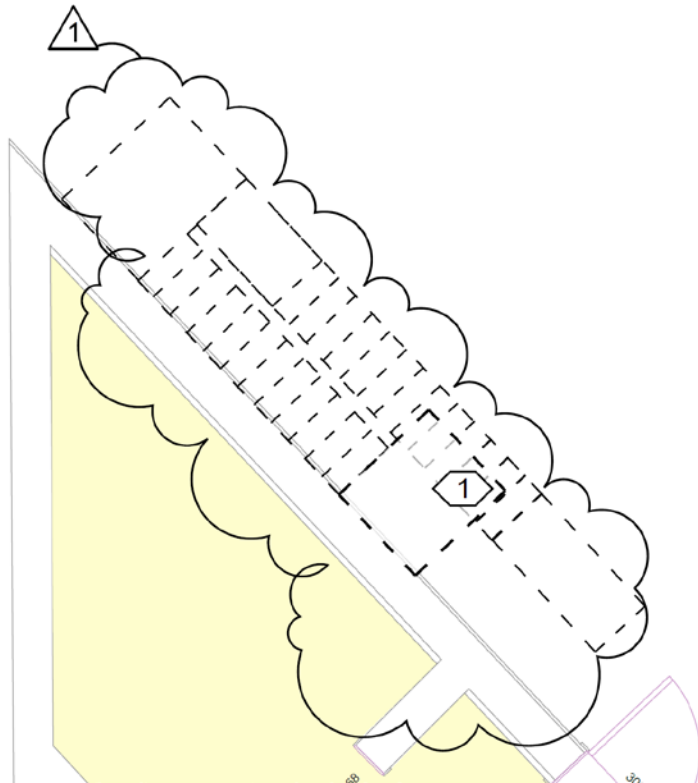


Using existing openings on secondary or less-visible elevations or, if necessary, creating new openings on secondary or less-visible elevations to accommodate second egress requirements.

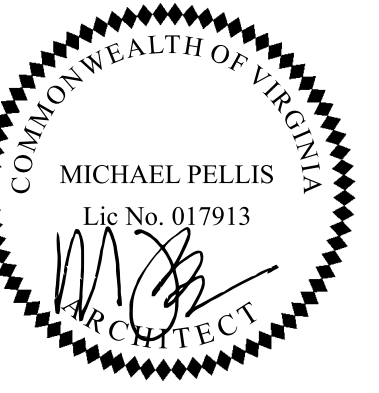
# Fire Escape Elevation

## FIRE ESCAPE KEY NOTES

- ① INFILL EXISTING OPENING WITH BRICK TO MATCH EXISTING
- ② INSTALL NEW EGRESS COMPLIANT EXTERIOR DOOR
- ③ INSTALL PRE-ENGINEERED COUNTERBALANCED STEEL FIRE ESCAPE - INSTALLER TO PROVIDE ENGINEERED DETAILS
- ④ INSTALL COUNTERBALANCED STEEL FIRE ESCAPE - PER SECTION 303 VEBC FIRE ESCAPES
  - MUST SUPPORT LIVE LOAD OF 100 PSF
  - 22" MIN. WIDE
  - 8" MAX. RISE & RUN
  - 40" WIDE X 36" LONG LANDINGS
  - COUNTERBALANCED LANDING 7' MIN. - 12' MAX. HT.



# MODIFICATIONS TO: 200 W. MARSHALL STREET RICHMOND, VIRGINIA



### SCOPE OF PROJECT

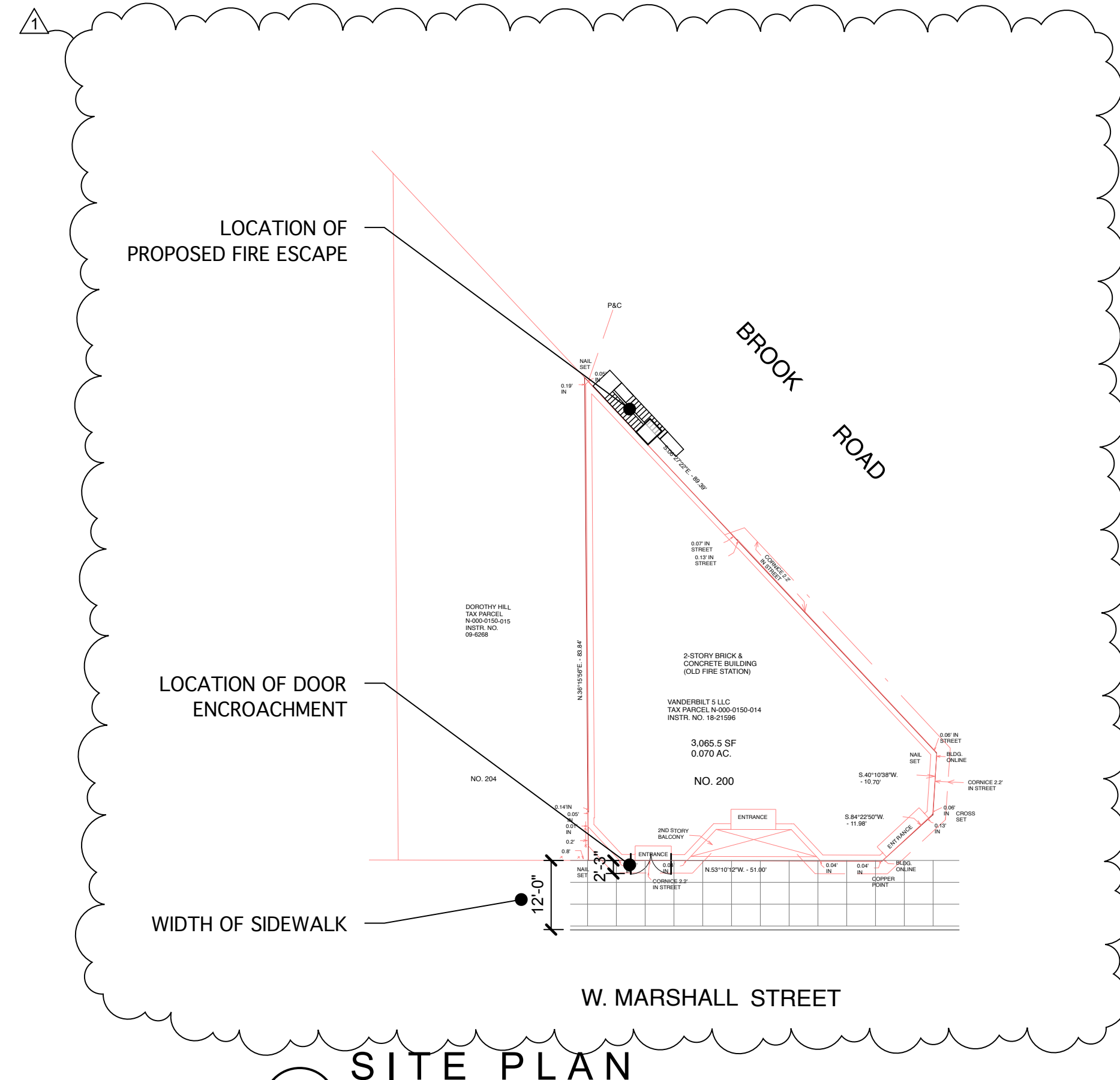
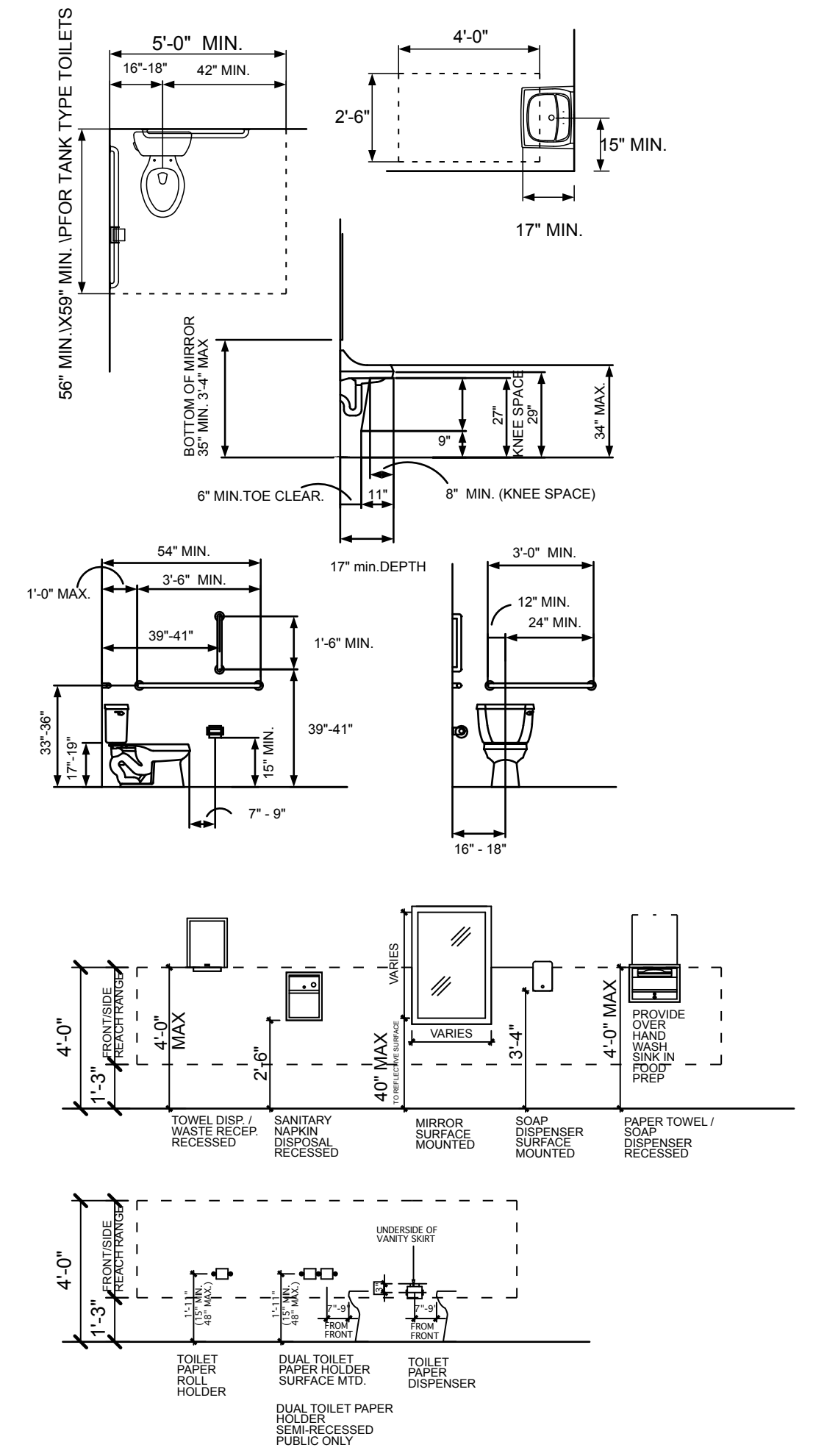
THE SCOPE OF WORK UNDER THIS PERMIT IS TO MAKE THE NECESSARY MODIFICATIONS IN ORDER TO CREATE 2 TENANT SPACES AS A VANILLA BOX SEPARATED MIXED-USE. 1ST FLOOR A3- GALLERY 2ND FLOOR - A3 GALLERY. BOTH SPACES TO HAVE SEPARATE EGRESS.

SECOND MEANS OF EGRESS FROM THE 2ND FLOOR TO BE ACCOMPLISHED VIA NEW EXTERIOR COUNTERBALANCED FIRE STAIRS. FIRE STAIRS TO COMPLY WITH SECTION 303 OF THE 2015 VA EXISTING BUILDING CODE. SEE DETAILS ON SHEET A1.2. ENGINEERED DRAWINGS WILL BE PROVIDED BY SUBCONTRACTOR AS DESIGN-BUILD.

ADA ACCESSIBILITY ITEMS TO BE INCLUDED:  
1. ADA COMPLIANT 2ND FL. TENANT ENTRY  
2. ADA COMPLIANT 2ND FL. RESTROOMS

M, E, P TO BE PERFORMED UNDER THIS PERMIT. PERMITS WILL BE APPLIED FOR BY EACH RESPECTIVE SUB-TRADE.

### ADA COMPLIANT DETAILS



**SITE PLAN**

2 1" = 20'

### BUILDING CODE DATA

**JURISDICTION:** RICHMOND, VIRGINIA

**APPLICABLE CODES:**  
2015 VIRGINIA EXISTING BUILDING CODE (VEBC)  
2009 ANSI A117.1 ACCESSIBLE AND USABLE BLDGS & FACILITIES  
2015 INTERNATIONAL MECHANICAL CODE (IMC)  
2015 INTERNATIONAL PLUMBING CODE (IPC)  
2014 NATIONAL ELECTRICAL CODE (NEC)  
2015 INTERNATIONAL FIRE CODE (IFC)

**USE GROUP:**  
PROPOSED: 1ST FLOOR - A3 - GALLERY  
2ND FLOOR - A3 - GALLERY

**CONSTRUCTION TYPE:** EXISTING: VB

**FIRE PROTECTION:** FULLY SPRINKLERED

**SQUARE FOOTAGE:**  
ALLOWABLE:  
1ST FLOOR: A3 - 6,000 SF  
2ND FLOOR: A3 - 6,000 SF  
PROPOSED:  
1ST FLOOR: A3 - 2,948 SF  
2ND FLOOR: A3 - 2,948 SF

**HEIGHT:**  
ALLOWABLE:  
A3 - 1 STORY (2 STORY W/ SPRINKLER)  
PROPOSED:  
A3 - 2 STORY (W/ SPRINKLER)

**OCCUPANCY:**  
1ST FLOOR: A3 - 2,478 (NET) /30 = 83 OCCUPANTS  
TOTAL 1ST FL = 83 OCCUPANTS  
2ND FLOOR: A3 = 2,558/30 (NET) = 85 OCCUPANTS  
TOTAL 2ND FL = 85 OCCUPANTS

**EGRESS TRAVEL LENGTH:** PER TABLE 1014.3  
COMMON PATH OF TRAVEL: A3 = 75'  
MAXIMUM TRAVEL DISTANCE: 250' (TABLE 1016.2)

**EGRESS WIDTH:** (TABLE 1018.2)  
REQUIRED: 1ST FLOOR - 44" MIN.  
PROVIDED: 44" THROUGHOUT  
REQUIRED: 2ND FLOOR - 44" MIN.  
PROVIDED: 44" THROUGHOUT

**MIN. NUMBER OF EXITS:** (IBC SECTION 1015)  
1ST FLOOR: A3: 2 (REQUIRED) 2 (PROVIDED)  
2ND FLOOR: A3: 2 (REQUIRED) 2 (PROVIDED)

**1ST FLOOR FIXTURES:** (IBC TABLE 2902.1.B)  
M=42 W= 42 FOR TOTAL OF OCCUPANTS = 83  
WC: 1 M =42/125, 1 W = 42/65, 1 LAV M/F= 42/200  
PROVIDED:  
WC: 1 M/F, 1 LAV M/F  
SERVICE SINK: EXISTING  
DRINKING FOUNTAIN: EXISTING

**2ND FLOOR FIXTURES:** (IBC TABLE 2902.1.B)  
M=43 W= 43 FOR TOTAL OF OCCUPANTS = 85  
REQUIRED: WC: M =1/125 W = 1/65, LAV= 1/200  
WC: 1 M =43/125, 1 W = 43/65, 1 LAV M/F= 43/200  
PROVIDED:  
WC: 1 M/F, 1 LAV M/F  
SERVICE SINK: PROVIDED  
DRINKING FOUNTAIN: PROVIDED

PROJECT: MODIFICATIONS TO:  
200 W. MARSHALL STREET, RICHMOND, VIRGINIA

OWNER:  
VANDERBILT PROPERTIES, LLC  
PO BOX 707 PMB 12788, RICHMOND, VA 23235

COVER SHEET & CODE DATA

**REVISIONS**

NO.	REVISION
1	BUILDING REVIEW COMMENTS JANUARY 25, 2019
	N/A
	N/A
	N/A
	N/A

### INDEX OF DRAWINGS

SHEET	DESCRIPTION
ARCHITECTURAL:	
CS	COVER SHEET
A1.0	PROPOSED 1ST FLOOR PLAN & EGRESS PLAN
A1.2	PROPOSED 2ND FLOOR PLAN & EGRESS PLAN

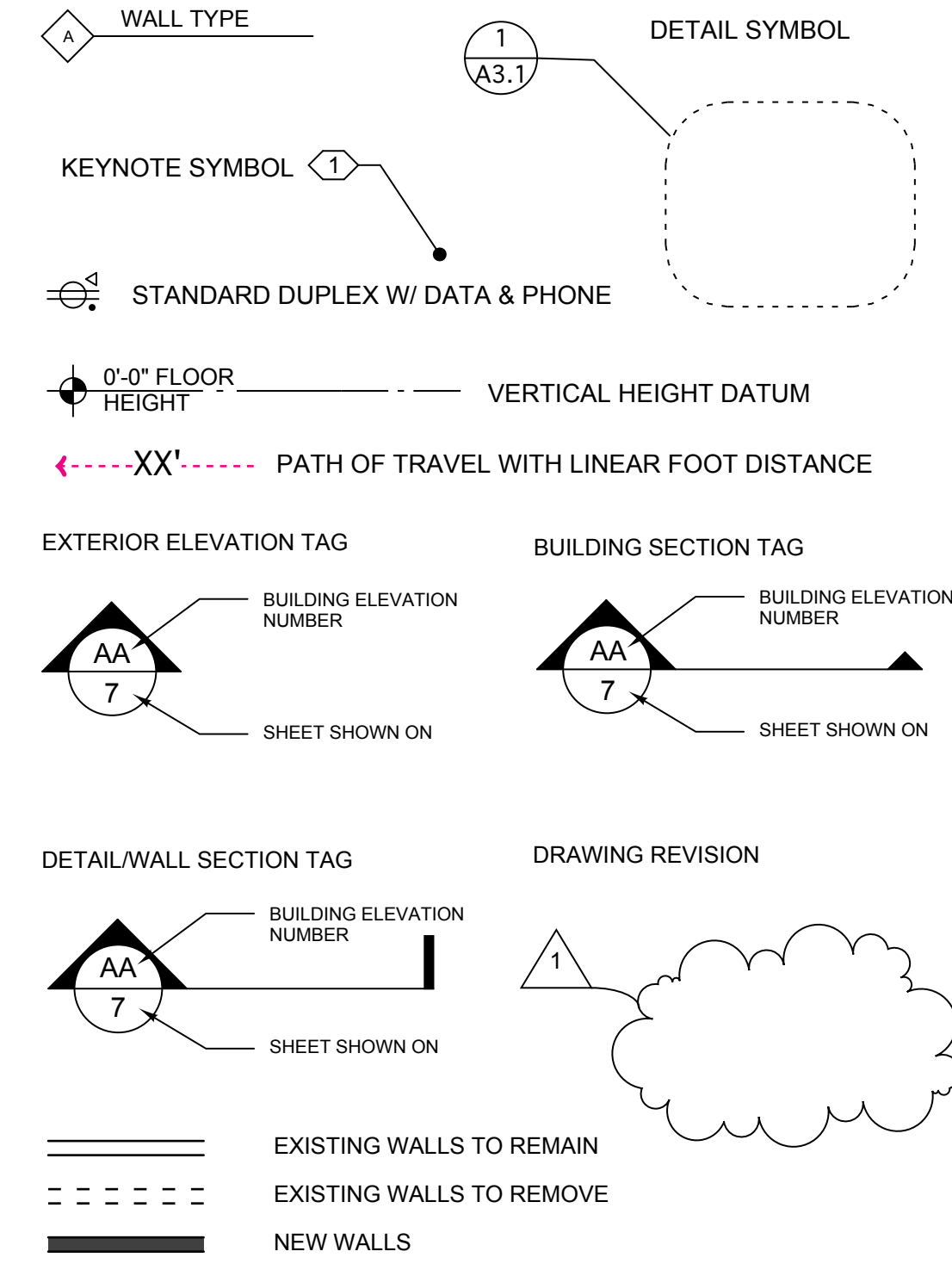
### CONTACT INFORMATION

**OWNER:**  
VANDERBILT PROPERTIES, LLC  
PO BOX 707 PMB 12788  
RICHMOND, VA 23235  
CONTACT: BRUCE VANDERBILT  
brucevanderbilt@gmail.com  
804.248.5462

**ARCHITECT:**  
MICHAEL PELLIS ARCHITECTURE, PLC  
1816 RED QUEEN COURT  
N. CHESTERFIELD, VA 23235  
CONTACT: MICHAEL PELLIS  
michael@michaelpellis.com  
804.212.9024

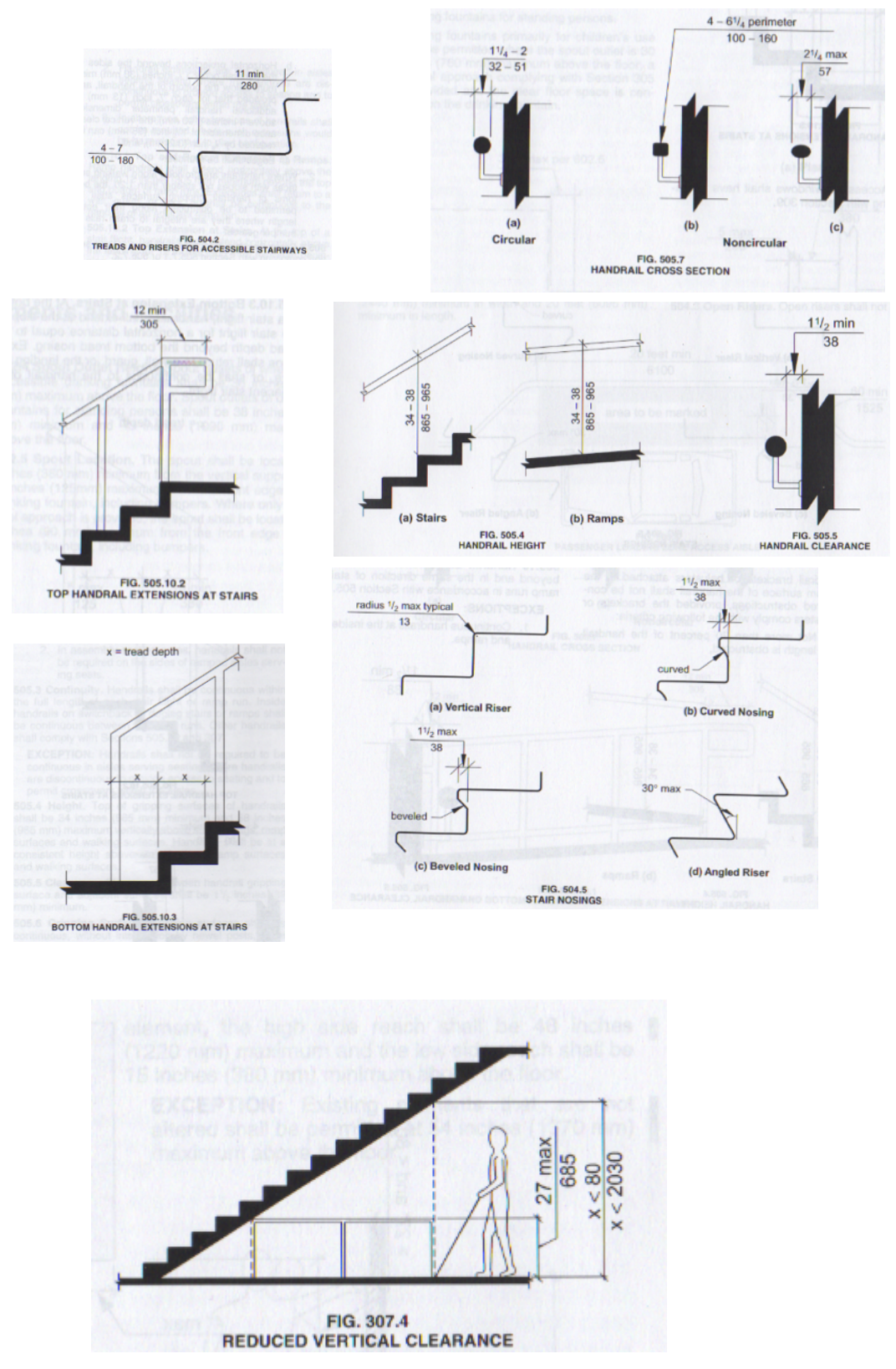
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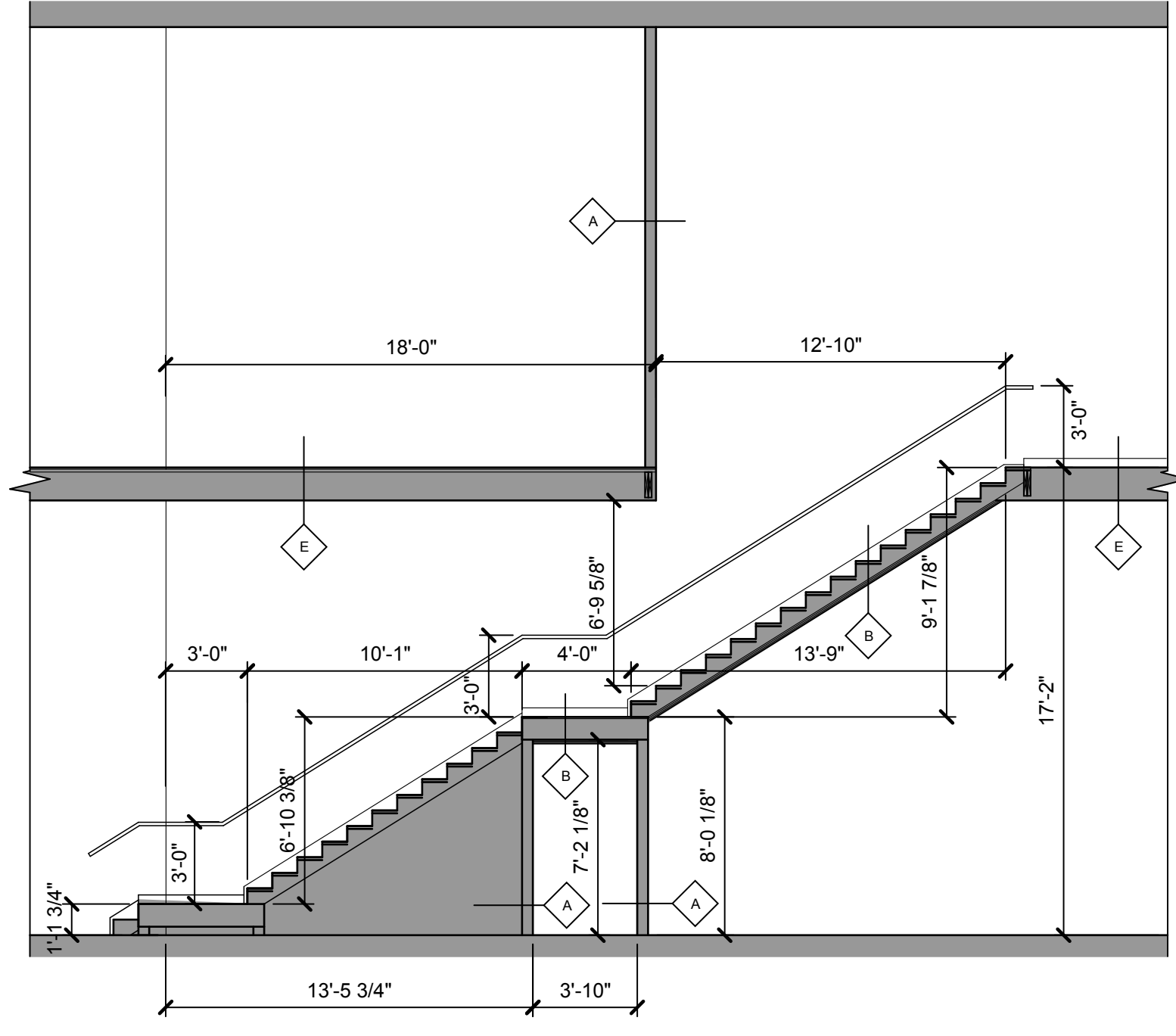
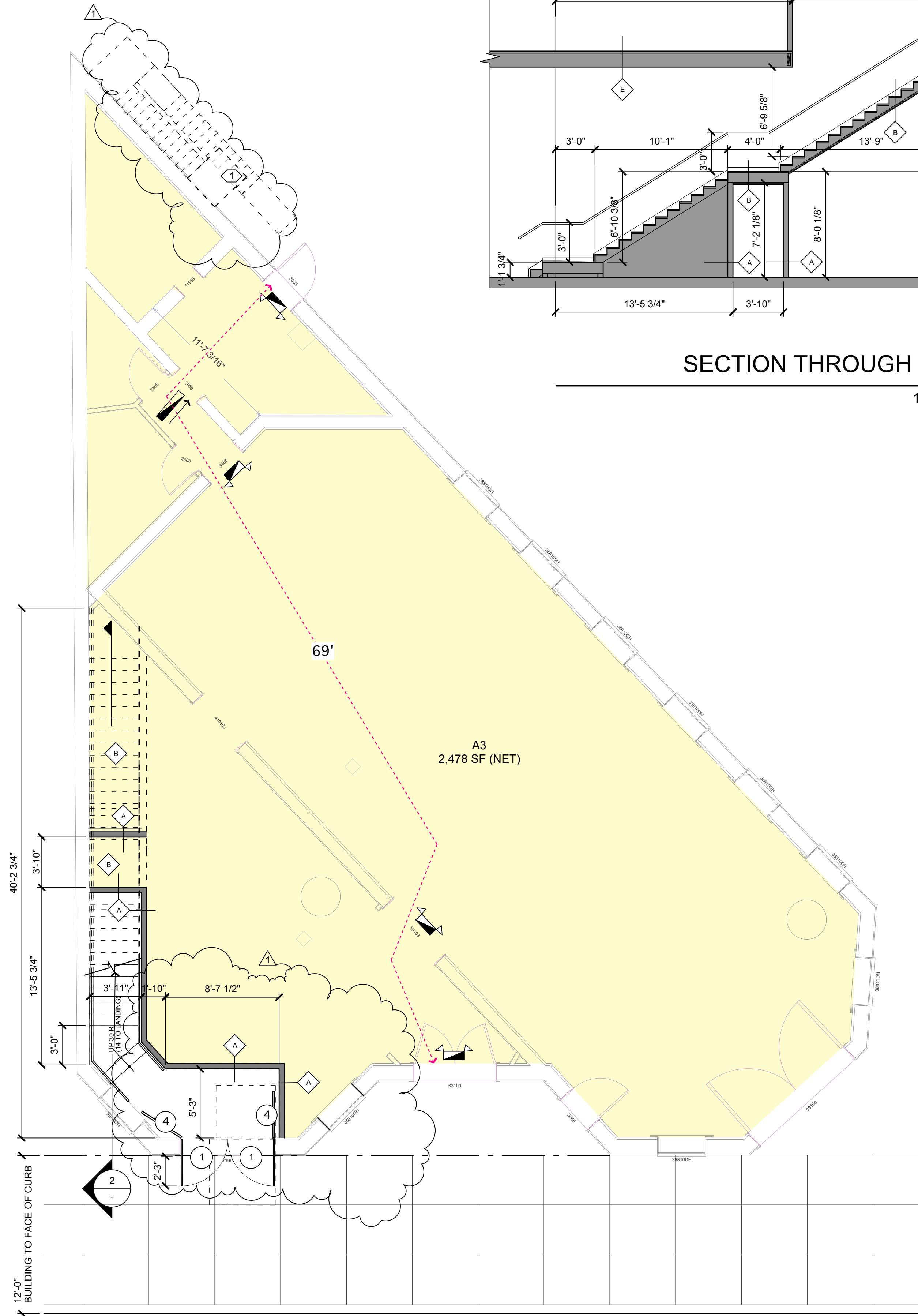
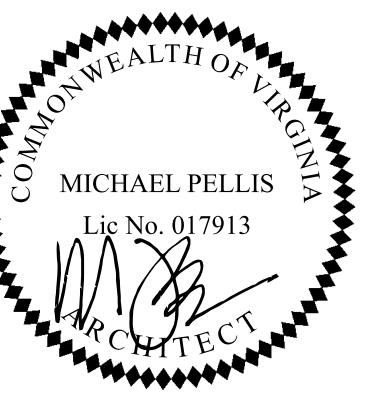
### SYMBOL LEGEND



**LOCATION MAP**

1 N.T.S.





SECTION THROUGH STAIR  
1/4" = 1' - 0" 2

PROPOSED PLAN KEY NOTES  
1 COUNTERBALANCED FIRE STAIR. SEE A1.2

PARTITION TYPE KEY NOTES  
A 1HR EGRESS STAIRWELL WALL UL311 - 2 X 6 WOOD STUDS (FLOOR TO DECK) FILLED W/ CELLULOSE INSULATION W/ 5/8" TYPE 'X' GYP. BOTH SIDES. 5/8" TYPE 'X' EXTERIOR GRADE WHERE APPLIES WITH WEATHERBARRIER & HARDIE PANELS (SMOOTH FINISH)  
B 1HR EGRESS UNDERSIDE OF STAIRS RATED PER UL - L505 - (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. W/ RESILIENT CHANNEL SANDWICHED BETWEEN LAYERS.  
C TYPICAL INTERIOR WALL - 2 X 4 WOOD STUDS 5/8" GYP. BOTH SIDES. PROVIDE 2 X 6 STUDS ALONG PLUMBING WALLS AND USE CELLULOSE INSULATION ON ALL BEDROOM & BATHROOM WALLS.  
D TYPICAL INFILL WALL - 2 X 4 WOOD STUDS 5/8" GYP. FINISH SIDE ONLY. AND USE CELLULOSE INSULATION ON ALL BATHROOM WALLS.  
E EXISTING 1HR CEILING - 3/4" T&G WOOD FLOORING OVER 5/4" T&G WOOD SKIP SHEATHING OVER 2 X 12 NOMINAL LUMBER W/ 1" T&G ATTACHED TO BOT. OF STUDS AND FACED WITH 12 GA TIN CEILING.

DOOR TYPE KEY NOTES  
1 3070 ALUM. STOREFRONT DOOR & FRAME W/ TEMPERED FULL LITE GLASS. FIELD VERIFY SIZES. FINISH - DARK BRONZE, ENTRY LOCKSET. PANIC HARDWARE INSTALLED PER VCC SECTION 1008.1. W/ ADA COMPLIANT CLOSER & THRESHOLD.  
2 80 MIN. METAL DOOR & FRAME - (3070) PANIC HARDWARE. PER VCC SECTION 1008.1. W/ ADA COMPLIANT CLOSER & THRESHOLD.  
3 39" X 84" SOLID CORE WOOD DOOR IN METAL FRAME - FLUSH, NO LITE - PRIVACY LOCKSET  
4 EXISTING WOOD DOORS TO REMAIN AS SHOWN

INTERIOR DOORS:  
- SOLID CORE WOOD DOORS & KNOCK DOWN METAL FRAMES.  
- STAIN GRADE FLUSH WOOD DOORS  
- CYLINDRICAL LEVER HARDWARE, HINGES AND WALL STOPS.  
- ALL HARDWARE TO HAVE 613 (OIL RUBBED BRONZE) FINISH. GRADE 2.  
EXTERIOR DOORS:  
- ALL HARDWARE TO HAVE 613 (OIL RUBBED BRONZE) FINISH. GRADE 2.  
DOORS WITHOUT SYMBOLS ARE EXISTING TO REMAIN

EGRESS KEY NOTES  
ILLUMINATED EXIT SIGN WITH DIRECTIONAL ARROWS (WHERE APPLIES)  
ILLUMINATED EXIT SIGN W/ BATTERY BACKUP EMERGENCY EGRESS LIGHTING  
EMERGENCY EGRESS LIGHTING WITH BATTERY BACK-UP  
PATH OF TRAVEL WITH LINEAR FOOT DISTANCE

1ST FLOOR PLAN  
2,948 SF GROSS  
3/16" = 1' - 0" 1

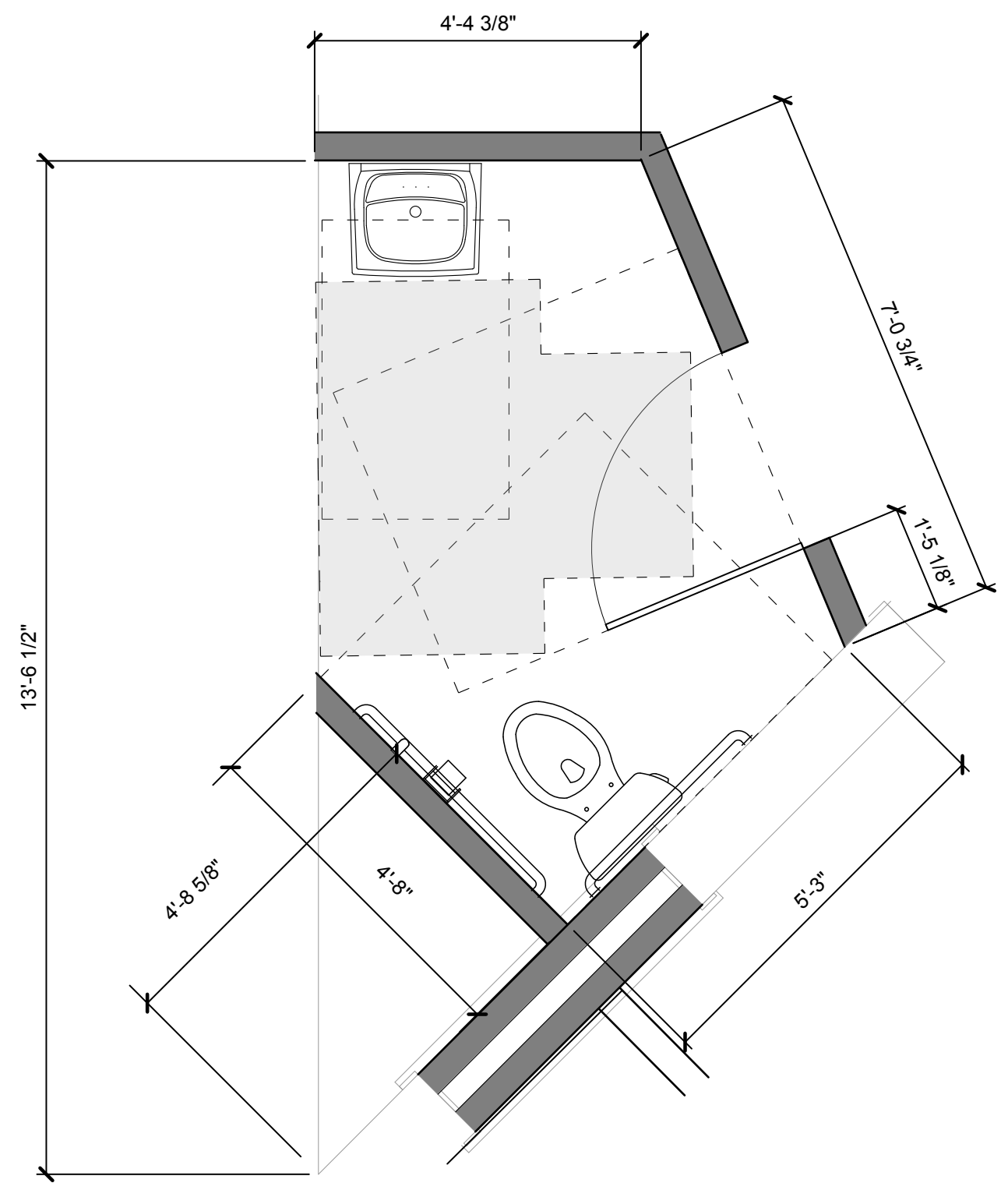
PROJECT: 200 W. MARSHALL STREET, RICHMOND, VIRGINIA  
MODIFICATIONS TO:  
OWNER: VANDERBILT PROPERTIES, LLC  
PO BOX 707 PMB 12788, RICHMOND, VA 23235

PROPOSED FLOOR PLAN

REVISIONS

NO.	REVISION	DATE
1	BUILDING REVIEW COMMENTS	JANUARY 25, 2019
	N/A	
	N/A	
	N/A	
	N/A	

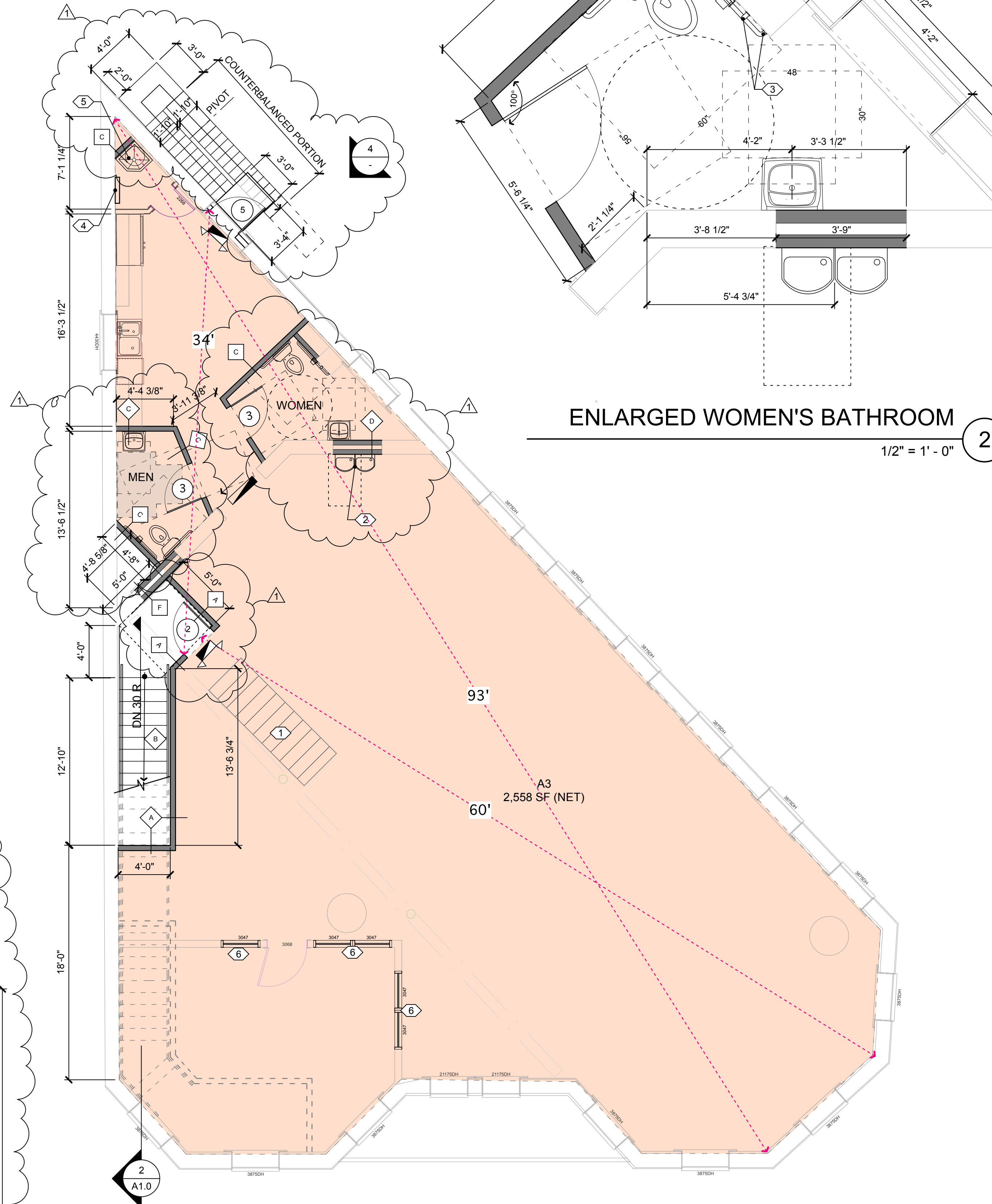




ENLARGED MEN'S BATHROOM

1/2" = 1' - 0"

3



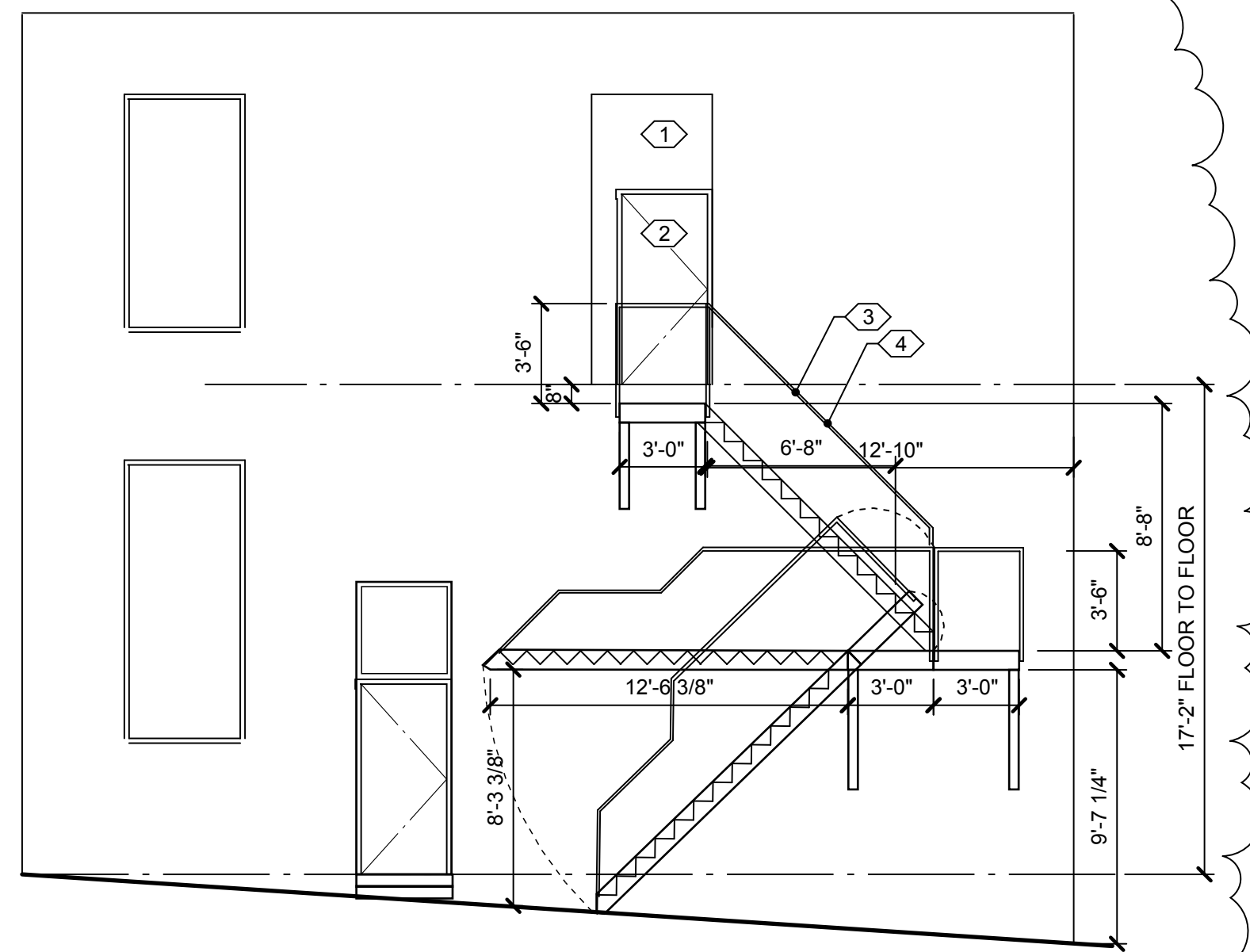
ENLARGED WOMEN'S BATHROOM

1/2" = 1' - 0"

2

FIRE ESCAPE KEY NOTES

- 1 INFILL EXISTING OPENING WITH BRICK TO MATCH EXISTING
- 2 INSTALL NEW EGRESS COMPLIANT EXTERIOR DOOR
- 3 INSTALL PRE-ENGINEERED COUNTERBALANCED STEEL FIRE ESCAPE - INSTALLER TO PROVIDE ENGINEERED DETAILS
- 4 INSTALL COUNTERBALANCED STEEL FIRE ESCAPE - PER SECTION 303 VEBG FIRE ESCAPES
  - MUST SUPPORT LIVE LOAD OF 100 PSF
  - 22" MIN. WIDE
  - 8" MAX. RISE & RUN
  - 40" WIDE X 36" LONG LANDINGS
  - COUNTERBALANCED LANDING 7" MIN. - 12" MAX. HT.



FIRE ESCAPE ELEVATION

3/16" = 1' - 0"

4

PROPOSED PLAN KEY NOTES

- 1 INFILL EXISTING OPENING WITH FLOOR FRAMING AND MATCH EXISTING FLOOR FINISH SEE ASI-1 STAMPED BY BALZER & ASSOCIATES
- 2 INSTALL NEW HI/LO BARRIER FREE ADA COMPLIANT DRINKING FOUNTAIN
- 3 INSTALL NEW GRAB BARS W/ MASONRY EXP. ANCHORS DIRECTLY INTO EXISTING BRICK FLUE
- 4 INSTALL NEW ELECTRICAL PANEL. SEE ELECTRICAL PLANS
- 5 INSTALL 24" NEO-ANGLE MOP SINK W/ 15 GAL WATER HEATER ABOVE. OVERFLOW TO DRAIN INTO MOP SINK.
- 6 INSTALL NEW FIXED PANE WINDOWS IN EXSITING NON-LOAD BEARING WALL. FIXED GLASS PANELS: 1/4" TEMPERED SET WITHIN CUSTOM WOOD FRAME WITH CONTINUOUS STOPS ALL 4 EDGES BOTH SIDES OF GLASS. - DBL 2 X 4 BETWEEN EACH WINDOW RUNNING FLOOR TO CEILING TYP. W/ KING STUD & HEADERS. TYP.

PARTITION TYPE KEY NOTES

- A 1HR EGRESS STAIRWELL WALL UL311 - 2 X 6 WOOD STUDS (FLOOR TO DECK) FILLED W/ CELLULOSE INSULATION W/ 5/8" TYPE 'X' GYP. BOTH SIDES (OVER RESILIENT CHANNEL STAIR SIDE ONLY)
- B 1HR EGRESS UNDERSIDE OF STAIRS RATED PER UL - L505 - (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. W/ RESILIENT CHANNEL SANDWICHED BETWEEN LAYERS.
- C TYPICAL INTERIOR WALL - 2 X 4 WOOD STUDS 5/8" GYP. BOTH SIDES. PROVIDE 2 X 6 STUDS ALONG PLUMBING WALLS AND USE CELLULOSE INSULATION ON ALL BEDROOM & BATHROOM WALLS.
- D TYPICAL INFILL WALL - 2 X 4 WOOD STUDS 5/8" GYP. FINISH SIDE ONLY. - USE CELLULOSE INSULATION ON ALL BATHROOM WALLS. - USE MOISTURE RESISTANT GYP. BD IN BATHROOMS.
- E EXISTING 1HR CEILING - 3/4" T&G WOOD FLOORING OVER 5/4" T&G WOOD SKIP SHEATHING OVER 2 X 12 NOMINAL LUMBER W/ 1" T&G ATTACHED TO BOT. OF STUDS AND FACED WITH 12 GA TIN CEILING.
- F INFILL 1HR ASSEMBLY - 2 X WOOD FRAMING WITH 5/8" TYPE 'X' GYP. BD. FINISH SIDE. - FINISH FLUSH W/ ADJACENT FINISH & FIRE CAULK ALONG THE EDGES

DOOR TYPE KEY NOTES

- 1 3070 ALUM. STOREFRONT DOOR & FRAME W/ TEMPERED FULL LITE GLASS. FIELD VERIFY SIZES. FINISH - DARK BRONZE, ENTRY LOCKSET. PANIC HARDWARE INSTALLED PER VCC SECTION 1008.1. W/ ADA COMPLIANT CLOSER & THRESHOLD.
- 2 80 MIN. METAL DOOR & FRAME - (3070) PANIC HARDWARE. PER VCC SECTION 1008.1. W/ ADA COMPLIANT CLOSER & THRESHOLD.
- 3 39" X 84" SOLID CORE WOOD DOOR IN METAL FRAME. - FLUSH, NO LITE - PRIVACY LOCKSET
- 4 EXISTING WOOD DOORS TO REMAIN AS SHOWN (1) DOOR SECURED IN OPEN POSITION WHEN 2ND STORY IS OCCUPIED.
- 5 EXTERIOR METAL DOOR & FRAME - (3070) PANIC HARDWARE. PER VCC SECTION 1008.1

- INTERIOR DOORS:
- SOLID CORE WOOD DOORS & KNOCK DOWN METAL FRAMES.
  - STAIN GRADE FLUSH WOOD DOORS.
  - CYLINDRICAL LEVER HARDWARE, HINGES AND WALL STOPS.
  - ALL HARDWARE TO HAVE 613 (OIL RUBBED BRONZE) FINISH. GRADE 2.
- EXTERIOR DOORS:
- ALL HARDWARE TO HAVE 613 (OIL RUBBED BRONZE) FINISH. GRADE 2.
- DOORS WITHOUT SYMBOLS ARE EXISTING TO REMAIN

EGRESS KEY NOTES

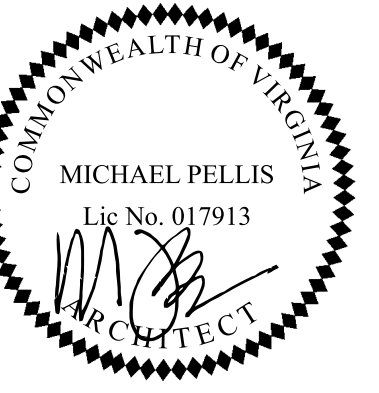
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- ILLUMINATED EXIT SIGN W/ BATTERY BACKUP EMERGENCY EGRESS LIGHTING
- EMERGENCY EGRESS LIGHTING WITH BATTERY BACK-UP
- PATH OF TRAVEL WITH LINEAR FOOT DISTANCE

2ND FLOOR PLAN

3/16" = 1' - 0"

1

2,948 SF GROSS



PROJECT: 200 W. MARSHALL STREET, RICHMOND, VIRGINIA

OWNER: VANDERBILT PROPERTIES, LLC  
PO BOX 707 PMB 12788, RICHMOND, VA 23235

PROPOSED PLAN

REVISIONS

NO.	REVISION
1	BUILDING REVIEW COMMENTS JANUARY 25, 2019
N/A	
N/A	
N/A	
N/A	

A1.2

DATE: JANUARY 14, 2019

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michael@michaelpellis.com

