

INTRODUCED: January 13, 2020

AN ORDINANCE No. 2020-024

To authorize the special use of the property known as 8764 West Huguenot Road for the purpose of two automated teller machines as accessory uses to an existing convenience store and automobile service station, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: FEB 10 2020 AT 6 P.M.

WHEREAS, the owner of the property known as 8764 West Huguenot Road, which is situated in a B-2 Community Business District, desires to use such property for the purpose of two automated teller machines as accessory uses to an existing convenience store and automobile service station, which use, among other things, is not currently allowed by section 30-436.1(44) of the Code of the City of Richmond (2015), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2019), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the safety, health, morals and general welfare of the community involved, will not tend to create

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: FEB 10 2020 REJECTED: _____ STRICKEN: _____

congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2015), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. **Grant of Special Use Permit.**

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 8764 West Huguenot Road and identified as Tax Parcel No. C001-0891/022 in the 2020 records of the City Assessor, being more particularly shown on a survey entitled “Boundary Survey of 1.145 Acres of Land Along the North Line of Huguenot Road – State Route 147 Being Parcel ID: C001-0891/022, Huguenot District, City of Richmond, Virginia,” prepared by Balzer & Associates, dated June 5, 2019, and last revised July 23, 2019, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of two automated teller machines with exterior access as accessory uses to an existing convenience store and automobile service station, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “Bank of America, Monigle Approved 08/08/17,” prepared by AGI, dated February 21, 2017, and last revised September 15, 2018, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. **Special Terms and Conditions.** This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as two automated teller machines with exterior access as accessory uses to an existing convenience store and automobile service station.

(b) Outdoor lighting shall be located, directed or shielded so as not to shine directly on adjoining properties or to create a traffic hazard by means of glare or similarity to or confusion with traffic signals, warning lights or lighting on emergency vehicles.

(c) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2015), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2015), as amended, and all future amendments to such law, or any other applicable laws or regulations.

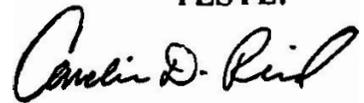
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:

A handwritten signature in black ink, appearing to read "Amber D. Reed".

City Clerk

City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.richmondgov.com

Item Request

File Number: PRE.2019.600

~~O & R REQUEST~~

RECEIVED

4-9516

DEC 17 2019

JAN 07 2020

Office of the
Chief Administrative Officer

O & R Request
OFFICE OF THE CITY ATTORNEY

DATE: December 13, 2019

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)
(This in no way reflects a recommendation on behalf of the Mayor)

JS 1/6/2020

THROUGH: Lenora G. Reid, Acting Chief Administrative Officer *LS*

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning *SE*

FROM: Mark A. Olinger, Director, Department of Planning and Development Review *MAO*

RE: To authorize the use of the property known as 8764 West Huguenot Road for the purpose of permitting two automated teller machines with exterior access as accessory uses to a convenience store and automobile service station, upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: To authorize the use of the property known as 8764 West Huguenot Road for the purpose of permitting two automated teller machines with exterior access as accessory uses to a convenience store and automobile service station, upon certain terms and conditions.

REASON: The subject property is located in the B-2 Community Business District. An automated teller machine is a permitted accessory use if it is accessible only from the interior of buildings devoted to permitted principal uses other than individual dwelling units or lodging units. The proposed automated teller machine is accessible from the exterior; therefore, the Special Use Permit is required.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its February 10, 2020, meeting.

BACKGROUND: The subject property is a 1.14 acre property with improvements. City records note that the structure was built in 1968 and that the condition of the improvements are normal for its age. In addition to the 1,832 square foot building, there is a canopy over a fuel pump area. The property is located on northside West Huguenot Road, across which is located Chesterfield County. The property is located in the Stony Point Neighborhood of the Huguenot Planning District.

The City of Richmond's Pulse Corridor Plan designates a future land use category for the subject property as Single-Family Low Density. Primary use is single-family detached dwellings at densities up to seven units per acre. Includes residential support uses such as schools, places of worship, neighborhood parks and recreation facilities, and limited public and semi-public uses. Typical zoning classifications that may accommodate this land use category: R-1, R-2, R-3, R-4, and R-5.

The property abutting to the east is owned by the City of Richmond and contains a fire station and communications towers. Abutting the north and west property lines is Snead's Nursery. All abutting properties are located in the R-2 Single-Family Residential District. In this area, W. Huguenot Road serves as the municipal line between The City of Richmond and Chesterfield County. The properties in the Chesterfield County area south of Huguenot Road contain single-family dwellings.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: None

BUDGET AMENDMENT NECESSARY: None

REVENUE TO CITY: \$1,800 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: January 13, 2020

CITY COUNCIL PUBLIC HEARING DATE: February 10, 2020

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
February 10, 2020

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Application and Narrative; Map; The Plans; The Property; Draft Ordinance

STAFF: David Watson, Senior Planner, Land Use Administration, 804-646-1036



Project Title
BANK OF AMERICA
 MONROE APPROVED 08/08/17

Date 02.21.17

Aut Cad M. SMITH
 Lead Draftsman CLM

Drawn By GLM
 Project Mgr. K. GREER

Approved Sign Specifications

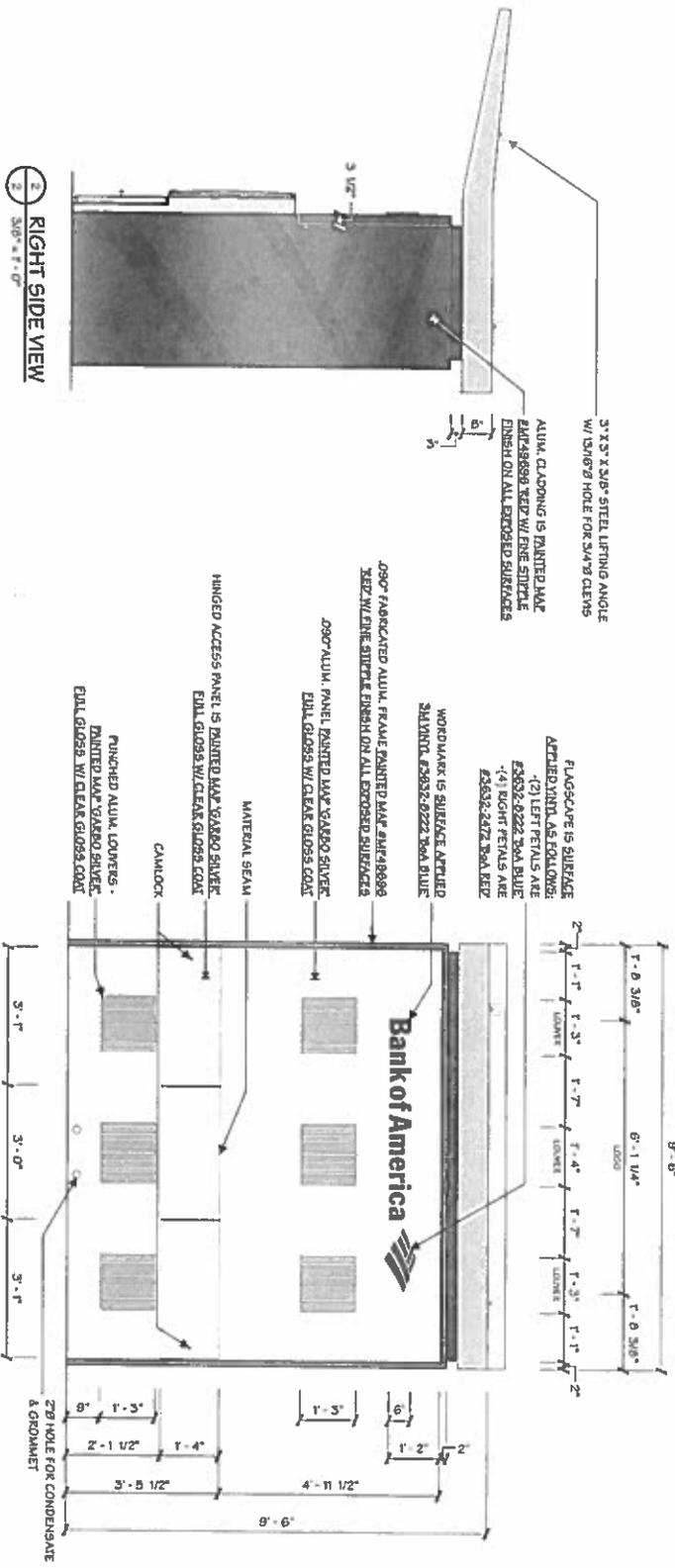
Interior Exterior
 Single Faced Double Faced

Non-Insulated
 Insulated

Location _____
 Worksheet _____

Drawn By	Date	Change
MM	11 01 17	UPDATED TO MONROE 91, 92, 93 DWG DATED 10 18 17
DLR	03 29 18	ADDED WATER/HEAT/HEAD UNIT
DLR	04 21 18	REMOVED WAY FINDING, CEILING LIGHT LOGO & REPLACED IN/FILL W/ ACM
DLR	05 23 18	MONOLOGUE UPDATES
DLR	09 10 18	CORRECTED ROOF AND SHIPPING STAND DMS
DLR	09 15 18	ADDED NEW GAS LIFTER DETAILS

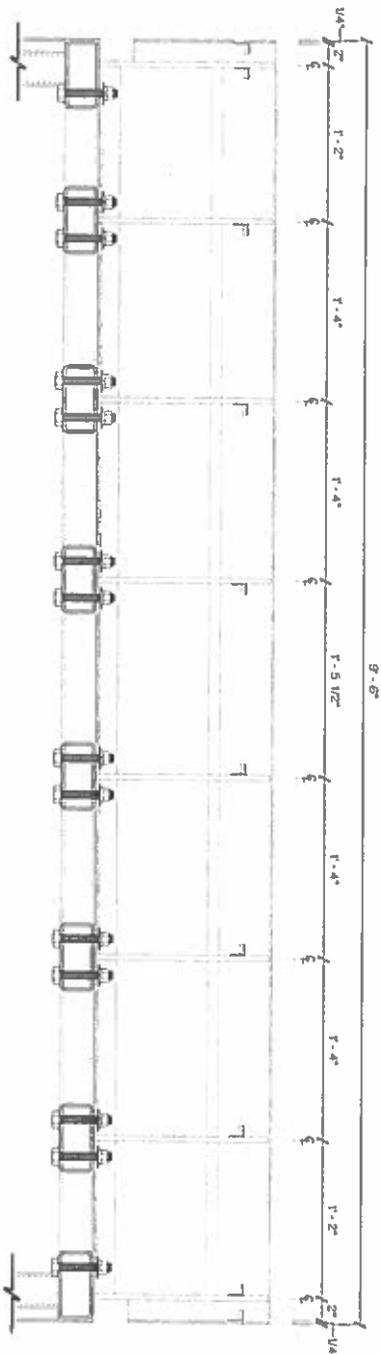
Code 6894
 Type C
 Sheet Title
 BANK OF AMERICA
 MONROE APPROVED 08/08/17



RIGHT SIDE VIEW
 3/0" x 3'-0"

REAR ELEVATION
 3/0" x 3'-0"

2008 International Parking
 Virginia Beach, VA 23462



SECTION @ ROOF
1/4" = 1'-0"



Project Title
BANK OF AMERICA
 MONROE APPROVED 08/08/17

Date 02/21/17

ADD ELEM. M. SMITH
 Lead Designer GLM

Drawn By GLM
 Project Mgr. K. GREER

General Sign Specifications

Interior Exterior

Single Feed Double Feed

Non-Weathered

Weathered

Location _____

120' Yds _____

Amount _____

Drawn By	Date	Change
MM	11/01/17	UPDATED TO MONROE ST. ST. B3 DWG DATED 10/18/17
DLR	03/29/18	ADDED METALWORK HEATER/DUCT UNIT
DLR	04/25/18	REMOVED WRY/WINDING, TAPERED LOGS & REPLACED INTILL W/ ACM
DLR	05/23/18	MONROE GE UPDATES
DLR	09/10/18	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	09/15/18	ADDED NEW GAS LIFTER DETAILS

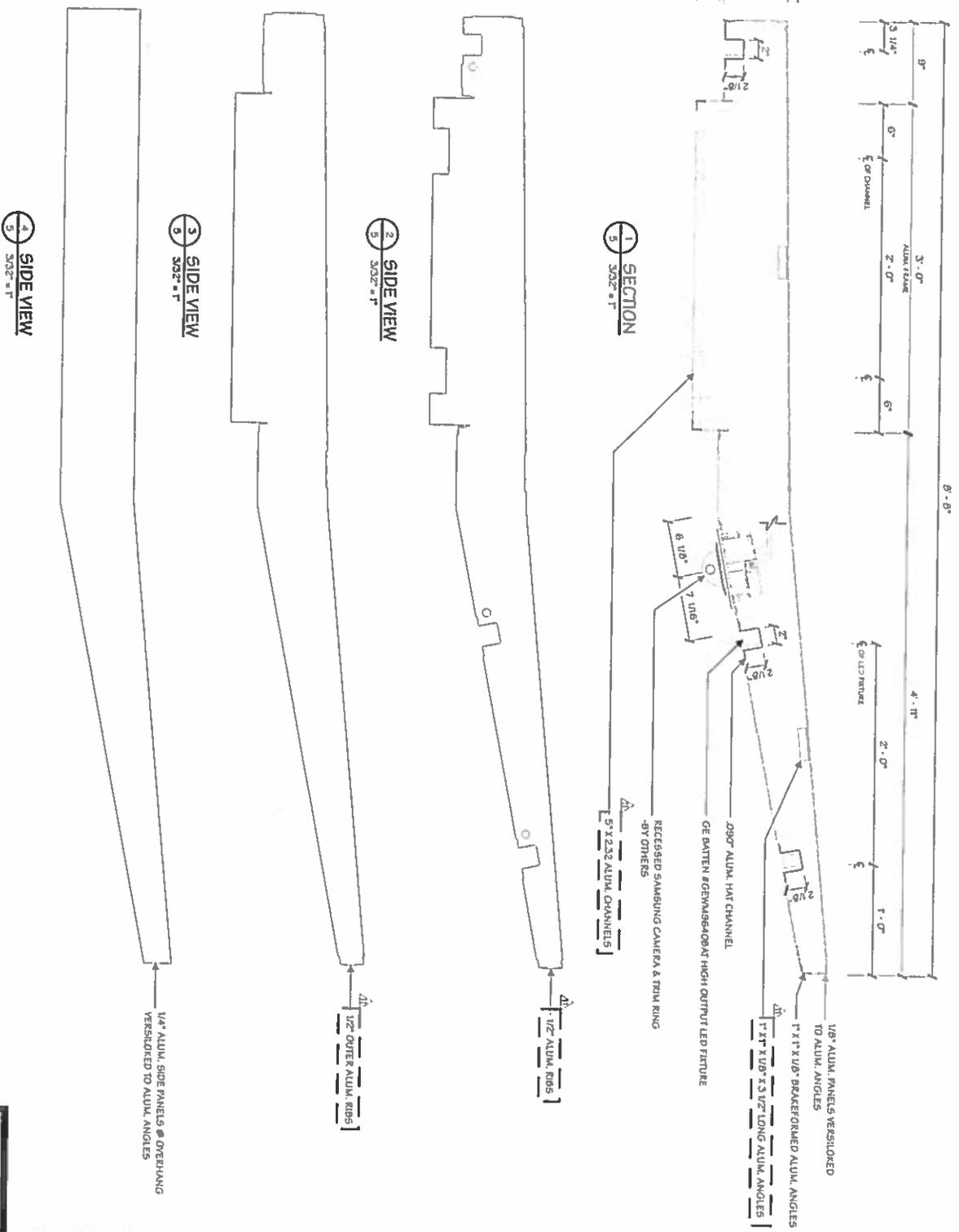
2665 International Parkway
 Virginia Beach, VA 23462

Sign Type
FRONT-EXTENS-MU
 NO-COR-SUBS

PG #
4

Code
6894

Type
C



800 International Parkway
 Tyler, Texas, 75702

800 International Parkway
 Tyler, Texas, 75702

Project Title
BANK OF AMERICA
 MONITOR APPROVED WINDOW 17
 Date: 02/21/17
 ADI Egan, M. SMITH
 Lead Draftsman: GJM
 Drawn By: GJM
 Project Mgr.: K. GREER

Drawing Revisions

Drawn By	Date	Change
KMM	11/01/17	UPDATED TO MONICLE S1, S2, S3 DWG DATED 12/16/17
DLR	03/29/18	ADDED WINDOW & INTERIAC UNIT
DLR	04/25/18	REMOVED WAYFININGS, CENTERED LOGO & REPLACED INFILL WITH ACM
DLR	05/23/18	MONIDLE UPDATES
DLR	09/10/18	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	09/15/18	ADDED NEW GAS LIFTER DETAILS

Location: _____
 Window: _____
 120 Yrds _____
 120 Yrds _____

Legend:
 Insulator
 Single Paneled
 Double Paneled
 See Manufacturer
 See Manufacturer
 See Manufacturer
 See Manufacturer

Customer Sign Specifications
 Insulator
 Single Paneled
 Double Paneled
 See Manufacturer
 See Manufacturer
 See Manufacturer

Scale: 1/8" = 1'-0"
 Title: SIDE VIEW
 Date: 02/21/17

Scale: 1/8" = 1'-0"
 Title: SIDE VIEW
 Date: 02/21/17

Scale: 1/8" = 1'-0"
 Title: SIDE VIEW
 Date: 02/21/17

Scale: 1/8" = 1'-0"
 Title: SIDE VIEW
 Date: 02/21/17





Project Title
BANK OF AMERICA
 MIDDLE APPROVED 08/08/17

Date: 02/21/17

ADD: BOB M. SMITH
 Lead Designer GLM
 Drawn By: GLM
 Project Mgr: K. GREER

General Sign Specifications
 Interior Exterior
 Single Faced Double Faced

Non-Structural
 Structural
 123 Walls 4444-1-1
 Location: _____
 Window: _____

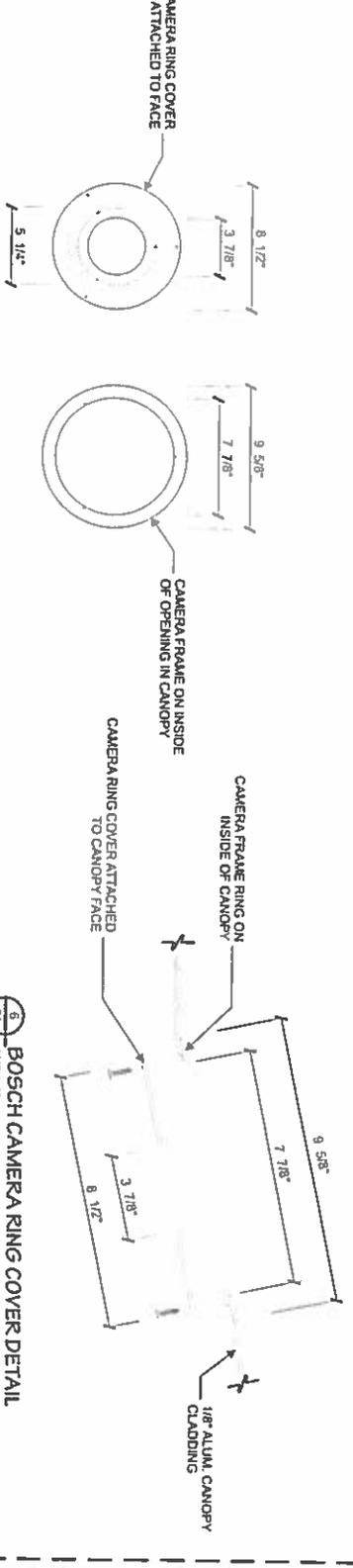
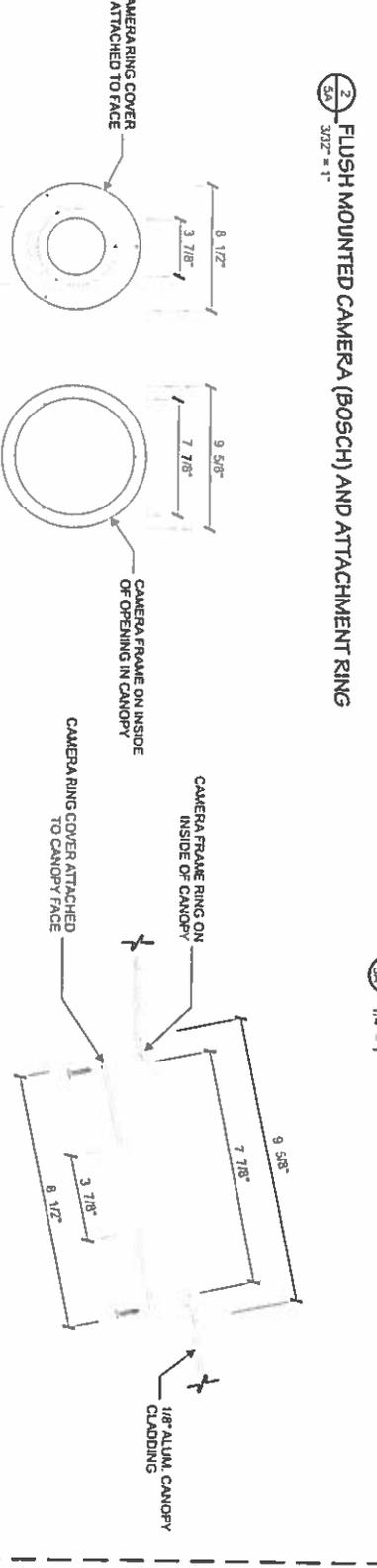
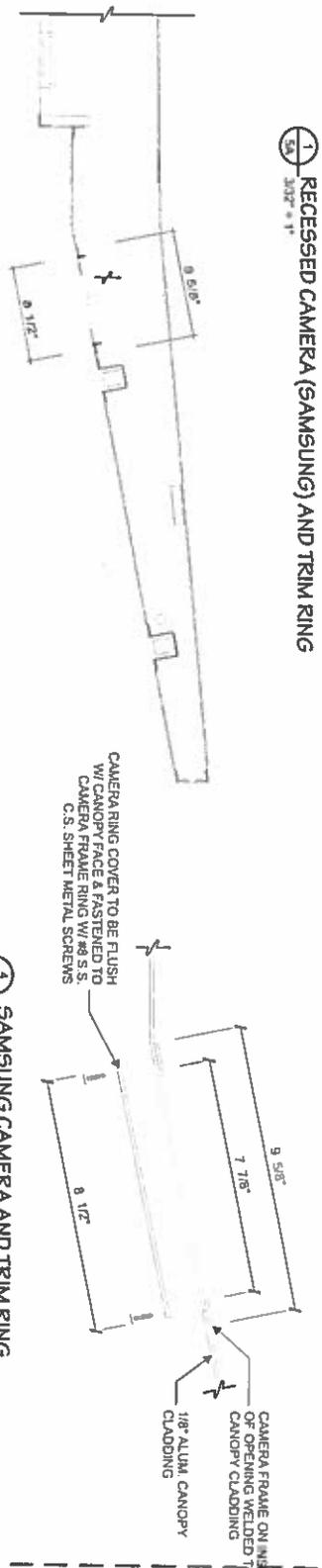
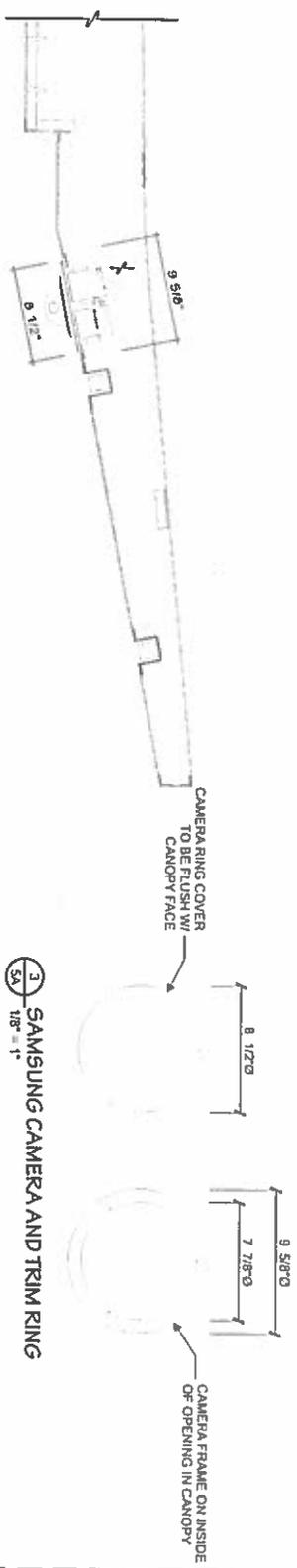
Drawing Revisions	
Drawn By	Date
GLM	11 01 17
DLR	03 29 18
DLR	04 23 18
DLR	05 23 18
DLR	09 10 18
DLR	09 10 18

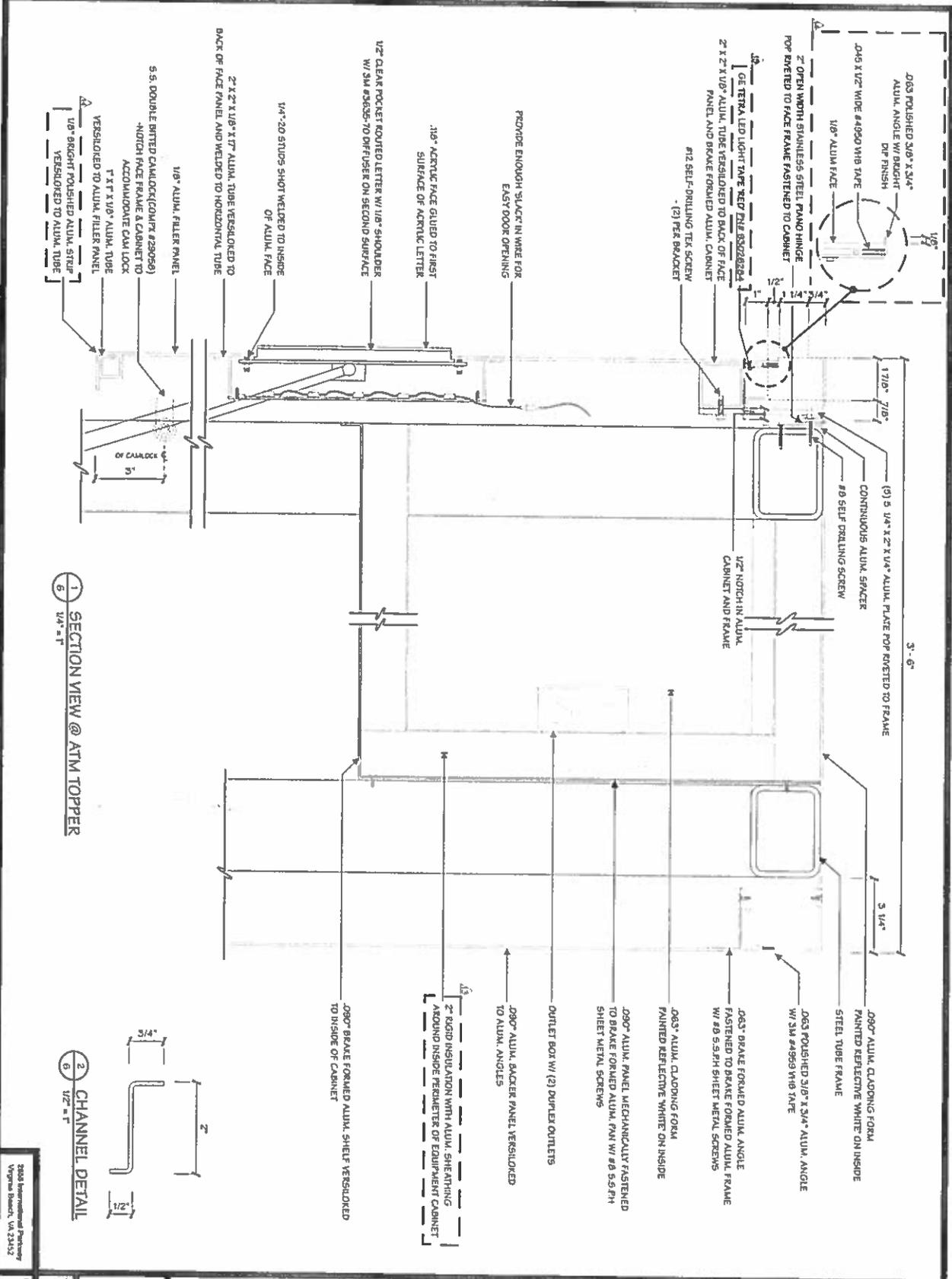
Change	
UPDATED TO MONGLE S1, S2, S3 U/W DATED 10 18 17	
ADDED WATERPROOF HEATECAL UNIT	
REMOVED WAYFINDING, CENTERED LOGO & REPLACED INFILL W/ ACM	
MON/DGE UPDATES	
CORRECTED ROOF AND SHIPPING STAND DIMS	
ADDED NEW GAS LIFTER DETAILS	

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Code: **6894**
 Type: **C**
 Sign Type: **FRAME R EX T NG WU- K03DR-07705**
 P&I: **5A**

AGI International, Inc.
 10000 W. 12th Street, Suite 200
 Overland Park, KS 66213





Project Title
BANK OF AMERICA
MONICLE APPROVED 08/28/17

Date 02/21/17

Author M. SMITH
Lead Designer GLM
Drawn By GLM
Project Mgr. K. GREER

General Sign Specifications
 Interior Exterior
 Single Faced Double Faced
 Non-Illuminated
 Illuminated
 Vandal Resistant
 Other: _____

Drawing Revisions

Drawn By	Date	Change
MB	11 01 17	UPDATED TO MONICLE S1 11 S3 DWG DATED 10 16 17
DLR	03 25 17	ADDED WATERLOO HEAT TREATING
DLR	04 25 18	REMOVED WAYFINDING, CENTERED LOGO & REPLACED INF & L W/ ACM
DLR	05 23 18	MONICLE UPDATES
DLR	06 10 18	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	09 15 18	ADDED NEW GAS LIFTER DETAILS

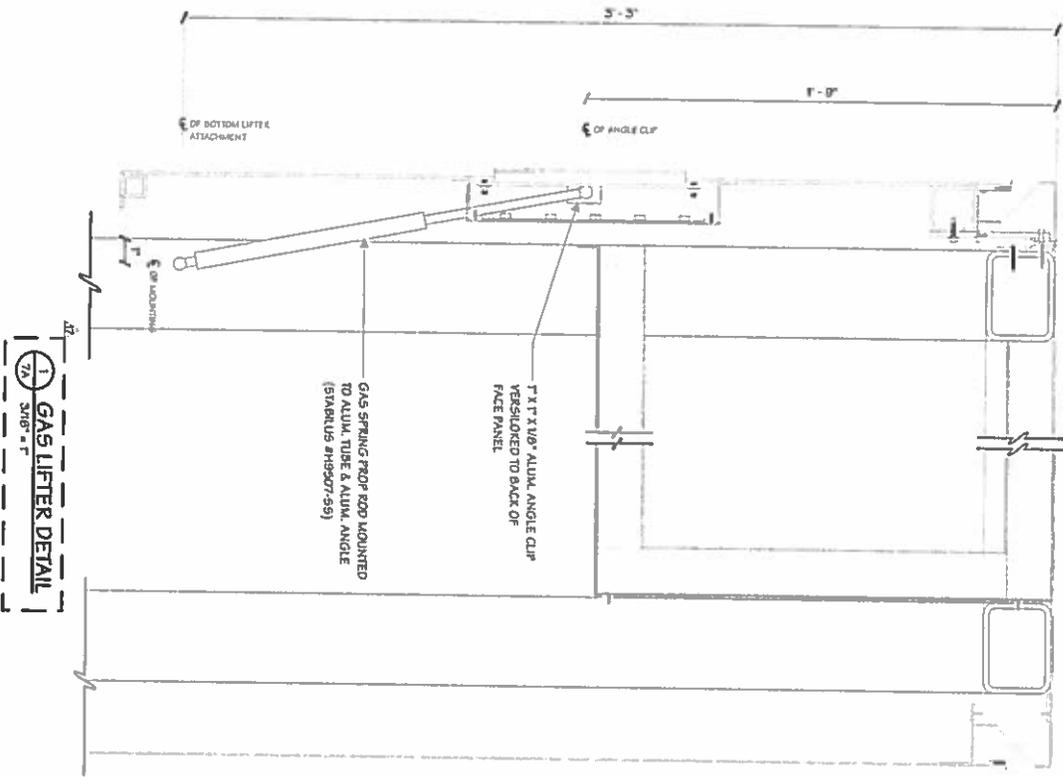
Code 6894

Type C

Scale 1/2" = 1'

Sheet Title
FRONT ELEVATION

Page 6



1 GAS LIFTER DETAIL
7A

2885 International Parkway
Virginia Beach, VA 23462

Sign Type
FRAME R-EXT-NG-WU-
KID-DRL-07105

Code
6894

Drawn By	Date	Change
MB	11 01 17	UPDATED TO MONIGLE ST. BL. S3 DWG DATED 10 16 17
DLR	03 23 18	ADDED WINDOW X HEAT RECL UNIT
DLR	04 25 18	REMOVED WAYFARING, CENTERED LOGO & REPLACED INFILL WINDOW
DLR	05 23 18	MODULE UPDATE
DLR	06 10 18	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	06 15 18	ADDED NEW GAS LIFTER DETAILS

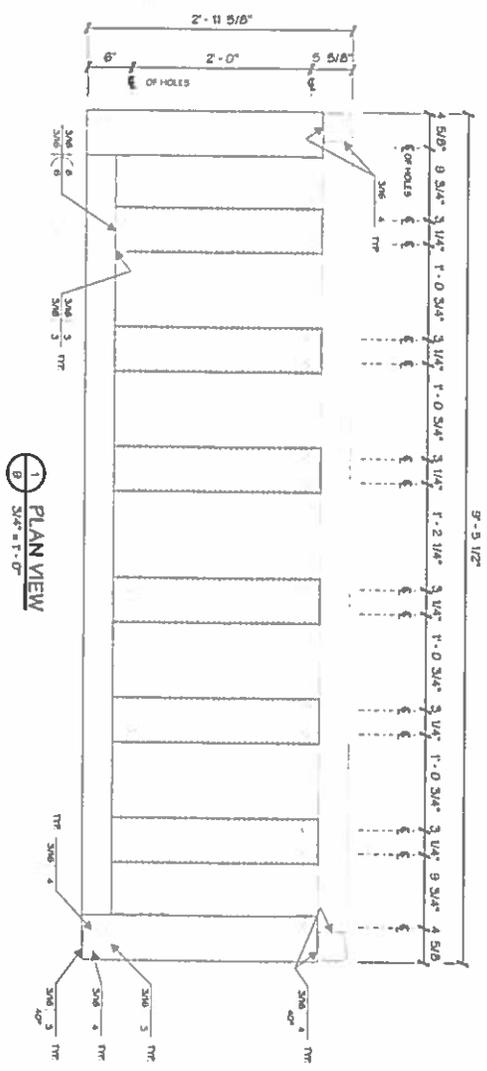
Location
120 Yards _____ Asymptote

Non-Manufactured
 Manufactured
 Exterior
 Single Faced
 Double Faced

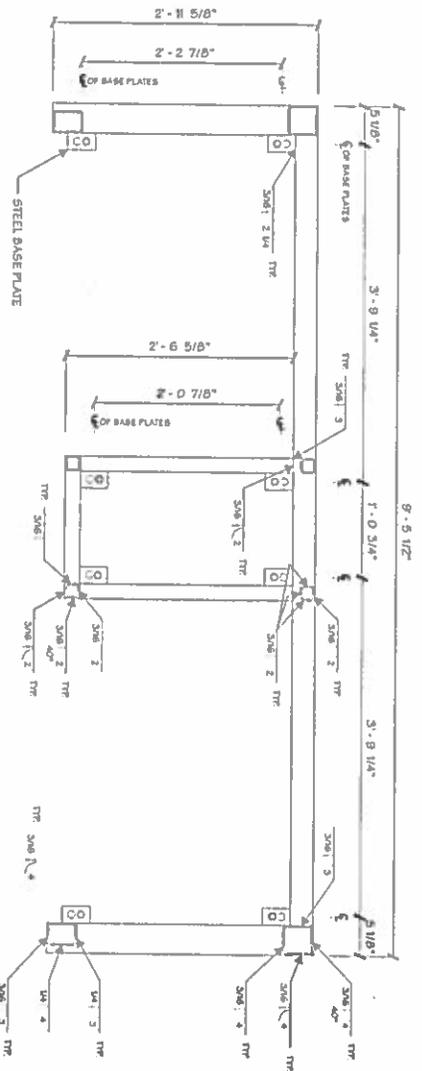
Project Mgr: K. GREER
 Lead Designer: GJM
 Drawn By: GJM

Date: 02/21/17
 Project Title:
 BANK OF AMERICA
 MONIGLE APPROVED 06/08/17

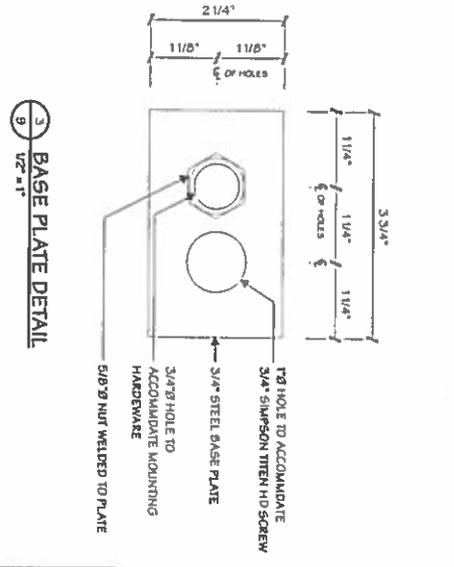




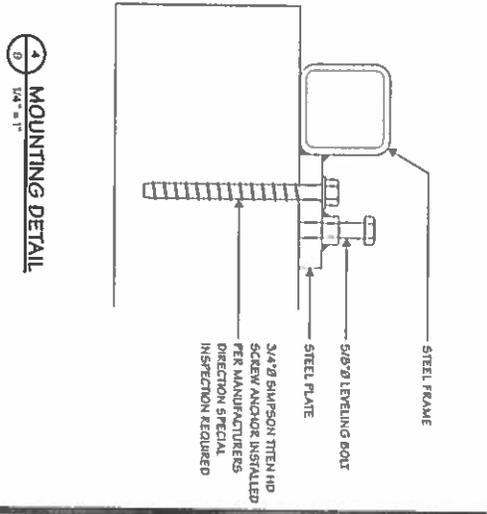
1 PLAN VIEW
3/4\"/>



2 SECTION
3/4\"/>



3 BASE PLATE DETAIL
1/2\"/>



4 MOUNTING DETAIL
1/4\"/>

3046 International Parkway
Virginia Beach, VA 23452

Drawn By: FRANK R. EXTING-WOL
KNO-CBL-DJ-705
Type: C
Code: 6894
Proj #: 9

Drawn By	Date	Change
MM	11 01 17	UPDATED TO MONIELE S1, S2, S3 DWG DATED 10 18 17
SLR	03 29 18	ADDED MATRONIX HEATER/AC UNIT
SLR	04 25 18	REMOVED WAYFINDING, CENTERED LOGO & REPLACED IN/FILL WITH ACS
SLR	05 23 18	MONIELE UPDATES
SLR	09 10 18	CORRECTED ROOF AND SHIPPING STAND DIMS
SLR	09 15 18	ADDED NEW GAS LIFTER DETAILS

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AGI
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1200 Vicksburg Avenue
Virginia Beach, VA 23452
Phone: 757-435-1000
Fax: 757-435-1001
www.agiamerica.com

Project Title:
BANK OF AMERICA
MONIELE APPROVED 08/08/17
Date: 02/21/17
Author: M. SMITH
Last Printer: GJM
Drawn By: GJM
Project Eng: K. GREER
General Eng Specifications:
 Interior Exterior
 Single Faced Double Faced
 Non-Insulated
 Insulated
Location: _____
Weather: _____
Wind: _____
Temp: _____
Altitude: _____



Project Title
BANK OF AMERICA
 MONSIELE APPROVED 08/08/17

Date: 02/21/17

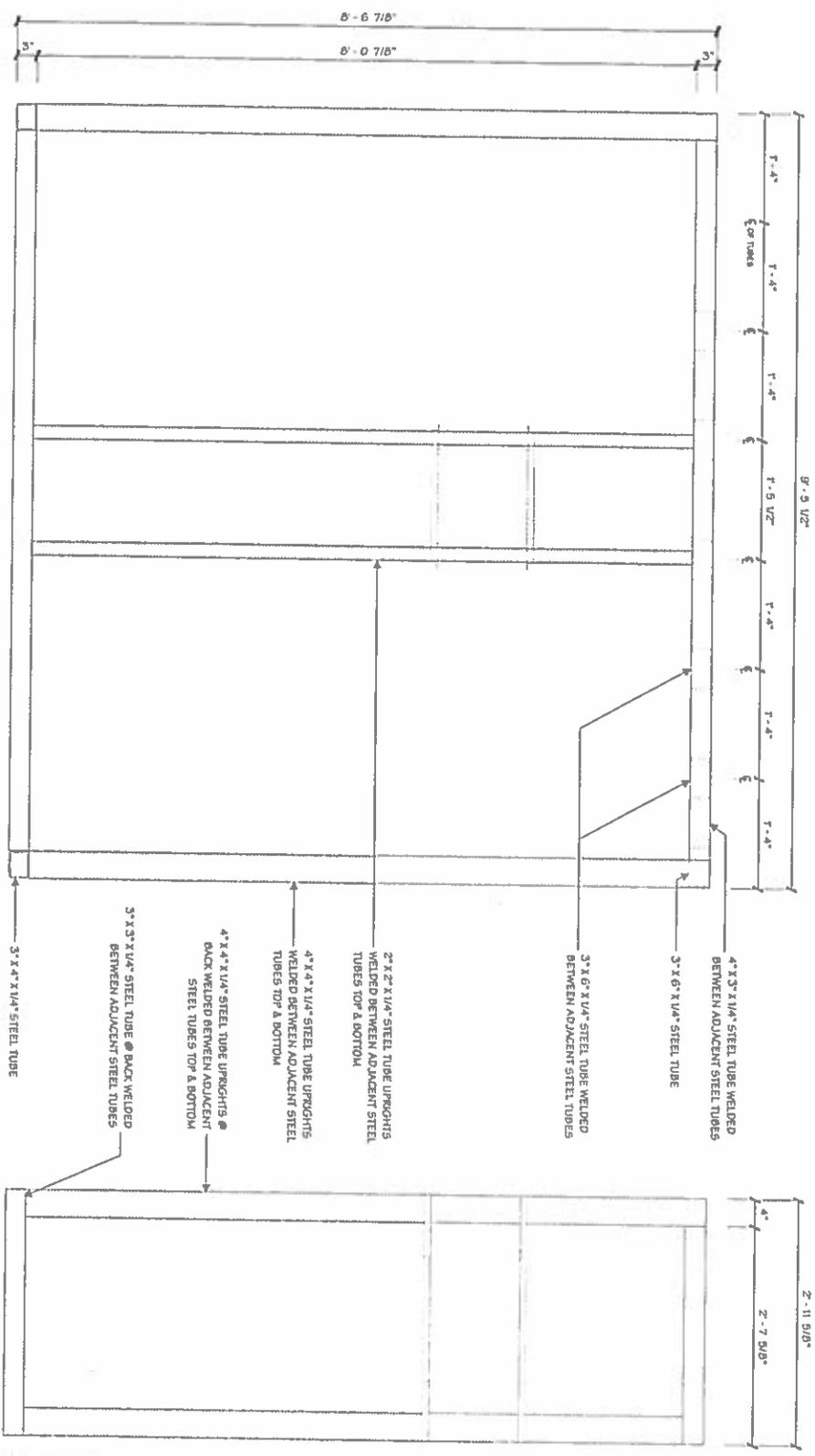
Author: M. SMITH
 Lead Designer: GLM
 Drawn By: GLM

Project Mgr.: K. GREER

Current Sign Specifications
 Installer
 Erector
 Single Faced
 Double Faced

Non-Standard
 Standard

Location: _____
 Material: _____



1 STEEL FRAMING - REAR VIEW
 3/4" x 1" - 0"

2 RIGHT SIDE VIEW
 3/4" x 1" - 0"

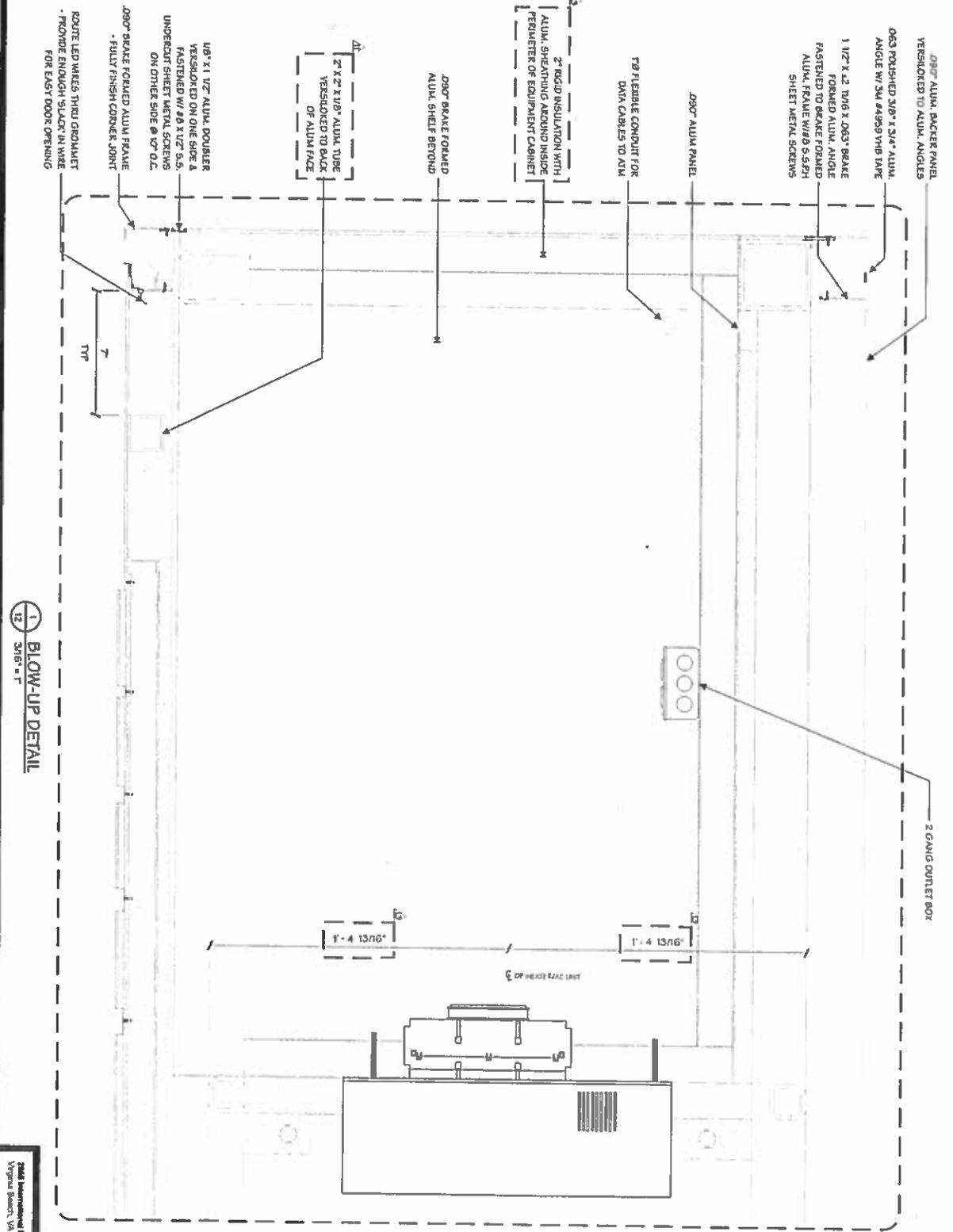
2855 International Parkway
 Virginia Beach, VA 23462

Code	Type
6894	C

Sign Type: FRAU-RECT-NG-WU-
 MONSIELE APPROVED

PG 81
 10

Drawn By	Date	Change
NBJ	11 01 17	UPDATED TO MONSIELE S1, S2, S3 DWD DATED 10 18 17
DLR	03 29 18	ADDED WAYFINDING PLATE/EXIT UNIT
DLR	04 25 18	REMOVED WAYFINDING, CENTERED LOGO & REPLACED W/ RLL W/ ACM
DLR	05 23 18	MONSIELE UPDATES
DLR	09 10 18	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	09 15 18	ADDED NEW GAS LIFTER DETAILS



090° ALUM. BACKER PANEL
 YESLOKED TO ALUM. ANGLES
 ANGLE W/ 3M #4999 YHB IAFE

1 1/2" X 2.2" TYP X 063" BRAKE
 FORMED ALUM. ANGLE
 FASTENED TO BRAKE FORMED
 ALUM. FRAME W/ #8 S. 9/PH
 SHEET METAL SCREWS

090° ALUM. PANEL

TYP FLEXIBLE CONDUIT FOR
 DATA CABLES TO ALM

2" RIGID INSULATION WITH
 ALUM. SHEATHING AROUND INSIDE
 PERIMETER OF EQUIPMENT CABINET

090° BRAKE FORMED
 ALUM. SHELF BEYOND

2" X 2" X 1/8" ALUM. TUBE
 YESLOKED TO BACK
 OF ALUM. FACE

1/8" X 1/2" ALUM. DOUBLER
 YESLOKED ON ONE SIDE &
 FASTENED W/ #8 X 1/2" S.S.
 UNDERCUT SHEET METAL SCREWS
 ON OTHER SIDE @ 10" O.C.

090° BRAKE FORMED ALUM. FRAME
 - FULLY FINISH CORNER JOINT

ROUTE LED WIRES THRU GROMMET
 - PROVIDE ENOUGH SLACK IN WIRE
 FOR EASY DOOR OPENING

2 GANG OUTLET BOX

1'-4 13/16"

1'-4 13/16"

C OF HEATER FACE LINE

TYP

12 BLOW-UP DETAIL
 3/16" = 1"

2018 Manufacturing Processes
 Virginia Beach, VA 23462



Project Title
 BANK OF AMERICA
 MONICLE APPROVED 08/06/17

Scale 0:21.17

ADD EAM M. SMITH
Lead Drafter GLM
Drawn By GLM
Project Mgr. K. GREER

General Sign Specifications
 Interior Exterior
 Single Faced Double Faced

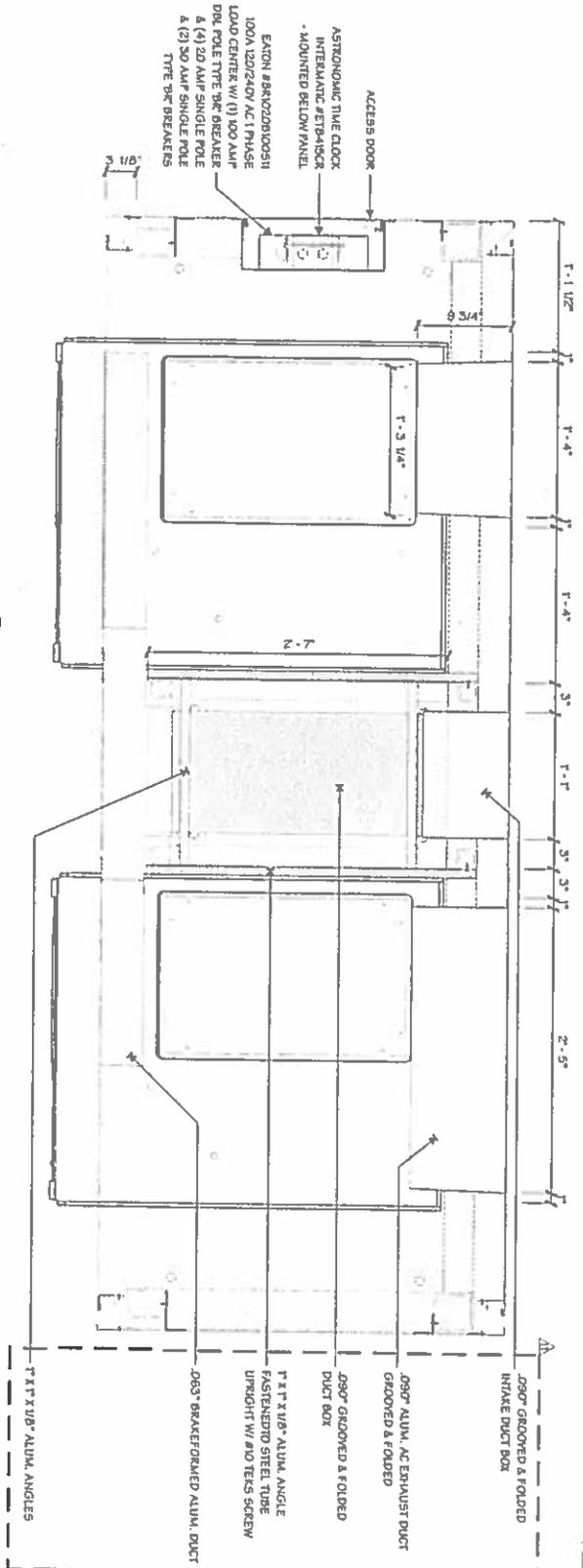
Non-Standard
 Standard

Location: _____
 Worksheet: _____

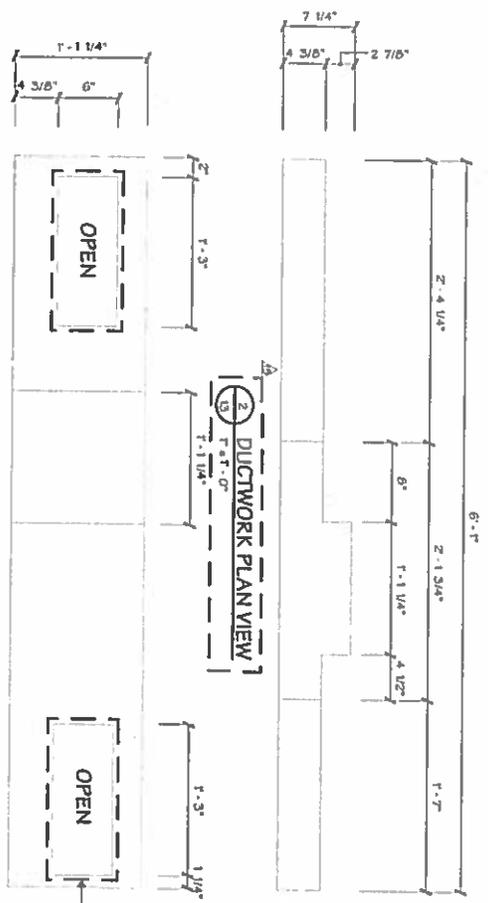
Code 6894
Type C
Page 12

Drawn By	Date	Change
GLM	11 01 17	UPDATED TO MONICLE S1, S2, S3 DWG DATED 10 16 17
DLR	03 29 16	ADDED WATERPROOF HEATER AC LOG
DLR	04 23 16	REMOVED WAYFINDING, CENTERED LOGO & RE PLACED INFILL W/ ACM
DLR	05 23 16	MONIDLEGE UPDATES
DLR	09 10 16	CONNECTED ROOF AND SHIPPING STAND DIMS
DLR	09 15 16	ADDED NEW GAS LIFTER DETAILS

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1 PLAN SECTION @ DUCTWORK
T = 1'-0"



2 DUCTWORK PLAN VIEW
T = 1'-0"

3 DUCTWORK REAR ELEVATION
T = 1'-0"

ADHESIVE BACKED RUBBER OR FOAM TAPE AROUND EDGES OF DUCT TO PREVENT RAINING W/ AC UNIT



Product Title
BANK OF AMERICA
MONITOR APPROVED 08/08/17

Date 02/21/17

Author M. SMITH
Lead Designer GLM
Drawn by GLM
Project Mgr. K. GREER

General Sign Specifications

Interior Exterior
 Single Faced Double Faced

Non-Insulated
 Insulated
120 WxH _____ Anodized _____

Standard _____
Unstandard _____

Drawn By	Date	Change
DLR	11/01/17	UPDATED TO MONITEK ST. S2, 33 DWG DATED 10/18/17
DLR	03/23/16	ADDED WATERFORK HEATER/AC UNIT
DLR	04/23/16	REMOVED WAY FINDING, CENTERED LOGO & REPLACED IN FULL W/ ACM
DLR	07/23/16	REWORK UPDATE
DLR	09/10/16	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	09/15/16	ADDED NEW GAS LIFTER DETAILS

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3055 International Parkway
Virginia Beach, VA 23452

Sign Type
FRAME - EXTEND - WU-
KDC/BL/D7/05

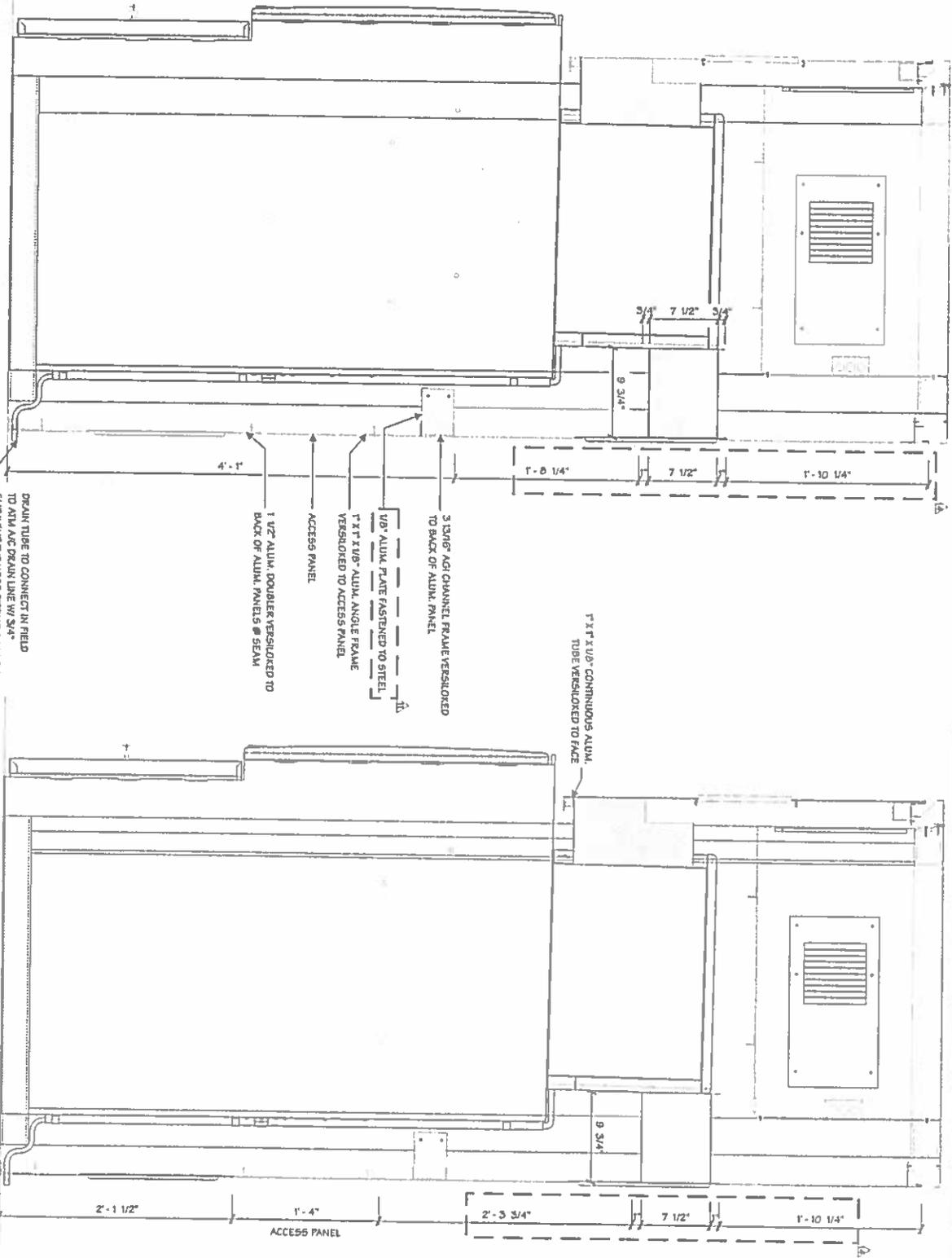
Code
6894

Type
C

Pa. #
13

1 SECTION @ EXHAUST DUCT
SCALE = 1"

2 SECTION @ EXHAUST DUCT
SCALE = 1"



2025 International Parkway
Virginia Beach, VA 23452

Scale: 1/4" = 1'-0"
Type: C

Drawn By	Date	Change
DLR	11 01 17	UPDATED TO MONIILE S1, S2, S3 DWG DATED 10 18 17
DLR	03 29 18	ADDED WATROXIX HEATER/LIFT UNIT
DLR	04 25 18	REMOVED WAY FINDING, CENTERED LOGO & REPLACED INFILL W/ ACM
DLR	05 23 18	MONILOGE UPDATES
DLR	09 10 18	CORRECTED ROOF AND SHIPPING STAND DRIS
DLR	09 15 18	ADDED NEW GAS LIFTER DETAILS

Location: 120
Notes: 120
Approved: _____
Date: _____

Project Title: BANK OF AMERICA
MONILOGE APPROVED 08/08/17
Date: 02/21/17
Author: ARI EAST M. SMITH
Lead Designer: GJM
Drawn By: GJM
Project Mgr: K. GREER
Designer: GJM
Checker: _____
Estimator: _____
Fabricator: _____
Distributor: _____
Material: _____



Project Title
BANK OF AMERICA
 MONROE APPROVED 08/08/17

Date: 02/21/17

ADD: ERM, M. SMITH
 Lead Designer: GJM
 Drawn By: GJM
 Project Mgr.: K. GREER

General Sign Specifications
 Interior Exterior
 Single Faced Double Faced

Not Dimensioned
 Dimensioned
 Location: 120 Yards
 Worksheet: _____

Drawn By	Date	Change
DLR	11/01/17	UPDATED TO MATCH S1, S2, S3 DWG DATED 10/16/17
DLR	03/29/18	ADDED PATRONEX HEATER LOGO
DLR	04/23/18	REMOVED HANGING, CENTERED LOGO & REPLACED INFILL WITH ACM
DLR	05/23/18	MONOLOGUE UPDATES
DLR	09/10/18	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	09/15/18	ADDED NEW GAS LIFTER DETAILS

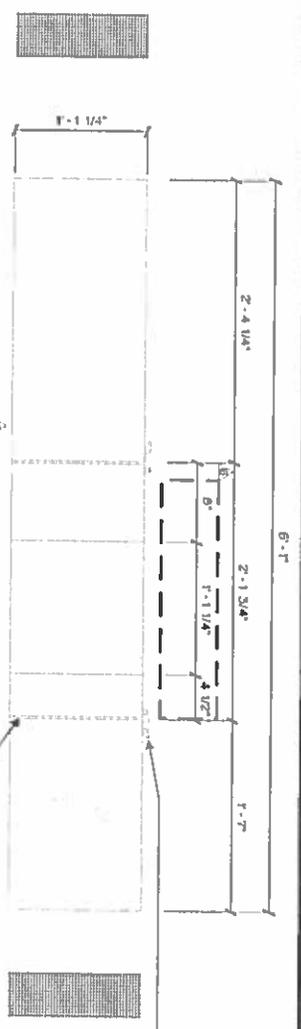
The Designer is the sole authority of interpretation of this drawing. The user of this drawing is responsible for verifying the accuracy of the information provided and for obtaining all necessary permits. The Designer is not responsible for any errors or omissions in this drawing or for any consequences arising from the use of this drawing. The user of this drawing is responsible for any errors or omissions in this drawing or for any consequences arising from the use of this drawing.

Sheet No. **15**
 Title: **FRONT ELEVATION**
 Scale: **3/4" = 1'-0"**

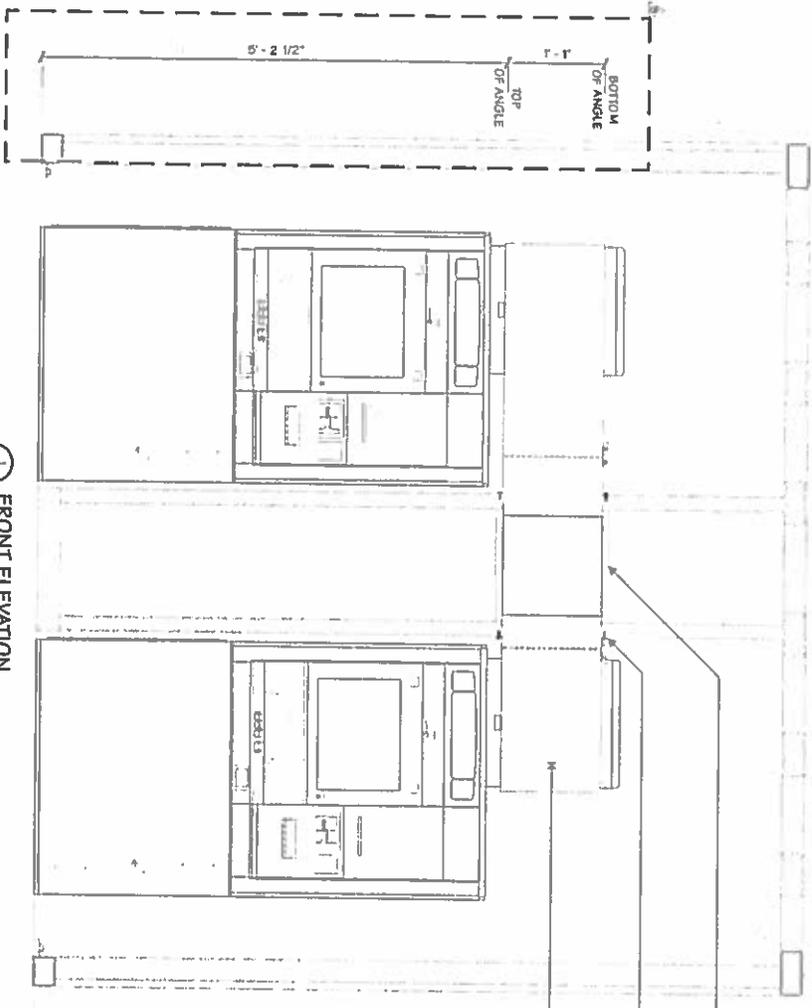
304 International Parkway
 Virginia Beach, VA 23462

SOUTHCO SMALL DRAW LATCH PN 37A10-051-20
<http://www.southco.com/files/datasheets/S7-co-en.pdf>

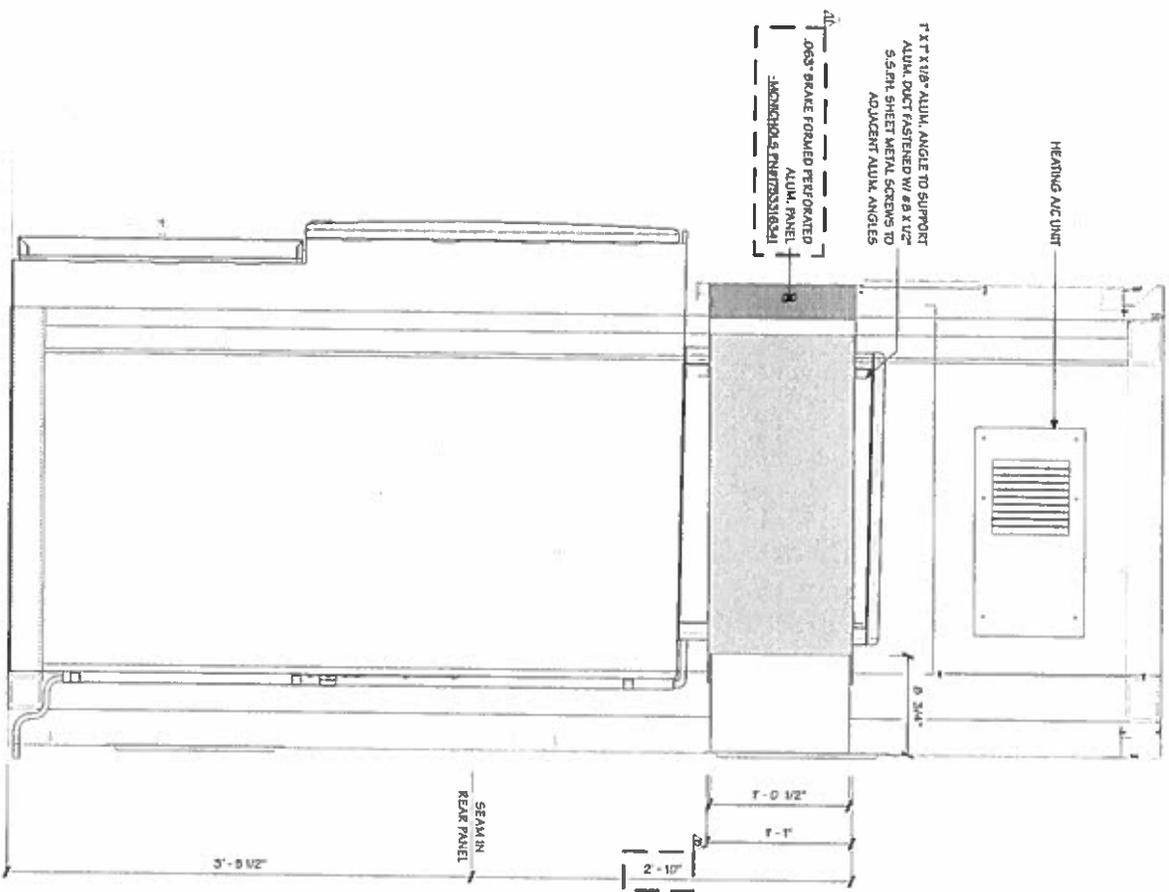
2 DUCTWORK DETAIL
 1/8" = 1'-0"



F 1 X 1 1/2" ALUM. ANGLES BETWEEN ADJACENT ALUM. ANGLES - TOP & BOTTOM OF DUCTWORK
 F 1 X 1 1/2" ALUM. ANGLE FASTENED TO STEEL TUBE UPRIGHT WITH #10 TENS. SCREW
 1/8" = 1'-0" DUCTWORK DETAIL



1 FRONT ELEVATION
 3/4" = 1'-0"



SECTION @ INTAKE DUCT



Project Title
BANK OF AMERICA
 MONROE APPROVED 08/09/17

Date 02/21/17
 Add Scott M. SMITH
 Lead Designer GLM
 Drawn by GLM
 Project Mgr. K. GREER

Client Sign Specifications
 Interior Exterior
 Single Face Double Face

Material
 Non-Structural
 Structural
 120 Yds Amt 1-1/4

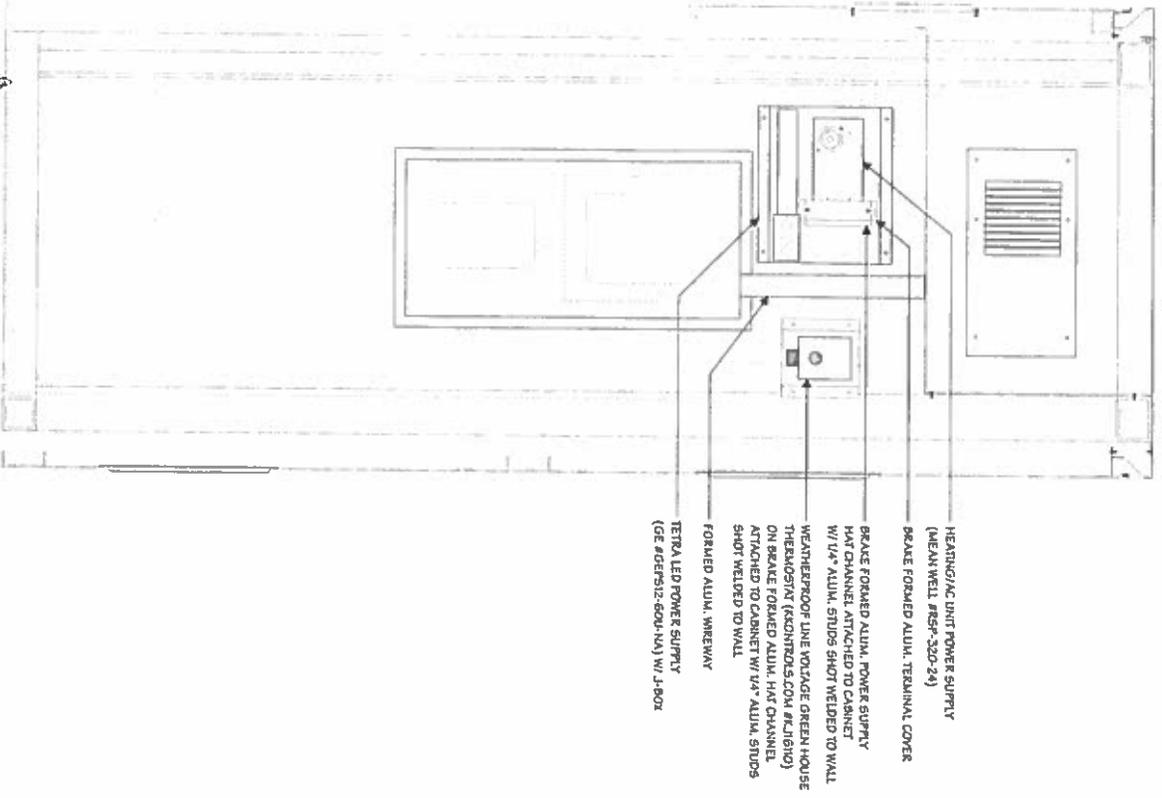
Drawing Revisions		
Drawn By	Date	Change
MM	11/01/17	UPDATED TO MONROE S1, S2, S3 DWG DATED 10/18/17
GLM	03/28/16	ADDED WATROX HEATER/DUCT UNIT
GLM	04/25/16	REMOVED WAYFINDING, CENTERED LOGO & REPLACED INFILL W/ ADM
DLR	05/23/16	MINOR GEOM UPDATES
DLR	09/10/16	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	09/15/16	ADDED NEW GAS LIFTER DETAILS

8888 International Parkway
 Virginia Beach, VA 23462

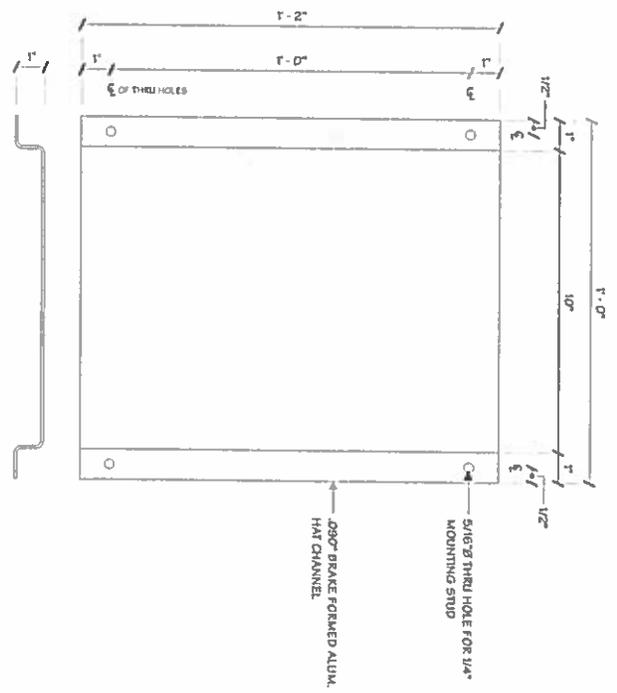
Sign Type
 FIBRE RE-EXTING-WL
 HD-DRL-07705

Page 16

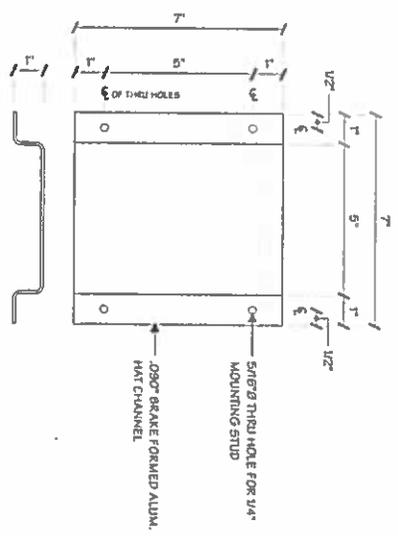
1
POWER SUPPLY DETAIL



2
POWER SUPPLY HAT CHANNEL



3
THERMOSTAT HAT CHANNEL



2000 International Parkway
Virginia Beach, VA 23452

Client: **6894**
Type: **C**

Project Title: **BANK OF AMERICA MONIELE APPROVED 08/09/17**
Date: **02/21/17**
Drawn By: **GLM**
Lead Designer: **GLM**
Project Mgr.: **K. GREER**

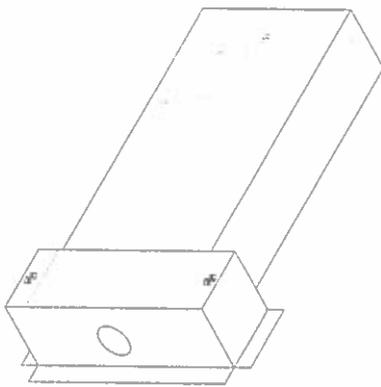
Drawing Revisions

Drawn By	Date	Change
LRB	11/01/17	UPDATED TO MONIELE S1, S2, S3 DWG DATED 10/16/17
DLR	03/26/18	ADDED HEATING/AC UNIT
DLR	04/23/18	REMOVED WAY FINDING, CENTERED LOGO & REPLACED INFILL W/ ACM
DLR	05/23/18	MONIELE UPDATE
DLR	09/10/18	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	08/15/18	ADDED NEW GAS LIFTER DETAILS

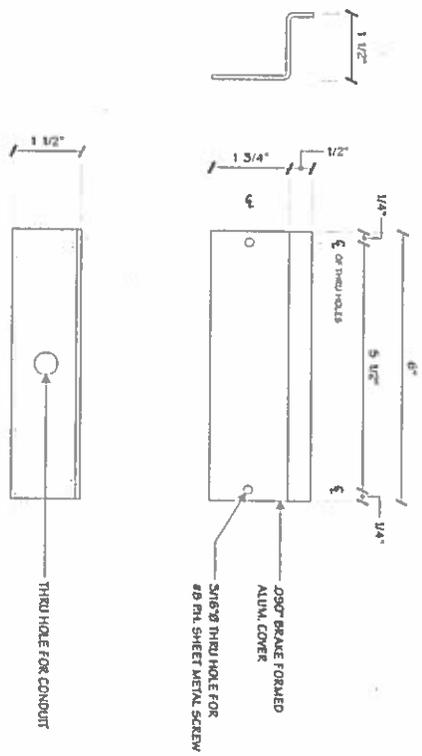
Location: **121** Vets **Ampt 4/3**

Legend:
 Non-Insulated
 Insulated
 Interior
 Single Faced
 Double Faced
 Exterior
 Double Faced

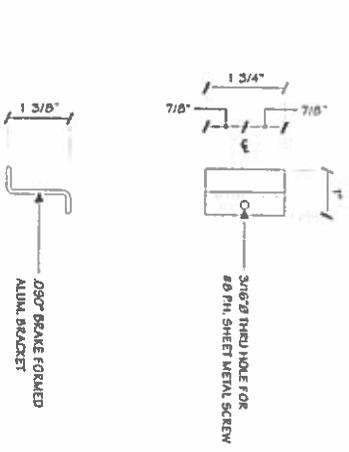




1 TERMINAL COVER ISOMETRIC
N.T.S.



2 TERMINAL COVER
3/16" = 1"



3 TERMINAL COVER BRACKET
3/16" = 1"

2023 International Privacy
 Virginia Beach, VA 23462

Sheet Type
 FRAME-RT-ENG-WU-
 NO-DWG-0775

Code	6894	Type	C
Page	18		

Drawing Revisions	
Drawn By	Date
DLR	11 01 17
DLR	03 19 18
DLR	04 25 18
DLR	05 23 18
DLR	09 10 18
DLR	09 15 18

Project Title
BANK OF AMERICA
 MONROE APPROVED DESIGN 17

Date: 02 21 17

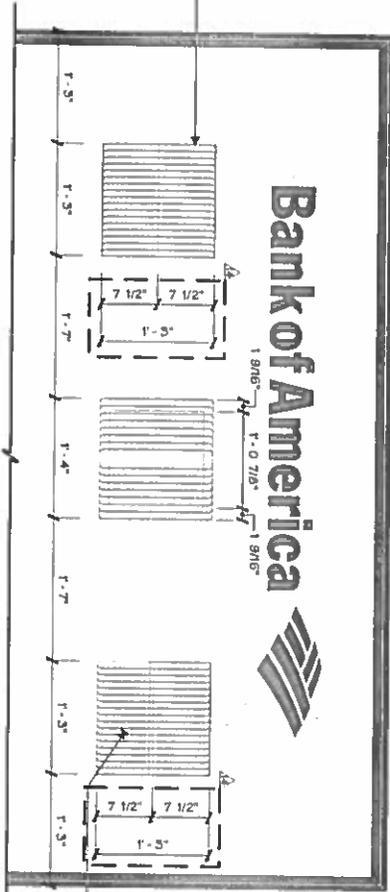
ADD: ESH A. SMITH
 Lead Designer GLM
 Drawn By GLM
 Project Mgr. K. CREEER

General Sign Specifications
 Undercut
 Single Faced
 Double Faced

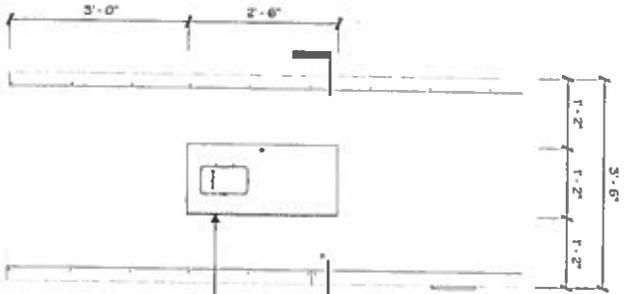
Material
 Aluminum
 Steel
 Other

Location
 100 Yorks
 Annapolis, MD

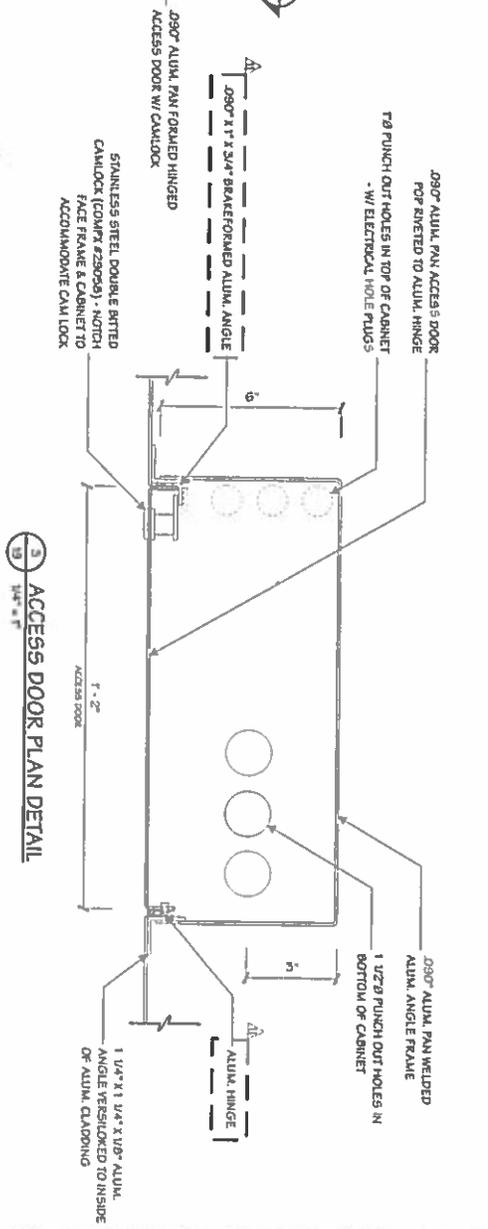




1 REAR ELEVATION
3/4\"/>



2 ELEVATION SIDE VIEW
1/2\"/>



3 ACCESS DOOR PLAN DETAIL
1/4\"/>



Project Title
BANK OF AMERICA
MONIE APPROVED 08/08/17

Date 02/21/17

AAI Earl M. Smith
Lead Designer GJM

Drawn By GJM
Project Mgr. K. Greer

General Shop Specifications

Interior Exterior
 Single Faced Double Faced

Non-Aluminized
 Anodized

Location
120
Notes
Approved

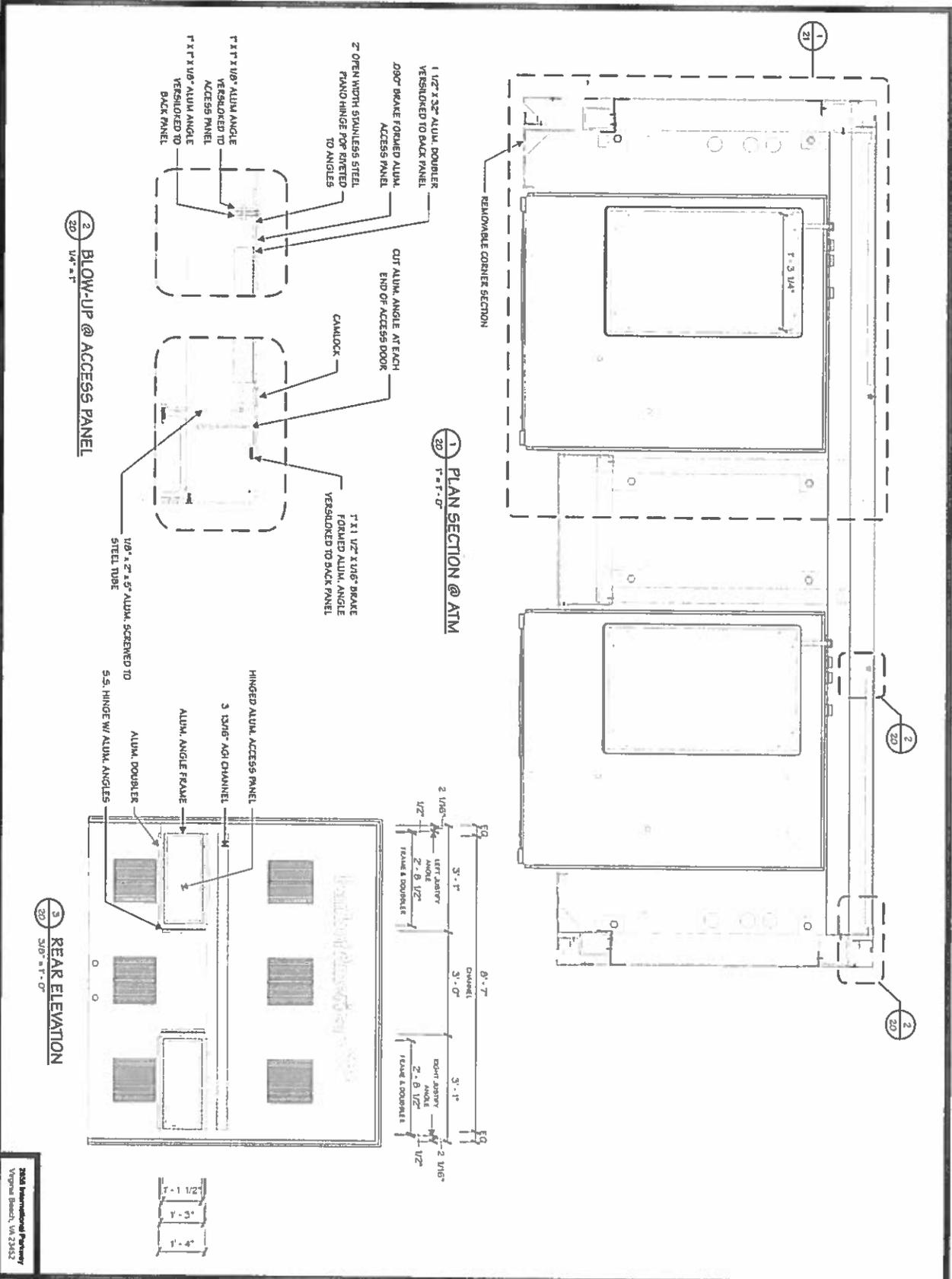
Drawing Revisions		
Drawn By	Date	Change
MM	11/01/17	UPDATED TO MONIE B1, B2, S3 DWG DATED 10/18/17
DLR	03/29/18	ADDED WATERFIRE HEATER AL UNIT
DLR	04/25/18	REMOVED WAY FINDING, CENTERED LOGO & REPLACED IN FILL W/ AGM
DLR	05/23/18	MONIE/GE UPDATES
DLR	06/10/18	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	09/15/18	ADDED NEW GAS LIFTER DETAILS

2024 International Property
Virginia Beach, VA 23462

Sheet Title
FRAME-EXTNGS-MU-
K10-DRL-D7705

6894

19



1 PLAN SECTION @ ATM
1/8" = 1'-0"

2 BLOW-UP @ ACCESS PANEL
1/4" = 1"

3 REAR ELEVATION
3/8" = 1'-0"



AGI

Project Title: **BANK OF AMERICA**
MONITOR APPROVED 08/09/17

Date: 02/21/17
 Add: Earl M. Smith
 Lead Designer: GLM
 Drawn By: GLM
 Project Mgr: K. Greer

General Sign Specifications:
 Interior
 Exterior
 Single Faced
 Double Faced
 Non-Insulated
 Insulated

Location: _____
 Worksheet: _____
 120 _____

Drawing Revisions

Drawn By	Date	Change
MM	11/01/17	UPDATED TO MONIEGE S1, S2, S3 DWG DATED 10/18/17
DLR	03/28/18	ADDED WATERPROOF HEATERAC UNIT
DLR	04/25/18	REMOVED WAYFINDING, CENTERED LOGO & REPLACED INFILL W/ ACM
DLR	05/23/18	MONIDGLE UPDATES
DLR	09/10/18	CORRECTED HOOF AND SHIPPING STAND DIMS
DLR	09/15/18	ADDED NEW GAS LIFTER DETAILS

2024 International Parkway
 Virginia Beach, VA 23462
 6894
 Type: C
 Pg 6 of 20

NOTES:
 1.) PAINT INTERIOR SURFACES OF TOPPER SPRAYLIT STARBRITE WHITE LIGHT ENHANCEMENT PAINT.



Project Title:
BANK OF AMERICA
 MONKLE APPROVED 06/09/17

Date: 02/21/17

ADD: EARL M. SMITH
 Lead Designer: CLM
 Drawn By: GJM

Project Mgr.: K. GREER

General Sign Specifications

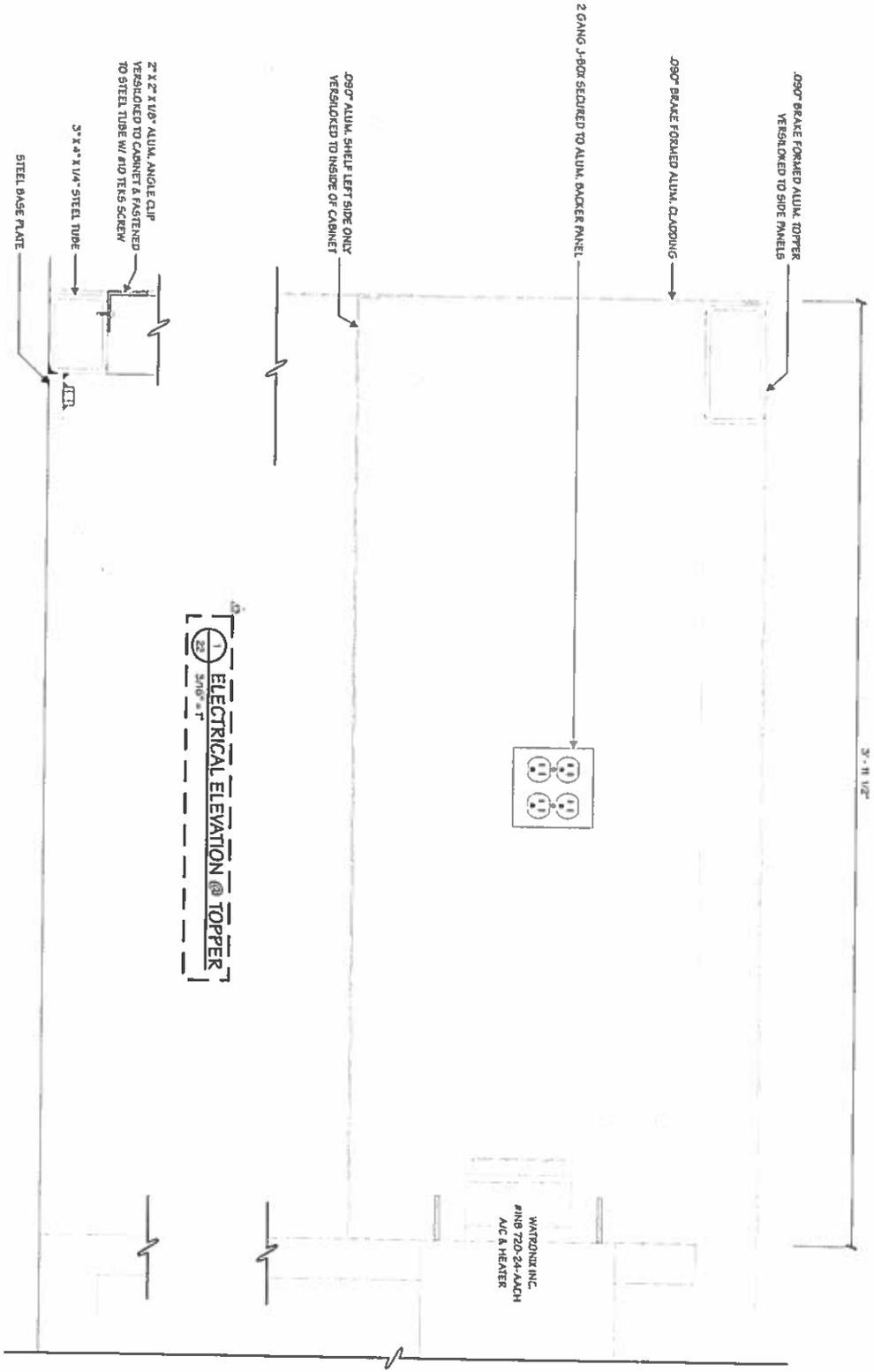
Interior Exterior

Single Faced Double Faced

Non-Illuminated Illuminated

Location: _____
 120' _____

WATKINS INC.
 #100 720-24-ALUM
 A/C & HEATER



1 ELECTRICAL ELEVATION @ TOPPER
 2'-0\"/>

2 ELECTRICAL ELEVATION @ BOTTOM
 2'-0\"/>

2 X 2 X 1/4\"/>

3 X 4 X 1/4\"/>

STEEL BASE PLATE

3555 International Shopping
 Virginia Beach, VA 23462

Drawn By	Date	Change
MM	11/01/17	UPDATED TO MONKLE S1, S2, S3 DWG GATED 10/18/17
CLM	03/23/18	ADDED HAZARD WARNING UNIT
CLM	04/25/18	REMOVED HAZARD WARNING, CENTERED LOGO & REPLACED INFILL W/ ACM
CLM	05/31/18	MONKLE UPDATE
CLM	08/16/18	CORRECTED ROOF AND SHIPPING STANG DIMS
CLM	09/15/18	ADDED NEW GAS LIFTER DETAILS

Sign Type: **FRAME-EXT-NG-WL**
 KDD-08L-0705

Page #: **22**



Product Title
BANK OF AMERICA
 MONIGLE APPROVED DRAWING

Date: 02/23/17

ADD: Earl M. Smith
 Lead Designer: GJM
 Drawn by: GJM
 Project Mgr: K. Greer

General Sign Specifications
 Interior Exterior
 Single Faced Double Faced

Non-Standard
 Standard
 100' Width Asymptotic

Legend

Drawn by	Date	Change
AM	11/01/17	UPDATED TO MONIGLE \$1, \$2, \$3 DWO DATED 10/16/17
CLR	03/29/18	ADDED WATERKIX HEATER AC UNIT
CLR	04/25/18	REMOVED WAY FINDING, CENTERED LOGO & REPLACED IN FULL WIDTH
CLR	05/23/18	MONIGLE UPDATES
CLR	09/10/18	CORRECTED ROOF AND SHIPPING STAND DIMS
CLR	09/11/18	ADDED NEW GAS LIFTER DETAILS

As indicated by the project or submittal requirements, the contractor shall provide the appropriate permits, fees, and approvals for the proposed project. The contractor shall be responsible for obtaining all necessary permits, fees, and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits, fees, and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits, fees, and approvals from the appropriate authorities.

Code: 6894
 Type: C
 Sign Type: FRAMER EXT. NG.WL.
 MONIGLE 07/15/15
 PG. 25

2665 International Parkway
 Virginia Beach, VA 23452

Canopy Framing & Details

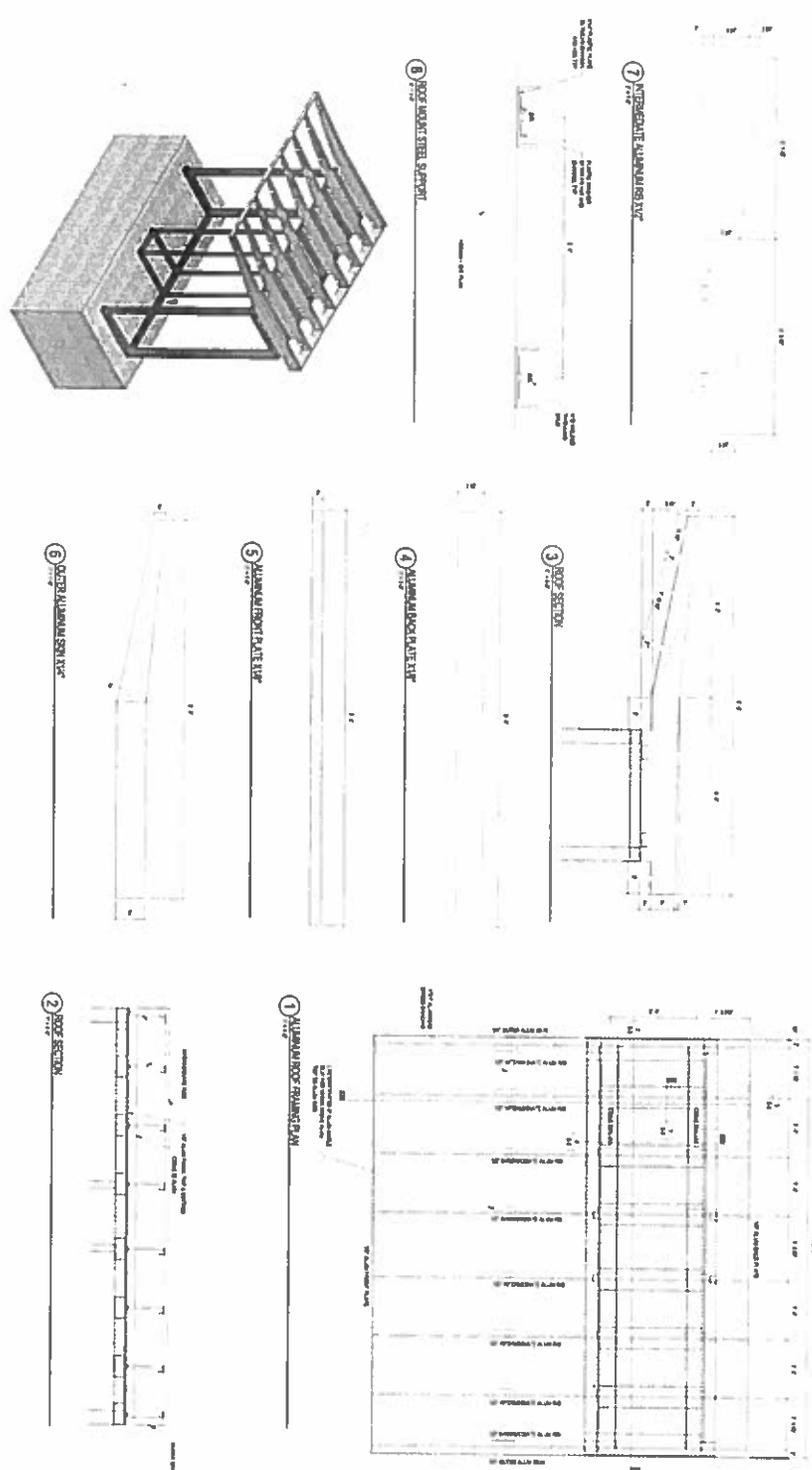
JIRSAHERNICK
 2665 International Parkway
 Virginia Beach, VA 23452
 Phone: 757.463.1111
 Fax: 757.463.1112
 Email: info@jirsa.com

Project No: 6894
 Drawing No: 25
 Date: 02/23/17
 Designer: GJM
 Checker: GJM

Scale: 1/8" = 1'-0"

Sheet No: 25

MONIGLE APPROVED





Project Title
BANK OF AMERICA
 MONILOG APPROVED 08/08/17

Date 02/21/17

ADJ ENR M. SMITH
 Lead Designer GJM
 Drawn By GJM

Project Sigs: K. GREER

General Sign Specifications

Illuminated Non-Illuminated
 Backlit Frontlit
 Single Faced Double Faced

Location: 130 Main, Asbury Park, NJ
 Worksheet: _____

Drawn By	Date	Change
MSJ	11/01/17	UPDATED TO MONILOG S1, S2, S3 DWG DATED 10/16/17
DLR	01/25/18	ADDED VIALTRONIX HEATER/AL URNY
DLR	04/25/18	REMOVED WAITING, CENTERED LOGO & REPLACED INFLLW/ACM
DLR	05/23/18	MONILOGE UPDATES
DLR	09/10/18	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	09/15/18	ADDED NEW GAS LIFTER DETAILS

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Code: 6894

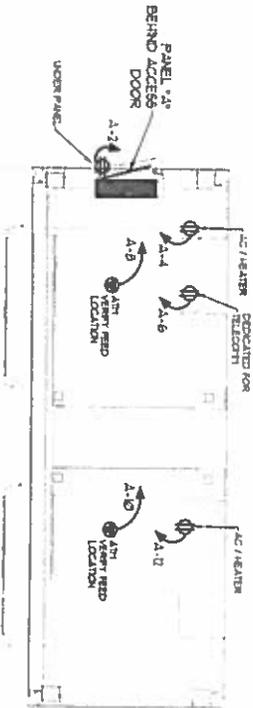
Type: C

Sign Type: FRAMER-EXTING-NML-
 KD-09L-07705

PN #: 26

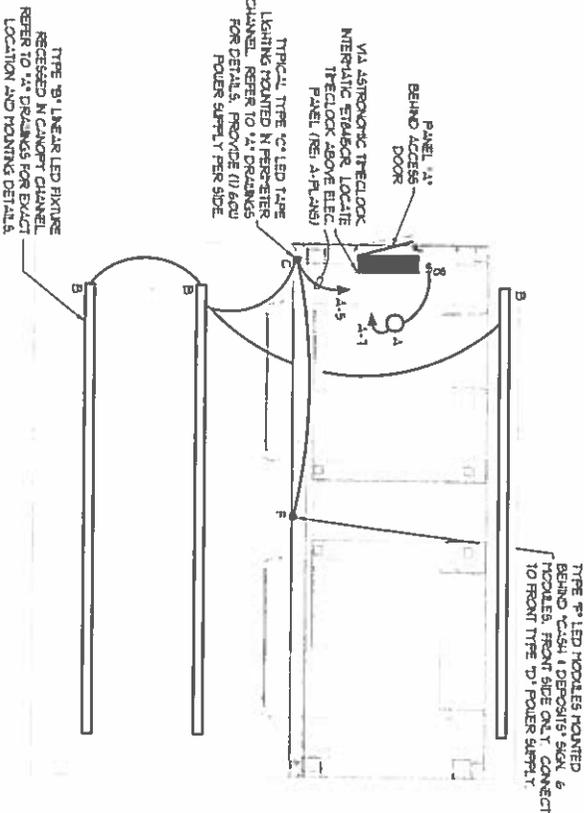
KIOSK POWER PLAN

SCALE: 1/2" = 1'-0"



KIOSK LIGHTING PLAN

SCALE: 1/2" = 1'-0"



ELECTRICAL LEGEND

⊕	JUNCTION BOX
⊙	SINGLE POLE SWITCH
⊖	DUPLEX RECEPTACLE
⊕	HEIGHT PER BANK OF AMERICA
⊖	SPECIAL PURPOSE RECEPTACLE (HEIGHT PER BANK OF AMERICA)
⊕	DISCONNECT, RATED FOR USE
⊖	UP
⊕	WEATHERPROOF
⊖	GROUND FAULT INTERRUPTER
⊕	AC ABOVE COUNTER
⊖	HOR MOUNT RECEPTACLE HORIZONTALLY
⊕	METER

3824 International Parkway
 Virginia Beach, VA 23462



Project Title
BANK OF AMERICA
 MONJILE (APPROVED 09/08/17)

Date: 02.21.17

Author: M. SMITH
 Lead Designer: GJM

Drawn By: GJM

Project Manager: K. GREER

General Sign Specifications

Insulated
 Single Faced
 Double Faced

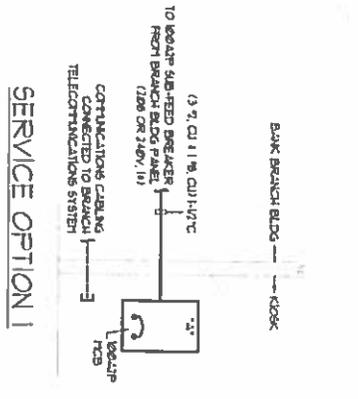
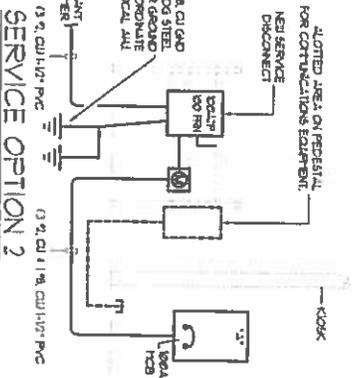
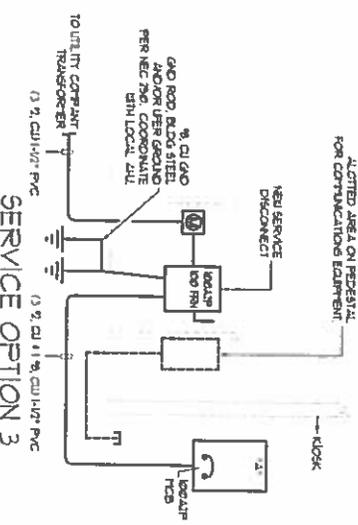
Non-Insulated
 Single Faced
 Double Faced

Window: _____
 Width: _____
 Height: _____

Scale: _____

Revision	Date	Change
DLR	10/11/17	UPDATED TO MONJILE S1, S2, S3 DWG DATED 10/16/17
DLR	03/23/18	ADDED WATERPROOF HEATER/AC UNIT
DLR	04/25/18	REMOVED WAYFINDING, CENTERED LOGO & REPLACED INFILL IN ACM
DLR	05/21/18	MONJILE UPDATES
DLR	09/10/18	CONNECTED ROOF AND SHIPPING STAND DIMS
DLR	09/15/18	ADDED NEW GAS LIFTER DETAILS

Code: 6894
 Type: C
 Sign Type: FRAMER-EXT-REG-MUL.
 NO. DBL-07/15
 Pg. 27



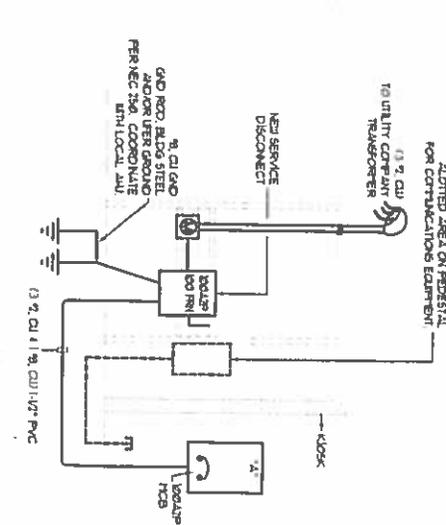
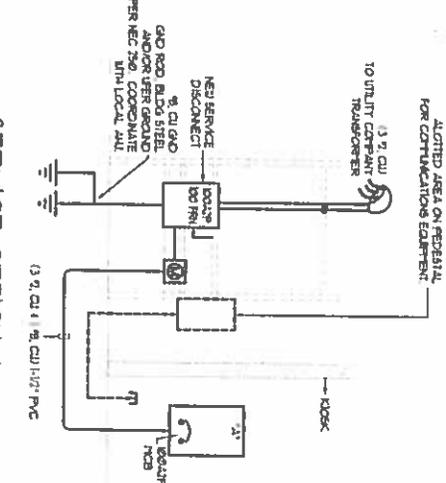
ELECTRICAL SERVICE OPTIONS:

SERVICE OPTION 1
 UTILIZE THIS OPTION FOR KIOSK POWER FEED FROM AN EXISTING BANK BRANCH BUILDING. CONTRACTOR SHALL FIELD-COORDINATE WITH BANK OF AMERICA AND BRANCH MANAGER TO DETERMINE BEST LOCATION TO FEED NEW 120V OR 240V SINGLE PHASE ELECTRICAL FEED TO KIOSK. BANK OF AMERICA PANEL MUST BE ABLE TO ACCOMMODATE NEW FEED. ALL FEEDS FOR KIOSK SHALL NOT BE EXPOSED AND SHALL BE APPROVED FOR SECURETY PURPOSES WITH BANK OF AMERICA.

SERVICE OPTION 2
 UTILIZE THIS OPTION FOR FREE-STANDING KIOSKS FED FROM A PAD-MOUNTED UTILITY COMPANY TRANSFORMER. CONTRACTOR SHALL BE USED FOR UTILITY JURISDICTIONS THAT REQUIRE THIS OPTION. CONTRACTOR SHALL FIELD-COORDINATE WITH UTILITY COMPANY FOR THIS OPTION. ALL SERVICE LEADS SHALL BE ROUNDED TO A RADIUS OF 1/4" AND SHALL BE TREATED TOOD FEDERAL. CONTRACTOR SHALL PLACE PER BANK OF AMERICA STANDARD ELECTRICAL CONTRACTOR SHALL FIELD-COORDINATE WITH LOCAL UTILITY COMPANY FOR SERVICE FEEDERS AND SPECIFIC REQUIREMENTS FROM TO WORK.

SERVICE OPTION 3
 CONTRACTOR SHALL DISCONNECT THE SERVICE REQUIREMENTS OF OPTION 3 WITH THE EXISTING OF THE KIOSK AND FEEDER CONFIGURATION. THIS OPTION SHALL BE UTILIZED IN UTILITY JURISDICTIONS THAT REQUIRE "NOT-RENDERED" METER UPSTREAM OF DISCONNECT LINE AND FEEDER CONFIGURATION.

SERVICE OPTION 4
 UTILIZE THIS OPTION FOR FREE-STANDING KIOSKS FED FROM A POLE-MOUNTED UTILITY COMPANY TRANSFORMER. CONTRACTOR SHALL BE USED FOR UTILITY JURISDICTIONS THAT REQUIRE THIS OPTION. CONTRACTOR SHALL FIELD-COORDINATE WITH UTILITY COMPANY FOR THIS OPTION. ALL SERVICE LEADS SHALL BE ROUNDED TO A RADIUS OF 1/4" AND SHALL BE TREATED TOOD ON UNINSULATED FEDERAL. CONTRACTOR SHALL PLACE PER BANK OF AMERICA STANDARD ELECTRICAL CONTRACTOR SHALL FIELD-COORDINATE WITH LOCAL UTILITY COMPANY FOR SERVICE FEEDERS AND SPECIFIC REQUIREMENTS FROM TO WORK.



SERVICE OPTION 4

SERVICE OPTION 5

3658 Watkinson Parkway
 Virginia Beach, VA 23462



Project Title
BANK OF AMERICA
 MONROE APPROVED 08/08/17

Date 02/21/17

ADAM M. SMITH
 Lead Designer GJM
 Drawn By GJM
 Project Mgr. K. GREER

General Sign Specifications

Non-Structural
 Insulator
 Simple Faced
 Double Faced

Unshaded
 Shaded

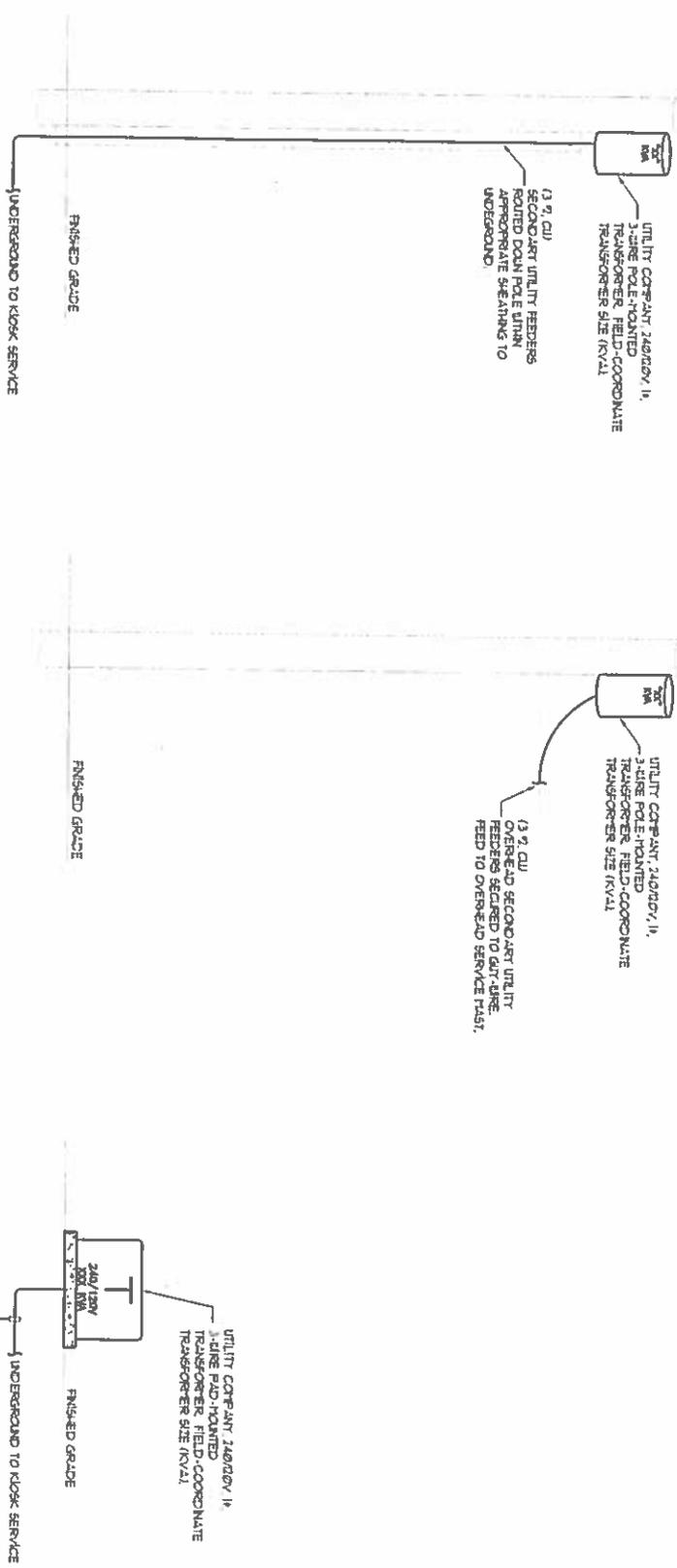
Location
 Unshaded
 Shaded

Drawn By	Date	Change
MM	11 01 17	UPDATED TO MONIGLE 81, 82, 83 DWG DATED 10 18 17
DLR	03 29 18	ADDED WATROUX HEAT EXCHANGER
DLR	04 25 18	REMOVED WAITING, CENTERED LOGO & REPLACED INFILL WITH A
DLR	06 23 18	MONIDGLE UPDATES
DLR	09 11 18	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	09 15 18	ADDED NEW GAS LIFTER DETAILS

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Code
 6894
 Type
 C
 Sign Type
 FRAME-R-EXT-NC-WD-
 KNO-DBL-07705
 Pg. #
 28

8888 Municipal Parkway
 Virginia Beach, VA 23452



UTILITY COMPANY
 SERVICE OPTION 1

UTILITY COMPANY
 SERVICE OPTION 2

UTILITY COMPANY
 SERVICE OPTION 3

FIXTURE SCHEDULE

BANK OF AMERICA ATM KIOSKS

DESCRIPTION OF LUMINAIRE		MOUNTING DATA			LUMINAIRE SPECIFICATION					
ACTY	LAMP CODE	DESCRIPTION	FINISH	METHOD	DEPTH	CEILING TYPE	MANUFACTURER	CATALOG NUMBER	VOLTS	NOTES
A	(1) 10W LED A-19	SURFACE MOUNTED POLYCRYSTALLINE KINETICS	STANDARD	SURFACE	N/A	STRUCTURE	ATC	ATC	120	1
B	35W LED	96" ONE VOLTAGE, 1956 BAIATED UNDER LED FIXTURE	STANDARD	RECESSED	3"	CANOPY	GL	GL	120	1
C	1.5W / 11	MED LOW VOLTAGE LED TAPE LIGHT	STANDARD	SURFACE	N/A	N/A	PERFORMA	RATIO DRIVE SUPPLY	120/11	1
D	0.4W / MODULE	FIBER OPTIC CONNECTED LED MODULES	STANDARD	SURFACE	N/A	N/A	GL	GL	120/11	1
E	0.4W / MODULE	FIBER OPTIC CONNECTED LED MODULES	STANDARD	SURFACE	N/A	N/A	GL	GL	120/11	1

DEFINITIONS:
 1. COORDINATE FINAL LOCATION AND MOUNTING WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO ORDERING.
 2. COORDINATE WITH GC TO DETERMINE ALL LUD CONNECTIONS, SUPPLY VOLTAGE, END CAPS, DIMENSIONS, ETC. AND SUPPLY FOR A COMPLETE OPERATIONAL SYSTEM.

PANEL "A"
 240 / 120 VOLTS, 1 PHASE, 3 WIRE
 100 AMP/ 100A2P M.C.B.
 NEW, SURFACE
 EATON AIC SERIES (SEE NOTE BELOW)
 Y. 2013/973/3779 F. 2013/973/9755

CIRCUIT	PHASE			CIRCUIT	DESCRIPTION
	A	B	C		
1	100/2	0	0	20	1500 FAC / HEATER
2	0	0	0	20	1500 FAC / SECURITY DED
3	352	20	0	30	2500 ATM FEED (H/O, C/U)
4	1800	20	0	30	2500 ATM FEED (H/O, C/U)
5	20	0	0	20	500 TEL / SECURITY DED
6	20	0	0	20	500 TEL / SECURITY DED
7	20	0	0	20	500 TEL / SECURITY DED
8	20	0	0	20	500 TEL / SECURITY DED
9	20	0	0	20	500 TEL / SECURITY DED
10	20	0	0	20	500 TEL / SECURITY DED
11	20	0	0	20	500 TEL / SECURITY DED
12	20	0	0	20	500 TEL / SECURITY DED

RECEIVER	PHASE		RECEIVER	DESCRIPTION
	A	B		
RECEIVER 1	2.2	1.75	2.7	RECEIVER 1
RECEIVER 2	0.2	1.00	0.2	RECEIVER 2
RECEIVER 3	0.0	0.0	0.0	RECEIVER 3
RECEIVER 4	1.5	1.75	1.9	RECEIVER 4
RECEIVER 5	0.0	1.00	0.0	RECEIVER 5
RECEIVER 6	0.0	1.00	0.0	RECEIVER 6
RECEIVER 7	0.0	1.00	0.0	RECEIVER 7
RECEIVER 8	6.0	1.00	6.0	RECEIVER 8
RECEIVER 9	0.0	1.00	0.0	RECEIVER 9
RECEIVER 10	0.0	1.00	0.0	RECEIVER 10
RECEIVER 11	0.0	1.00	0.0	RECEIVER 11
RECEIVER 12	0.0	1.00	0.0	RECEIVER 12

SERIES RATING SPECIFICATIONS:
 PANEL AND UPSTREAM DEVICES SHALL BE SUPPLIED AS FOLLOWS TO ACHIEVE 100,000 AIC SERIES RATING COMBINATION.
 CAN SERVICE DISCONNECT 100AMP NEMA 3R WITH 100 FRR-R PUSES (SEE SHEET E2.0)
 PANEL CATALOG NUMBER: EATON 9846-6-000
 MAIN CIRCUIT BREAKER TYPE: EATON 9800
 BRANCH CIRCUIT BREAKER TYPE: EATON 98R



Project Title
BANK OF AMERICA
 MONITOR APPROVED SHEET

Date: 02-21-17
 Add: Bob M. Smith
 Lead Designer: GJM
 Drawn By: GJM
 Project Supt.: K. GREER

General Sign Specifications
 Interior
 Single Feed
 Double Feed

Location: _____
 Worksheet: _____

Drawing Revisions

Drawn By	Date	Change
MM	11-01-17	UPDATED TO MONIGLE S1, S2, S3 DWG DATED 10-16-17
DLR	03-29-18	ADDED WATER/DRINK HEATER (H/O)
DLR	04-25-18	REMOVED WAY INDRING, ENTERED LOGO & REPLACED INFILL W/ ACM
DLR	05-23-18	MONIDRGE UPDATES
DLR	09-10-18	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	09-15-18	ADDED NEW GAS LITTER DETAILS

ELECTRICAL SPECIFICATIONS

GENERAL:
 ALL WORK AND MATERIALS SHALL CONFORM TO NATIONAL ELECTRIC CODE 201 EDITION, AS WELL AS ALL STATE AND LOCAL CODES, AMENDMENTS AND REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.

THESE ELECTRICAL DRAWINGS ARE DISCREETARY AND REQUIRE PROFESSIONAL SKILLED IN THE CONTRACTOR ELECTRICAL INDUSTRY TO COORDINATE THE NECESSARY INSTALLATIONS WITH OTHER TRADES. PROVIDE THE NECESSARY MATERIALS AND METHODS FOR THESE INSTALLATIONS, ADDITIONAL BLOCKING FOR CORRECT LIGHTING OUTLET AND DEVICE LOCATION, ETC. AT NO ADDITIONAL COST.

VERIFY ALL EXISTING SITE AND PROJECT CONDITIONS, UTILITY COMPANY SERVICES AND PROVIDE INSTALLATIONS IN FULL COMPLIANCE WITH THESE CONDITIONS. FIELD VERIFY ALL CONDITIONS AND MAKE ALLOWANCES FOR THESE CONDITIONS IN FULL PROJECT. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER TO RESOLUTION PRIOR TO FINAL PROCEEDING.

PROVIDE ALL NECESSARY INSTALLATION PLANING MATERIALS AND LABOR TO EXHIBIT A COMPLETE AND OPERABLE SYSTEM FOR EACH SYSTEM DESIGN INDICATED ON THE DRAWINGS AND THESE SPECIFICATIONS. EXHIBIT ALL WORK IN FULL COMPLIANCE WITH THE CURRENT LOCAL AND NATIONAL ELECTRICAL CODES, FIRE AND SAFETY CODES, RUNDOWN TO THE G.C. ALL REQUIRED INSPECTION CERTIFICATES. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, ETC. AND SHALL EMPLOY WORKERS IDENTIFICATION PER LOCAL AND STATE LAWS.

ALL WORK SHALL BE PERFORMED IN A NEAT AND WORKMANSHIP LIKE MANNER USING NEW MATERIALS WITH A ONE-YEAR WARRANTY FINISH. VERIFY FINISHES OF DEVICES, COVER PLATES, TRAYS, ETC. VERIFY APPROVED ROUTING OF SURFACE CONNECTIONS WHERE APPLICABLE.

MATERIALS AND METHODS:
 ALL ELECTRICAL EQUIPMENT, DEVICES, LIGHT FIXTURES, CONTROL & ETC. SHALL BE INSTALLED WITH MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS. EXHIBIT WORKING CLEARANCES FOR DEVICES AND PANELS AND ACCESS TO CONNECTIONS OFF ALL TERMINATIONS.

BRANCH CIRCUITRY AND GROUNDING SHALL BE AS REQUIRED AND ALLOWED FOR EACH LOCATION, USE AND SPECIAL OCCUPANCIES. CONDUITS AND FITTINGS SHALL BE AS REQUIRED AND ALLOWED FOR EACH LOCATION.

COORDINATE WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND ALL TRADES FOR INTERFERED AND LOCAL LOCATIONS OF EQUIPMENT, PANEL LAYOUTS AND MATERIALS, STRUCTURAL, ELEVATIONS PRIOR TO RUNDOWN.

DISTRIBUTION DESIGN AND PANELS:
 PROVIDE A COMPLETE DISTRIBUTION SYSTEM PER THE ONE LINE DIAGRAM. EXHIBIT CODE CLEARANCES CONCRETE PANEL PROTECTION AND APPROVED LOCATION. ALL SYSTEMS SHALL BE FIELD AND BRANCHES WITTED FOR SERIES RATING SHALL BE INSTALLED AS SPECIFIED TO EXHIBIT PROTECTIVE DEVICES PER THE MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS RESPONSIBLE FOR ADDITIONAL ENGINEERING DUE TO SUBSTITUTIONS OF WIRE TYPES THAT AFFECT THE CALCULATED SERIES RATED STUDIES. ALL DEVICES SHALL BE LABELED WITH PAGES AND PANEL NUMBER TYPED WITH ACCURATE LOADS IDENTIFIED.

PROVIDE SERVICE GROUNDING PER THE CURRENT NEC ARTICLE 250. COORDINATE THE UPPER GROUNDING INSTALLATION REQUIRED BY THE LOCAL AND PRIOR TO FOUNDATION POUR. ALL FEEDERS AND BRANCH CIRCUITS SHALL BE EQUIPPED WITH GROUNDING CONDUCTORS AND GROUNDED PER NEC 250. EXHIBIT GROUNDING LIFTERS AND BONDING THROUGHOUT THE SYSTEM.

LISTING, BUSINESS AND CONTROLS:
 PROVIDE LISTING PROVIDES FOR THE FINISH SCHEDULE UNLESS PRIOR APPROVED BY BANK OF AMERICA. EXHIBIT THAT EXTERIOR LIGHT LEVELS COMPLY WITH APPLICABLE WITH SECURITY CODES AND LOCAL REQUIREMENTS. EXTERIOR LIGHTING AND CONTROLS SHALL BE IN ACCORDANCE TO THE LOCAL LIGHTING ORDINANCES AND THESE DRAWINGS. THIS CONTRACTOR IS RESPONSIBLE FOR ENGINEERING REQUIRED FOR THE SPECIFIC LIGHTING PRODUCTS LISTED. FIELD TO PROVIDE COMPLIANCE TO THE CODE OFFICIALS AND REVISED PHOTOGRAPHIC DEVICES IF APPLICABLE. PHOTOCELL TYPE CONTROLS FOR EXTERIOR DOWNLIGHTING SHALL BE SUPPLIED BY THE ELECTRICAL CONTRACTOR. PHOTOCELL TYPE CONTROLS FOR SKYLIGHT SHALL BE PROVIDED AND INSTALLED BY THE SKYLIGHT SUPPLIER / INSTALLER.

SKYLIGHT

ALL LISTED SKYLIGHT SHALL BE PROVIDED AND INSTALLED BY THE SKYLIGHT VENDOR. ELECTRICAL CONTRACTOR SHALL PROVIDE POWER TO SKYLIGHT LOCATIONS AND DISCONNECT SWITCH AT SKYLIGHT JUNCTIONS AS REQUIRED PER NEC. ELECTRICAL WIRING AND SEPARATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ALL WIRING SHALL BE CONFINED TO THE MAN OR RUN AND SHALL BE NO SMALLER THAN 1/2 AWG.

ALL RECEIVERS INSTALLED FOR LOW VOLTAGE SYSTEMS TELECOMM SECURITY, ETC. SHALL BE WITTED WITH PULLSTRONG ELECTRICAL DEVICES.

ALL DEVICES SHALL BE RATED FOR THE OVER CURRENT PROTECTION. VERIFY FINISHES AND DEVICE TYPES WITH BANK OF AMERICA PRIOR TO ORDERING / BID. EXHIBIT GROUND FAULT DEVICES PER CODE AND EXHIBIT UP DEVICES ON EXTERIOR WALLS AND ON ROOF IF APPLICABLE. ALL DEVICES SHALL BE RATED FOR USE IN SPECIAL OCCUPANCY USE AND LOCATION.

PANEL PLACEMENT AND MOUNTING HEIGHT OF DEVICES SHALL BE COORDINATED WITH BANK OF AMERICA.

LISTED MATERIALS:
 ALL WIRING DEVICES AND FIXTURES SHALL BE AS LISTED OR BY LISTED BY A RECOGNIZED NATIONAL TESTING LABORATORY.

TELECOMMUNICATIONS EQUIPMENT:
 REFER TO TELECOMMUNICATIONS DRAWINGS FOR EQUIPMENT LOCATIONS, EQUIPMENT SCHEDULE AND COORDINATE VOLTAGES AND WIRE TYPES OVER CURRENT PROTECTION. VERIFY UNITS RATED WITH DISCONNECTS, STARTERS, ETC. IF APPLICABLE. EXHIBIT WIRE AND RISE / BREAKER SIZES FOR UNITS. PROVIDE MAINTENANCE RECEIPTS WHERE REQUIRED.

SECURITY SYSTEM:
 SECURITY SYSTEM DESIGN IS EXCLUDED FROM THESE DRAWINGS AND WILL BE PROVIDED BY THE SYSTEM SUPPLIER AS SELECTED BY BANK OF AMERICA. PROVIDE DEDICATED POWER SUPPLY AND NECESSARY CONDUITS AND FITTINGS FOR THE SYSTEM WIRING. COORDINATE THESE REQUIREMENTS WITH THE SUPPLIER'S DESIGN DRAWINGS PRIOR TO WORK.

TELECOMMUNICATIONS SYSTEM:
 TELECOMMUNICATIONS SYSTEM DESIGN IS EXCLUDED FROM THESE DRAWINGS AND WILL BE PROVIDED BY BANK OF AMERICA. INSTALLATION SHALL BE PROVIDED BY THE TELECOMMUNICATIONS SUPPLIER AS SELECTED BY BANK OF AMERICA.

PROVIDE DEDICATED POWER SUPPLY AND NECESSARY CONDUITS NEEDED FOR SYSTEM WIRING. COORDINATE THESE REQUIREMENTS WITH THE TELECOMMUNICATIONS DESIGN DRAWINGS PRIOR TO WORK.

CONSTRUCTION DOCUMENTS:
 A PROFESSIONAL ENGINEER SHALL PREPARE FINAL ELECTRICAL CONSTRUCTION DOCUMENTS FOR BUILDING DEPARTMENT PLAN REVIEW AND PERMIT SUBMITTAL FOR EACH WORK LOCATION INCLUDING THE ELECTRICAL SERVICE LOCATION. PHYSICAL, JERSEY AND UTILITY SECONDARY FEEDERS SHALL BE COORDINATED WITH THE AUTHORITY HAVING JURISDICTION AND LOCAL ELECTRICAL UTILITY.

ENGINEER AND INSPECTIONS:
 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND LICENSE AS NEEDED TO COMPLETE THIS SCOPE OF WORK IN THE SPECIFIC JURISDICTION IN WHICH IT IS TAKING PLACE.

ALL WORK PERFORMED SHALL BE PER THE DRAWINGS SUPPLIED BY THE PROFESSIONAL ENGINEER OF RECORD. WHICH SHALL SUPERSEDE THESE DRAWINGS IN THEIR TOTALITY. ALL WORK IS SUBJECT TO LOCAL BUILDING INSPECTION IN ACCORDANCE WITH THE SPECIFIED RECORD DRAWINGS.

WARRANTY:
 CONTRACTOR SHALL UNCONDITIONALLY WARRANT ALL WORK, MATERIALS AND LABOR PERFORMED FOR THIS SCOPE FOR A PERIOD OF ONE YEAR AFTER THE FINAL ACCEPTANCE BY BANK OF AMERICA.



Project Title
BANK OF AMERICA
 MONIGLE APPROVED 09/08/17

Date: 02/21/17

ADD: Earl M. Smith

Lead Designer: GJM

Drawn By: GJM

Project Mgr.: K. GREER

General Egen Specifications

Insulator Distalator

Sample Fused Double Fused

Non-Insulated Insulated

Standard Amp/ft

Label: _____

Material: _____

Drawing Revisions		
Drawn By	Date	Change
DLR	11/01/17	UPDATED TO MONIGLE S1, S2, S3 DWG DATED 10/18/17
DLR	03/29/18	ADDED WATERMARK HEATER/AC UNIT
DLR	04/25/18	REMOVED WATER HEATING CENTERED LOGO & REPLACED INF ELW ACM
DLR	05/23/18	MONIGLE UPDATE
DLR	09/10/18	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	09/15/18	ADDED NEW GAS LIFTER DETAILS

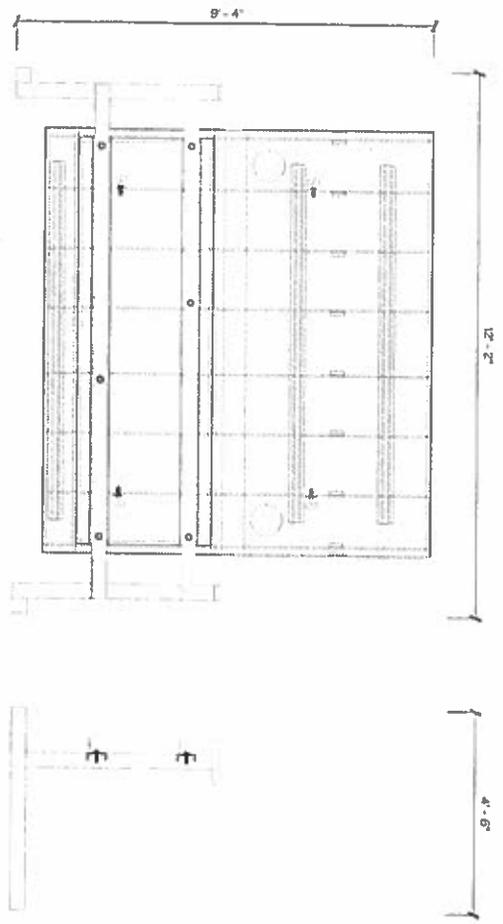
2666 International Parkway
 Virginia Beach, VA 23462

Sheet Title
 PFD 01 18 E-017-01-1
 KID-081-07785

Code: 6894

Type: C

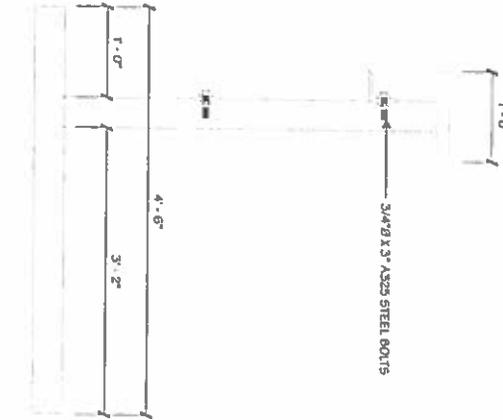
Page: 30



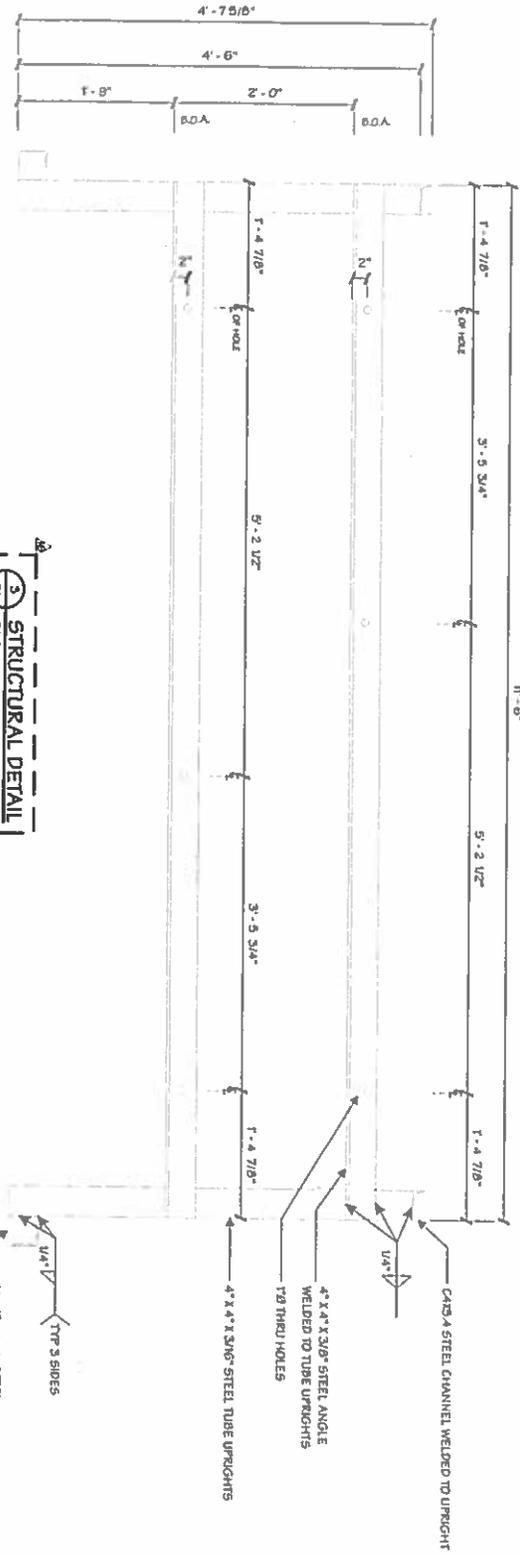
1 FRONT ELEVATION
3/4" = 1'-0"



2 SIDE VIEW
3/4" = 1'-0"



4 SIDE DETAIL
3/4" = 1'-0"



3 STRUCTURAL DETAIL
3/4" = 1'-0"

2008 International Plumbing
Fixtures - EXT-NG-WL-
Virginia Beach, VA 23462

Shop Title
FRAMES-EXT-NG-WL-
NO-DBL-07705

Code	Type
6894	C

Drawing Revisions		
Drawn By	Date	Change
MBA	11 01 17	UPDATED TO MONIULE S1, S2, S3 DWG DATED 10 18 17
DLR	03 25 18	ADDED WATERPROOF MATERIAL UNIT
DLR	04 25 18	REMOVED WAYFINDING, CENTER RED LOGO & REPLACED IN FULL W/ACM
DLR	05 23 18	MONIOLGE UPDATES
DLR	09 10 18	CORRECTED ROOF AND SHIPPING STAND DIMS
DLR	09 15 18	ADDED NEW GAS LIFTER DETAILS

Location
120
W/10
Amp/14-
W/10

General Sign Specifications
 Interior
 Single Faced
 Double Faced
 Non-Illuminated
 Illuminated

Project Title
BANK OF AMERICA
MONIOLGE APPROVED 08/08/17

Date 02/21/17

ADJ EAST M SMITH
Lead Designer GLM
Drawn By GLM
Project Mgr. K GREER





Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 8762 W Huguenot Road Richmond, Va 23235 Date: 8.28.2017
 Tax Map #: C0010891022 Fee: \$1800.00
 Total area of affected site in acres: _____

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: B-2

Existing Use: _____

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Walk up ATM/ Banking

Existing Use: _____

Is this property subject to any previous land use cases?

Yes

No

If Yes, please list the Ordinance Number: _____

Applicant/Contact Person: Kiffin Walker

Company: Infinity Engineering Group, LLC

Mailing Address: 1338 Harding Place

City: Charlotte

State: NC

Zip Code: 28204

Telephone: ()

Fax: ()

Email: Permitting@iegroup.net

Property Owner: George W Gray

If Business Entity, name and title of authorized signer: _____

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: 6767 FOREST HILL AVE SUITE 224

City: RICHMOND

State: VA

Zip Code: 23225

Telephone: (804-272-0091

Fax: (804-272-0286

Email: GEORGE@GRAYCONSTRUCTIONRVA.COM

Property Owner Signature: [Signature]

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

September 13, 2019

City of Richmond Department of Planning / Development
900 E Broad Street Room 511
Richmond, VA 23219

**RE: BOA Bon Air ATM
8762 W Huguenot Road
Richmond, VA 23235
IEG Project Number: 10-936**



**INFINITY ENGINEERING
GROUP LLC**

Dear Land Development,

This letter is to address the request of an Applications Report.

The scope of work for this location would be to remove 4 parking spaces and add a Walk-Up ATM kiosk, built to include 2 ATM's. We will also provide an ADA accessible ramp and ADA parking to serve the Bank of America ATMs.

Sufficient lighting will be provided per Bank Standard, and to follow Code Standards. Six bollards will be installed in order to protect the patrons and equipment from vehicle damage.

This Walk-Up ATM will not require any employees to be on site. The ATM hours will give access to customers 24-7, and will bring in more business for the shopping area around it.

Should you have any questions or require any additional information, please do not hesitate to contact us at (813) 434-4770.

Sincerely,

Infinity Engineering Group, LLC.

A handwritten signature in black ink, appearing to read "Nisit Sapparkhao".

Nisit Sapparkhao, P.E.
President