

INTRODUCED: February 27, 2023

AN ORDINANCE No. 2023-066

To authorize the special use of the property known as 310 West Brookland Park Boulevard for the purpose of a mixed-use building with outdoor dining, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: MAR 27 2023 AT 6 P.M.

WHEREAS, the owner of the property known as 310 West Brookland Park Boulevard, which is situated in a UB Urban Business District and the PE-7 Brookland Park Boulevard / North Avenue Parking Exempt Parking Overlay District, desires to use such property for the purpose of a mixed-use building with outdoor dining, which use, among other things, is not currently allowed by sections 30-433.2, concerning permitted principal and accessory uses, 30-433.5, concerning yard requirements, and 30-960.3, concerning the number of spaces required in parking exempt overlay districts, of the Code of the City of Richmond (2020), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2020), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the

AYES: 9 NOES: 0 ABSTAIN:

ADOPTED: MAR 27 2023 REJECTED: STRICKEN:

safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2020), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 310 West Brookland Park Boulevard and identified as Tax Parcel No. N000-0971/016 in the 2023 records of the City Assessor, being more particularly shown on a survey entitled “Survey and Plat of The Western 90’ of Lots 1, 2, & 3, Block 13, Brookland Park in the City of Richmond, VA,” prepared by Edwards, Kretz, Lohr & Associates, PLLC, and dated May 29, 2018, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of a mixed-use building with outdoor dining, hereinafter referred to as “the Special Use,” substantially as shown on the plans entitled “BPB Mixed Use, 310 & 322 Brookland Park Boulevard,” prepared by fultz & singh, and dated June 4, 2021, hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. Special Terms and Conditions. This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as a mixed-use building with outdoor dining, substantially as shown on the Plans and on the plan of development entitled “BPB Mixed

Use, Plan of Development Issuance – Revision 01 – 03.03.2021,” approved May 17, 2021, as such plan of development may, from time to time, be amended.

(b) No fewer than four off-street parking spaces shall be required for the Special Use.

(c) Outdoor dining shall only take place on the Property between the hours of 8:00 a.m. through 11:00 p.m., daily.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws.

(e) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2020), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2020), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of Richmond (2020), as amended, and all future amendments to such law, or any other applicable laws or regulations.

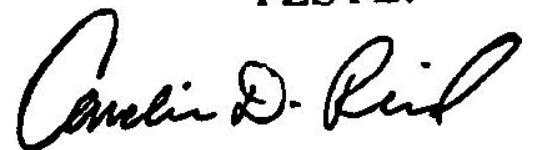
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:

A handwritten signature in black ink, appearing to read "Carolin D. Reed". The signature is written in a cursive, flowing style.

City Clerk



City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.rva.gov

Item Request File Number: PRE.2022.0496

O & R Request

DATE: November 14, 2022

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)
(This in no way reflects a recommendation on behalf of the Mayor.)

THROUGH: J.E. Lincoln Saunders, Chief Administrative Officer

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

FROM: Kevin Vonck, Director, Department of Planning and Development Review

RE: To authorize the special use of the property known as 310 West Brookland Park Boulevard for the purpose of a restaurant with outdoor dining, upon certain terms and conditions.

ORD. OR RES. No. _____

PURPOSE: To authorize the special use of the property known as 310 West Brookland Park Boulevard for the purpose of a mixed-use building with outdoor dining, upon certain terms and conditions.

REASON: The subject property is located in the UB-PE7 Urban Business Parking Exempt District. A Plan of Development was granted authorizing the construction of a two-story building containing nine dwelling units and 3,209 square feet of commercial area and six on-site parking spaces. The required parking spaces are dedicated to the residential uses. Waiving the requirement for parking will allow the parking area to be used by commercial uses. Waiving the 100 foot radius requirement for outdoor dining will allow an outdoor dining space.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council.

BACKGROUND: The subject property is located on the northern side of Brookland Park Boulevard near the intersection with Park Boulevard and Fendall Avenue. It is 90 feet wide, 95 feet deep and contains 8,550 square feet in area. The improvements consist of a paved pad leftover from a demolished car wash.

A Plan of Development approval has been granted for the construction of a two-story mixed used structure. Construction of this building is currently underway.

The Richmond 300 Master Plan designates the subject property for Community Mixed-Uses. This designation is described as a cluster of medium-density, walkable commercial and residential uses that provide neighborhood services to nearby residential communities and sometimes feature regional attractions. Primary uses are Retail, office, personal service, multi-family residential, and open space.

The adjacent properties to the east and west, as well as the properties across W. Brookland Park Boulevard are located in the same UB-PE7 Urban Business District as the subject property. These properties contain a mix of office, retail and restaurants. Adjacent to the north are properties located in the R-6 Single-Family Attached zoning district that contain single-family detached dwellings.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$1,800 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: December 12, 2022

CITY COUNCIL PUBLIC HEARING DATE: January 9, 2023

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
January 3, 2023

AFFECTED AGENCIES: Office of Chief Administrative Officer
Law Department (for review of draft ordinance)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

ATTACHMENTS: Draft Ordinance, Application Form, Applicant's Report, Plans, Survey, Map

STAFF: David Watson, Senior Planner, Land Use Administration, 804-646-1036



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6304
<http://www.richmondgov.com/>

Application is hereby submitted for: (check one)

- special use permit, new**
- special use permit, plan amendment**
- special use permit, text only amendment**

Project Name/Location

Property Address: 310 W Brookland Park Boulevard Date: _____

Tax Map #: N0000971016 Fee: \$1,800

Total area of affected site in acres: 0.196

(See **page 6** for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning: UB-PE7

Existing Use: Unimproved

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Permit the first-floor commercial use of the building authorized by POD-084785-2021

Existing Use: Unimproved

Is this property subject to any previous land use cases?

Yes

No

If Yes, please list the Ordinance Number: POD-084785-2021, SUP-2018-250

Applicant/Contact Person: Will Gillette / Mark Baker

Company: Baker Development Resources

Mailing Address: 530 E Main Street, Suite 730

City: Richmond State: VA Zip Code: 23219

Telephone: (804) 874-6275 Fax: ()

Email: markbaker@bakerdevelopmentresources.com

Property Owner: 310 W BROOKLAND PARK BLVD LLC

If Business Entity, name and title of authorized signee: _____

(The person or persons executing or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address: PO Box 14609

City: Richmond State: VA Zip Code: 23221

Telephone: (804) 347-3251 Fax: ()

Email: CWPerformanceGroupLLC@gmail.com

Property Owner Signature: Cory Weiner

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist, and a check for the application fee (see Filing Procedures for special use permits)

APPLICANT'S REPORT

September 14th, 2022

Special Use Permit

310 W Brookland Park Boulevard, Richmond, Virginia

Map Reference Number: N000-0971/016

Submitted to:

City of Richmond

Department of Planning and Development Review

Land Use Administration

900 East Broad Street, Suite 511

Richmond, Virginia 23219

Prepared by:

Baker Development Resources

530 East Main Street, Suite 730

Richmond, Virginia 23219

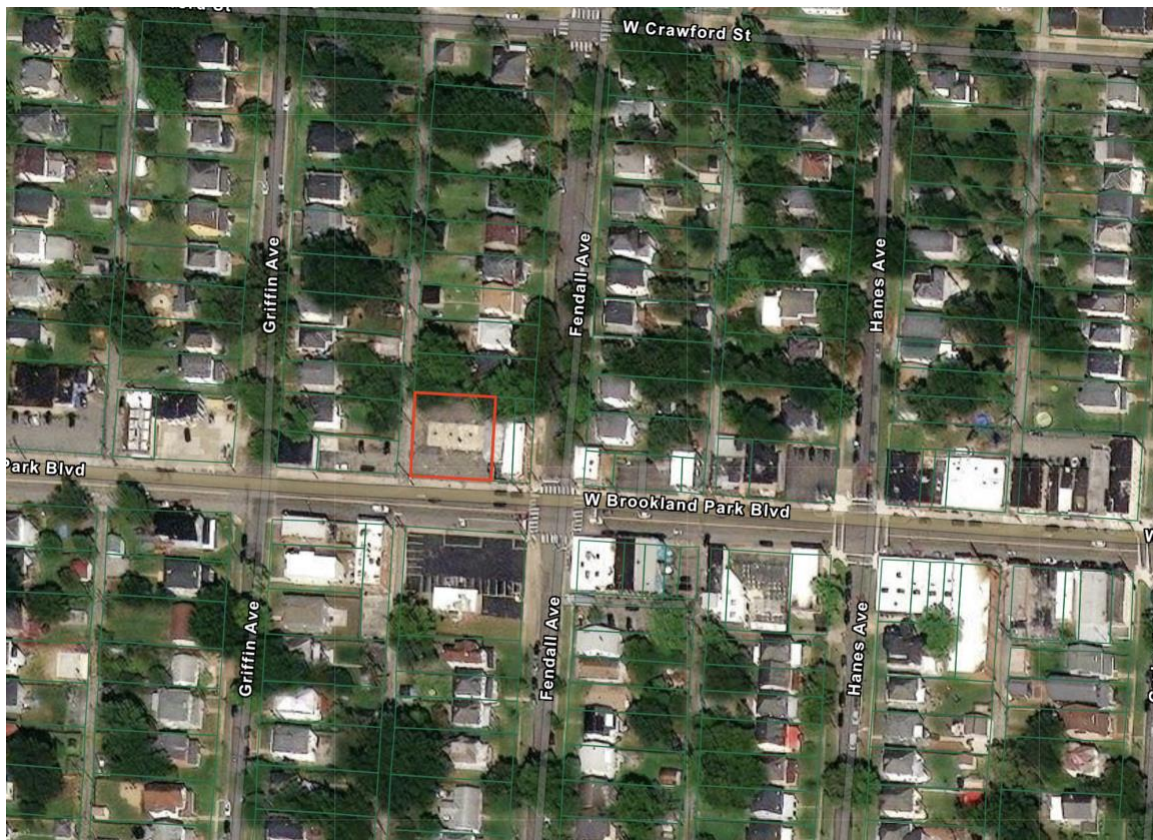
Introduction

The property owner is requesting a special use permit (the "SUP") for 310 W Brookland Park Boulevard (the "Property"). The development of the Property with a mixed-use building has already been authorized by a Plan of Development approval (the "POD"). In order to permit flexibility in the configuration of uses/tenants within the building, the SUP would authorize relief from several UB feature requirements, including: (1) a partial parking waiver and (2) a partial waiver of the radius requirement associated with outdoor dining.

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The Property is located on the northern line of W Brookland Park Boulevard between Griffin and Fendall Avenues and is referenced by the City Assessor as N000-0971/016. The property is 90 feet in width and 95 feet deep and contains of 8,550 square feet of area. Access is provided along W Brookland Park Blvd and by an alley located along the western edge of the parcel.



This area is characterized by a mix of uses with a variety of commercial, retail, and residential uses of varying intensities and scales in the immediate vicinity. Properties fronting Brookland Park Blvd

are primarily a commercial in nature while properties located along nearby cross streets are primarily one- and two-family dwellings interspersed with commercial and multifamily uses.

EXISTING ZONING

The Property is zoned UB Urban Business which permits small, neighborhood serving businesses with pedestrian-oriented character. The UB zoned properties in the area generally form a commercial district fronting on or oriented toward Brookland Park Blvd. The surrounding properties to the east and north are zoned R-6 Single-Family Attached Residential. Further to the west are properties zoned R-5 Single-Family Residential.

MASTER PLAN DESIGNATION

The Richmond 300 establishes a "Community Mixed-Use" land use designation for the Property. This land use is described as a "cluster of medium-density, walkable commercial and residential uses that provide neighborhood services to nearby residential communities[.]" The development style for the Community Mixed-Use designation is described as "building size, density, and zoning districts for these areas may vary significantly depending on historical densities and neighborhood characteristics. Future development should generally complement existing context. Uses may be mixed horizontally in several buildings on a block or vertically within the same building. Developments continue or introduce a gridded street pattern to increase connectivity." Retail uses are considered a primary use within this land use designation.

The Property is also located within the "Brookland Park Neighborhood Node." The Richmond 300 plan describes nodes generally as "places in Richmond where people and jobs are today and continue to grow into the future. Nodes are the places of convergence of many uses and include offices, shopping, housing, and/or public gathering places as well as access to multiple modes of transportation." Neighborhood nodes, like Brookland Park, are further described as "a local crossroads typically within or next to larger residential areas that offers goods and services to nearby residents, employees, and visitors."

In addition to the Property-specific guidance offered by the Vision and Core Concepts chapter, there are a number of other goals elsewhere within the Master Plan that support this request:

- Page 109 (Equitable Transportation Chapter), Objective 6.1 to "Increase the number of residents and jobs at Nodes and along enhanced transit corridors in a land development pattern that prioritizes multi-modal transportation options."
 - b. Develop housing at all income levels in and near Nodes and along major corridors (see strategies Goal 14).
- Page 136 (Diverse Economy Chapter), Objective 11.1 to "Increase the areas of appropriately zoned land near various transportation modes and housing to retain, create, and attract employers."
 - d. Encourage the development of a variety of quality housing types to house employees across the economic spectrum (see Goal 14).
- Page 152 (Inclusive Housing Chapter) (see map on p. 153), Objective 14.5 to "Encourage more housing types throughout the city and greater density along enhanced transit corridors and at Nodes (shown in Figure 38 [p.153]) by amending the Zoning Ordinance."
 - e) Allow the development of middle housing (2- to 4- unit buildings) by-right within 1/2 mile of high-frequency transit stops.

- Page 159 (Thriving Environment Chapter) Objective 15.1 to “Reduce air pollution related to transportation.”
 - a. Increase the number of Richmonders living in a development pattern that encourages density and reduces dependency on single-occupancy vehicles (see Goal 1, Goal 8, Goal 14).

Proposal

PURPOSE OF REQUEST

The construction of the proposed mixed-use building has been authorized for the Property pursuant to the POD (POD-084785-2021) which was approved in 2021. This request would permit a mix of uses within that building that are permitted within the UB District, but which cannot meet some of the UB feature requirements related to them. Specifically, the SUP would authorize the following relief: (1) a partial parking waiver; and (2) a partial waiver of the radius requirement associated with outdoor dining.

PROJECT SUMMARY

The proposed building would include approximately 6,089 square feet of residential floor area and 3,209 square feet of first-floor commercial area. The programming follows a typical urban model with the building's first floor containing the commercial space fronting W Brookland Park Blvd along with one residential dwelling unit. The remainder of the building features the additional eight dwelling units located on the upper floor.

Parking

The POD authorized the construction of a mixed-use building meeting the requirement for the provision of permitted principal uses (commercial uses) along the principal street frontage. That approval relied on the use of on-street parking in order to satisfy the parking requirements for the Property, including the commercial space. There are 4 parking spaces that can be provided in portions of the right-of-way abutting the Property's frontage on W Brookland Park Boulevard. Section 30-710.2:3(d) of the zoning ordinance permits those spaces to be credited toward required parking as though they were off street spaces located on the premises.

The 10 total available parking spaces would limit the occupancy of the commercial space to a less intense use such as office. This request would vary the parking requirement in order to allow flexibility in the permitted uses which could occupy the commercial space. The requested relief would encourage the development of the commercial space with neighborhood-serving uses that are more likely to generate the desired pedestrian traffic and activity within this corridor. It is requested that the overall parking requirement is fixed at 10 parking spaces with any resulting deficiency based on final occupancy being varied by the special use permit.

There is some precedent and recognition of the practical difficulties related to redeveloping property in this older urban commercial district with the implementation of the PE-7 Parking Exempt District. While this exemption is only applicable to existing buildings, and therefore not applicable for the proposed development, the same concern holds true. The goal of achieving a

“densely developed pedestrian-oriented urban shopping character” is challenged when significant amounts of off-street parking must be provided. This would prevent the desired continuity of storefront character along the principal street frontage and reduce the overall area available to neighborhood serving uses which is required to make this urban commercial area successful.

A reduced parking requirement would allow the development to better address the goals of the Master Plan while remaining consistent with the intent of the UB District and compatible with nearby properties. It would provide active first floor uses, a better pedestrian experience, enhanced pedestrian connections within the district and to nearby neighborhoods, and fewer opportunities for conflict between vehicles and pedestrians.

Radius Requirement for Outdoor Dining

In the UB District, where restaurants are concerned, Section 30-433.2(21)(a.) requires that “no deck, patio, terrace or other area outside a completely enclosed building and used for the service or accommodation of patrons shall be situated within 100 feet of any property in any R district”. A patio is proposed at the rear of the building which could be utilized for the purpose of outdoor dining. This patio is adjacent to property located within an R district. The requested waiver of the radius requirement would allow for the development to better serve patrons and provide outdoor dining space which has become significantly more important to commercial business following the COVID-19 pandemic.

Findings of Fact

The following are factors indicted in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- ***Be detrimental to the safety, health, morals and general welfare of the community involved.***

The proposed special use permit will not impact the safety, health, morals and general welfare of the nearby neighborhoods. The proposed development would offer needed services to the community and a safe, convenient and economically viable pedestrian environment, thereby providing positive impacts in terms of safety, welfare, etc.

- ***Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.***

The proposed special use permit will not result in significant traffic impacts to nearby residential neighborhoods. The proposal is designed be consistent with the Property's master-plan recommendation for pedestrian-oriented development which is designed for walkability. The existing street grid will tend to minimize any traffic impacts. Further, the Property owner has contacted the City of Richmond regarding out of use parking regulation signs in the neighborhood which, after being removed by the City of Richmond, has created additional parking for the neighborhood.

- ***Create hazards from fire, panic or other dangers.***

The Property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- ***Tend to overcrowding of land and cause an undue concentration of population.***

The proposed special use permit will not tend to overcrowd the land or create an undue concentration of population. The proposed density and urban form is appropriate to the Property's location and consistent with the recommendations of the Master Plan and ongoing planning guidance.

- ***Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.***

The special use permit would not adversely affect the above referenced City services. To the contrary, the proposal would provide positive fiscal (tax) benefits that would enhance the City's ability to provide these services to the proposed development. This benefit can be attributed to the significant investment in the property, taxes related to the commercial use of the first floor and the anticipated absence of school-age children residing within the complex, who require substantial City spending in schools and playground facilities.

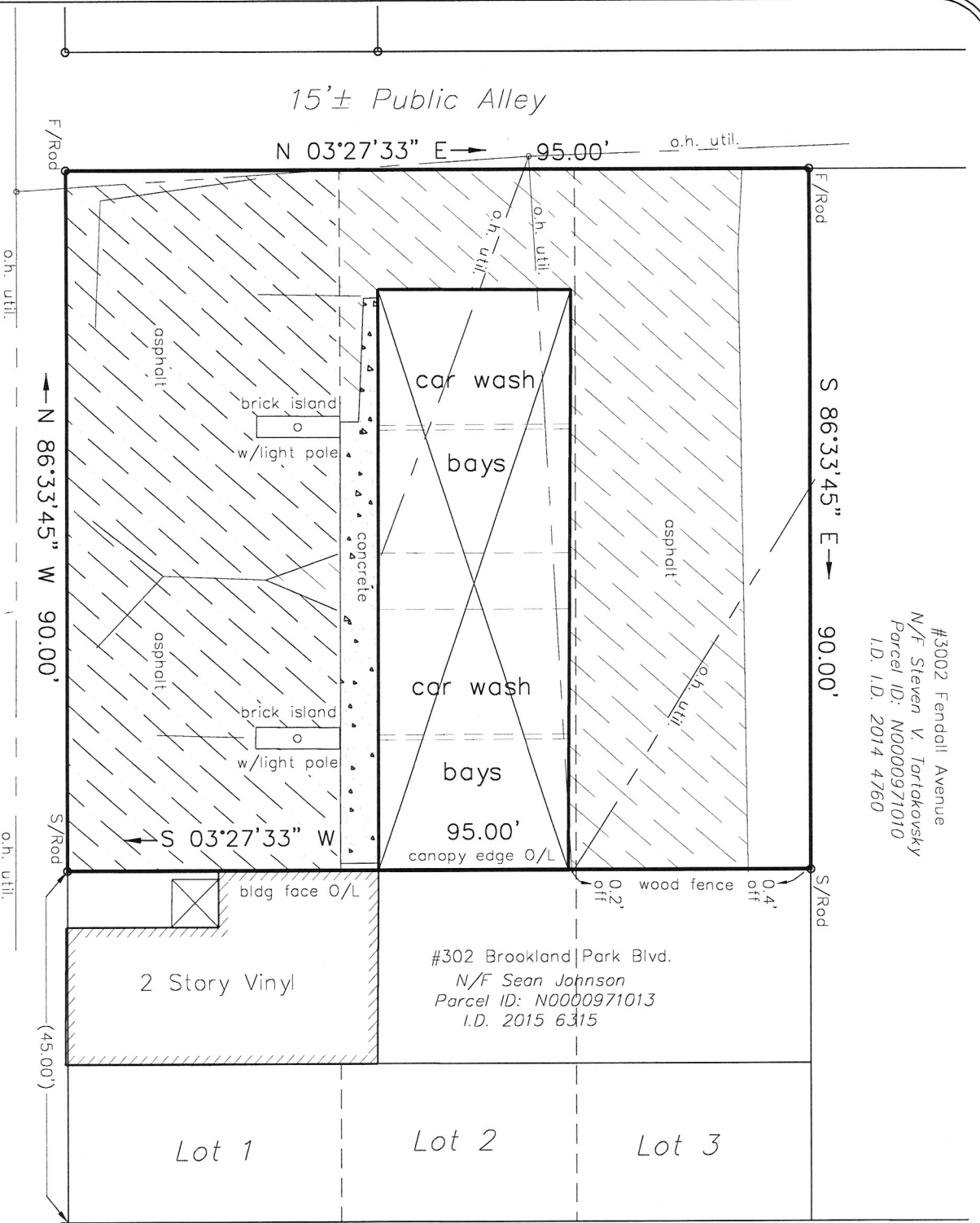
- ***Interfere with adequate light and air.***

The light and air available to adjacent properties will not be affected.

Summary

In summary, the development as proposed is substantially permitted by-right and the applicant is only seeking relief from parking requirements and radius requirements relating to outdoor dining for the Property. This proposal represents an ideal, small-scale urban infill development for this location. The SUP is consistent with current planning guidance applicable to the neighborhood and the City at large. The SUP would permit the occupancy of the commercial space with an active first floor use that would be neighborhood serving while providing a better pedestrian experience within the district. This would better address the goals of the Master Plan while remaining consistent with the intent of the UB District.

W. BROOKLAND PARK BOULEVARD



#3002 Fendall Avenue
 N/F Steven V. Tartakovsky
 Parcel ID: N0000971010
 I.D. 2014 4760

#302 Brookland Park Blvd.
 N/F Sean Johnson
 Parcel ID: N0000971013
 I.D. 2015 6315

FENDALL AVENUE



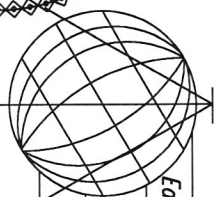
Address: #310 W. Brookland Park Boulevard
 Current Owner: 310 W. Brookland Park Blvd, LLC
 Parcel ID: N0000971016
 I.D. 2018 3623

Note: Bearings protracted from City
 Baseline sheet 19 NE.

FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE X of the Flood Insurance Rate Map, Community Panel No. 5101290033D effective date of 04/02/09. Exact designations can only be determined by an Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.

*Survey and Plat of
 The Western 90' of
 Lots 1, 2, & 3, Block 13,
 Brookland Park in
 the City of Richmond, VA*

This is to certify that on 05/14/18 I made an accurate field survey of the premises shown herein that all improvements and easements known or visible are shown herein, that there are no encroachments by improvements either from adjoining premises or from subject premises upon adjoining premises other than shown herein. THIS PLAT WAS MADE WITHOUT THE BENEFIT OF A TITLE SURVEY OR REPORT.



Edwards, Kretz, Lohr & Associates, PLLC

Land Surveyors-Planners

Virginia-North Carolina

1900 Byrd Avenue, Suite 103
 Richmond, Virginia, 23230
 Phone (804) 673-9666
 Fax (804) 673-9990

Scale: 1"=20'
 Drawn: TCJ
 Job: 1225-18

Date: 05/29/18
 Checked: JAL

RM SCHEDULE - BLDG A

LEVEL 01		
100.A	STAIR	80 SF
101.A	SPRINKLER	45 SF
102.A	STORAGE	137 SF
103.A	TOILET RM	58 SF
104.A	TOILET RM	58 SF
105.A	FLEX ROOM	404 SF
106.A	TENANT	2393 SF
LEVEL 02		
200.A	CORRIDOR	293 SF
201.A	APT UNIT	783 SF
202.A	APT UNIT	985 SF
203.A	APT UNIT	1067 SF

RM SCHEDULE - BLDG B

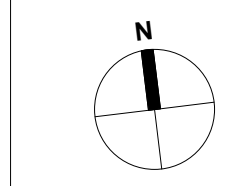
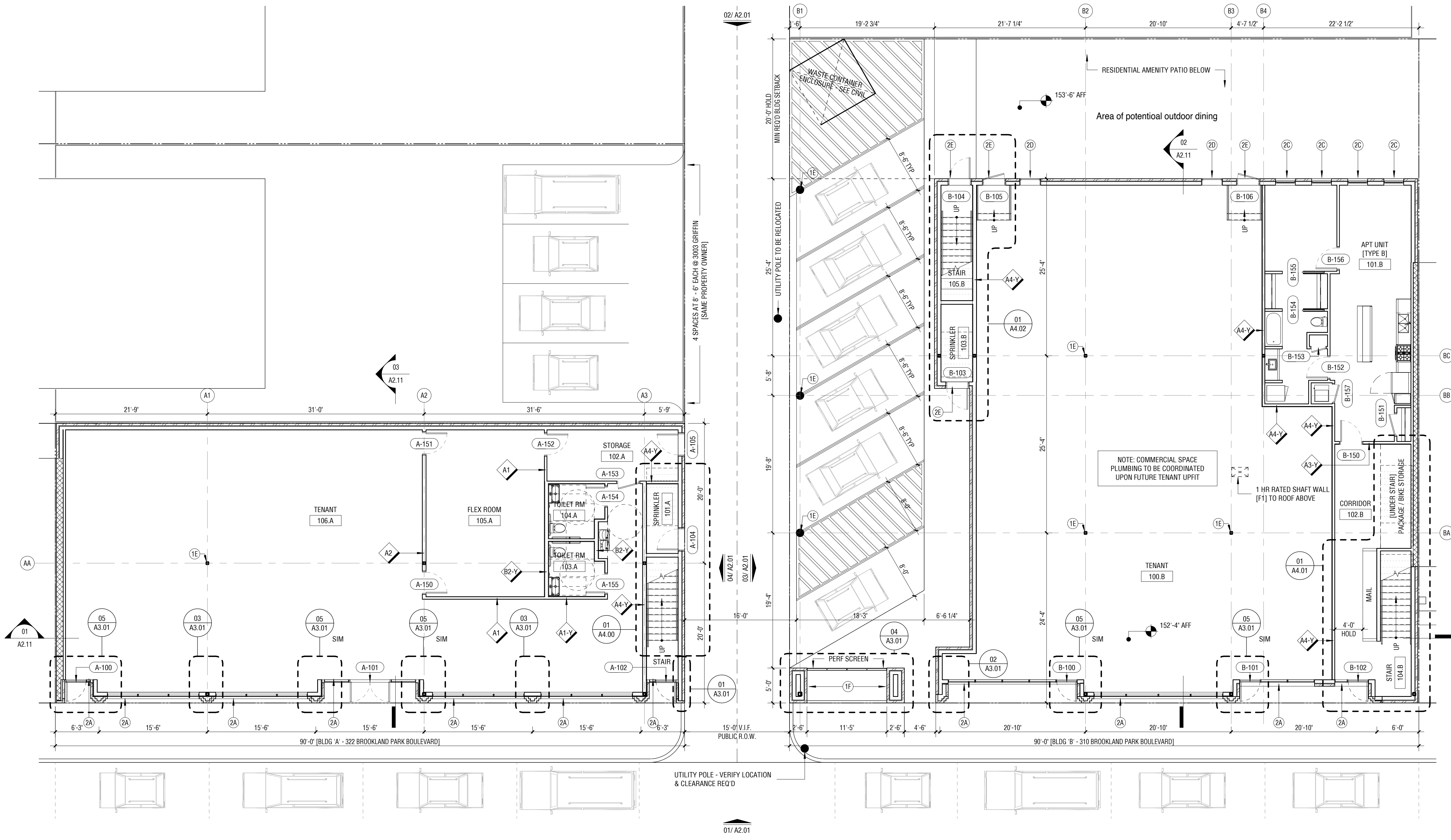
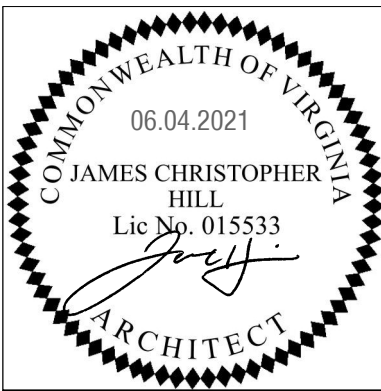
LEVEL 01		
100.B	TENANT	3339 SF
101.B	APT UNIT [TYPE B]	720 SF
102.B	CORRIDOR	276 SF
103.B	SPRINKLER	50 SF
104.B	STAIR	101 SF
105.B	STAIR	74 SF
LEVEL 02		
200.B	CORRIDOR	676 SF
201.B	APT UNIT	667 SF
202.B	APT UNIT	654 SF
203.B	APT UNIT	666 SF
204.B	APT UNIT	648 SF
205.B	APT UNIT	665 SF
206.B	APT UNIT	688 SF
207.B	APT UNIT	687 SF
208.B	APT UNIT	694 SF

GENERAL SHEET NOTES

- DRAWING NOTES**
- 1A UNIT MASONRY WALL W/ RELIEF FEATURES AS INDICATED (UM01/UM02)
 - 1B FIBER-CEMENT ARCHITECTURAL CLADDING PANEL (CP01)
 - 1C PERFORATED METAL PANEL CLADDING ASSEMBLY - PATTERN T.B.D. - FINISH TO MATCH PT03
 - 1D TENANT SIGNAGE TO BE INSTALLED IN ENTRY RECESSED SOFFIT AREAS - PROVIDE BLOCKING & ELECTRICAL CONNECTION AS NEEDED
 - 1E EXPOSED STRUCTURAL COLUMN - REFER TO STRL DWGS
 - 1F PLANTER BED IN FRONT OF SCREEN TO MEET MINIMUM ZONING PARKING SCREEN REQUIREMENT - REFER TO CIVIL DWGS FOR PLANTING INFORMATION [AL01/GL01/GL02]
 - 2A ALUM CLAD 6/0 DOUBLE HUNG WINDOW - MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALT. PRECAST CONC SILL & LINTEL FINISH TO MATCH PT03
 - 2C ALUM CLAD 6/0 DOUBLE HUNG WINDOW - MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALT. MINIMAL TRIM SILL & LINTEL FINISH TO MATCH PT03
 - 2D ALUM CLAD AWNING WINDOW - MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALT. - MINIMAL SILL & EXPOSED PTD STEEL LINTEL [PT03]
 - 2E HOLLOW METAL EXTERIOR DOOR - FINISH TO MATCH PT03
 - 3A CONFIRM & COORDINATE FLOOR ELEVATIONS & FINISH GRADE WITH CIVIL
 - 3B T&G 2X PATIO DECKING W/ PERF MTL GUARD RAIL @ SIDES - FIN TO MATCH PT03 - REFER TO A3 SERIES DETAIL FOR ADDITIONAL INFORMATION
 - 4A CONTINUOUS INSULATION SYSTEM W/ MEMBRANE ROOFING - SLOPE AS INDICATED ON ROOF PLANS(S)
 - 4B SQUARE PROFILE GUTTER/DOWNSPOUTS TO MATCH AL01
 - 4C SHOP-FORMED AND FINISHED ALUMINUM COPING PER DETAILS - FINISH TO MATCH PT02
 - 5A EXTERIOR FINISHED GYPSUM SOFFIT SYSTEM OVER PARKING AREA
 - 6A ROOFTOP-MOUNTED HVAC EQUIPMENT - PROVIDE REINFORCED ROOF TREATMENT ALONG ACCESS & INSTALLATION AREAS
 - 7A EXISTING UTILITY POLE TO BE RELOCATED
 - 8A FLUSH-MOUNT / RECESSED EXTERIOR LIGHTING - FIXTURE TYPE AS SCHEDULED

BPB MIXED USE

310 & 322 BROOKLAND PARK BOULEVARD RICHMOND, VA 23222



01 PLAN - LEVEL 01
SCALE: 1/8" = 1'-0"

JOB NUMBER / SHEET /	ISSUE DATE /	SCALE /	DRAWN / CHECKED /	# REVISION	DATE
0037 / A1.01	06/04/2021	1/8" = 1'-0"			



OWNER
 310 BROOKLAND PARK BOULEVARD LLC
 322 BROOKLAND PARK BOULEVARD LLC
 P.O. BOX 14609
 RICHMOND, VA 23221

DEVELOPER
 CW PERFORMANCE GROUP LLC
 P.O. BOX 14609
 RICHMOND, VA 23221

ARCHITECT
 FULTZ & SINGH ARCHITECTS
 3412 WEST LEIGH STREET
 SUITE 200
 RICHMOND, VA 23230

CIVIL ENGINEER
 SILVERCORE
 7110 FOREST AVENUE
 SUITE 204
 RICHMOND, VA 23226

STRUCTURAL ENGINEER
 LYNCH MYKINS
 1519 SUMMIT AVE
 SUITE 101
 RICHMOND, VA 23230

MEP ENGINEER
 PERMITZIP
 3412 WEST LEIGH STREET
 SUITE 200
 RICHMOND, VA 23230

FIRE PROTECTION ENGINEER
 DESIGN/BUILD

GENERAL CONTRACTOR
 T.B.D.

DRAWING LIST - ARCHITECTURAL

SHEET	DRAWING TITLE	12/18/20 - P.O.D. SET	03/03/2021 - P.O.D. SET (R)
CS.00	COVER SHEET	•	•
A0.00	PROJECT INFORMATION	•	•
AS.01	SITE PLAN - TRUE NORTH	•	•
A1.01	PLAN LEVEL 01	•	•
A1.02	PLAN LEVEL 02	•	•
A1.03	ROOF PLAN	•	•
A2.01	ELEVATION DRAWINGS	•	•
A2.11	BUILDING SECTIONS	•	•



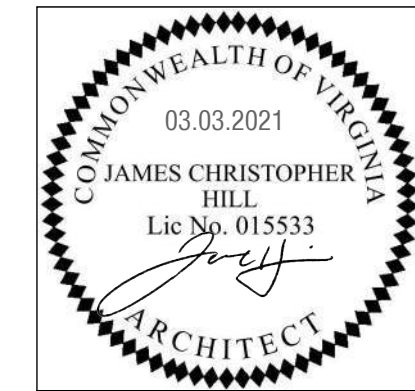
fultzsingharchitects.com
 3412 W LEIGH STREET
 SUITE 200
 RICHMOND VA 23230

BPB MIXED USE

PLAN OF DEVELOPMENT ISSUANCE - REVISION 01 - 03.03.2021

310 & 322 Brookland Park Boulevard, Richmond VA

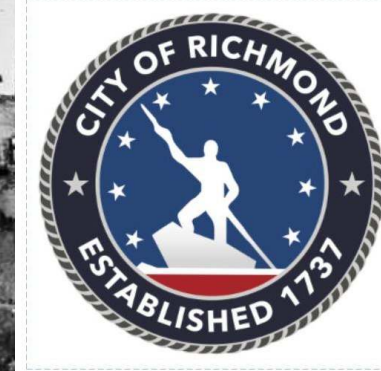
BPB MIXED USE
 310 & 322 BROOKLAND PARK
 BOULEVARD
 RICHMOND, VA 23222



DRAWING SYMBOL LEGEND

	ELEVATION CALLOUT		DOOR EGRESS TAG ACTUAL DOOR WIDTH INCHES PER OCCUPANT ACTUAL OCCUPANT NUMBER OCCUPANT CAPACITY OF OPENING		LEVEL / ELEVATION REFERENCE
	SECTION CALLOUT		DOOR TAG		WALLTYPE INDICATION
	ENLARGED PLAN / SECTION CALLOUT		ROOM TAG		EGRESS PATH
	DETAIL CALLOUT		DRAWING NOTE		WALL RATING INDICATION DASH INDICATES RATING IN NUMBER OF HOURS [DENSE DASH INDICATES 30MIN WALL]
	GRIDLINE REFERENCE		REVISION NOTE		CODE COMPLIANT ILLUMINATED EXIT SIGN INDICATOR DIRECTION (IF APPLICABLE)
	LEVEL / ELEVATION REFERENCE		DEMOLITION NOTE		

VICINITY MAP



PLAN OF DEVELOPMENT
 APPROVED
Kenn J. Vande
 Acting Director 5/17/2021

#	REVISION	DATE
	FSA	
	DRAWN / CHECKED	
	SCALE / 12" = 1'-0"	
	ISSUE DATE / 03/03/2021	
	JOB NUMBER / PJN	
	SHEET / CS.00	

SITE & UTILITY PLANS

310/322 BROOKLAND PARK BLVD.

SITE DATA

1. OWNER: 310 W BROOKLAND PARK BLVD LLC
322 W BROOKLAND PARK BLVD LLC
PO BOX 14609
RICHMOND, VA 23221
(804) 347-3251
CONTACT: CORY WEINER

2. ENGINEER: SILVERCORE
7110 FOREST AVE. SUITE 204
RICHMOND, VA 23226
(804) 282-6900
CONTACT: ANDREW BOWMAN
EMAIL: ANDREW.BOWMAN@SILVERCORE.US

ARCHITECT: FULTZ & SINGH ARCHITECTS
3412 W LEIGH STREET
RICHMOND, VA 23230
(540) 449-4284
CONTACT: JUSTIN WHITEFORD
EMAIL: JUSTIN@FULTZSINGARCHITECTS.COM

3. PROPERTY ID # : N0000971016/N000097017

4. ADDRESS : 310/ 322 W BROOKLAND PARK BLVD.

5. ACREAGE : 0.20 AC./ 0.08 AC.

6. ZONING : UB-PE7 (COMMERCIAL)

7. PROPOSED USE : OFFICE (RETAIL)/ APARTMENTS

8. WATER : PUBLIC

9. SEWER : PUBLIC

10. PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON INSURANCE RATE MAP SHEET 5101290033D FOR THE CITY OF RICHMOND.

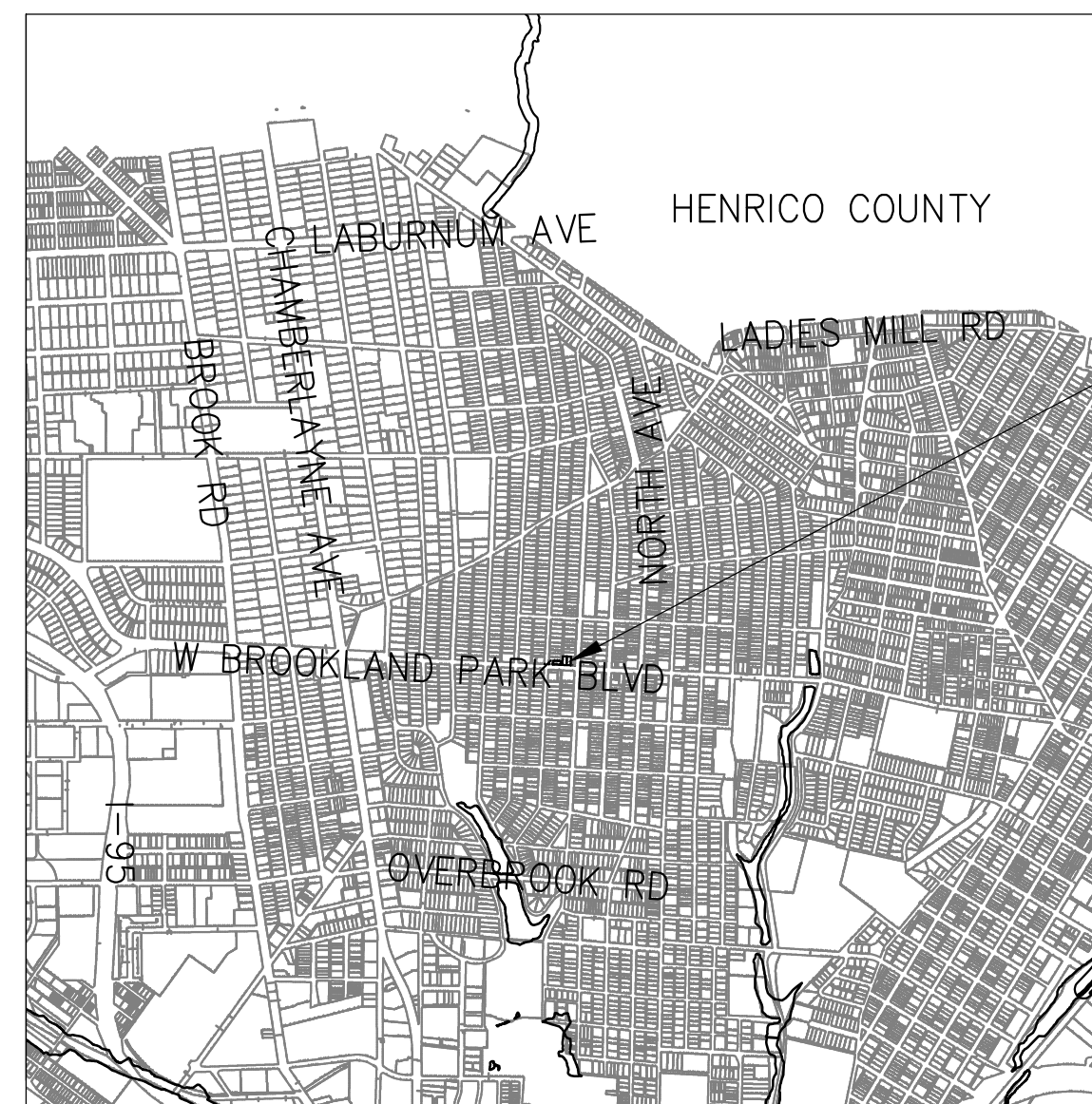
11. PARKING
PARKING TO UTILIZE SHARE PARKING UNDER CODE SEC.30-710.2.3.(a)

TOTAL SHARED SPACES: 19 TOTAL SPACES PROVIDED
322 W BROOKLAND PARK BLVD: 4 SPACES TOTAL
ON-STREET - 4 SPACES
310 W BROOKLAND PARK BLVD: 10 SPACES TOTAL
OFF-STREET - 6 SPACES
ON-STREET - 4 SPACES
3003 GRIFFIN AVE: 4 TOTAL SPACES
OFF-STREET - 4 SPACES
2923 FENDALL AVE: 1 TOTAL SPACES
OFF-STREET - 1 SPACES

REQUIRED TOTAL: 19 SPACES REQUIRED
1 PER 4 DWELLING UNITS: 3 TOTAL
322 W BROOKLAND PARK BLVD:
3 UNITS - 1 SPACES
310 W BROOKLAND PARK BLVD:
8 UNITS - 2 SPACES
1 PER 300SF FOR FIRST 1,500SF, 1 PER 400SF AFTER 1,500SF:
2,852+3,209 SF = 16 SPACES

12. PERMITS REQUIRED : BUILDING PERMIT (B)
STORMSEWER PERMIT (C)
LAND DISTURBANCE PERMIT (W)
WORK IN STREET PERMIT/ PERMITS (WSPs)

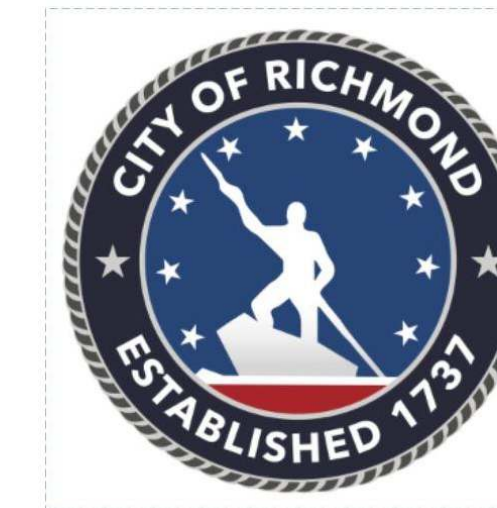
BROOKLAND PARK DISTRICT
CITY OF RICHMOND, VIRGINIA



VICINITY MAP
SCALE 1" = 2000'

SHEET INDEX

- SHEET 1: COVER SHEET
- SHEET 2: EXISTING CONDITIONS/ DEMOLITION
- SHEET 3: LAYOUT PLAN
- SHEET 4: UTILITY PLAN
- SHEET 5: GRADING PLAN
- SHEET 6: EROSION CONTROL PHASE I
- SHEET 7: EROSION CONTROL PHASE II
- SHEET 8: EROSION CONTROL NOTES & DETAILS
- SHEET 9: DRAINAGE PLAN
- SHEET 10: DRAINAGE CALCULATIONS
- SHEET 11: NOTES & DETAILS
- SHEET 12: NOTES & DETAILS
- SHEET 13: NOTES & DETAILS
- SHEET 14: NOTES & DETAILS
- SHEET 15: LANDSCAPE PLAN
- SHEET 16: LIGHTING PLAN



**PLAN OF DEVELOPMENT
APPROVED**

Kevin J. Vack

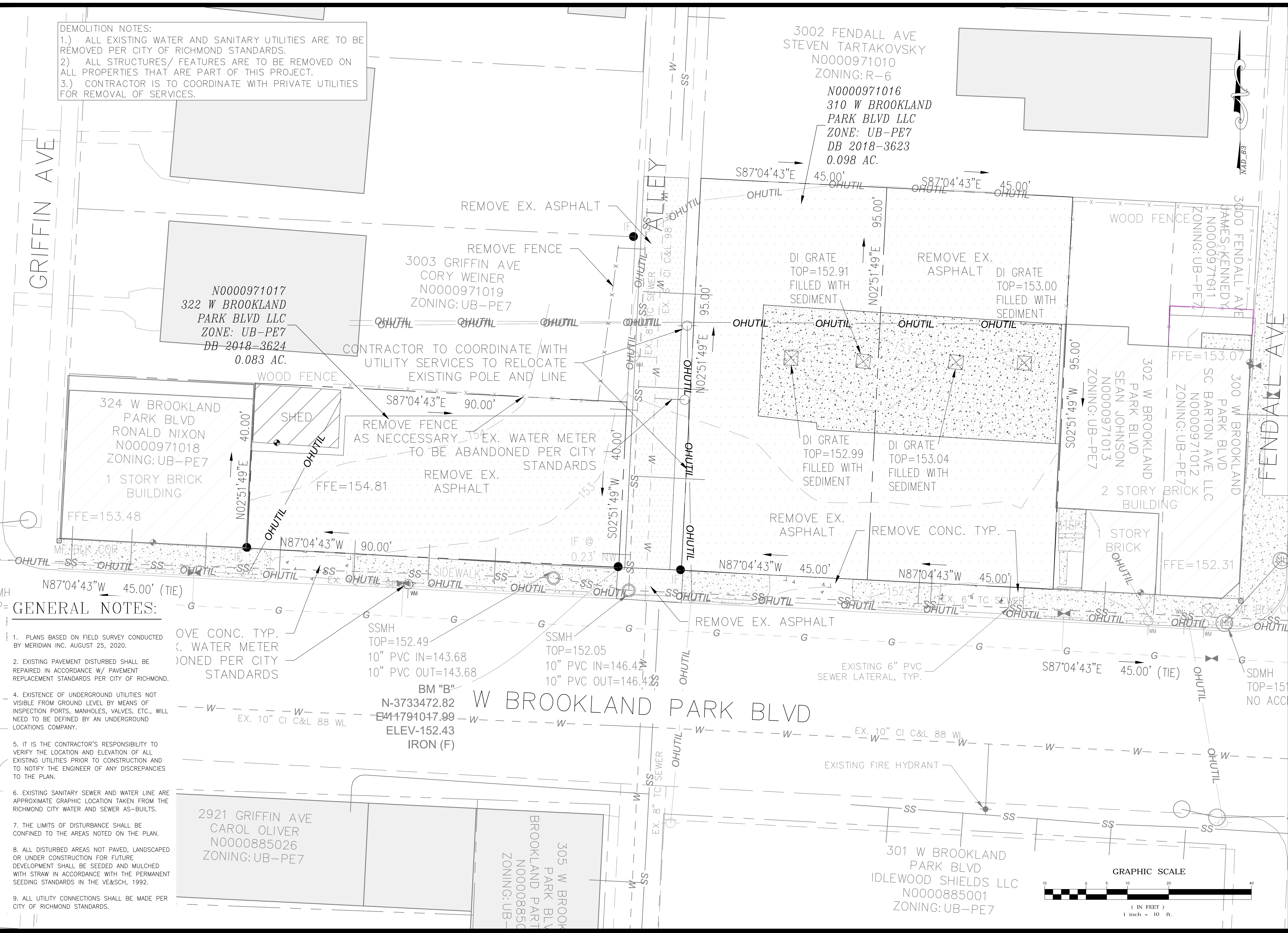
Acting Director 5/17/2021

E&S STATISTICS	
Erosion & Sediment Control Measures	Linear Feet
Type of Silt Fence	205 LF
Construction Entrance	1
Other E&S measures as proposed/required (i.e. inlet protection, etc.)	2 EA Inlet Protection
LOT STATISTICS	
Total Lot Area	Square Feet
Impervious Surface Area	12,760
Amount of Pervious Surface Area	10,560
Amount of Land Disturbance	2,200
	15,530

REV.	DATE	DESCRIPTION

DESIGN BY: Andrew Bowman
CHECK BY: Jeff Staub
DRAWING SCALE: N/A
DATE: 12/17/2020

DEMOLITION NOTES:
 1.) ALL EXISTING WATER AND SANITARY UTILITIES ARE TO BE REMOVED PER CITY OF RICHMOND STANDARDS.
 2.) ALL STRUCTURES/ FEATURES ARE TO BE REMOVED ON ALL PROPERTIES THAT ARE PART OF THIS PROJECT.
 3.) CONTRACTOR IS TO COORDINATE WITH PRIVATE UTILITIES FOR REMOVAL OF SERVICES.



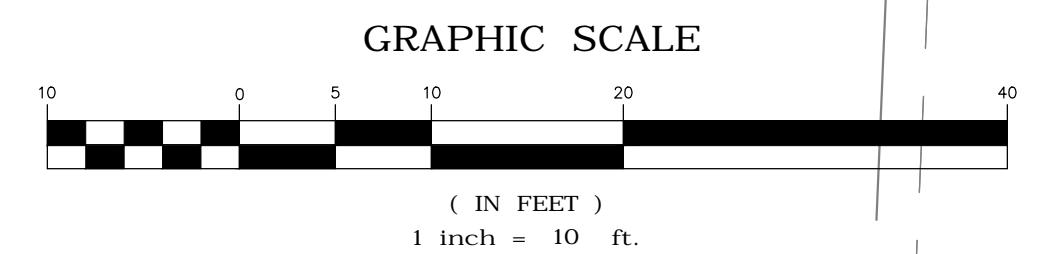
- GENERAL NOTES:**
- PLANS BASED ON FIELD SURVEY CONDUCTED BY MERIDIAN INC. AUGUST 25, 2020.
 - EXISTING PAVEMENT DISTURBED SHALL BE REPAIRED IN ACCORDANCE W/ PAVEMENT REPLACEMENT STANDARDS PER CITY OF RICHMOND.
 - EXISTENCE OF UNDERGROUND UTILITIES NOT VISIBLE FROM GROUND LEVEL BY MEANS OF INSPECTION PORTS, MANHOLES, VALVES, ETC., WILL NEED TO BE DEFINED BY AN UNDERGROUND LOCATIONS COMPANY.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES TO THE PLAN.
 - EXISTING SANITARY SEWER AND WATER LINE ARE APPROXIMATE GRAPHIC LOCATION TAKEN FROM THE RICHMOND CITY WATER AND SEWER AS-BUILTS.
 - THE LIMITS OF DISTURBANCE SHALL BE CONFINED TO THE AREAS NOTED ON THE PLAN.
 - ALL DISTURBED AREAS NOT PAVED, LANDSCAPED OR UNDER CONSTRUCTION FOR FUTURE DEVELOPMENT SHALL BE SEEDED AND MULCHED WITH STRAW IN ACCORDANCE WITH THE PERMANENT SEEDING STANDARDS IN THE VE&SCH, 1992.
 - ALL UTILITY CONNECTIONS SHALL BE MADE PER CITY OF RICHMOND STANDARDS.

REMOVE CONC. TYP.
 WATER METER
 TO BE ABANDONED PER CITY STANDARDS

SSMH
 TOP=152.49
 10" PVC IN=143.68
 10" PVC OUT=143.68

SSMH
 TOP=152.05
 10" PVC IN=146.42
 10" PVC OUT=146.42

BM "B"
 N-3733472.82
 E-414791047.99
 ELEV-152.43
 IRON (F)



SILVERCORE
 LAND DEVELOPMENT CONSULTANTS
 7110 FOREST AVENUE - SUITE 204 RICHMOND, VA 23226 (804) 282-6900

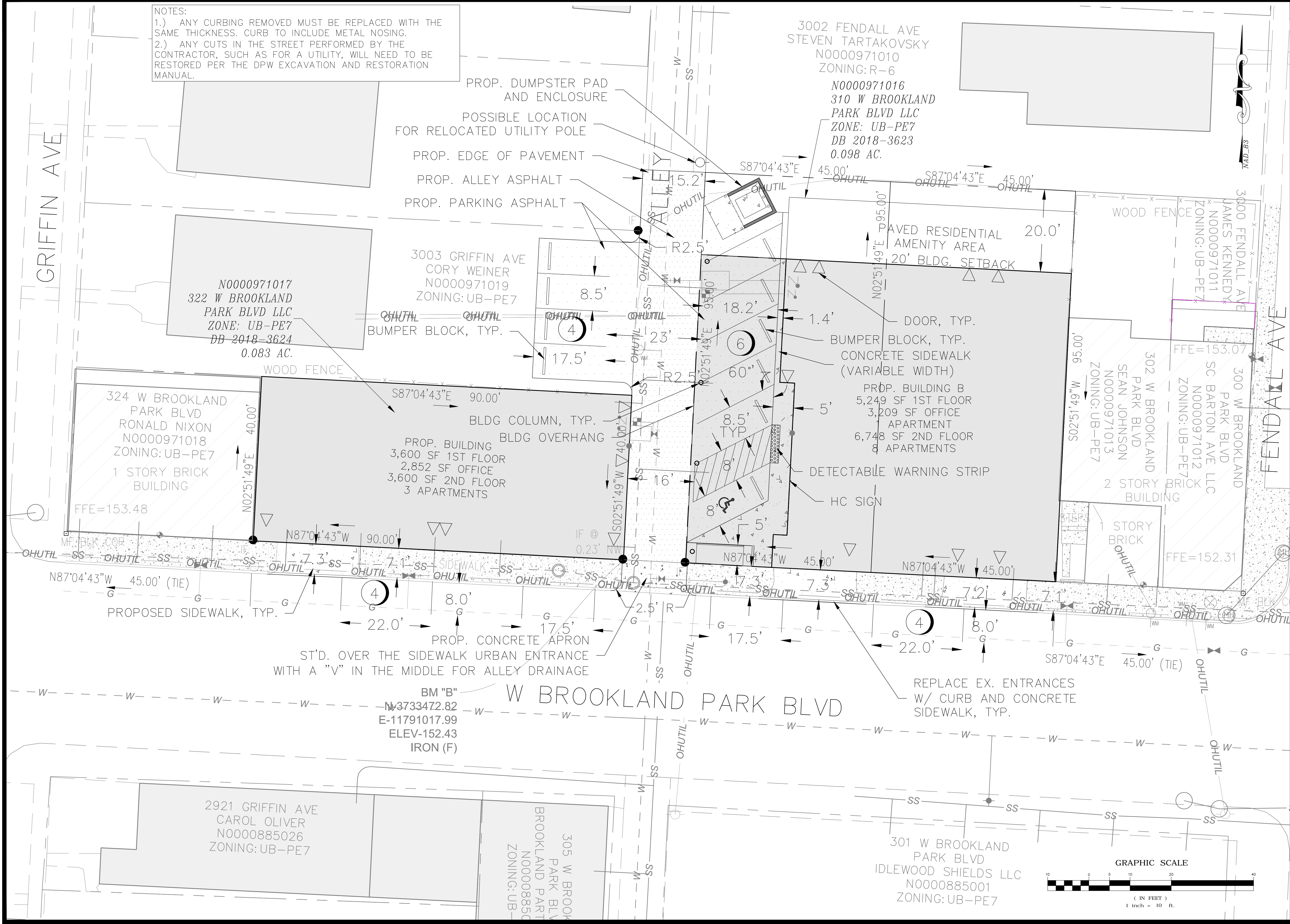
310/322 BROOKLAND PARK BLVD
EXISTING CONDITIONS
 BROOKLAND PARK DISTRICT CITY OF RICHMOND, VIRGINIA

REV.	DATE	DESCRIPTION

DESIGN BY: Andrew Bowman
 CHECK BY: Jeff Staub
 DRAWING SCALE: 1"=10'
 DATE: 12/17/2020

SHEET
2
 JOB #: 200407

NOTES:
 1.) ANY CURBING REMOVED MUST BE REPLACED WITH THE SAME THICKNESS. CURB TO INCLUDE METAL NOSING.
 2.) ANY CUTS IN THE STREET PERFORMED BY THE CONTRACTOR, SUCH AS FOR A UTILITY, WILL NEED TO BE RESTORED PER THE DPW EXCAVATION AND RESTORATION MANUAL.



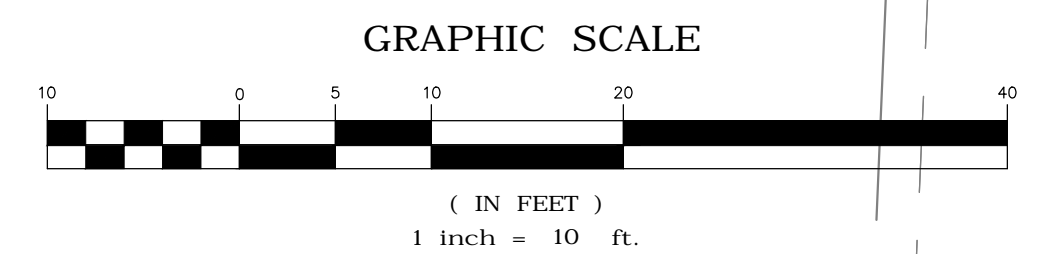
SILVERCORE
 LAND DEVELOPMENT CONSULTANTS
 7110 FOREST AVENUE - SUITE 204 RICHMOND, VA 23226 (804) 282-6900

310/322 BROOKLAND PARK BLVD
LAYOUT PLAN
 BROOKLAND PARK DISTRICT CITY OF RICHMOND, VIRGINIA

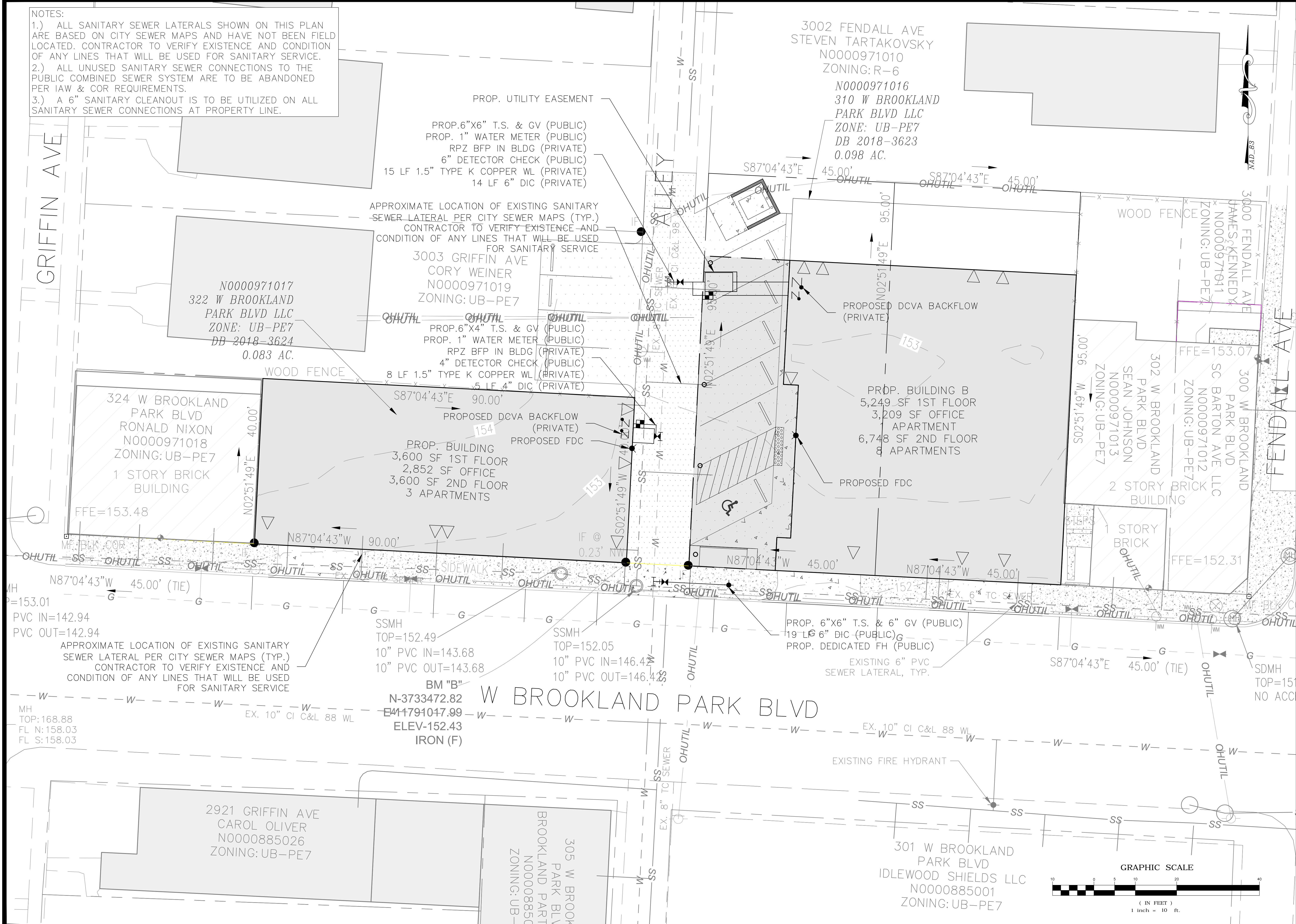
REV.	DATE	DESCRIPTION
REV#1	12/17/2020	
REV#2	4/7/2021	
REV#3	12/17/2021	

DESIGN BY: Andrew Bowman
 CHECK BY: Jeff Staub
 DRAWING SCALE: 1"=10'
 DATE: 12/17/2020

SHEET
3
 JOB #: 200407



NOTES:
 1.) ALL SANITARY SEWER LATERALS SHOWN ON THIS PLAN ARE BASED ON CITY SEWER MAPS AND HAVE NOT BEEN FIELD LOCATED. CONTRACTOR TO VERIFY EXISTENCE AND CONDITION OF ANY LINES THAT WILL BE USED FOR SANITARY SERVICE.
 2.) ALL UNUSED SANITARY SEWER CONNECTIONS TO THE PUBLIC COMBINED SEWER SYSTEM ARE TO BE ABANDONED PER IAW & COR REQUIREMENTS.
 3.) A 6" SANITARY CLEANOUT IS TO BE UTILIZED ON ALL SANITARY SEWER CONNECTIONS AT PROPERTY LINE.



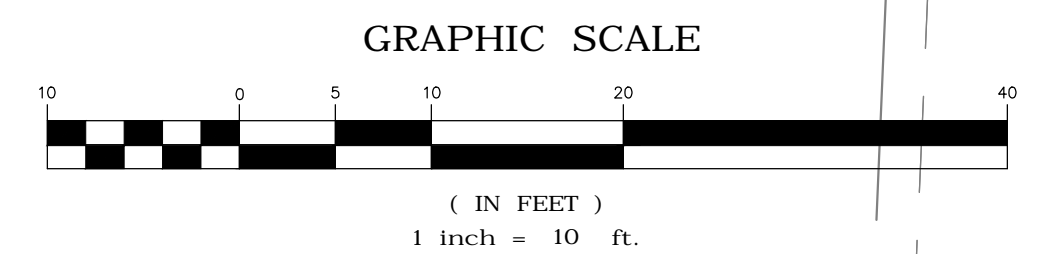
SILVERCORE
 LAND DEVELOPMENT CONSULTANTS
 7110 FOREST AVENUE - SUITE 204 RICHMOND, VA 23226 (804) 282-6900

310/322 BROOKLAND PARK BLVD
UTILITY PLAN
 BROOKLAND PARK DISTRICT CITY OF RICHMOND, VIRGINIA

REV.	DATE	DESCRIPTION

DESIGN BY: Andrew Bowman
 CHECK BY: Jeff Staub
 DRAWING SCALE: 1"=10'
 DATE: 12/17/2020

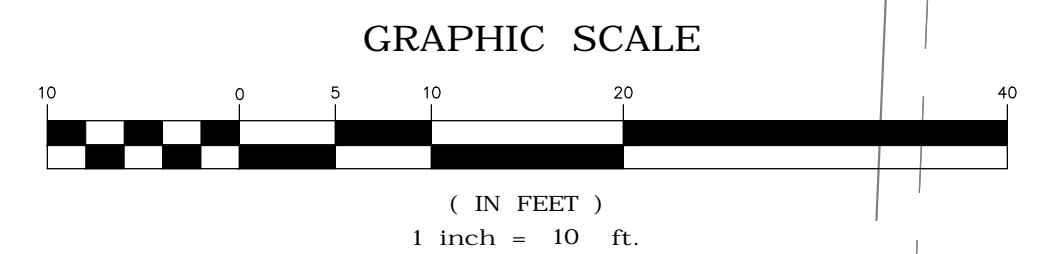
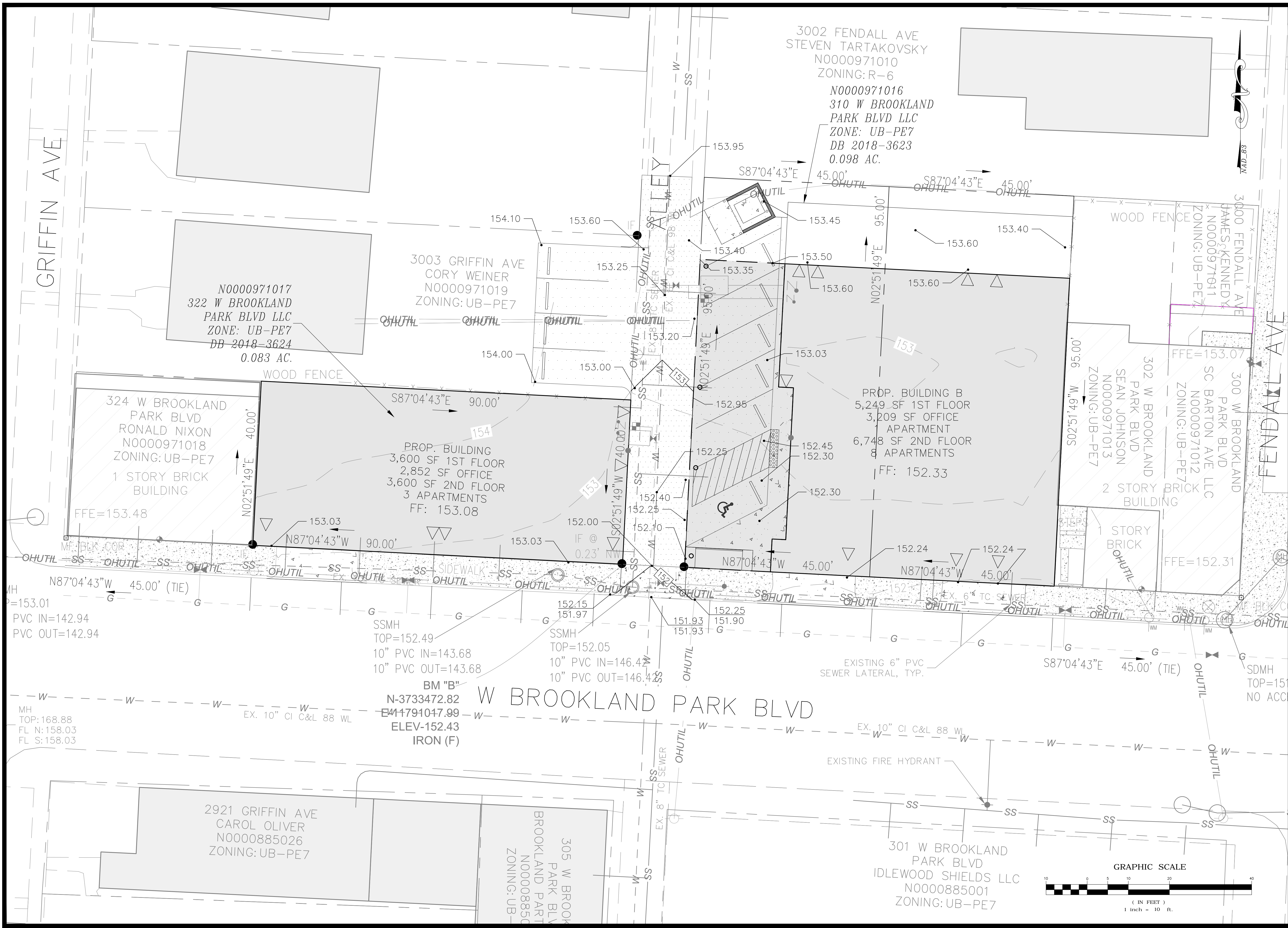
SHEET
4
 JOB #: 200407

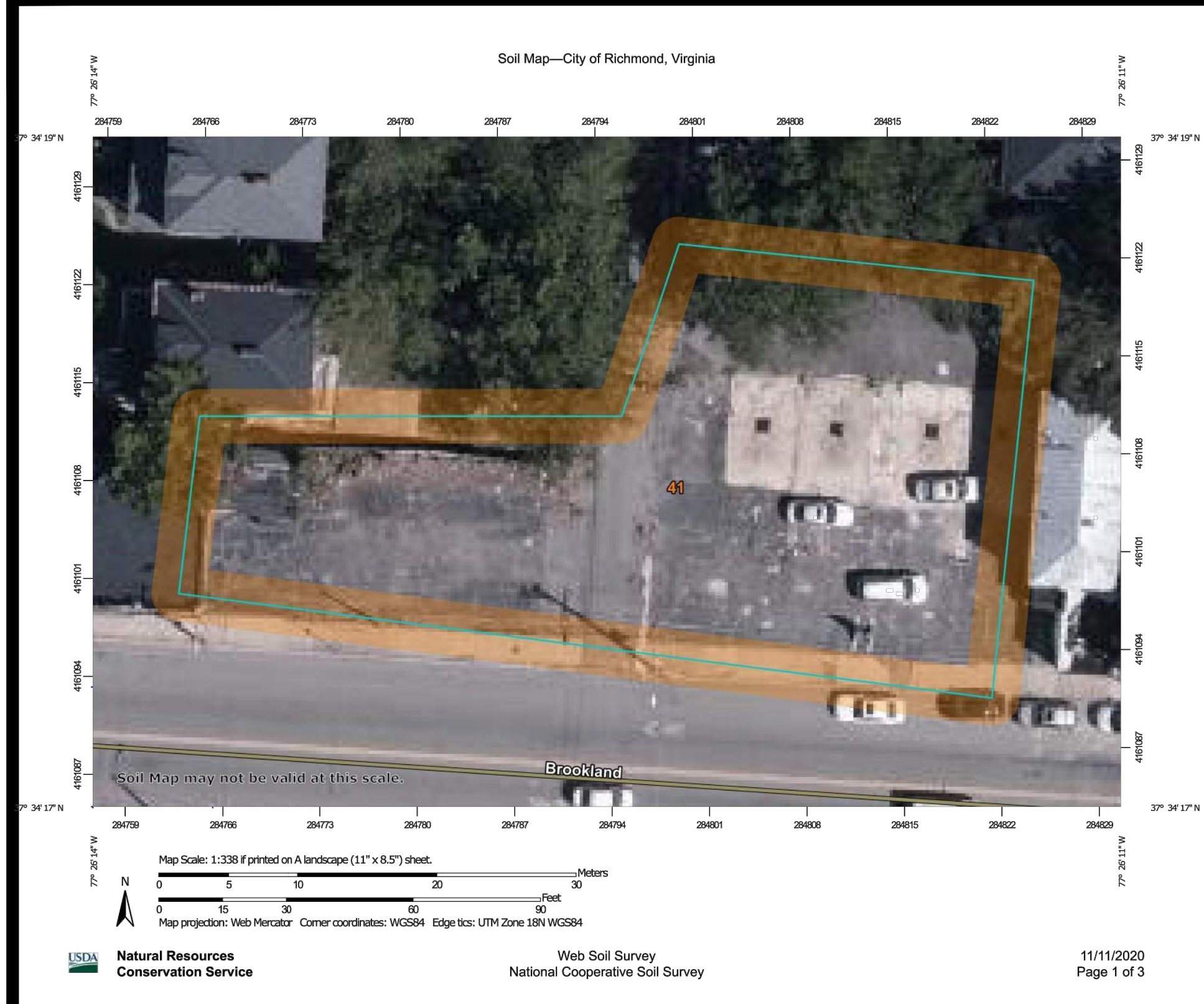




REV.	DATE	DESCRIPTION

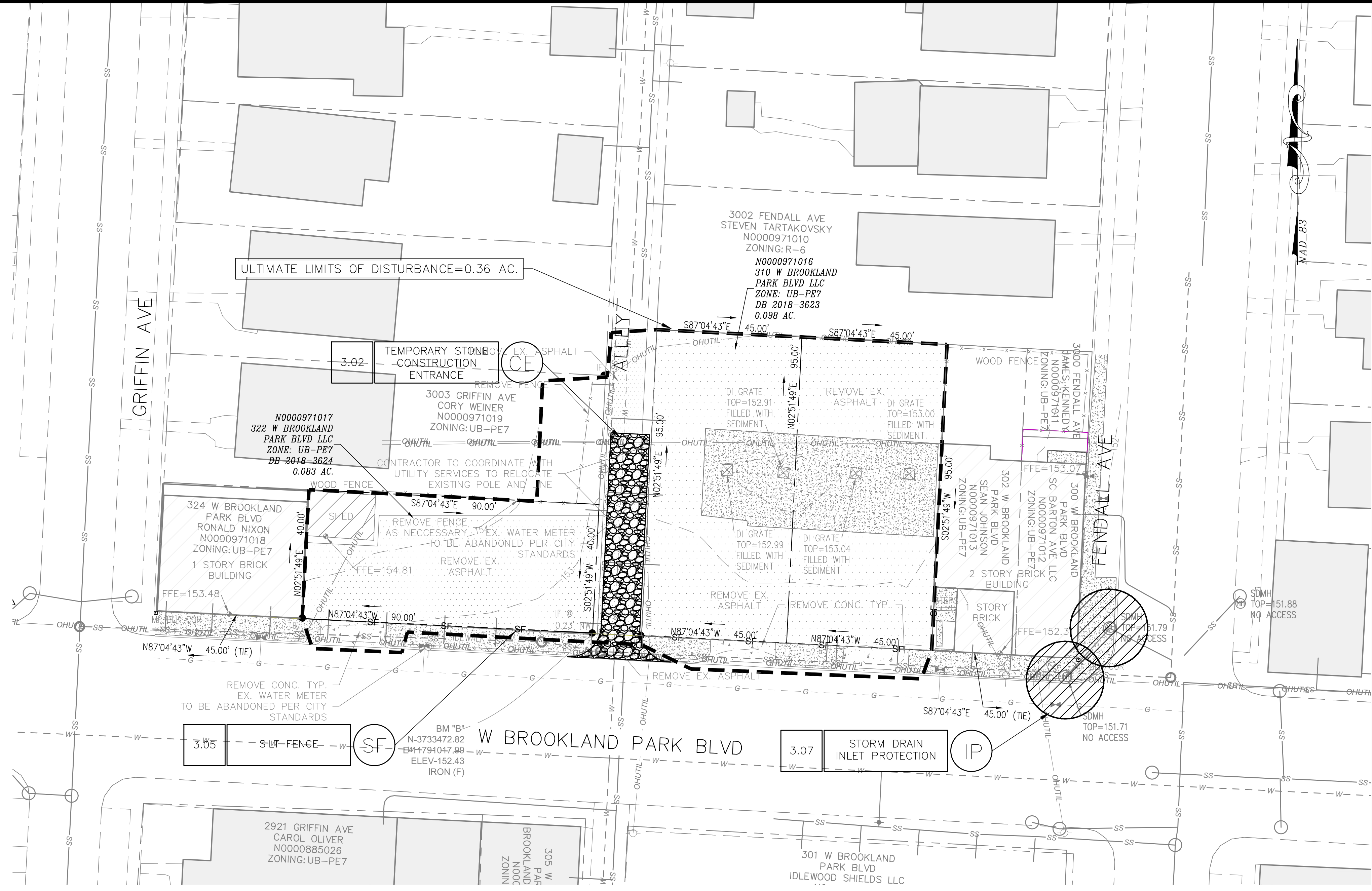
DESIGN BY: Andrew Bowman
CHECK BY: Jeff Staub
DRAWING SCALE: 1"=10'
DATE: 12/17/2020





Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
41	Urban land	0.3	100.0%
Totals for Area of Interest		0.3	100.0%



EROSION CONTROL NARRATIVE

PROJECT DESCRIPTION: THE EXISTING PROJECT AREA CONSISTS OF 3 PARCELS LOCATED AT 310 & 322 W BROOKLAND PARK BLVD AND A PORTION OF 3003 GRIFFIN AVE. TOTALING APPROXIMATELY 0.29 ACRES. THE BROOKLAND PARK BLVD SITES ARE DEVELOPED CONTAINING JUST PAVED AREAS WITH ONE BEING AN OLD PARKING AREA AND ONE BEING AN OLD CAR WASH. THE PORTION OF 3003 GRIFFIN IS UNDEVELOPED. THIS PROJECT WILL BE DEMOLISHING ALL STRUCTURES ON SITE TO CONSTRUCT TWO NEW BUILDING AND A SMALL PARKING AREA. THE LIMITS OF DISTURBANCE WILL BE APPROXIMATELY 0.36 ACRES.

EXISTING SITE CONDITIONS: THE SITE IS DEVELOPED WITH BOTH HAVING THE ENTIRE SITES PAVED. THE SITES HAVE A HIGH POINT AT THE NORTH WEST PORTION OF THE SITES WHICH SHEETFLOW TO OUTFALL AT THE SOUTHERN MOST PART OF THE SITE TO AN EXISTING INLET ON W BROOKLAND PARK BLVD AND FENDALL AVE.

ADJACENT SITE: THE SITE IS SURROUNDED BY RESIDENTIAL AREAS TO THE NORTH AND COMMERCIAL TO THE EAST, WEST AND SOUTH.

OFF-SITE AREAS: IF THE SITE REQUIRES ANY BORROW OR WASTE AREAS IT WILL BE UNDER A SEPARATE PERMIT.

SOILS: THE MAPPING UNIT FOR THIS SITE IS 41 URBAN LAND.

CRITICAL AREAS: CRITICAL AREAS FOR THIS PROJECT ARE ANY STEEP SLOPES THAT WILL BE EXPOSED DURING CONSTRUCTION.

EROSION & SEDIMENT CONTROL MEASURES: THIS PROJECT WILL BE DISTURBING 0.36 ACRES AND WILL PROVIDE SILT FENCE AT THE PERIMETER, INLET PROTECTION AT ANY EXISTING INLETS. THERE WILL BE CONSTRUCTION ENTRANCE INSTALLED TO CLEAN THE TIRES BEFORE TRUCKS LEAVE THE SITE.

PERMANENT STABILIZATION: THE SITE WILL HAVE LANDSCAPE AREAS THAT WILL BE PLANTED, SEEDED AND/OR MULCHED, THE REST OF THE SITE WILL BE BUILDING OR PAVING.

STORM WATER RUNOFF: THE SITE WILL DECREASE IN RUNOFF SLIGHTLY TO THE COMBINED SEWER SYSTEM.

CALCULATIONS: ALL CALCULATIONS HAVE BEEN PROVIDED IN THIS PLAN SET.

EROSION CONTROL NOTES

1. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 14 DAYS BUT LESS THAN ONE YEAR. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE LEFT DORMANT FOR MORE THAN ONE YEAR.
2. EXCESS EXCAVATION DISPOSED OF OFF SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
3. EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED IN ACCORDANCE WITH VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP OF LAND DISTURBING ACTIVITY.
4. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED SO THAT THE SEDIMENT CARRYING RUNOFF FROM THE SITE WILL NOT ENTER STORM DRAINAGE FACILITIES.
5. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED UNTIL THE DISTURBED AREA IS STABILIZED.
6. PROPERTIES ADJOINING THE SITE SHALL BE KEPT CLEAN OF MUD OR SILT CARRIED FROM THE SITE BY VEHICULAR TRAFFIC OR RUNOFF.
7. THE DISPOSAL OF WASTE MATERIAL REMOVED FROM EROSION AND SEDIMENT CONTROL FACILITIES AND THE DISPOSAL OF FACILITIES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.

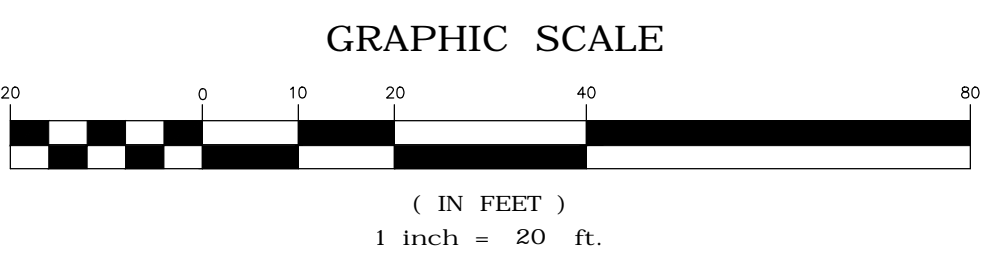
EROSION CONTROL PHASE I SEQUENCE/SCHEDULE

1. AN ONSITE PRE-CONSTRUCTION MEETING IS MANDATORY BEFORE ANY WORK IS DONE. THE CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING THE MEETING AMONG THE ENGINEER, TOWN INSPECTOR, CERTIFIED RESPONSIBLE LAND DISTURBER AND THE CONTRACTOR. FORTY EIGHT (48) HOURS NOTICE IS REQUIRED. AT THE TIME OF THE PRE-CONSTRUCTION MEETING, TWO STANDARD SIGNS MUST BE INSTALLED ON EACH SIDE OF THE CONSTRUCTION ACCESS. THESE SIGNS SHOULD STATE EITHER "CONSTRUCTION ENTRANCE AHEAD" OR "TRUCKS ENTERING HIGHWAY".
2. NO LAND DISTURBANCE MAY OCCUR OUTSIDE THE PRELIMINARY LIMITS OF DISTURBANCE UNTIL THE INSTALLATION OF THE ESC MEASURES HAS BEEN APPROVED BY THE ENVIRONMENTAL INSPECTOR.
3. AFTER PRE-CONSTRUCTION MEETING, INSTALL CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN.
4. BEGIN CLEARING BUT LIMIT CLEARING OPERATIONS AND LAND DISTURBANCE ONLY TO THE LIMITS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN AND ONLY ENOUGH TO INSTALL EROSION CONTROL MEASURES.
5. INSTALL SILT FENCE AND INLET PROTECTION AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN.
6. LAND DISTURBANCE MUST BE LIMITED TO THE LIMITS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN UNTIL THE INITIAL MEASURES ARE APPROVED BY THE ENVIRONMENTAL INSPECTOR.
9. AFTER APPROVAL BY TOWN INSPECTOR, CLEAR, GRUB STRIP AND STOCKPILE TOPSOIL.

EROSION CONTROL LEGEND & QUANTITIES:
(FOR BOND PURPOSES ONLY)

NOTE: DETAILS AND SPECIFICATIONS OF EROSION AND SEDIMENT MEASURES ARE FOUND IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.(FOR BOND PURPOSES ONLY)

KEY	NUMBER	TITLE	QUANTITY
CE	3.02	CONSTRUCTION ENTRANCE	1 EACH
SF	3.05	SILT FENCE	205 LF
IP	3.07	INLET PROTECTION	2 EACH
TS	3.31	TEMPORARY SEEDING	0.36 AC
PS	3.32	PERMANENT SEEDING	0.05 AC



SILVERCORE
LAND DEVELOPMENT CONSULTANTS
7110 FOREST AVENUE - SUITE 204 RICHMOND, VA 23226 (804) 282-6900

**310/322 BROOKLAND PARK BLVD
EROSION & SEDIMENT
CONTROL PLAN PHASE I**
BROOKLAND PARK DISTRICT CITY OF RICHMOND, VIRGINIA

REV.	DATE	DESCRIPTION

DESIGN BY: Andrew Bowman
CHECK BY: Jeff Staub
DRAWING SCALE: 1"=20'
DATE: 12/17/2020

SHEET
6
JOB #: 200407

MAINTENANCE OF STRUCTURAL PRACTICES:

3.02 - CONSTRUCTION ENTRANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR THE WASHING AND REWORKING OF EXISTING STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. THE USE OF WATER TRUCKS TO REMOVE MATERIALS DROPPED, WASHED, OR TRACKED ONTO ROADWAYS WILL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES.

3.05 - SILT FENCE

SILT FENCE SEDIMENT BARRIER WILL BE INSTALLED DOWNSLOPE OF ANY LAND DISTURBING ACTIVITIES TO FILTER SEDIMENT LADEN SHEET FLOW.
 -SILT FENCE SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 -CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE RESULTING FROM END RUNS UNDERCUTTING.
 -SHOULD THE FABRIC ON THE SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
 -SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 -ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

3.07 - STORM DRAIN INLET PROTECTION

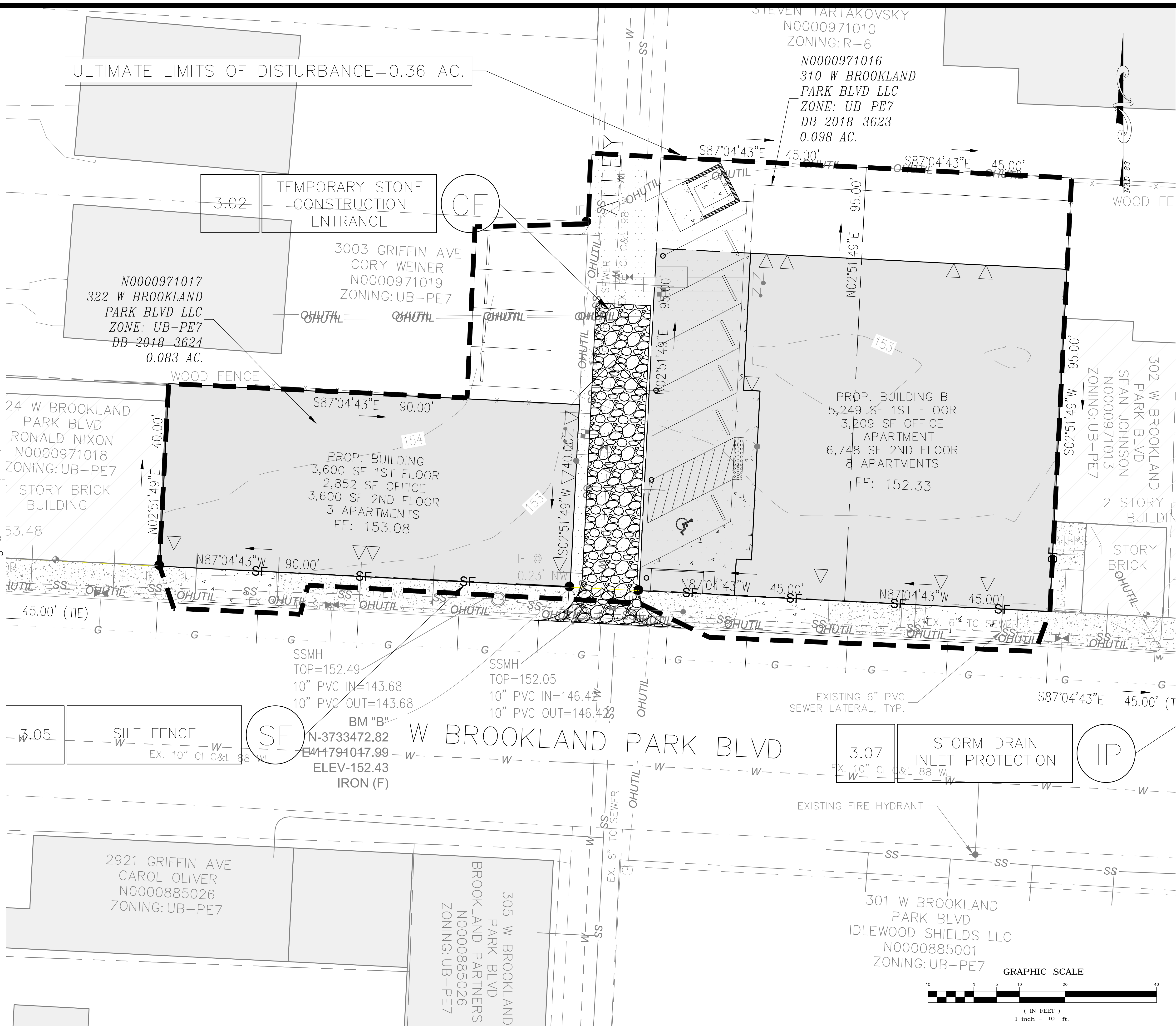
-THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
 -SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 -STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

3.32 - PERMANENT SEEDING

EVEN WITH CAREFUL, WELL PLANNED SEEDING OPERATIONS, FAILURES CAN OCCUR. WHEN IT IS CLEAR THAT PLANTS HAVE NOT GERMINATED ON AN AREA OR HAVE DIED, THESE AREAS MUST BE RESEEDING IMMEDIATELY TO PREVENT EROSION DAMAGE. HOWEVER, IT IS EXTREMELY IMPORTANT TO DETERMINE FOR WHAT REASON GERMINATION DID NOT TAKE PLACE AND MAKE ANY CORRECTIVE ACTION PRIOR TO RESEEDING THE AREA. HEALTHY VEGETATION IS THE MOST EFFECTIVE EROSION CONTROL AVAILABLE.

EROSION CONTROL PHASE II SEQUENCE/SCHEDULE

1. MAINTAIN ALL PHASE I EROSION CONTROL DEVICES THROUGHOUT CONSTRUCTION OR AS INDICATED ON THE PHASE II PLANS.
2. BEGIN GRADING OPERATIONS MAINTAINING POSITIVE DRAINAGE AT ALL TIMES.
3. REMOVE EXISTING ASPHALT, GRADE BUILDING PADS AND BEGIN BUILDING CONSTRUCTION.
4. INSTALL UTILITIES.
5. BACK FILL, GRADE AND STABILIZE PRIVATE ROAD AREA.
6. TOPSOIL, SEED, AND STABILIZE ANY REMAINING DISTURBED AREAS.
7. INSTALL PAVEMENT.
8. INSTALL OTHER HARDSCAPING & LANDSCAPING THEN TOPSOIL SEED & STABILIZE ANY REMAINING DISTURBED AREAS.
9. NO EROSION AND SEDIMENT CONTROL MEASURES CAN BE REMOVED WITHOUT APPROVAL OF THE ENVIRONMENTAL INSPECTOR FOR THE PROJECT.
10. CONTACT ENVIRONMENTAL DIVISION FOR FINAL INSPECTION.
11. UPON APPROVAL OF SITE STABILIZATION, ALL E&S MEASURES CAN BE REMOVED.



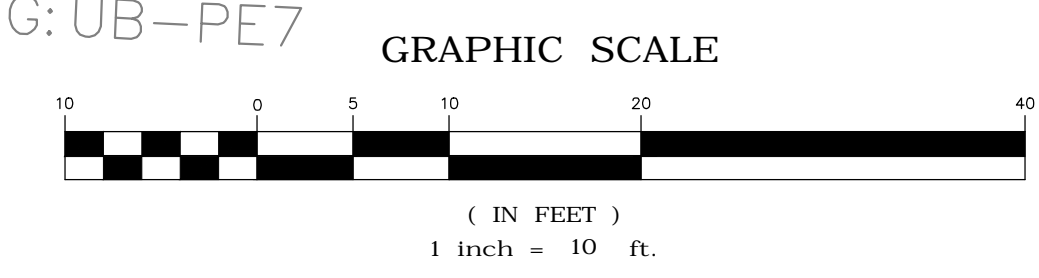
SILVERCORE
 LAND DEVELOPMENT CONSULTANTS
 7110 FOREST AVENUE - SUITE 204 RICHMOND, VA 23226 (804) 282-6900

**310/322 BROOKLAND PARK BLVD
 EROSION & SEDIMENT
 CONTROL PLAN PHASE II**
 BROOKLAND PARK DISTRICT CITY OF RICHMOND, VIRGINIA

REV.	DATE	DESCRIPTION

DESIGN BY: Andrew Bowman
 CHECK BY: Jeff Staud
 DRAWING SCALE: 1"=10'
 DATE: 12/17/2020

**SHEET
 7**
 JOB #: 200407



9VAC25-840-40. Minimum standards.

A VESCP must be consistent with the following criteria, techniques and methods:

- Permanent or temporary soil stabilization shall be applied to denuded areas within seven days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven days to denuded areas that may not be at final grade but will remain dormant for longer than 14 days. Permanent stabilization shall be applied to areas that are to be left dormant for more than one year.
- During construction of the project, soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping measures. The applicant is responsible for the temporary protection and permanent stabilization of all soil stockpiles on site as well as borrow areas and soil intentionally transported from the project site.
- A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized. Permanent vegetation shall not be considered established until a ground cover is achieved that is uniform, mature enough to survive and will inhibit erosion.
- Sediment basins and traps, perimeter dikes, sediment barriers and other measures intended to trap sediment shall be constructed as a first step in any land-disturbing activity and shall be made functional before upslope land disturbance takes place.
- Stabilization measures shall be applied to earthen structures such as dams, dikes and diversions immediately after installation.
- Sediment traps and sediment basins shall be designed and constructed based upon the total drainage area to be served by the trap or basin.
 - The minimum storage capacity of a sediment trap shall be 134 cubic yards per acre of drainage area and the trap shall only control drainage areas less than three acres.
 - Surface runoff from disturbed areas that is comprised of flow from drainage areas greater than or equal to three acres shall be controlled by a sediment basin. The minimum storage capacity of a sediment basin shall be 134 cubic yards per acre of drainage area. The outfall system shall, at a minimum, maintain the structural integrity of the basin during a 25-year storm of 24-hour duration. Runoff coefficients used in runoff calculations shall correspond to a bare earth condition or those conditions expected to exist while the sediment basin is utilized.
- Cut and fill slopes shall be designed and constructed in a manner that will minimize erosion. Slopes that are found to be eroding excessively within one year of permanent stabilization shall be provided with additional slope stabilizing measures until the problem is corrected.
- Concentrated runoff shall not flow down cut or fill slopes unless contained within an adequate temporary or permanent channel, flume or slope drain structure.
- Whenever water seeps from a slope face, adequate drainage or other protection shall be provided.
- All storm sewer inlets that are made operable during construction shall be protected so that sediment-laden water cannot enter the conveyance system without first being filtered or otherwise treated to remove sediment.
- Before newly constructed stormwater conveyance channels or pipes are made operational, adequate outlet protection and any required temporary or permanent channel lining shall be installed in both the conveyance channel and receiving channel.
- When work in a live watercourse is performed, precautions shall be taken to minimize encroachment, control sediment transport and stabilize the work area to the greatest extent possible during construction. Nonerodible material shall be used for the construction of causeways and cofferdams. Earthen fill may be used for these structures if armored by nonerodible cover materials.
- When a live watercourse must be crossed by construction vehicles more than twice in any six-month period, a temporary vehicular stream crossing constructed of nonerodible material shall be provided.
- All applicable federal, state and local requirements pertaining to working in or crossing live watercourses shall be met.
- The bed and banks of a watercourse shall be stabilized immediately after work in the watercourse is completed.
- Underground utility lines shall be installed in accordance with the following standards in addition to other applicable criteria:
 - No more than 500 linear feet of trench may be opened at one time.
 - Excavated material shall be placed on the uphill side of trenches.
 - Effluent from dewatering operations shall be filtered or passed through an approved sediment trapping device, or both, and discharged in a manner that does not adversely affect flowing streams or off-site property.
 - Material used for backfilling trenches shall be properly compacted in order to minimize erosion and promote stabilization.
 - Restabilization shall be accomplished in accordance with this chapter.
 - Applicable safety requirements shall be complied with.
- Where construction vehicle access routes intersect paved or public roads, provisions shall be made to minimize the transport of sediment by vehicular tracking onto the paved surface. Where sediment is transported onto a paved or public road surface, the road surface shall be cleaned thoroughly at the end of each day. Sediment shall be removed from the roads by shoveling or sweeping and transported to a sediment control disposal area. Street washing shall be allowed only after sediment is removed in this manner. This provision shall apply to individual development lots as well as to larger land-disturbing activities.
- All temporary erosion and sediment control measures shall be removed within 30 days after final site stabilization or after the temporary measures are no longer needed, unless otherwise authorized by the VESCP authority. Trapped sediment and the disturbed soil areas resulting from the disposition of temporary measures shall be permanently stabilized to prevent further erosion and sedimentation.
- Properties and waterways downstream from development sites shall be protected from sediment deposition, erosion and damage due to increases in volume, velocity and peak flow rate of stormwater runoff for the stated frequency storm of 24-hour duration in accordance with the following standards and criteria. Stream restoration and

relocation projects that incorporate natural channel design concepts are not man-made channels and shall be exempt from any flow rate capacity and velocity requirements for natural or man-made channels:

- Concentrated stormwater runoff leaving a development site shall be discharged directly into an adequate natural or man-made receiving channel, pipe or storm sewer system. For those sites where runoff is discharged into a pipe or pipe system, downstream stability analyses at the outfall of the pipe or pipe system shall be performed.
- Adequacy of all channels and pipes shall be verified in the following manner:
 - The applicant shall demonstrate that the total drainage area to the point of analysis within the channel is 100 times greater than the contributing drainage area of the project in question;
 - (a) Natural channels shall be analyzed by the use of a two-year storm to verify that stormwater will not overtop channel banks nor cause erosion of channel bed or banks.
 - (b) All previously constructed man-made channels shall be analyzed by the use of a 10-year storm to verify that stormwater will not overtop its banks and by the use of a two-year storm to demonstrate that stormwater will not cause erosion of channel bed or banks; and
 - (c) Pipes and storm sewer systems shall be analyzed by the use of a 10-year storm to verify that stormwater will be contained within the pipe or system.
- If existing natural receiving channels or previously constructed man-made channels or pipes are not adequate, the applicant shall:
 - Improve the channels to a condition where a 10-year storm will not overtop the banks and a two-year storm will not cause erosion to the channel, the bed, or the banks;
 - Improve the pipe or pipe system to a condition where the 10-year storm is contained within the appurtenances;
 - Develop a site design that will not cause the pre-development peak runoff rate from a two-year storm to increase when runoff outfalls into a natural channel or will not cause the pre-development peak runoff rate from a 10-year storm to increase when runoff outfalls into a man-made channel; or
 - Provide a combination of channel improvement, stormwater detention or other measures which is satisfactory to the VESCP authority to prevent downstream erosion.
- The applicant shall provide evidence of permission to make the improvements.
- All hydrologic analyses shall be based on the existing watershed characteristics and the ultimate development condition of the subject project.
- If the applicant chooses an option that includes stormwater detention, he shall obtain approval from the VESCP of a plan for maintenance of the detention facilities. The plan shall set forth the maintenance requirements of the facility and the person responsible for performing the maintenance.
- Outfall from a detention facility shall be discharged to a receiving channel, and energy dissipators shall be placed at the outfall of all detention facilities as necessary to provide a stabilized transition from the facility to the receiving channel.
- All on-site channels must be verified to be adequate.
 - Increased volumes of sheet flows that may cause erosion or sedimentation on adjacent property shall be diverted to a stable outlet, adequate channel, pipe or pipe system, or to a detention facility.
 - In applying these stormwater management criteria, individual lots or parcels in a residential, commercial or industrial development shall not be considered to be separate development projects. Instead, the development, as a whole, shall be considered to be a single development project. Hydrologic parameters that reflect the ultimate development condition shall be used in all engineering calculations.
 - All measures used to protect properties and waterways shall be employed in a manner which minimizes impacts on the physical, chemical and biological integrity of rivers, streams and other waters of the state.
- Any plan approved prior to July 1, 2014, that provides for stormwater management that addresses any flow rate capacity and velocity requirements for natural or man-made channels shall satisfy the flow rate capacity and velocity requirements for natural or man-made channels if the practices are designed to (i) detain the water quality volume and to release it over 48 hours; (ii) detain and release over a 24-hour period the expected rainfall resulting from the one year, 24-hour storm; and (iii) reduce the allowable peak flow rate resulting from the 1.5, 2, and 10-year, 24-hour storms to a level that is less than or equal to the peak flow rate from the site assuming it was in a good forested condition, achieved through multiplication of the forested peak flow rate by a reduction factor that is equal to the runoff volume from the site when it was in a good forested condition divided by the runoff volume from the site in its proposed condition, and shall be exempt from any flow rate capacity and velocity requirements for natural or man-made channels as defined in any regulations promulgated pursuant to § 62.1-44.15:54 or 62.1-44.15:55 of the Act.
- For plans approved on and after July 1, 2014, the flow rate capacity and velocity requirements of § 62.1-44.15:52 A of the Act and this subsection shall be satisfied by compliance with water quantity requirements in the Stormwater Management Act (§ 62.1-44.15:24 et seq. of the Code of Virginia) and attendant regulations, unless such land-disturbing activities (i) are in accordance with provisions for time limits on applicability of approved design criteria in 9VAC25-870-47 or grandfathering in 9VAC25-870-48 of the Virginia Stormwater Management Program (VSMMP) Regulation, in which case the flow rate capacity and velocity requirements of § 62.1-44.15:52 A of the Act shall apply, or (ii) are exempt pursuant to § 62.1-44.15:34 C7 of the Act.
- Compliance with the water quantity minimum standards set out in 9VAC25-870-56 of the Virginia Stormwater Management Program (VSMMP) Regulation shall be deemed to satisfy the requirements of this subdivision 19.

Statutory Authority

§ 62.1-44.15:52 of the Code of Virginia.

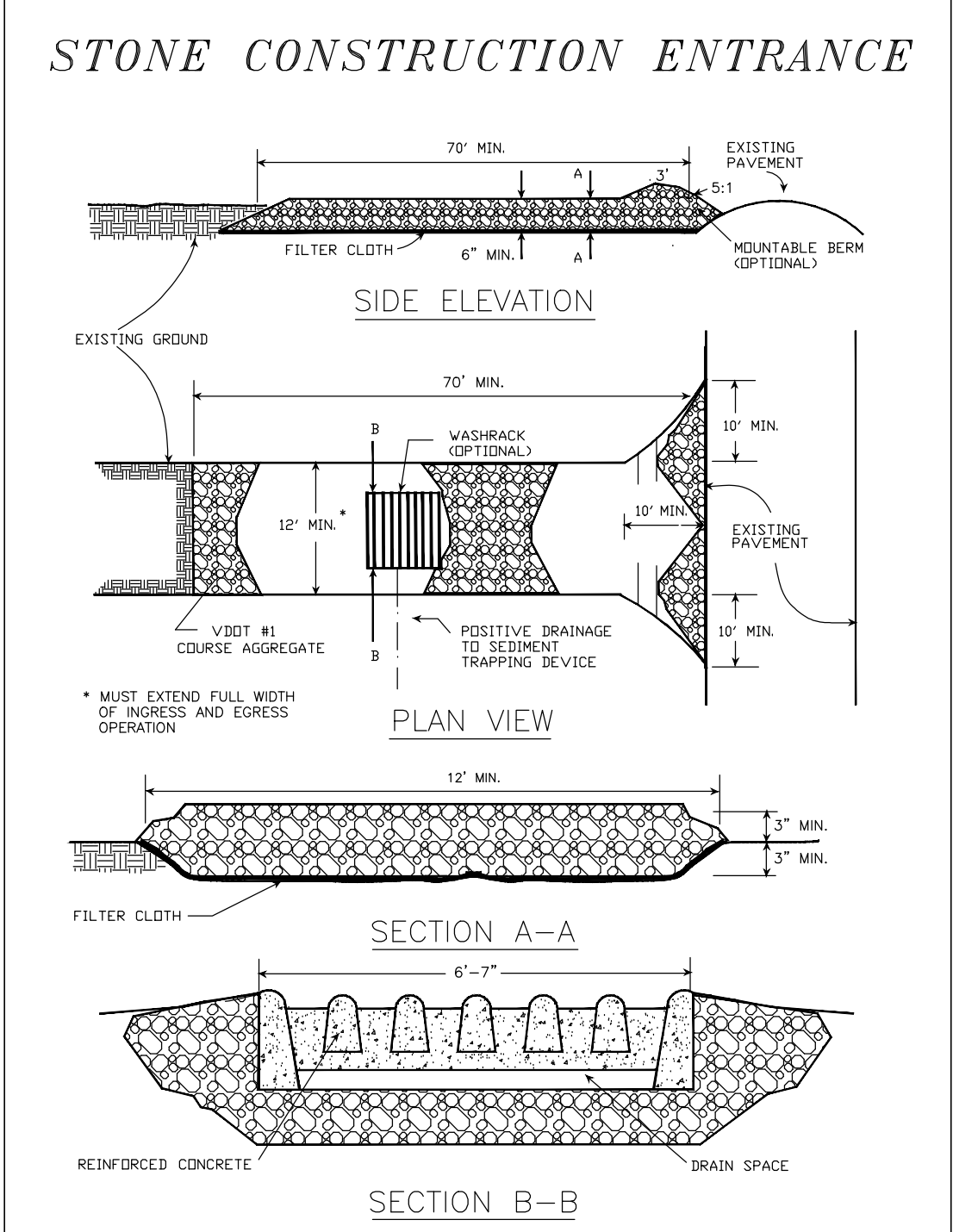
Historical Notes

Former 9VAC25-30-50, derived from VR25-02-00 § 4; eff. September 13, 1990; amended, Virginia Register Volume 11, Issue 11, eff. March 22, 1995; Volume 29, Issue 4, eff. November 21, 2012; amended and renumbered, Virginia Register Volume 30, Issue 2, eff. October 23, 2013; amended, Virginia Register Volume 31, Issue 24, eff. August 26, 2015; Volume 33, Issue 4, eff. November 17, 2016.

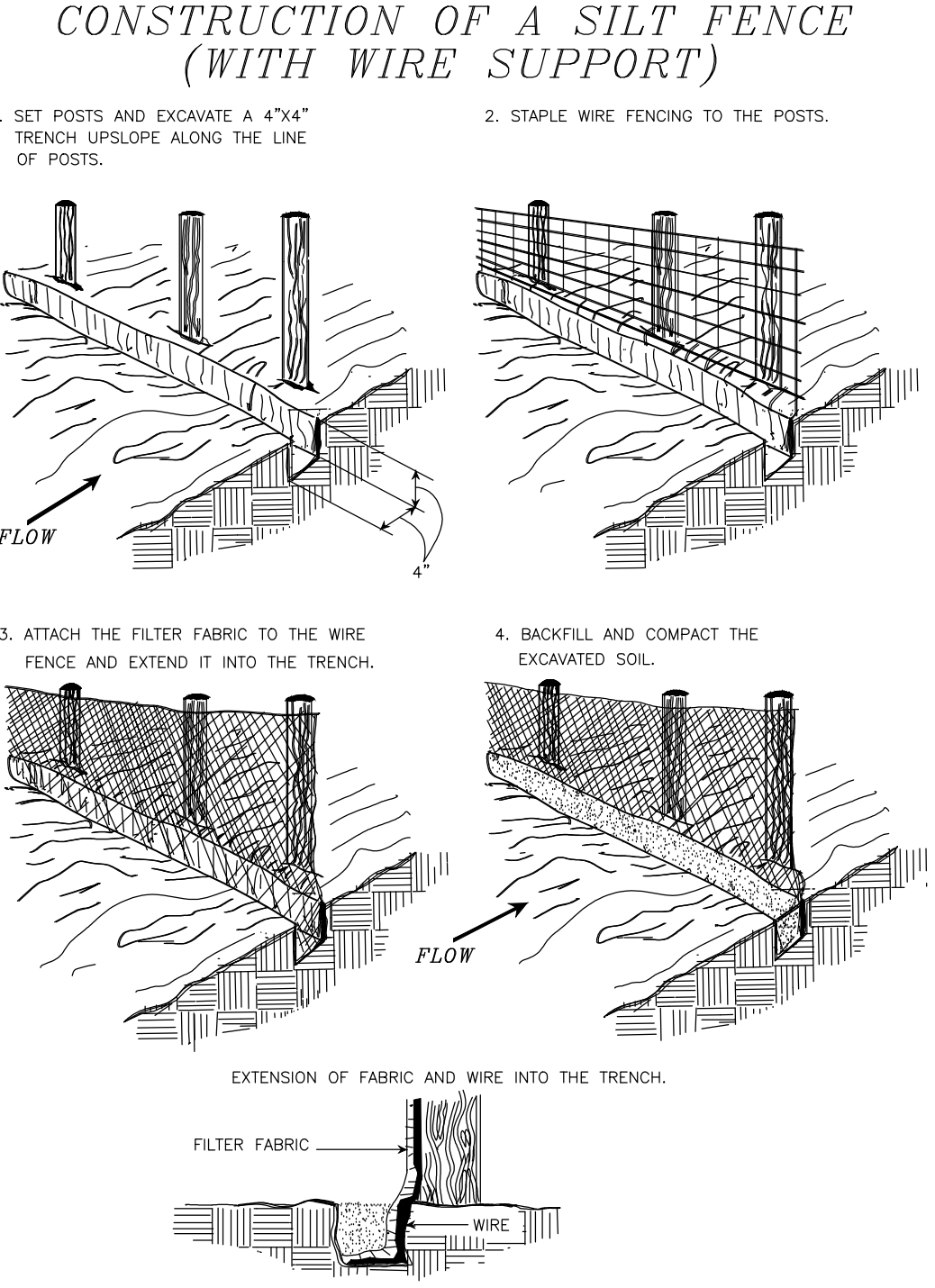
Standard E&S Notes

- TABLE 6-1 (Virginia Erosion and Sediment Control Handbook)
- GENERAL EROSION AND SEDIMENT CONTROL NOTES**
- ES-1: Unless otherwise indicated, all vegetative and structural erosion and sediment control practices will be constructed and maintained according to minimum standards and specifications of the Virginia Erosion and Sediment Control Handbook and the Virginia Erosion and Sediment Control Regulations 9VAC25-840.
 - ES-2: The plan approving authority must be notified one week prior to the pre-construction conference, one week prior to the commencement of land disturbing activity, and one week prior to the final inspection.
 - ES-3: All erosion and sediment control measures are to be placed prior to or as the first step in clearing.
 - ES-4: A copy of the approved erosion and sediment control plan shall be maintained on the site at all times.
 - ES-5: Prior to commencing land disturbing activities in areas other than indicated on these plans (including, but not limited to, off-site borrow or waste areas), the contractor shall submit a supplementary erosion control plan to the owner for review and approval by the plan approving authority.
 - ES-6: The contractor is responsible for installation of any additional erosion control measures necessary to prevent erosion and sedimentation as determined by the plan approving authority.
 - ES-7: All disturbed areas are to drain to approved sediment control measures at all times during land disturbing activities and during site development until final stabilization is achieved.
 - ES-8: During dewatering operations, water will be pumped into an approved filtering device.
 - ES-9: The contractor shall inspect all erosion control measures periodically and after each runoff-producing rainfall event. Any necessary repairs or cleanup to maintain the effectiveness of the erosion control devices shall be made immediately.

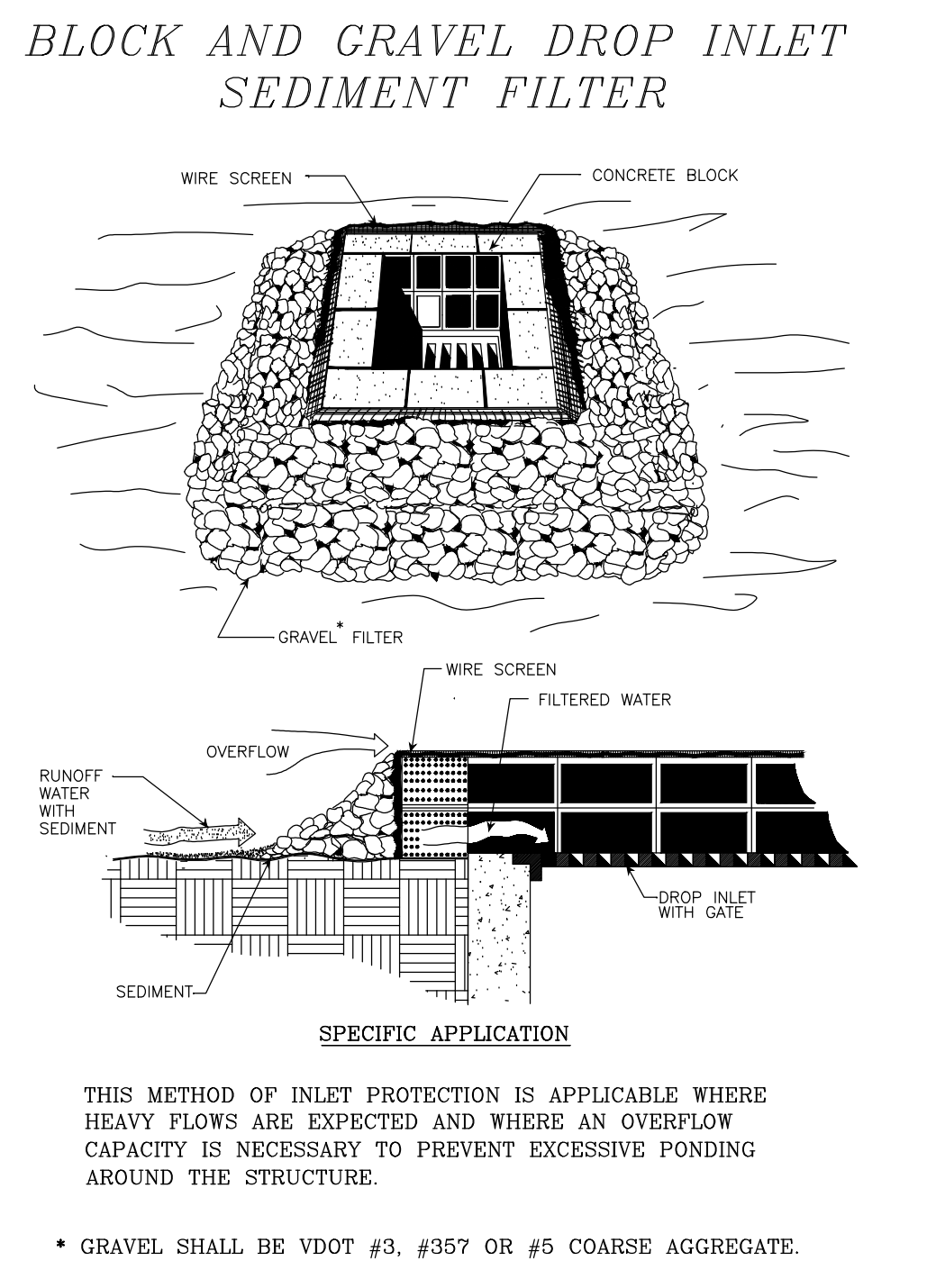
- Permanent or temporary soil stabilization shall be applied to denuded areas within seven days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven days to denuded areas that may not be at final grade but will remain dormant (undisturbed) for longer than 14 days. Permanent stabilization shall be applied to areas that are to be left dormant for more than one year.
- Excess excavation disposed of off the site shall be disposed of in accordance with the Virginia Erosion and Sediment Control Handbook.
- Erosion and Sediment Controls shall be installed in accordance with Virginia Erosion and Sediment Control Handbook and shall be placed prior to or as the first step of the land disturbing activity.
- Erosion and Sediment Controls shall be maintained so that the sediment carrying runoff from the site will not enter storm drainage facilities.
- Erosion and Sediment Controls shall be maintained until the disturbed area is stabilized.
- Properties adjoining the site shall be kept clean of mud or silt carried from the site by vehicular traffic or runoff.
- The disposal of waste materials removed from erosion and sediment control facilities and the disposal of these facilities shall be in accordance with the Virginia Erosion and Sediment Control Handbook.
- Stabilization measures shall be applied to earthen structures such as dams, dikes and diversions immediately after installation.
- During construction of the project, soil stockpiles shall be stabilized or protected with sediment trapping measures. The applicant is responsible for the temporary protection and permanent stabilization of all soil stockpiles on site as well as soil intentionally transported from the project site.



SOURCE: ADAPTED FROM 1983 Maryland Standards for Soil Erosion and Sediment Control, and Va. DSWC Plate 3.07-1



SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood & Hyatt Plate 3.05-1



SOURCE: VA. DSWC PLATE. 3.07-3

TABLE 3.32-D SITE SPECIFIC SEEDING MIXTURES FOR PIEDMONT AREA

Minimum Core Lawn	Total Lbs. Per Acre
-Commercial or Residential	175-200 lbs.
-Kentucky 31 or Turf-Type Tall Fescue	95-100%
-Improved Perennial Ryegrass	0-5%
-Kentucky Bluegrass	0-5%
High-Maintenance Lawn	200-250 lbs.
-Kentucky 31 or Turf-Type Tall Fescue	100%
General Slope (3:1 or less)	
-Kentucky 31 Fescue	128 lbs.
-Red Top Grass	2 lbs.
-Seasonal Nurse Crop*	20 lbs.
	150 lbs.
Low-Maintenance Slope (Steeper than 3:1)	
-Kentucky 31 Fescue	108 lbs.
-Red Top Grass	2 lbs.
-Seasonal Nurse Crop*	20 lbs.
-Crownvetch**	150 lbs.

*Use seasonal nurse crop in accordance with seeding dates as stated below:
 February 16th through April.....Annual Rye
 May 1st through August 15th.....Foxtail Millet
 August 16th through October.....Annual Rye
 November through February 15th.....Winter Rye

** Substitute Sericea Lespedeza for Crownvetch east of Farmville, VA. (May through September use hulled Sericea, all other periods, use unhulled Sericea). If Flatpea is used in lieu of Crownvetch, increase rate to 30 lbs./acre. All legume seed must be properly inoculated. Weeping Lovegrass may be added to any slope or low-maintenance mix during warmer seeding periods; add 10-20 lbs./acre in mixes.

TABLE 3.31-B ACCEPTABLE TEMPORARY SEEDING PLANT MATERIALS "QUICK REFERENCE FOR ALL REGIONS"

PLANTING DATES	SPECIES	RATE (LBS./ACRE)
SEPT 1 - FEB 15	50/50 MIX OF ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM) & CEREAL (WINTER) RYE (SECALE CEREALE)	50-100
FEB 16 - APR 30	ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM)	60-100
MAY 1 - AUG 31	GERMAN MILLET (SETARIA ITALICA)	50



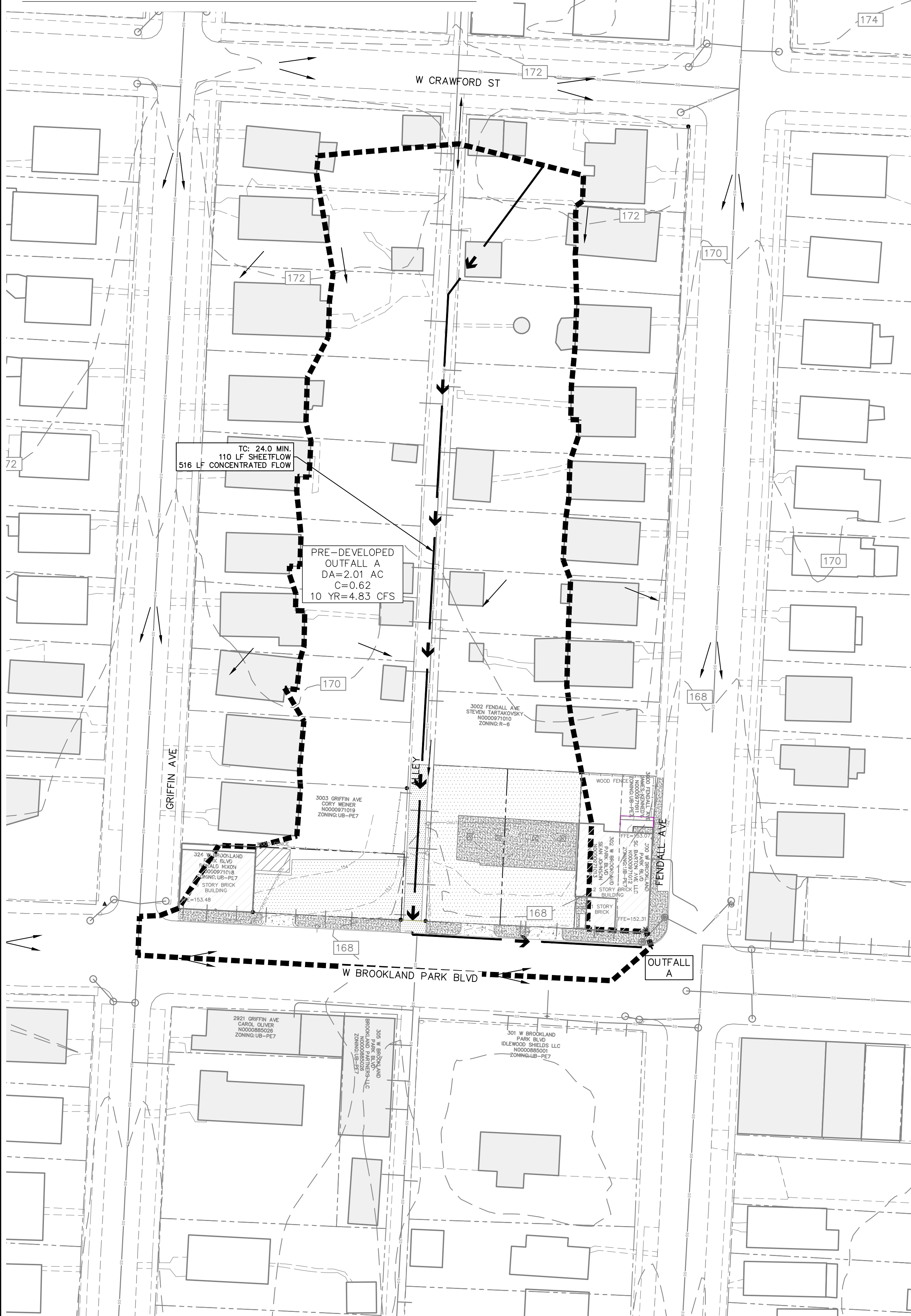
SILVERCORE
LAND DEVELOPMENT CONSULTANTS
7110 FOREST AVENUE - SUITE 204 - RICHMOND, VA 23226 (804) 282-6900

310/322 BROOKLAND PARK BLVD
EROSION & SEDIMENT NOTES & DETAILS
BROOKLAND PARK DISTRICT CITY OF RICHMOND, VIRGINIA

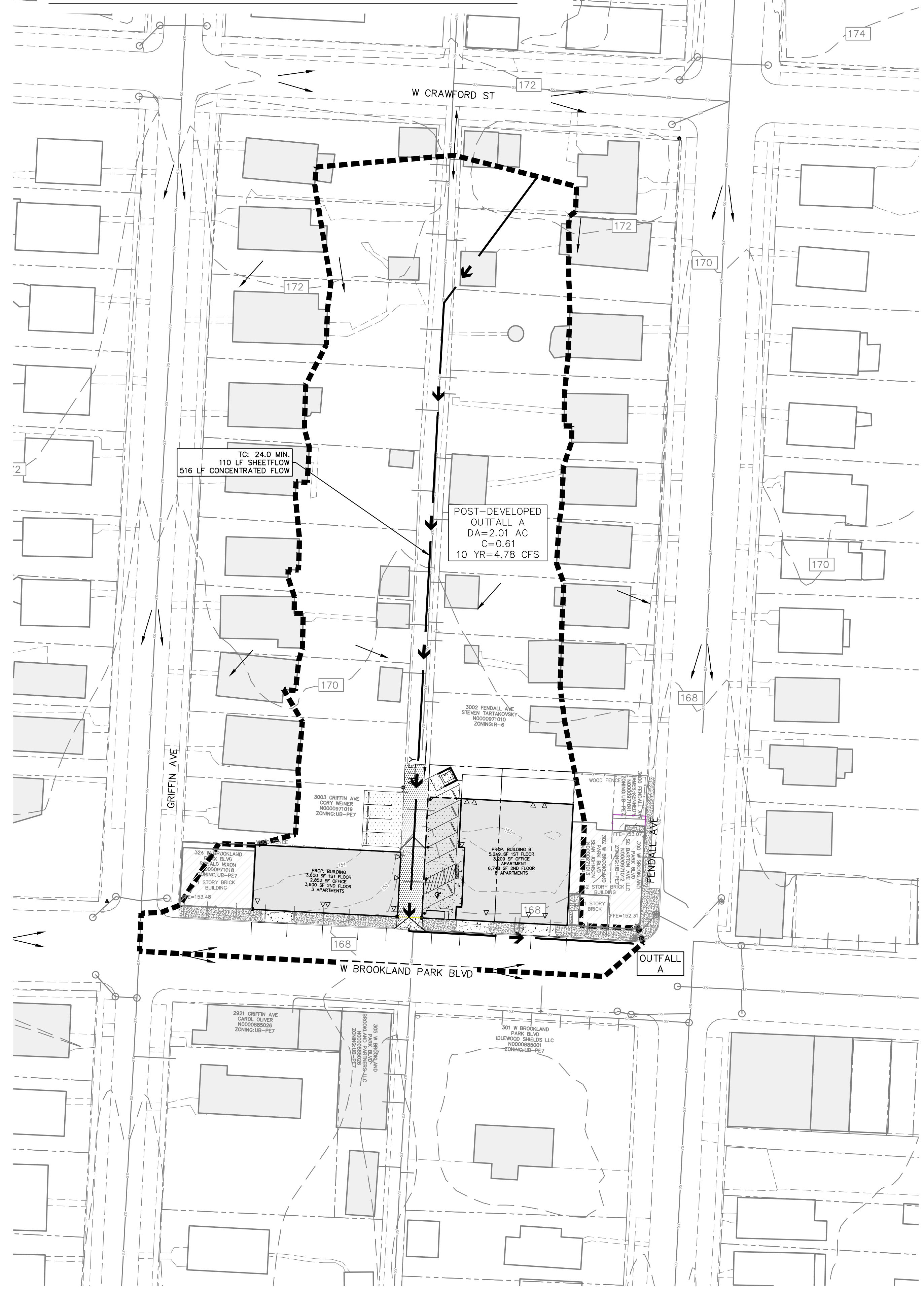
REV.#	DATE	DESCRIPTION
1	12/17/2020	

DESIGN BY: Andrew Bowman
CHECK BY: Jeff Staub
DRAWING SCALE: N/A
DATE: 12/17/2020

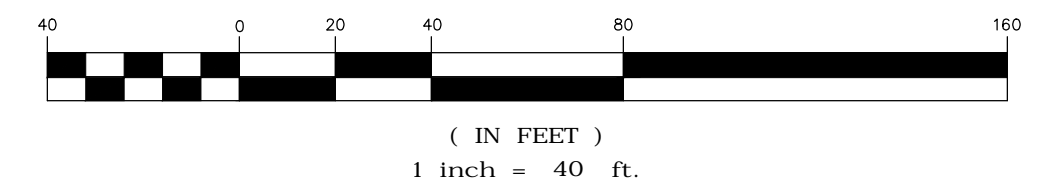
PRE-DEVELOPED AREA



POST-DEVELOPED AREA



GRAPHIC SCALE



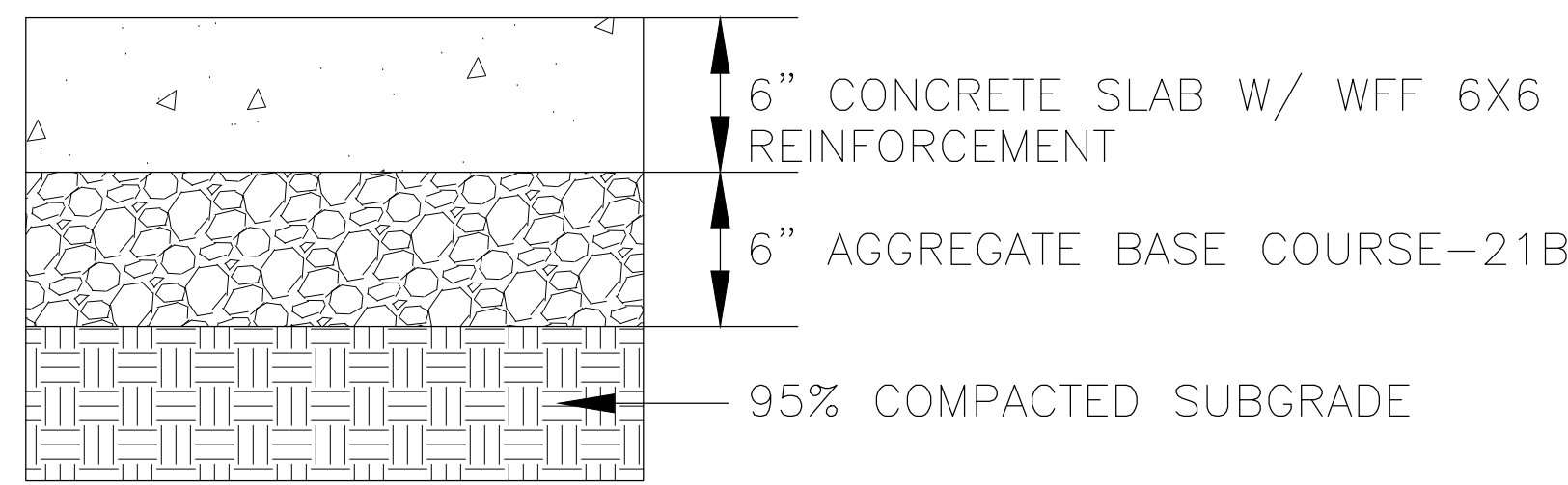
SILVERCORE
LAND DEVELOPMENT CONSULTANTS
7110 FOREST AVENUE - SUITE 204 RICHMOND, VA 23226 (804) 382-6900

310/322 BROOKLAND PARK BLVD
DRAINAGE AREA PLANS
BROOKLAND PARK DISTRICT CITY OF RICHMOND, VIRGINIA

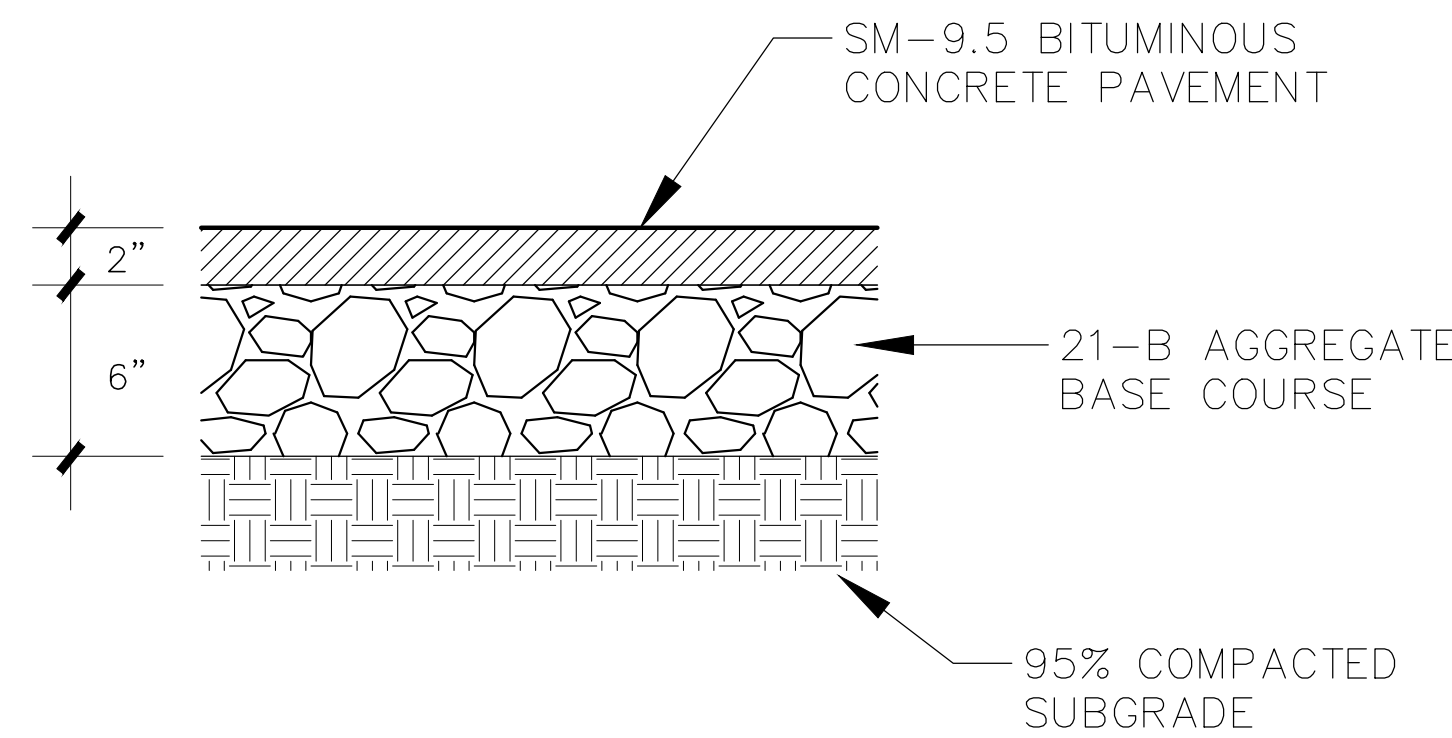
REV.	DATE	DESCRIPTION

DESIGN BY: Andrew Bowman
CHECK BY: Jeff Staub
DRAWING SCALE: 1"=40'
DATE: 12/17/2020

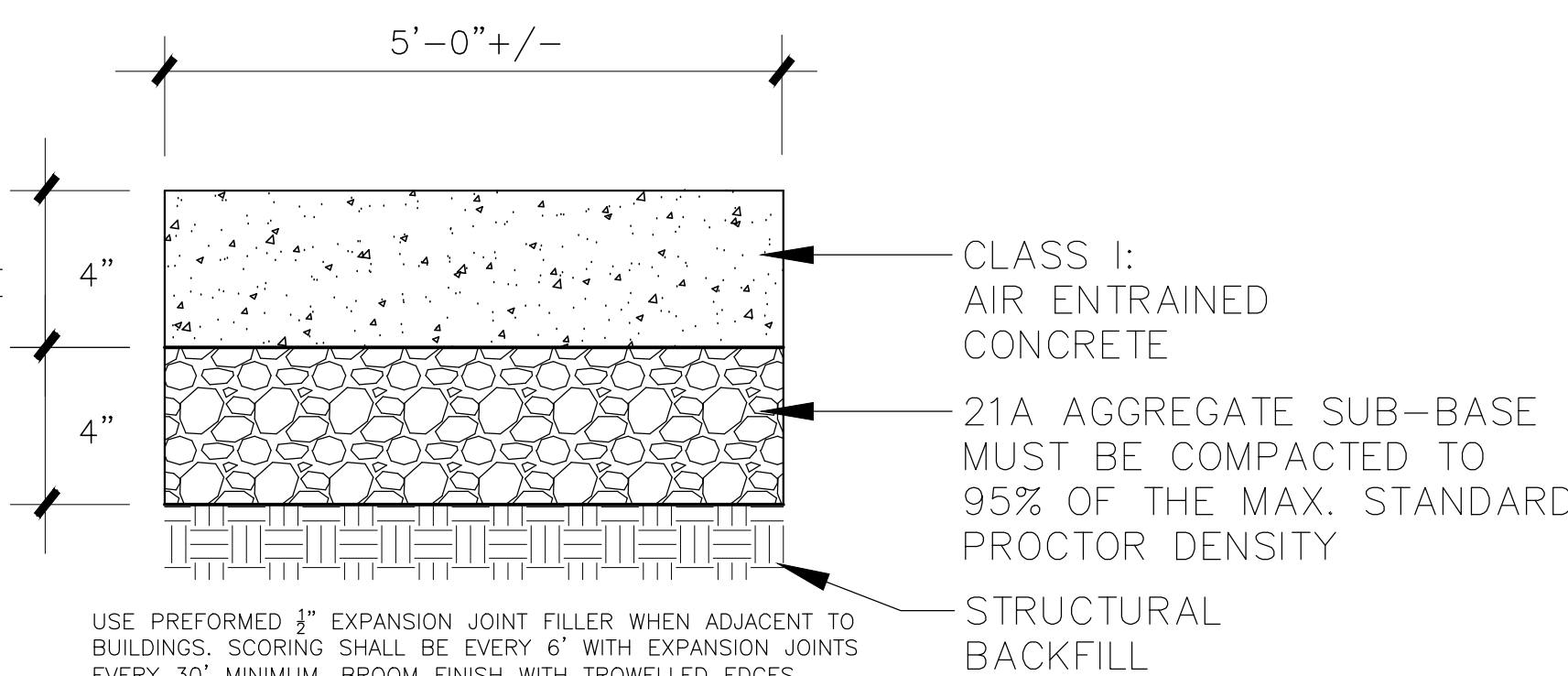
SHEET
9
JOB #: 200407



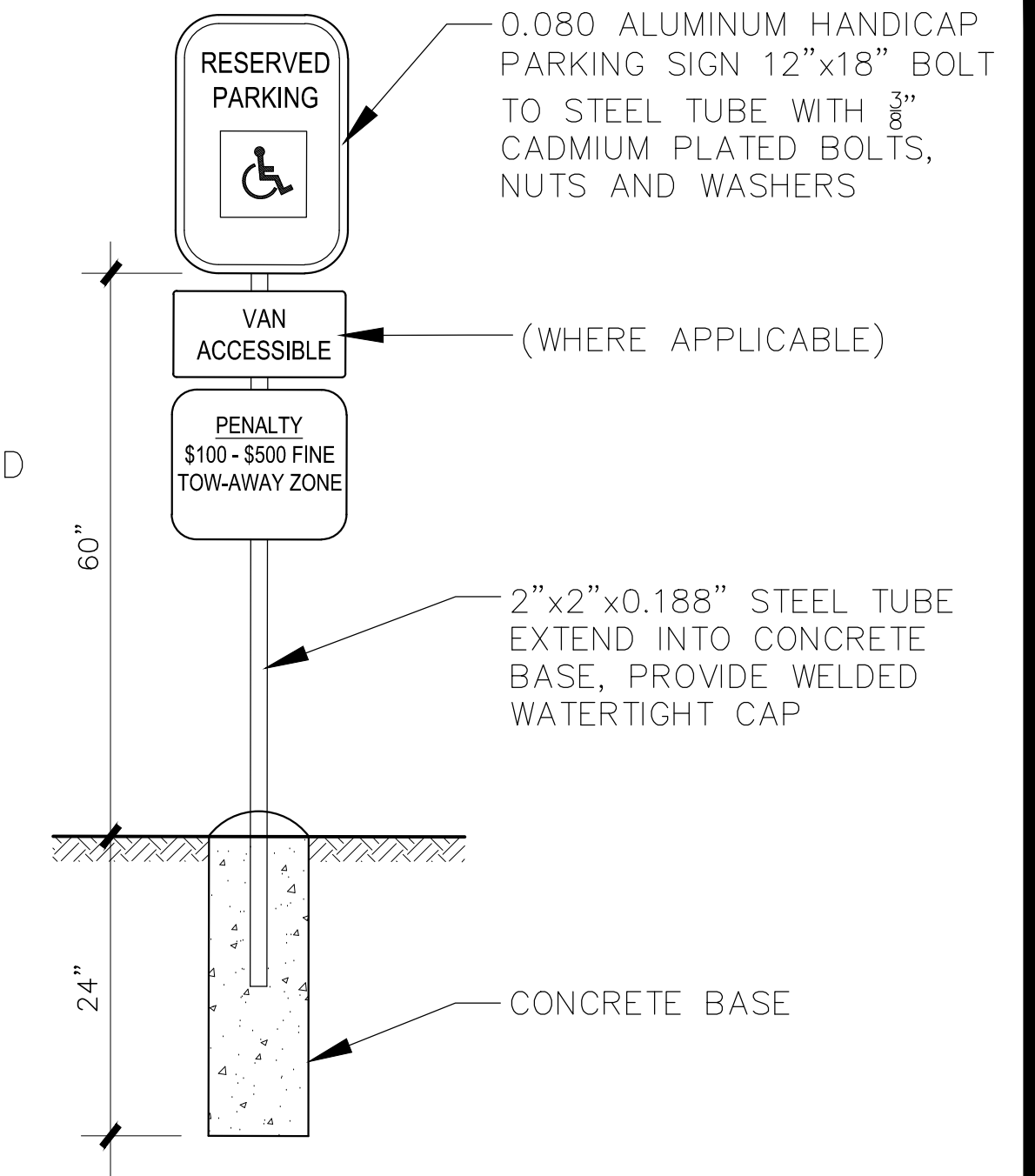
CONCRETE PAD DETAIL
N.T.S.



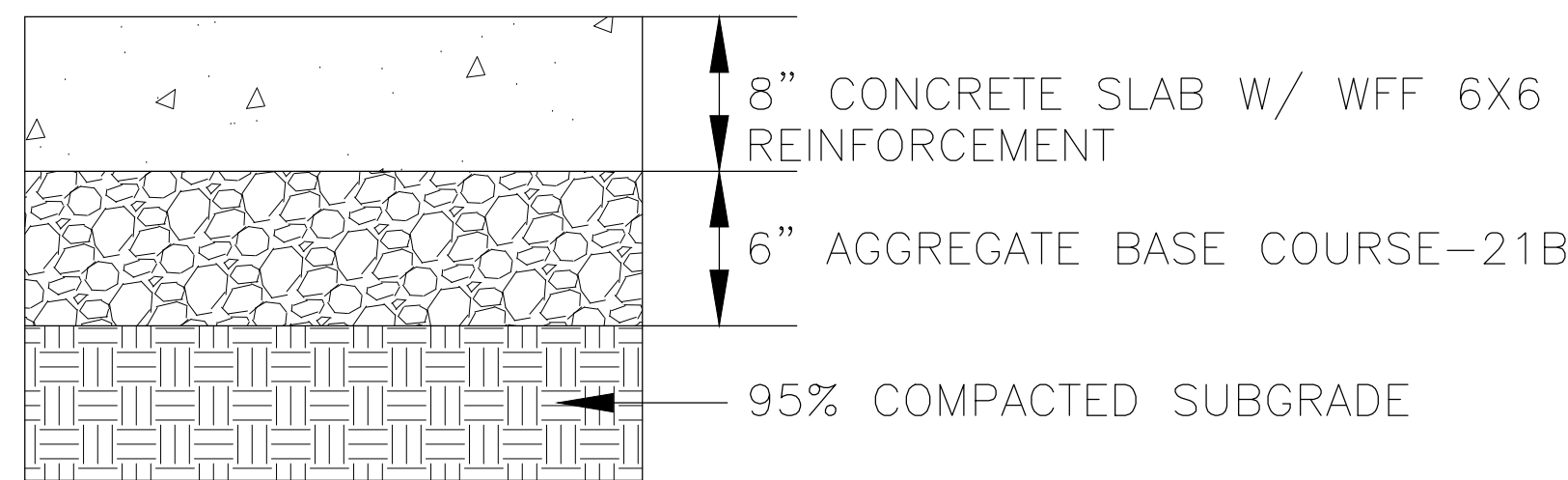
PROPOSED ASPHALT SECTION
N.T.S.



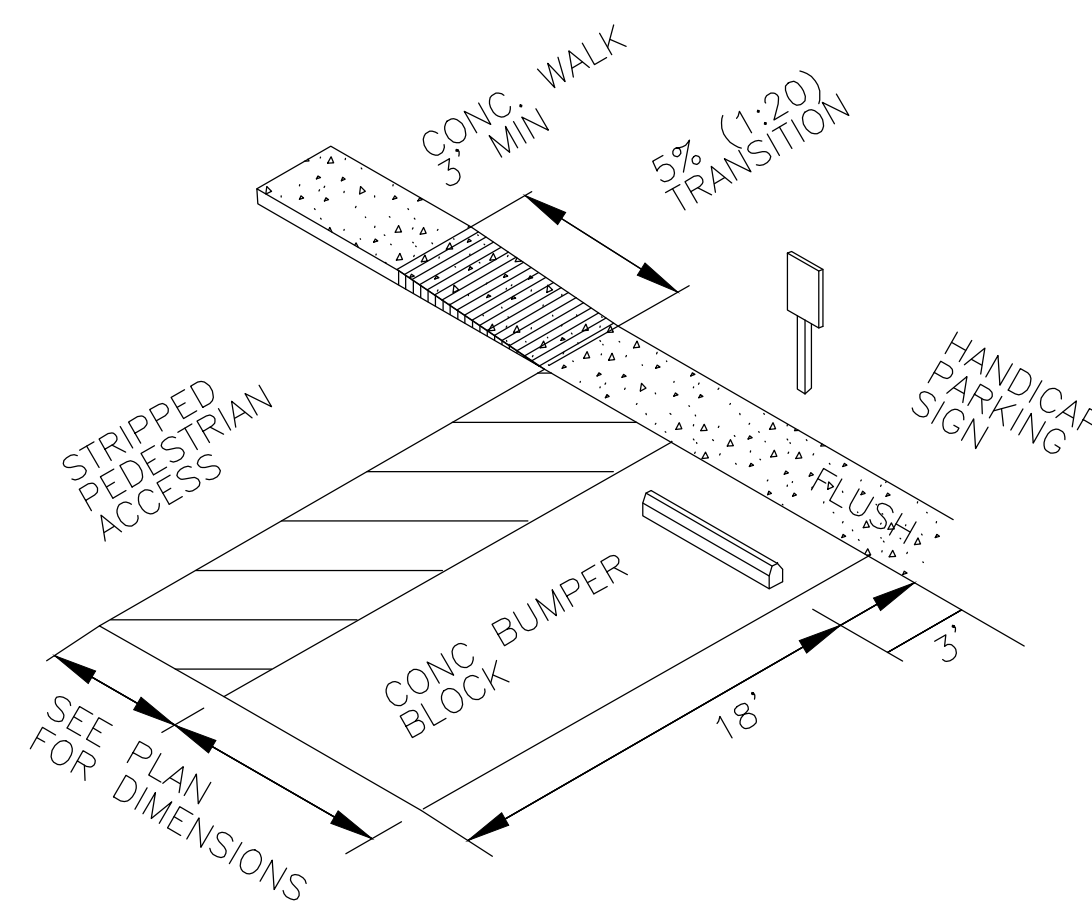
CONCRETE SIDEWALK SECTION
N.T.S.



HANDICAP PARKING SIGN
N.T.S.

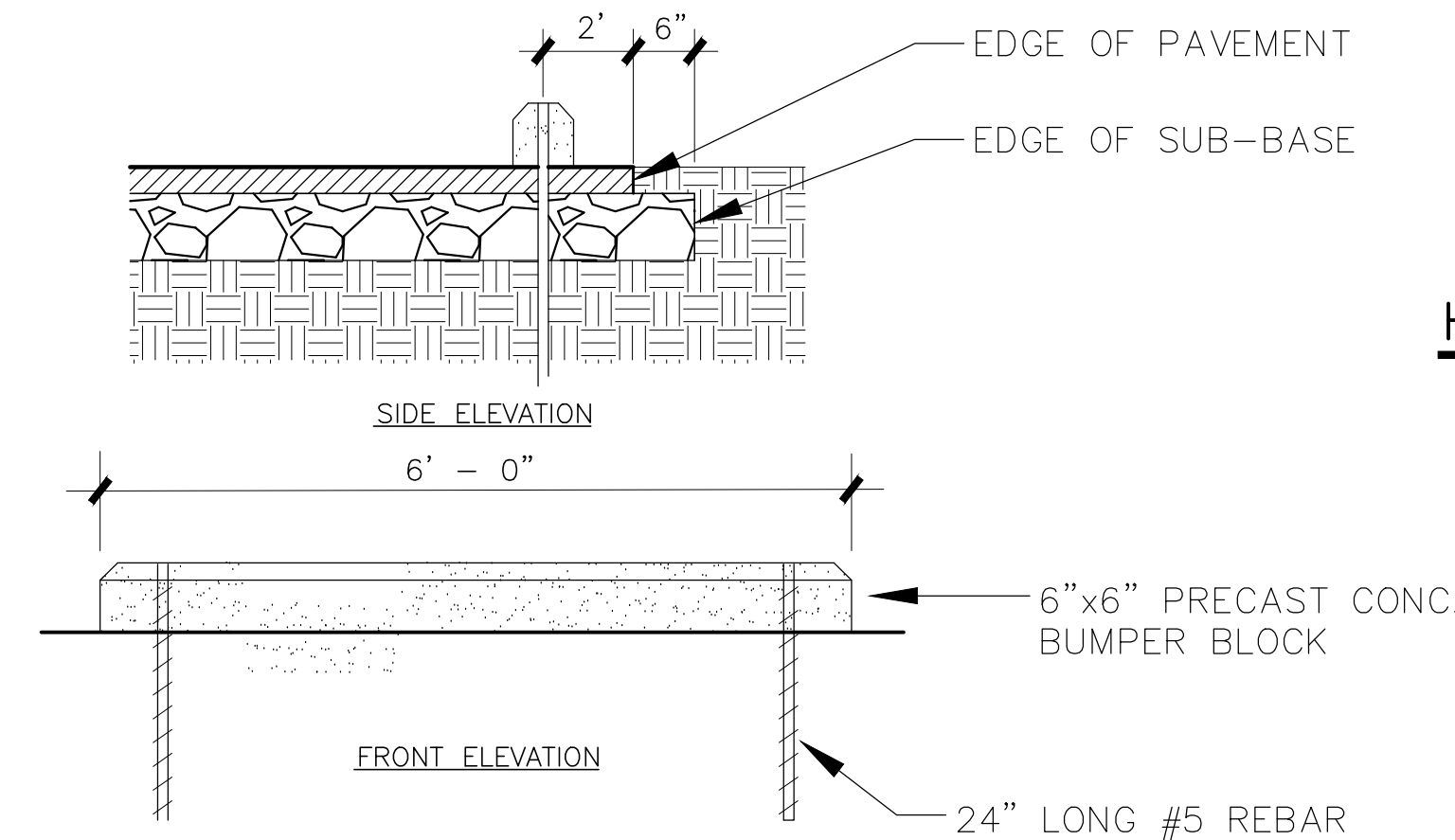


CONCRETE APRON DETAIL
N.T.S.



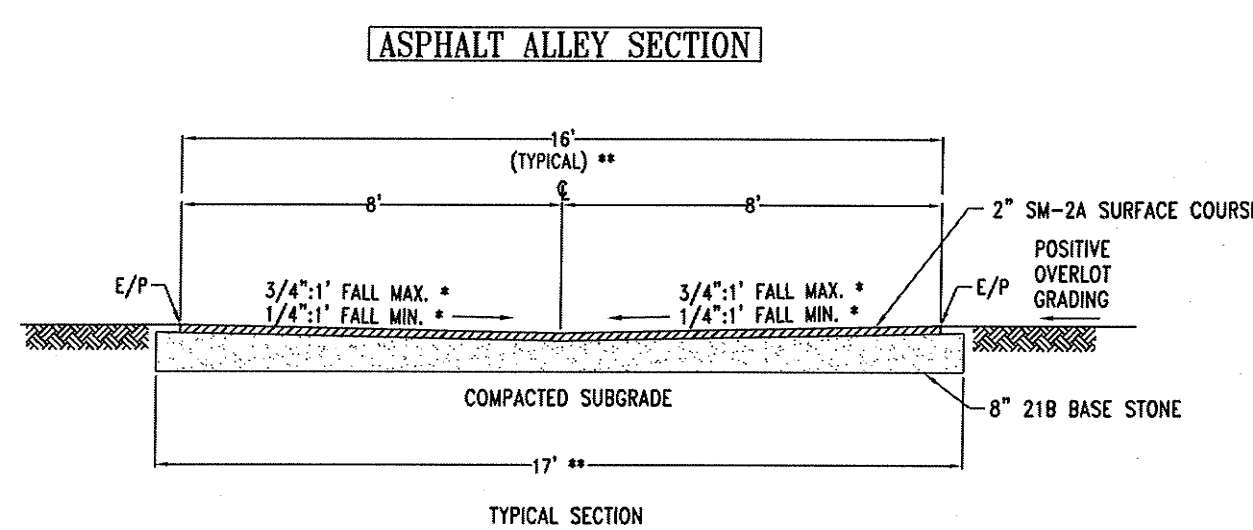
NOTE: 2% MAX SLOPE / CROSS SLOPE
(COORDINATE WITH GRADING PLAN)

TYPICAL HANDICAP
PARKING DETAIL
N.T.S.



PROPOSED BUMPER BLOCK
N.T.S.

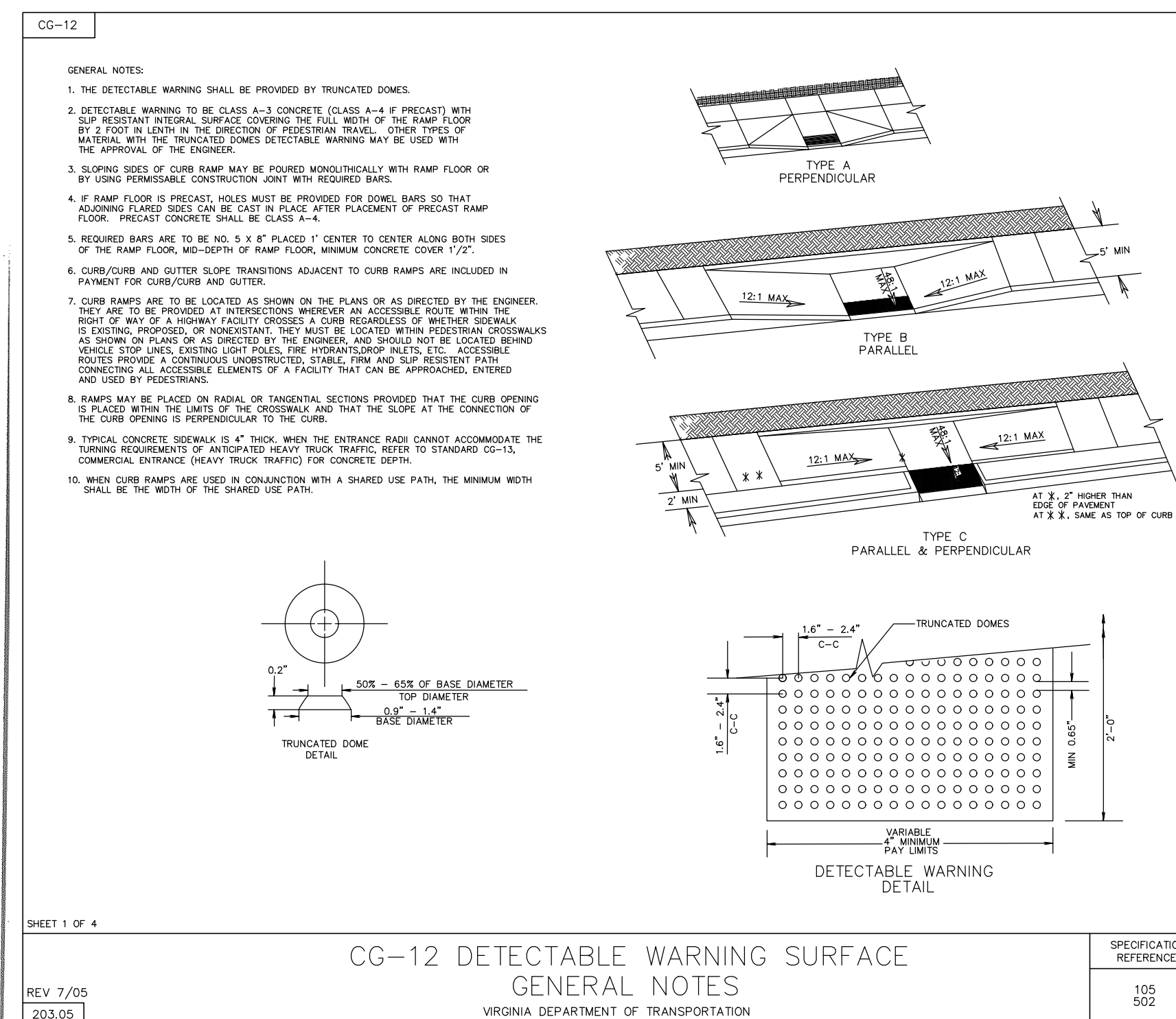
GENERAL NOTE:
A MODIFIED CG-9B IS TO BE USED AS THE CITY STANDARD OVER SIDEWALK ENTRANCE. BOTH THE RAMP AND SIDEWALK PORTION SHALL OCCUR WITHIN THE PUBLIC RIGHT OF WAY AND NOT ON PRIVATE PROPERTY, NOT UNLESS THERE IS INSUFFICIENT SPACE IN THE RIGHT-OF-WAY. SIDEWALK PORTION OF ENTRANCE IS TO MATCH THE WIDTH OF THE EXISTING SIDEWALK THE ENTRANCE INTERRUPTS, BUT CAN NOT BE LESS THAN THE CITY MINIMUM SIDEWALK WIDTH (5')



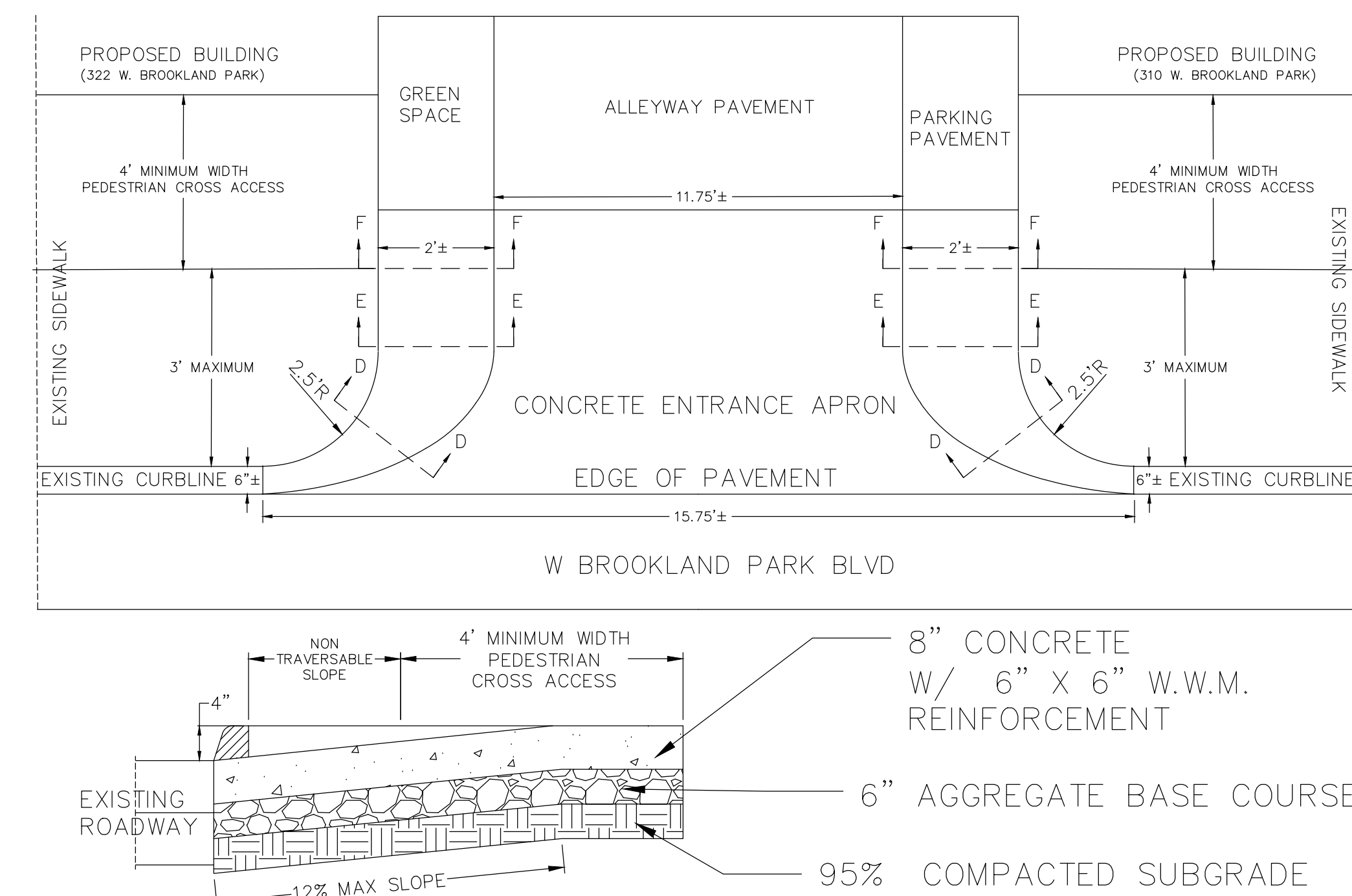
TYPICAL SECTION

CONSTRUCTION NOTES:

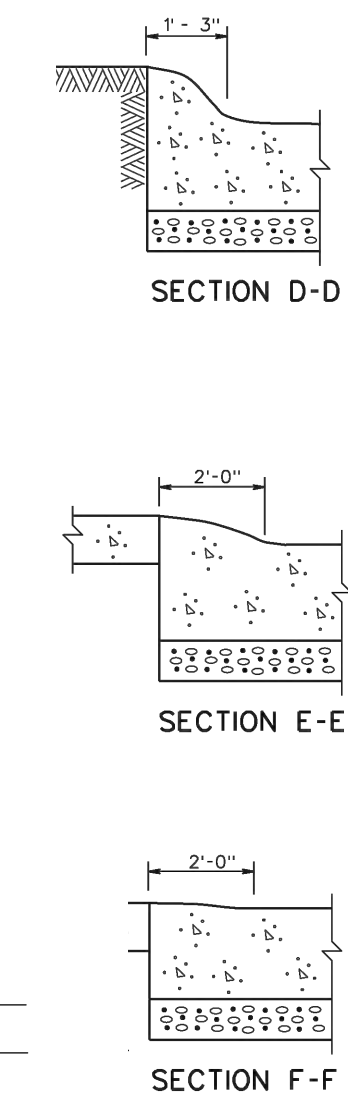
- ALLEY LAYOUT IS TO BE VERIFIED BY ESTABLISHED PROPERTY CORNER POINTS IN ADVANCE OF ANY CONSTRUCTION.
- ALL UNSUITABLE SOILS ARE TO BE STRIPPED.
- THE ESTABLISHED SUBGRADE MUST BE GRADED TO A DEPTH THAT WILL ALLOW THE INSTALLED PAVEMENT SECTION TO ACCEPT INDIVIDUAL LOT DRAINAGE ALONG THE ALLEY ROAD FRONTAGE.
- THE ESTABLISHED SUBGRADE MUST BE FULLY COMPACTED AND PROVEN TO BE NON-YIELDING UNDER PROOFROLLED TESTING METHODS.
- FINAL SHAPING OF THE 21B BASE STONE AND SM-2A SURFACE COURSE MUST MEET THE SECTION PROFILE.
- BASE STONE SHOULD EXTEND 6" BEYOND THE EDGE OF PROPOSED PAVEMENT.
- BACKFILLING SHALL OVERLAP INTO LOT CONTOURS TO ESTABLISH A SMOOTH POSITIVE GRADE TRANSITION.
- ALLEY ENTRANCE APRONS WILL BE REQUIRED. THESE APRONS SHOULD CONFORM TO THE VDOT STD. CG-9B DETAIL WITH THE BACK INCORPORATING THE RUNNING SIDEWALK PROFILE.
- BACK OF APRON ELEVATIONS SHOULD BE ESTABLISHED EARLY IN THE DESIGN AND CONSTRUCTION PLANNING.
- BACK OF APRON SPOT ELEVATIONS ARE BASED ON EXISTING TOP OF CURB OR EDGE OF PAVEMENT ELEVATIONS.
- POSITIVE DRAINAGE FROM BACK OF APRONS TOWARDS THE CITY ROAD WAY DRAINAGE COURSE IS REQUIRED. TYPICAL PROFILE IS 1/4" PER FOOT.
- PROTECT ALL CITY MONUMENTATION. CALL SURVEYS DIVISION ON ANY NECESSARY RELOCATION NEEDS WITH CORNER PINS OR MONUMENTS.
- PRIME COAT BASE STONE PRIOR TO PAVING.
- ALLEY SECTION IS LIMITED TO RIGHT-OF-WAY WIDTH.



CG-12 DETECTABLE WARNING SURFACE
GENERAL NOTES
VIRGINIA DEPARTMENT OF TRANSPORTATION



MODIFIED VDOT CG-9B DETAIL
N.T.S.

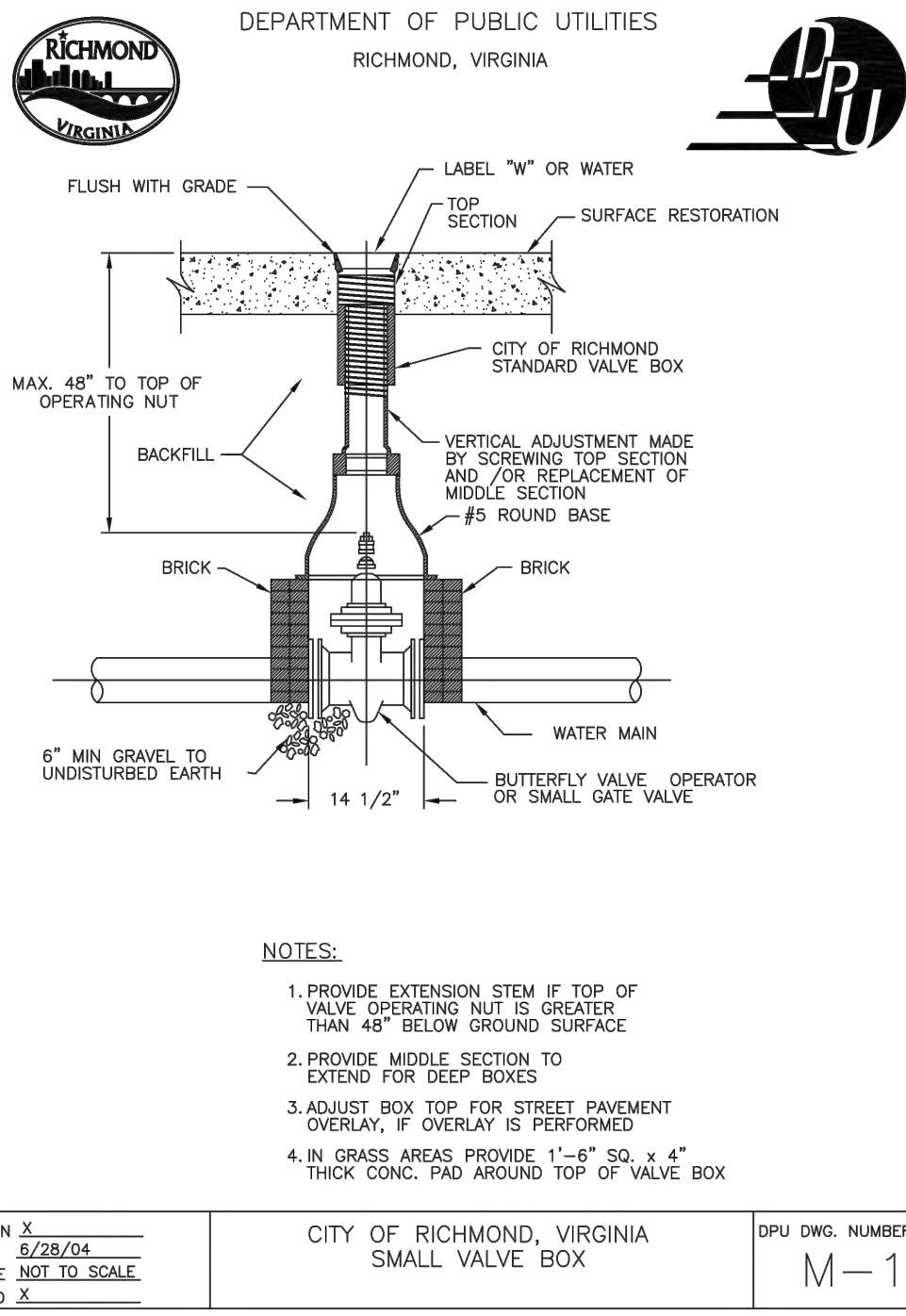


310/322 BROOKLAND PARK BLVD
NOTES & DETAILS
BROOKLAND PARK DISTRICT
CITY OF RICHMOND, VIRGINIA

REV.	DATE	DESCRIPTION
1	12/17/2020	ISSUED FOR PERMIT

DESIGN BY: Andrew Bowman
CHECK BY: Jeff Staub
DRAWING SCALE: N/A
DATE: 12/17/2020

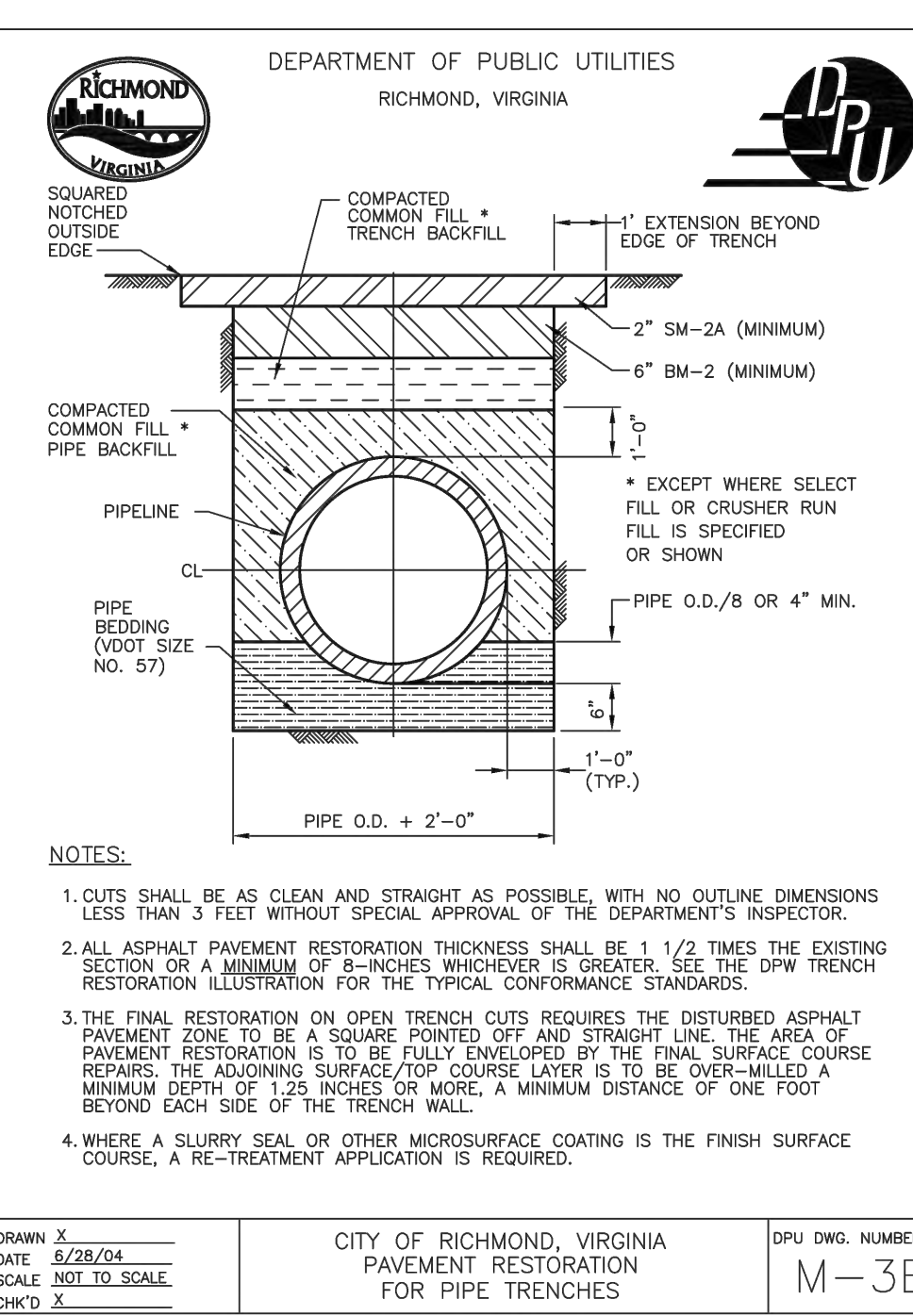
SHEET
11
JOB #: 200407



NOTES:

1. PROVIDE EXTENSION STEM IF TOP OF VALVE OPERATING NUT IS GREATER THAN 48\"/>
- 2. PROVIDE MIDDLE SECTION TO EXTEND FOR DEEP BOXES
- 3. ADJUST BOX TOP FOR STREET PAVEMENT OVERLAY. IF OVERLAY IS PERFORMED OF MIDDLE SECTION
- 4. IN GRASS AREAS PROVIDE 1'-6\"/>

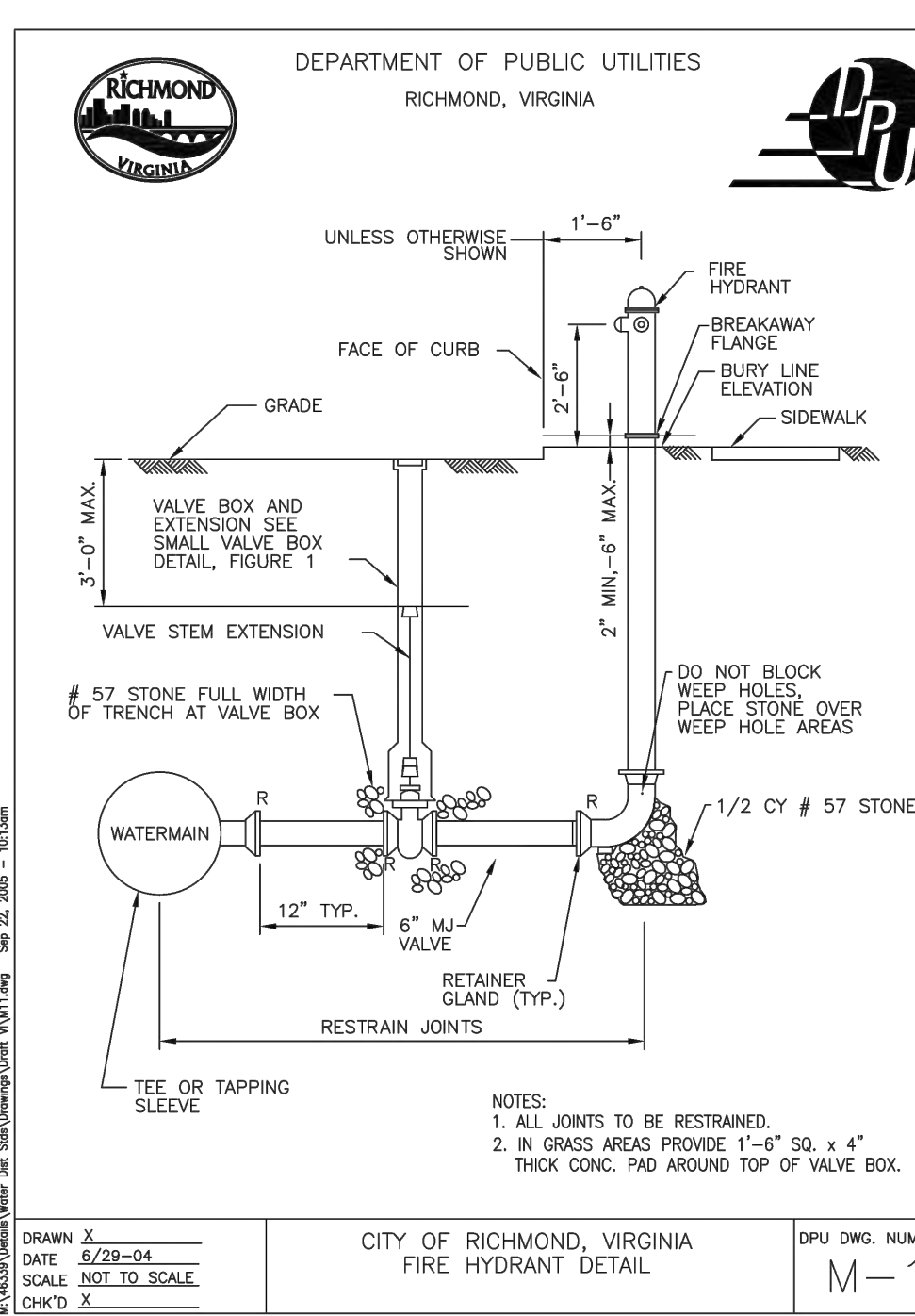
DRAWN X DATE 8/28/04 SCALE NOT TO SCALE CHK'D X
 CITY OF RICHMOND, VIRGINIA
 SMALL VALVE BOX
 DPU DWG. NUMBER: M-1



NOTES:

1. CUTS SHALL BE AS CLEAN AND STRAIGHT AS POSSIBLE WITH NO OUTLINE DIMENSIONS LESS THAN 3 FEET WITHOUT SPECIAL APPROVAL OF THE DEPARTMENT'S INSPECTOR.
2. ALL ASPHALT PAVEMENT RESTORATION THICKNESS SHALL BE 1 1/2 TIMES THE EXISTING SECTION OR A MINIMUM OF 8-INCHES WHICHEVER IS GREATER. SEE THE DPW TRENCH RESTORATION ILLUSTRATION FOR THE TYPICAL CONFORMANCE STANDARDS.
3. THE FINAL RESTORATION ON OPEN TRENCH CUTS REQUIRES THE DISTURBED ASPHALT PAVEMENT TO BE A SQUARE POINTED OFF AND STRAIGHT LINE. THE AREA OF PAVEMENT RESTORATION IS TO BE FULLY ENVELOPED BY THE FINAL SURFACE COURSE REPAIRS. THE ADJOINING SURFACE/TOP COURSE LAYER IS TO BE OVER-MILLED A MINIMUM DEPTH OF 1.25 INCHES OR MORE. A MINIMUM DISTANCE OF ONE FOOT BEYOND EACH SIDE OF THE TRENCH WALL.
4. WHERE A SLURRY SEAL OR OTHER MICROSURFACE COATING IS THE FINISH SURFACE COURSE, A RE-TREATMENT APPLICATION IS REQUIRED.

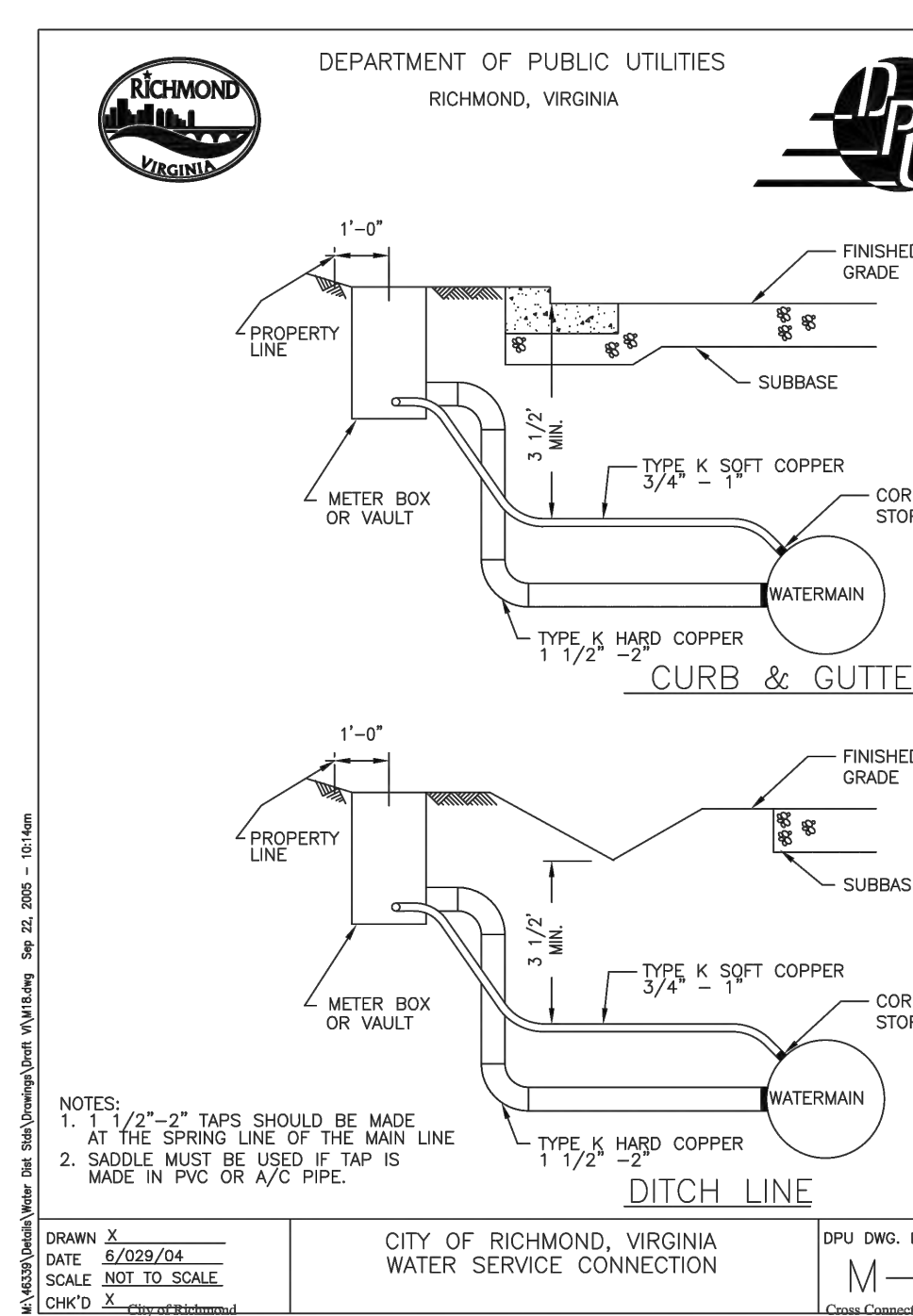
DRAWN X DATE 8/28/04 SCALE NOT TO SCALE CHK'D X
 CITY OF RICHMOND, VIRGINIA
 PAVEMENT RESTORATION FOR PIPE TRENCHES
 DPU DWG. NUMBER: M-3B



NOTES:

1. ALL JOINTS TO BE RESTRAINED.
2. IN GRASS AREAS PROVIDE 1'-6\"/>

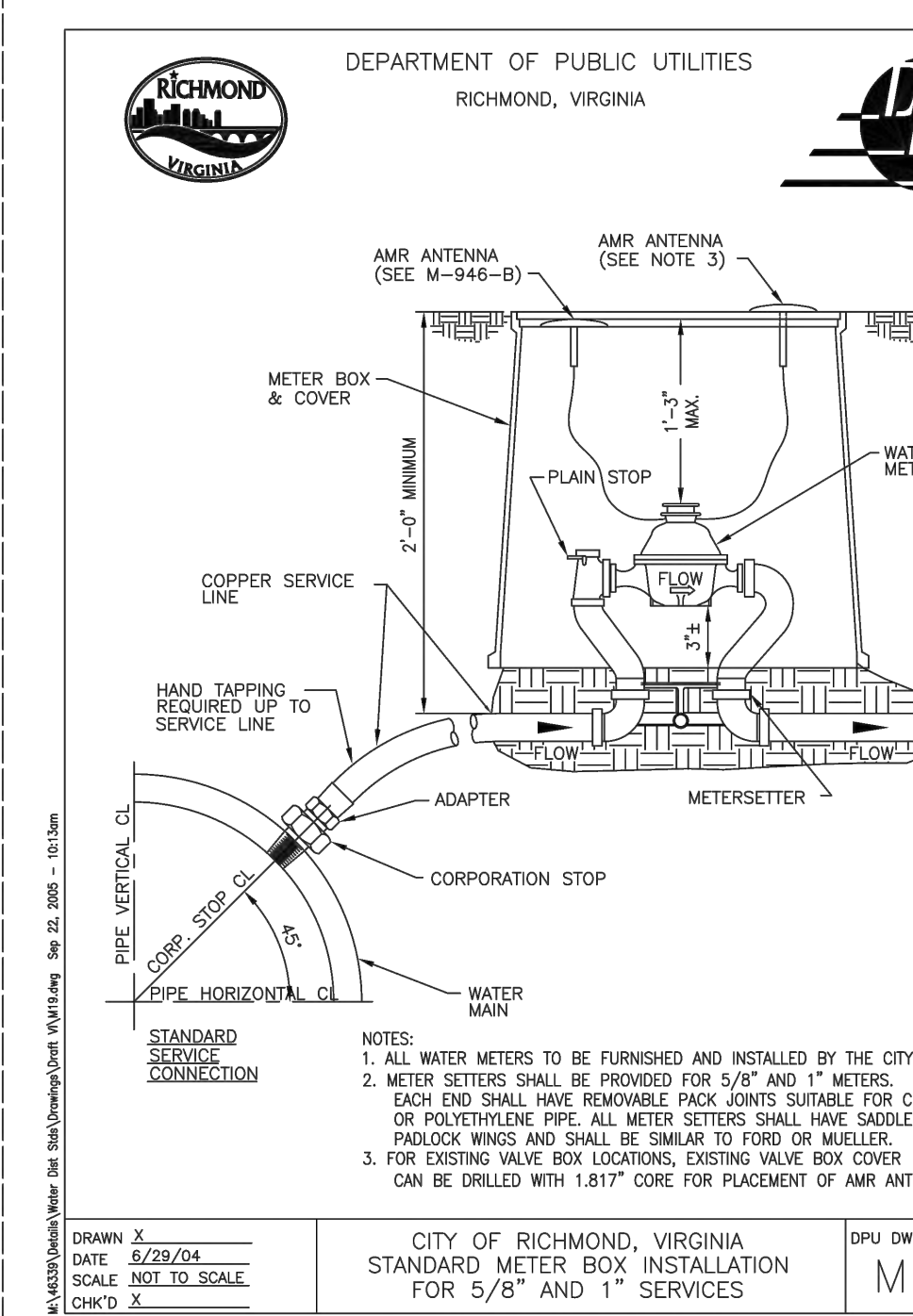
DRAWN X DATE 8/28/04 SCALE NOT TO SCALE CHK'D X
 CITY OF RICHMOND, VIRGINIA
 FIRE HYDRANT DETAIL
 DPU DWG. NUMBER: M-11



NOTES:

1. 1 1/2\"/>
- 2. SADDLE MUST BE USED IF TAP IS MADE IN PVC OR A/C PIPE.

DRAWN X DATE 8/28/04 SCALE NOT TO SCALE CHK'D X
 CITY OF RICHMOND, VIRGINIA
 WATER SERVICE CONNECTION
 DPU DWG. NUMBER: M-18



NOTES:

1. ALL WATER METERS TO BE FURNISHED AND INSTALLED BY THE CITY.
2. METER SETTERS SHALL BE PROVIDED FOR 5/8\"/>
- 3. FOR EXISTING VALVE BOX LOCATIONS, EXISTING VALVE BOX COVER CAN BE DRILLED WITH 1.817\"/>

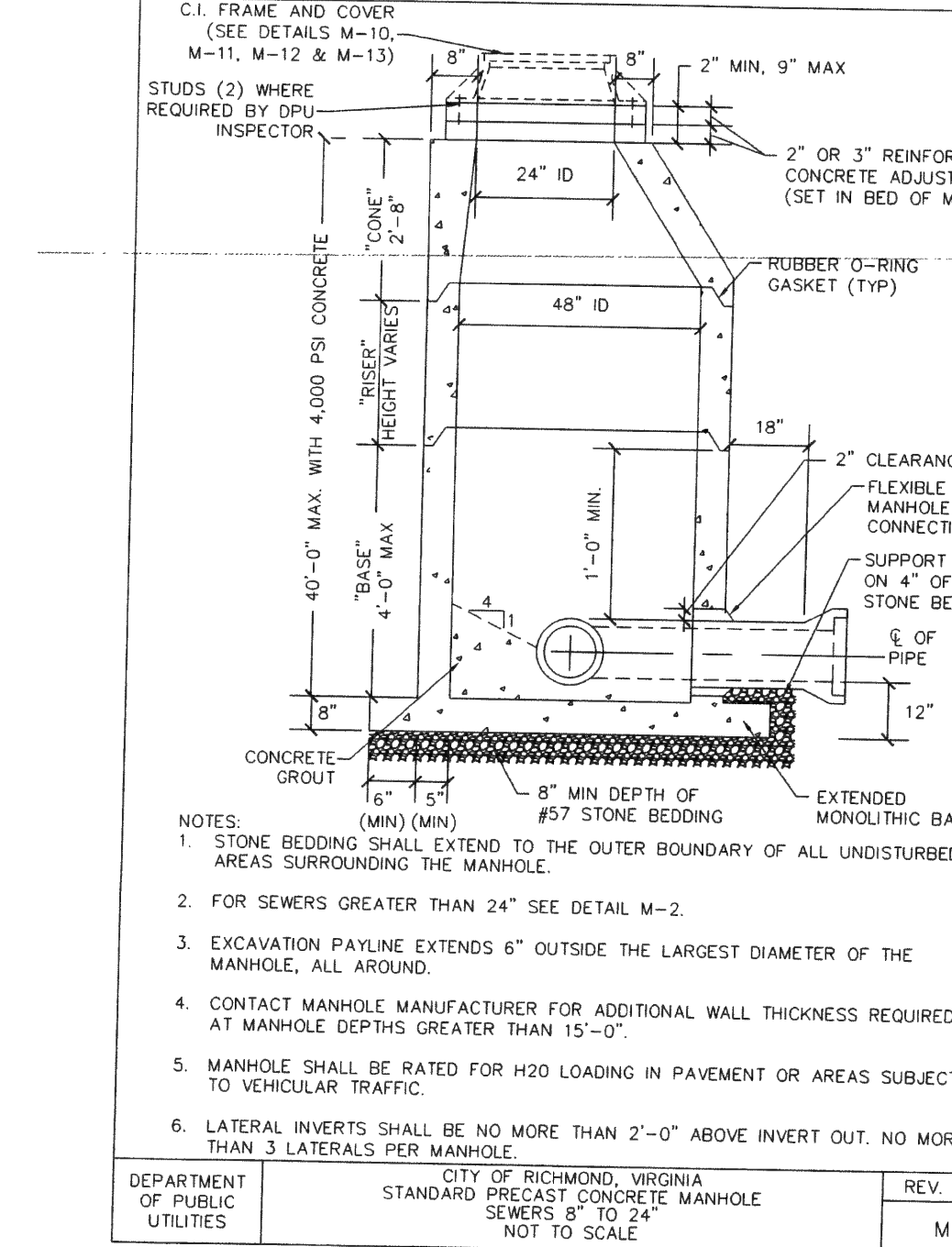
DRAWN X DATE 8/28/04 SCALE NOT TO SCALE CHK'D X
 CITY OF RICHMOND, VIRGINIA
 STANDARD METER BOX INSTALLATION FOR 5/8\"/>
 DPU DWG. NUMBER: M-19

RESTRAINED JOINT LENGTH

Dead End	8"	12"	18"	24"
1.125" HB	78"	111"	144"	209"
2.25" HB	7"	8"	10"	14"
4.5" HB	14"	16"	20"	29"
90" HB	34"	38"	49"	70"
1.125" VB (down)	11"	16"	23"	21"
2.25" VB (down)	22"	27"	41"	59"
4.5" VB (down)	46"	66"	87"	123"
1.125" VB (up)	3"	4"	5"	6"
2.25" VB (up)	7"	8"	10"	14"
4.5" VB (up)	14"	16"	20"	29"
8" Tee	-	-	-	85"
12" Tee	-	-	-	104"
16" Tee	-	-	-	133"
2" Reducer	-	-	-	33"
4" Reducer	-	-	-	59"
6" Reducer	-	-	-	82"

NOTES:

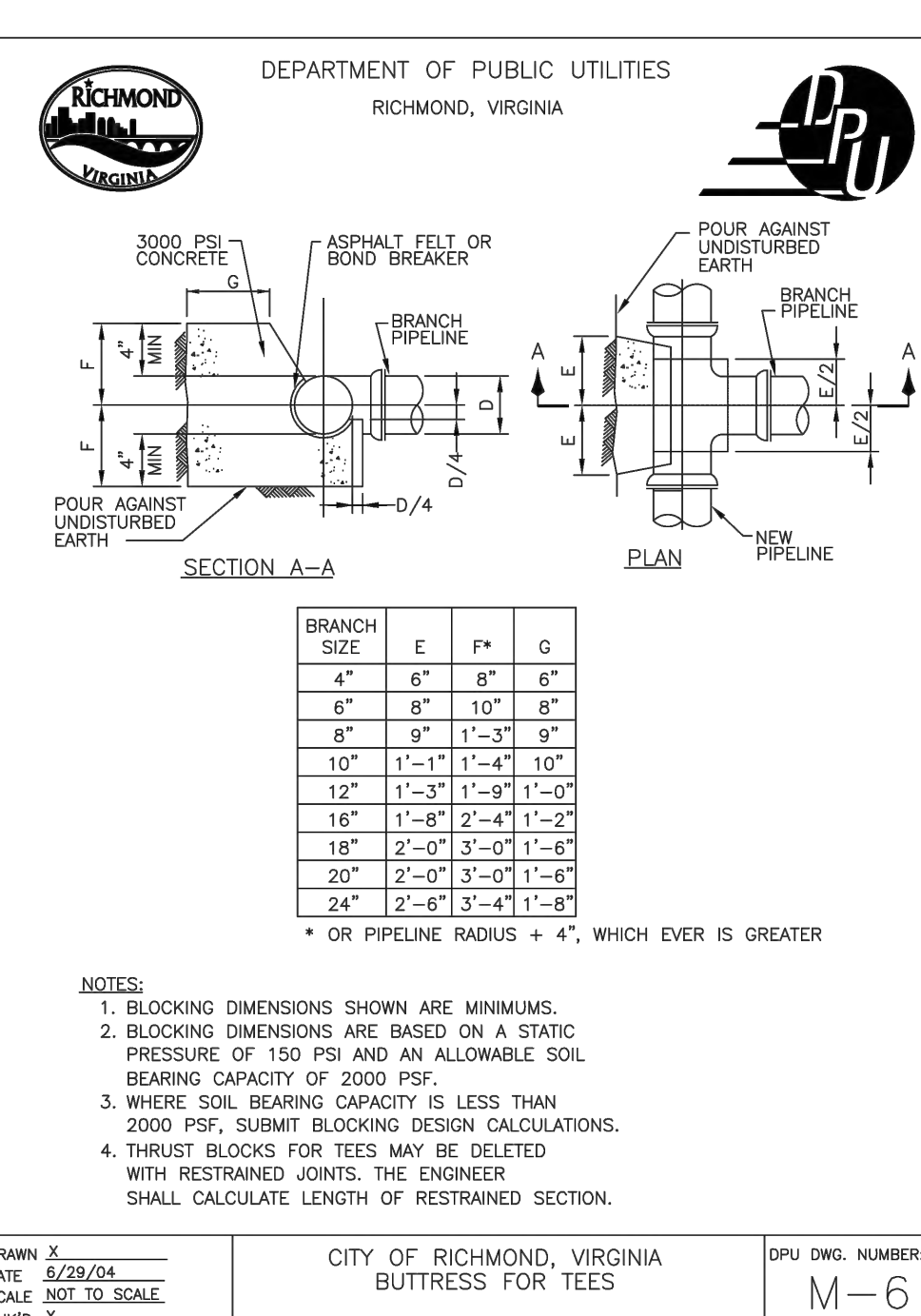
1. RESTRAINED JOINTS ARE BASED ON THE FOLLOWING LAYING CONDITIONS:
 Restrainted Joints Based on:
 Laying Condition: Type 5
 Soil Condition: Coh-grm
 Depth of Cover: 3.5 ft.
 Design Pressure: 250 psi
 Safety Factor: 1.5
2. RESTRAINED JOINT LENGTHS ARE TO BE CONFIRMED BY ENGINEER BASED ON PROJECT CONDITIONS.



NOTES:

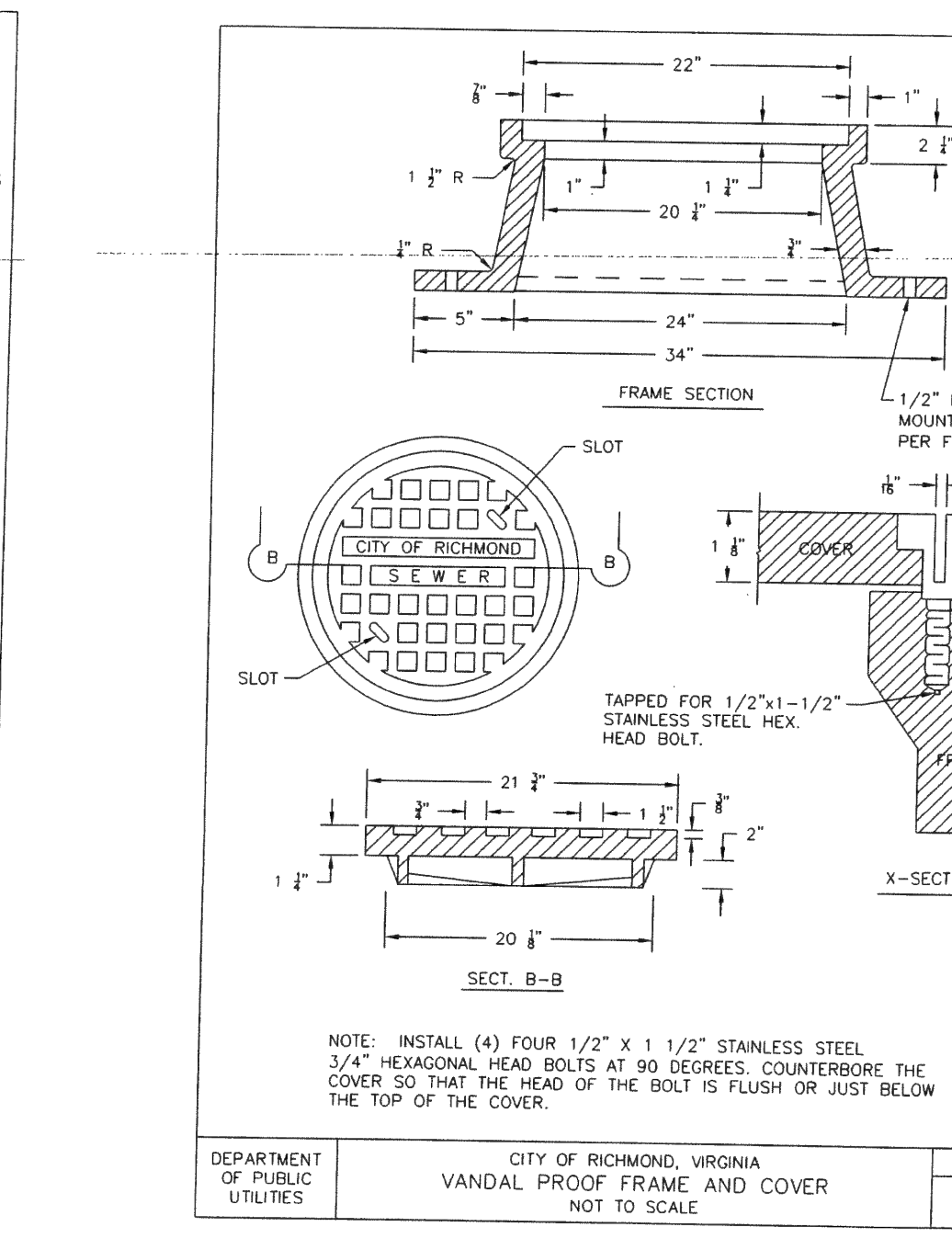
1. STONE BEDDING SHALL EXTEND TO THE OUTER BOUNDARY OF ALL UNDISTURBED AREAS SURROUNDING THE MANHOLE.
2. FOR SEWERS GREATER THAN 24\"/>
- 3. EXCAVATION PAVLINE EXTENDS 6\"/>
- 4. CONTACT MANHOLE MANUFACTURER FOR ADDITIONAL WALL THICKNESS REQUIRED AT MANHOLE DEPTHS GREATER THAN 15'-0\"/>
- 5. MANHOLE SHALL BE RATED FOR H2O LOADING IN PAVEMENT OR AREAS SUBJECT TO VEHICULAR TRAFFIC.
- 6. LATERAL INVERTS SHALL BE NO MORE THAN 2'-0\"/>

DRAWN X DATE 8/28/04 SCALE NOT TO SCALE CHK'D X
 CITY OF RICHMOND, VIRGINIA
 STANDARD PRECAST CONCRETE MANHOLE SEWERS 8\"/>
 DPU DWG. NUMBER: M-1



NOTES:

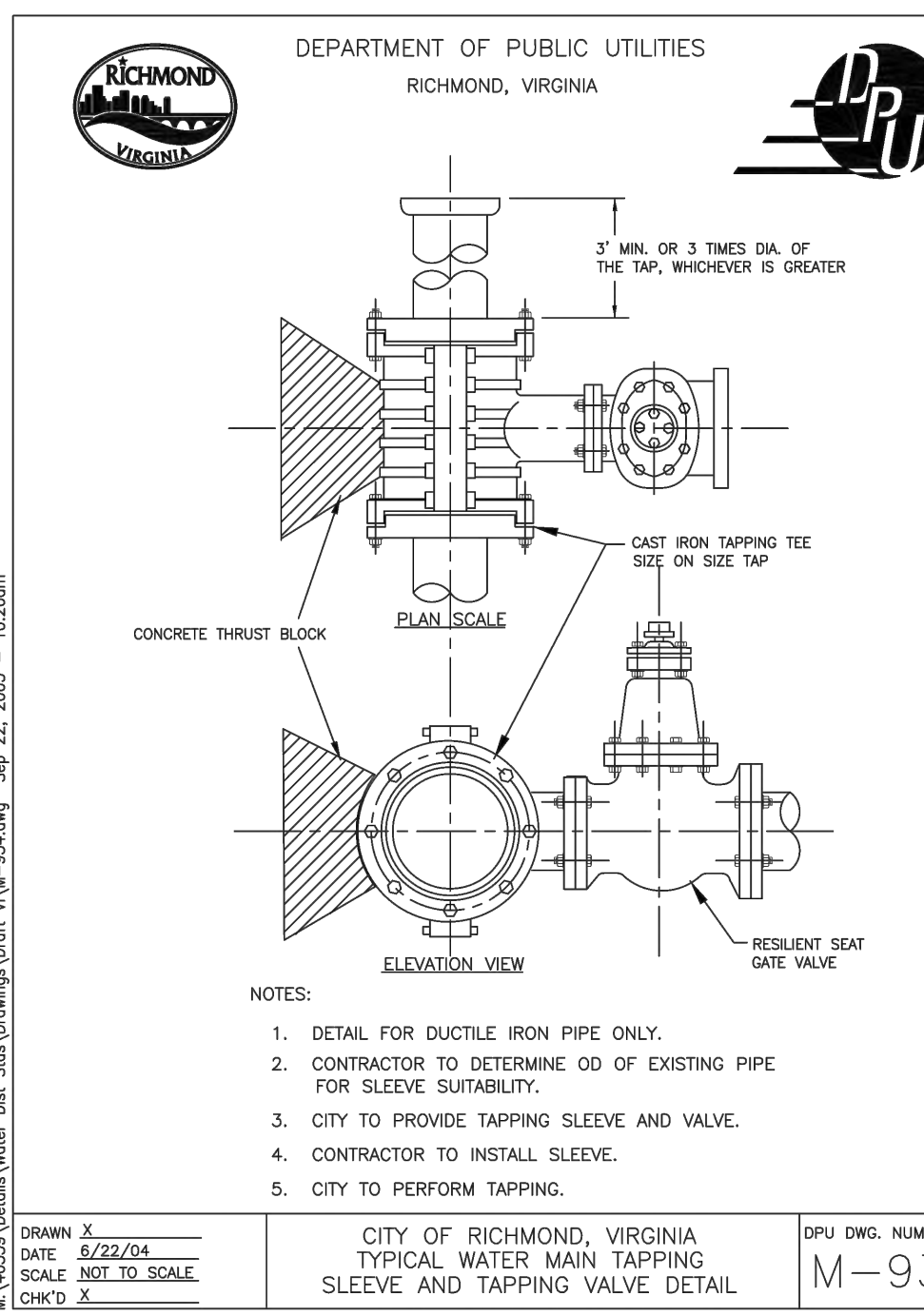
1. BLOCKING DIMENSIONS SHOWN ARE MINIMUMS.
2. BLOCKING DIMENSIONS ARE BASED ON A STATIC PRESSURE OF 150 PSI AND AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF.
3. WHERE SOIL BEARING CAPACITY IS LESS THAN 2000 PSF, SUBMIT BLOCKING DESIGN CALCULATIONS.
4. THRUST BLOCKS FOR TEES MAY BE DELETED WITH RESTRAINED JOINTS. THE ENGINEER SHALL CALCULATE LENGTH OF RESTRAINED SECTION.



NOTE:

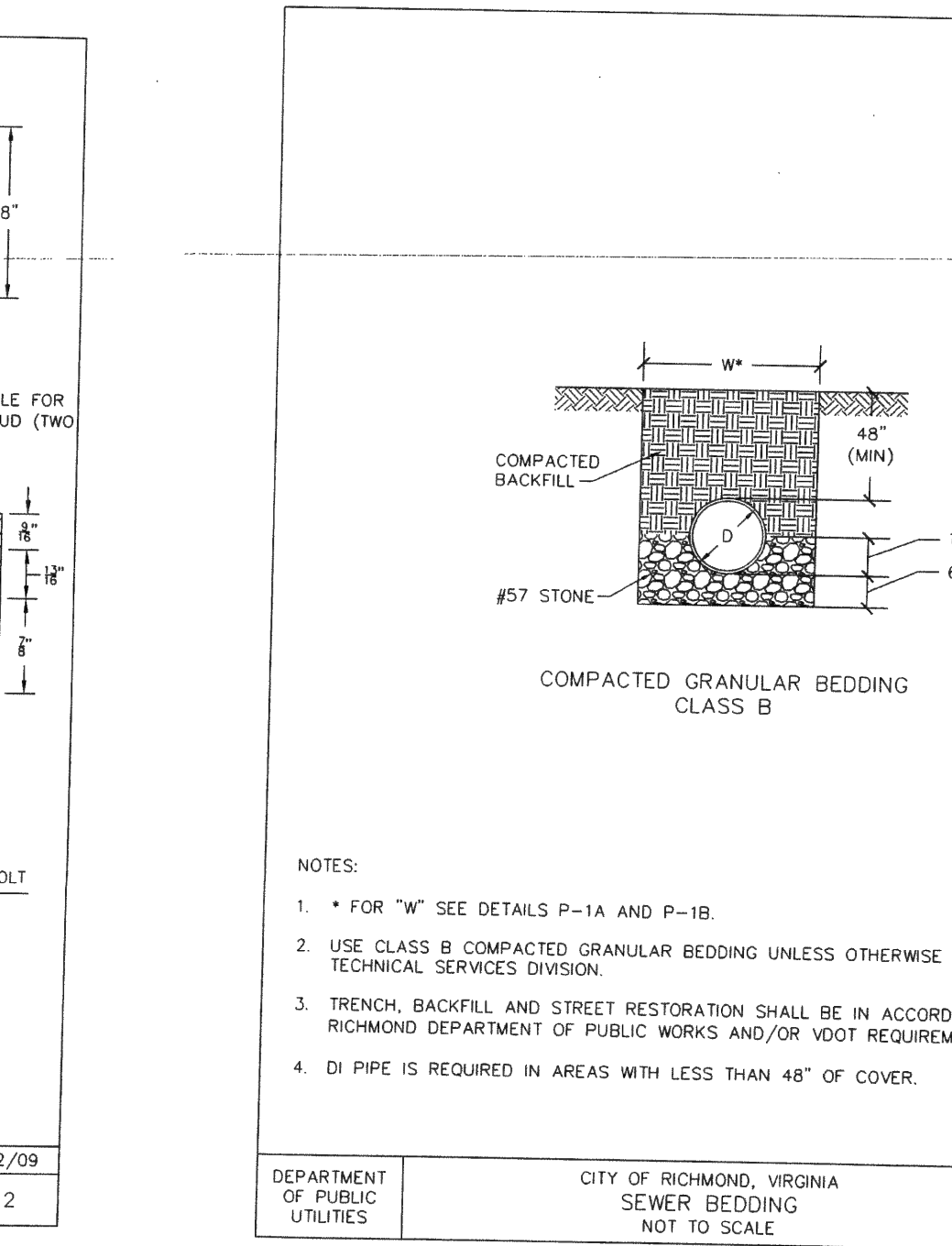
INSTALL (4) FOUR 1/2\"/>

DRAWN X DATE 8/28/04 SCALE NOT TO SCALE CHK'D X
 CITY OF RICHMOND, VIRGINIA
 VANDAL PROOF FRAME AND COVER NOT TO SCALE
 DPU DWG. NUMBER: M-12



NOTES:

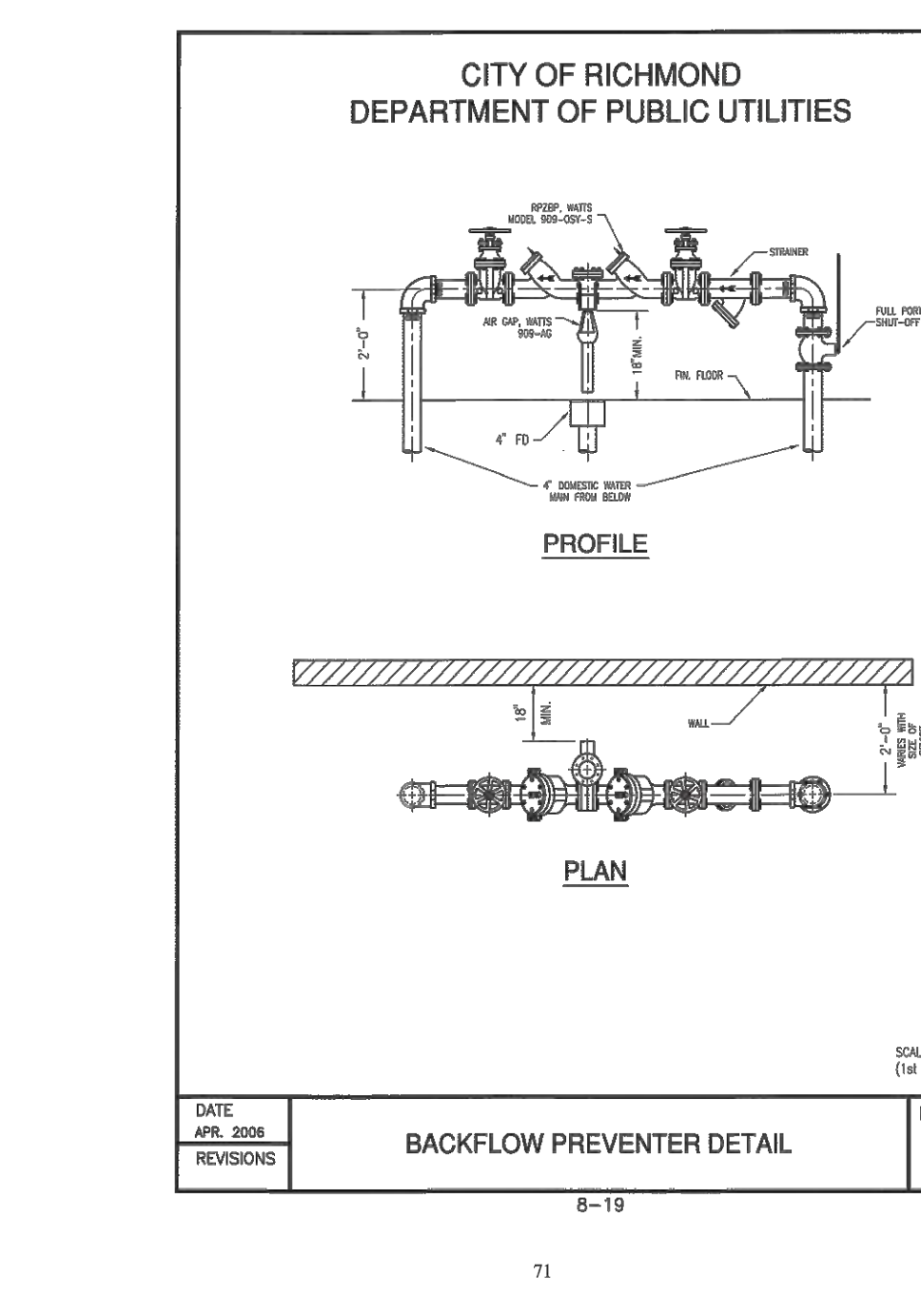
1. DETAIL FOR DUCTILE IRON PIPE ONLY.
2. CONTRACTOR TO DETERMINE OD OF EXISTING PIPE FOR SLEEVE SUITABILITY.
3. CITY TO PROVIDE TAPPING SLEEVE AND VALVE.
4. CONTRACTOR TO INSTALL SLEEVE.
5. CITY TO PERFORM TAPPING.



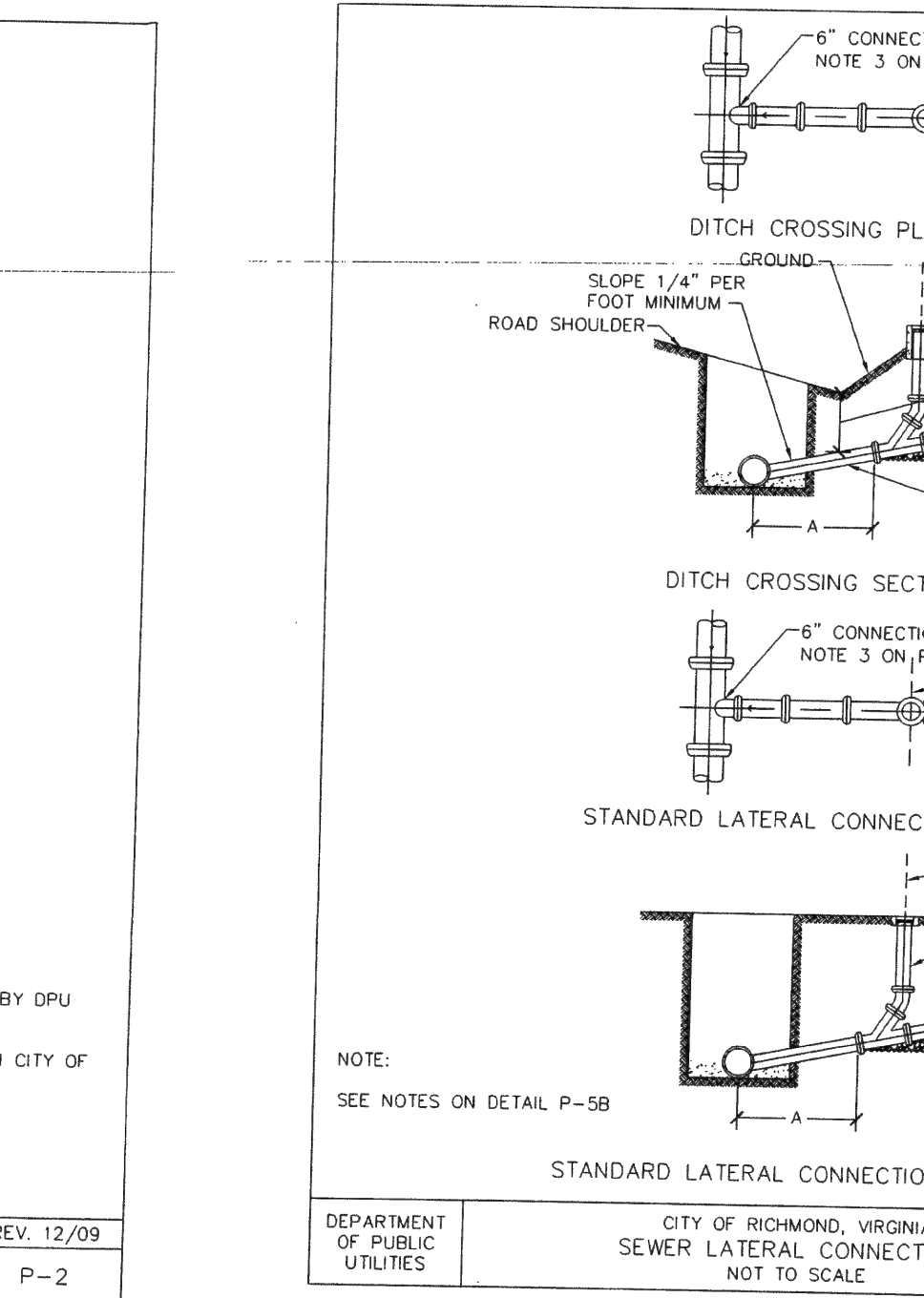
NOTES:

1. * FOR 'W' SEE DETAILS P-1A AND P-1B.
2. USE CLASS B COMPACTED GRANULAR BEDDING UNLESS OTHERWISE DIRECTED BY DPU TECHNICAL SERVICES DIVISION.
3. TRENCH, BACKFILL AND STREET RESTORATION SHALL BE IN ACCORDANCE WITH CITY OF RICHMOND DEPARTMENT OF PUBLIC WORKS AND/OR VDOT REQUIREMENTS.
4. DI PIPE IS REQUIRED IN AREAS WITH LESS THAN 48\"/>

DRAWN X DATE 8/28/04 SCALE NOT TO SCALE CHK'D X
 CITY OF RICHMOND, VIRGINIA
 SEWER BEDDING NOT TO SCALE
 DPU DWG. NUMBER: P-2



DRAWN X DATE 8/28/04 SCALE NOT TO SCALE CHK'D X
 CITY OF RICHMOND, VIRGINIA
 TYPICAL WATER MAIN TAPPING SLEEVE AND TAPPING VALVE DETAIL
 DPU DWG. NUMBER: M-934



NOTE:

SEE NOTES ON DETAIL P-5B

DRAWN X DATE 8/28/04 SCALE NOT TO SCALE CHK'D X
 CITY OF RICHMOND, VIRGINIA
 SEWER LATERAL CONNECTIONS NOT TO SCALE
 DPU DWG. NUMBER: P-5A



NOTES:

1. CLEANOUT COVER SHALL BE BRASS IN CONCRETE/PAVEMENT OR PLASTIC IN GRASS AREAS.
2. CLEANOUT SHALL BE 4\"/>

DRAWN X DATE 8/28/04 SCALE NOT TO SCALE CHK'D X
 CITY OF RICHMOND, VIRGINIA
 CLEANOUT DETAIL NOT TO SCALE
 DPU DWG. NUMBER: P-7

COMMONWEALTH OF VIRGINIA
 JEFFREY STAUB
 LANDSCAPE ARCHITECT
 3/3/2021
SILVERCORE
 LAND DEVELOPMENT CONSULTANTS
 7110 FOREST AVENUE - SUITE 204 RICHMOND, VA 23226 (804) 282-6900

310/322 BROOKLAND PARK BLVD
NOTES & DETAILS
 BROOKLAND PARK DISTRICT CITY OF RICHMOND, VIRGINIA

REV.#	DATE	DESCRIPTION
1	12/17/2020	DESIGN BY: Andrew Bowman CHECK BY: Jeff Staub DRAWING SCALE: N/A DATE: 12/17/2020

- ALL CONSTRUCTION, MATERIALS AND INSTALLATION OF WATERLINE AND SANITARY SEWER SHALL CONFORM TO THE LATEST EDITION OF STANDARDS DEPARTMENT OF PUBLIC UTILITIES (DPU) CITY OF RICHMOND, VIRGINIA. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE DPU CONSTRUCTION DIVISION TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO STARTING ANY WORK ON THIS PROJECT. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
- THE CONTRACTOR SHALL INCLUDE IN APPLICABLE BID PRICE, THE COST OF LOCATING AND UNCOVERING ALL SEWER MANHOLES AND ALL VALVE BOXES AFTER COMPLETION OF ALL PAVING AND TO ADJUST THEM TO THE FINAL ROAD GRADES, IF NECESSARY. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR CLEANING OUT SEWER MAINS FOR FINAL INSPECTION, IF NECESSARY.
- EXISTING UTILITIES ACROSS OR ALONG THE LINE OF THE PROPOSED WORK ARE SHOWN ONLY IN AN APPROXIMATE LOCATION ON THE PLANS. CONTRACTOR SHALL, ON HIS OWN INITIATE AND AT NO ADDITIONAL COST, LOCATE ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. CONTRACTOR SHALL CALL MISS UTILITY AT 1-800-552-7001 PRIOR TO CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND LINES OR STRUCTURES. MINIMUM COVER OVER TOP OF WATER PIPE MUST BE 3.50 FEET.
- SERVICE SADDLES MUST BE USED ON WATER CONNECTIONS TO PVC MAINS LESS THAN 6" IN DIAMETER.
- ENGINEER SHALL CERTIFY THAT UNPAVED STREETS ARE TO SUBGRADE PRIOR TO CONTRACTOR INSTALLING WATER SYSTEM. CURB AND GUTTER, IF REQUIRED, SHALL BE INSTALLED PRIOR TO ACCEPTANCE OR WATER SYSTEM BY CITY.
- NO STRUCTURES OR PLANTING OF TREES SHALL BE PERMITTED IN UTILITY EASEMENTS. VANDAL PROOF COVERS SHALL BE USED ON ALL MANHOLES IN EASEMENTS. WATER TIGHT COVERS SHALL BE USED IN FLOOD PLAINS. THE MANHOLE COVERS SHALL BE IN ACCORDANCE WITH DPU STANDARD DRAWINGS.
- FINAL ACCEPTANCE BY CITY SHALL NOT BE MADE UNTIL ALL WORK SHOWN ON APPROVED UTILITY PLANS IS COMPLETED INCLUDING PAVING, GRADING AND ALL REQUIRED ADJUSTMENTS.
- PER APPROVED PLANS THE CITY PERFORMS ALL WATER RELATED WORK IN THE RIGHT OF WAY AND INSPECTS THE INSTALLATION OF ALL SEWER WORK PERFORMED BY THE DEVELOPER/OWNER'S CONTRACTOR IN THE RIGHT OF WAY.

BUILDING A/ 322 BROOKLAND PARK BLVD
HENRICO COUNTY DPU
FIRE FLOW ESTIMATE FORM
ISO (Insurance Service Office) Method of Calculating NFF (Needed Fire Flow)

ENGINEER: SILVERCORE DATE: 11/28/2020
PROJECT NAME: 310/322 BROOKLAND PARK BLVD CALC. BY: AFB

TYPE OF CONSTRUCTION: CLASS 2
Class of Construction Coef. = F: 1.0
GROUND FLOOR AREA = 3600 # of Stories 2
Total Floor Area = A_f (effective area): 5400

FIRE AREA CONSIDERED
Construction Factor C_f = 1.8(P)(A_f)^{0.4} (Rounded to nearest 250 GPM) C_f = 1500

TYPE OF OCCUPANCY: C-2
(Worst-Case) Occupancy Factor = O_c: 0.85

EXPOSURE (X) AND COMMUNICATION (P):
X₁ + P₁ = 0.025±0 X₂ + P₂ = _____
X₃ + P₃ = _____ X₄ + P₄ = _____
X₅ + P₅ = _____ X₆ + P₆ = _____

(X+P)₁ = 1.0 + ∑(X_i+P_i) = _____
[Max. (X + P)] = 1.75 (n = NUMBER OF SIDES OF SUBJECT BUILDING) 1.025

NEEDED FIRE FLOW
NFF = (C_f)(O_c)(X+P)₁ NFF = 1307
Automatic Sprinklers (YES X NO) Reduction Factor 50 % x NFF = 653.50
TOTAL: 653.50
Required Fire Flow - Rounded (if < 2500 nearest 250) (if > 2500 nearest 500) 750 gpm
* Fire Hydrants Required: 1

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT.
SIGNATURE: _____ P.E.
* COMMERCIAL AREA REQUIRES 350 FT. MAXIMUM HOSE LAY.
References: NFF CALCULATION PROCEDURE DESCRIBED IN A.W.W.A. M-31, I.S.O.'s 1980 COMMERCIAL FIRE RATING SCHEDULE AND I.S.O.'s 1980 FIRE SUPPRESSION RATING SCHEDULE.
9/94 Form F-9

BUILDING B/ 310 BROOKLAND PARK BLVD
HENRICO COUNTY DPU
FIRE FLOW ESTIMATE FORM
ISO (Insurance Service Office) Method of Calculating NFF (Needed Fire Flow)

ENGINEER: SILVERCORE DATE: 11/28/2020
PROJECT NAME: 310/322 BROOKLAND PARK BLVD CALC. BY: AFB

TYPE OF CONSTRUCTION: CLASS 2
Class of Construction Coef. = F: 1.0
GROUND FLOOR AREA = 5249 # of Stories 2
Total Floor Area = A_f (effective area): 8623

FIRE AREA CONSIDERED
Construction Factor C_f = 1.8(P)(A_f)^{0.4} (Rounded to nearest 250 GPM) C_f = 1750

TYPE OF OCCUPANCY: C-2
(Worst-Case) Occupancy Factor = O_c: 0.85

EXPOSURE (X) AND COMMUNICATION (P):
X₁ + P₁ = 0.025±0 X₂ + P₂ = _____
X₃ + P₃ = _____ X₄ + P₄ = _____
X₅ + P₅ = _____ X₆ + P₆ = _____

(X+P)₁ = 1.0 + ∑(X_i+P_i) = _____
[Max. (X + P)] = 1.75 (n = NUMBER OF SIDES OF SUBJECT BUILDING) 1.025

NEEDED FIRE FLOW
NFF = (C_f)(O_c)(X+P)₁ NFF = 1563
Automatic Sprinklers (YES X NO) Reduction Factor 50 % x NFF = 781.50
TOTAL: 781.50
Required Fire Flow - Rounded (if < 2500 nearest 250) (if > 2500 nearest 500) 750 gpm
* Fire Hydrants Required: 1

I CERTIFY THAT THE ABOVE INFORMATION IS TRUE AND CORRECT.
SIGNATURE: _____ P.E.
* COMMERCIAL AREA REQUIRES 350 FT. MAXIMUM HOSE LAY.
References: NFF CALCULATION PROCEDURE DESCRIBED IN A.W.W.A. M-31, I.S.O.'s 1980 COMMERCIAL FIRE RATING SCHEDULE AND I.S.O.'s 1980 FIRE SUPPRESSION RATING SCHEDULE.
9/94 Form F-9

BUILDING A/ 322 BROOKLAND PARK BLVD
CITY OF RICHMOND
DEPARTMENT OF PUBLIC UTILITIES
DEVELOPMENT SERVICES
Application for WATER, SANITARY, & STORM SEWER
Tel: 804-646-8544 Fax: 804-646-3438

Applicant's Signature _____ Date _____
DPU Engineer or APSA Signature _____ Date _____
DPU Prog/Ops Manager Signature _____ Date _____

City of Richmond DPU Fixture Values Meter Sizing

Fixture	Fixture Value @ 35 psi	No. of Fixtures (set to zero if none)	Fixture Value	COMMENTS
Bathtub	8	x 5	= 40	
Whirlpool	8	x	= 0	
Shower Head (shower only)	4	x	= 0	
Toilet-Flush Valve	35	x	= 0	
Toilet-Tank Type	3	x 7	= 21	
Wash Sink (ea. set of faucets)	4	x	= 0	
Kitchen Sink- 1/2" Connection	3	x 5	= 15	
Kitchen Sink- 3/4" Connection	7	x	= 0	
Dishwasher- 1/2" Connection	5	x 3	= 15	
Dishwasher- 3/4" Connection	10	x	= 0	
Washing Machine- 1/2" Conn	5	x 3	= 15	
Washing Machine- 3/4" Conn	12	x	= 0	
Washing Machine- 1" Conn	25	x	= 0	
Hose Bib- 1/2" Conn	6	x 1	= 6	
Hose Bib- 5/8" Conn	9	x	= 0	
Hose Bib- 3/4" Conn	12	x	= 0	
Lawn Sprinkler (per head)	1	x	= 0	
Bedpan Washers	10	x	= 0	
Combination Sink & Tray	3	x	= 0	
Lavatory- 3/8" Connection	2	x 5	= 10	
Lavatory- 1/2" Connection	4	x	= 0	
Laundry Tray- 1/2" Connection	3	x	= 0	
Laundry Tray- 3/4" Connection	7	x	= 0	
Service Sink - 1/2" Connection	3	x	= 0	
Service Sink 3/4" Connection	7	x	= 0	
Urinal - Pedestal Flush Valve	35	x	= 0	
Urinal- Wall Flush Valve	12	x	= 0	
Trough (2ft. unit)	2	x	= 0	
Fixture Value Total			122	

Meter Size based on Fixture Value Total → 1"

*NOTE: Other factors, such as distance/length of service or elevation, may make it necessary to utilize a larger meter than that which is indicated by this calculation

FORM NO. DS_SewerApp(01/16)_Page 2/3_NOTE: Page 3 of 3 to be retained by Applicant

TABLE 702.3 BUILDING SEWER PIPE

MATERIAL	STANDARD
Acrylonitrile butadiene styrene (ABS) plastic pipe in IPS diameters, including schedule 40, DR 22 (PS 200) and DR 24 (PS 140); with a solid, cellular core or composite wall	ASTM D 2661; ASTM F 628; ASTM F 1488; CSA B181.1
Acrylonitrile butadiene styrene (ABS) plastic pipe in sewer and drain diameters, including SDR 42 (PS 20), PS 35, SDR 35 (PS 40), PS 50, PS 100, PS 140, SDR 23.5 (PS 150) and PS 200; with a solid, cellular core or composite wall	ASTM F 1488; ASTM D 2751
Asbestos-cement pipe	ASTM C 428
Cast-iron pipe	ASTM A 74; ASTM A 888; C15P1301
Concrete pipe	ASTM C14; ASTM C76; CAN/CSA A257.1M; CAN/CSA A257.2M
Copper or copper-alloy tubing (Type K or L)	ASTM B 75; ASTM B 88; ASTM B 251
Polyethylene (PE) plastic pipe (SDR-PR)	ASTM F 714
Polyvinyl chloride (PVC) plastic pipe in IPS diameters, including schedule 40, DR 22 (PS 200) and DR 24 (PS 140); with a solid, cellular core or composite wall	ASTM D 2665; ASTM F 891; ASTM F 1488
Polyvinyl chloride (PVC) plastic pipe in sewer and drain diameters, including PS 25, SDR 41 (PS 28), PS 35, SDR 35 (PS 40), PS 50, PS 100, SDR 26 (PS 115), PS 140 and PS 200; with a solid, cellular core or composite wall	ASTM F 891; ASTM F 1488; ASTM D 3034; CSA B182.2; CSA B182.4
Polyvinyl chloride (PVC) plastic pipe with a 3.25-inch I.D. and a solid, cellular core or composite wall.	ASTM D 2949; ASTM F 1488
Polyvinylidene fluoride (PVDF) plastic pipe	ASTM F 1673; CAN/CSA B181.3
Stainless steel drainage systems, Types 304 and 316L	ASME A112.3.1
Vitrified clay pipe	ASTM C 4; ASTM C 700

BUILDING B/ 322 BROOKLAND PARK BLVD
CITY OF RICHMOND
DEPARTMENT OF PUBLIC UTILITIES
DEVELOPMENT SERVICES
Application for WATER, SANITARY, & STORM SEWER
Tel: 804-646-8544 Fax: 804-646-3438

Applicant's Signature _____ Date _____
DPU Engineer or APSA Signature _____ Date _____
DPU Prog/Ops Manager Signature _____ Date _____

City of Richmond DPU Fixture Values Meter Sizing

Fixture	Fixture Value @ 35 psi	No. of Fixtures (set to zero if none)	Fixture Value	COMMENTS
Bathtub	8	x 9	= 72	
Whirlpool	8	x	= 0	
Shower Head (shower only)	4	x	= 0	
Toilet-Flush Valve	35	x	= 0	
Toilet-Tank Type	3	x 11	= 33	
Wash Sink (ea. set of faucets)	4	x	= 0	
Kitchen Sink- 1/2" Connection	3	x 11	= 33	
Kitchen Sink- 3/4" Connection	7	x	= 0	
Dishwasher- 1/2" Connection	5	x 9	= 45	
Dishwasher- 3/4" Connection	10	x	= 0	
Washing Machine- 1/2" Conn	5	x 9	= 45	
Washing Machine- 3/4" Conn	12	x	= 0	
Washing Machine- 1" Conn	25	x	= 0	
Hose Bib- 1/2" Conn	6	x 1	= 6	
Hose Bib- 5/8" Conn	9	x	= 0	
Hose Bib- 3/4" Conn	12	x	= 0	
Lawn Sprinkler (per head)	1	x	= 0	
Bedpan Washers	10	x	= 0	
Combination Sink & Tray	3	x	= 0	
Lavatory- 3/8" Connection	2	x 11	= 22	
Lavatory- 1/2" Connection	4	x	= 0	
Laundry Tray- 1/2" Connection	3	x	= 0	
Laundry Tray- 3/4" Connection	7	x	= 0	
Service Sink - 1/2" Connection	3	x	= 0	
Service Sink 3/4" Connection	7	x	= 0	
Urinal - Pedestal Flush Valve	35	x	= 0	
Urinal- Wall Flush Valve	12	x	= 0	
Trough (2ft. unit)	2	x	= 0	
Fixture Value Total			256	

Meter Size based on Fixture Value Total → 1"

*NOTE: Other factors, such as distance/length of service or elevation, may make it necessary to utilize a larger meter than that which is indicated by this calculation

FORM NO. DS_SewerApp(01/16)_Page 2/3_NOTE: Page 3 of 3 to be retained by Applicant

310-322 BROOKLAND PARK BLVD. SEWAGE FLOW PROJECTIONS

USAGE	EX. QUANTITY	EX. PEAK FLOW	PROP. QUANTITY	PROP. PEAK FLOW
310 BPB-OFFICE: 200GPD/1000SF	4 CAR WASH BAYS (1200 GAL/BAY)	0.0074CFS	3220 SF	0.0010CFS
322 BPB-OFFICE: 200GPD/1000SF	0	0.0000CFS	3300 SF	0.0010CFS
310 BPB-1BR: 200GPD	0	0.0000CFS	9 UNITS	0.0028CFS
322 BPB-1BR: 200GPD	0	0.0000CFS	1 UNITS	0.0003CFS
322 BPB-2BR: 300GPD	0	0.0000CFS	2 UNITS	0.0009CFS
SITE COMBINED PEAKING FLOW		0.0074CFS		0.0060CFS

Sewer Lateral Sizing - 310 Brookland Park Blvd.				Sewer Lateral Sizing - 322 Brookland Park Blvd.			
Bathroom Group	Quantity	Drainage Fixture Unit	Total Drainage Fixture Count	Bathroom Group	Quantity	Drainage Fixture Unit	Total Drainage Fixture Count
	9	5	45		5	2	25
Kitchen Sink	9	2	18	Kitchen Sink	5	2	10
Dishwasher	9	2	18	Dishwasher	3	2	6
		Site DPU Count	81			Site DPU Count	41
		Required Lateral Size	4"			Required Lateral Size	4"

TABLE 608.3 WATER SERVICE PIPE

MATERIAL	STANDARD
Acrylonitrile butadiene styrene (ABS) plastic pipe	ASTM D 1527; ASTM D 2282
Asbestos-cement pipe	ASTM C 296
Brass pipe	ASTM B 43
Chlorinated polyvinyl chloride (CPVC) plastic pipe	ASTM D 2846; ASTM F 441; ASTM F 442; CSA B137.6
Copper or copper-alloy pipe	ASTM B 42; ASTM B 302
Copper or copper-alloy tubing (Type K, WK, L, WL, M or WM)	ASTM B 75; ASTM B 88; ASTM B 251; ASTM B 447
Cross-linked polyethylene (PEX) plastic tubing	ASTM F 876; ASTM F 877; CSA B137.5
Cross-linked polyethylene/aluminum/cross-linked polyethylene (PEX-AL-PEX) pipe	ASTM F 1281; ASTM F 2262; CAN/CSA B137.10M
Cross-linked polyethylene/aluminum/high-density polyethylene (PEX-AL-HDPE) pipe	ASTM F 1986
Ductile iron water pipe	AWWA C151; AWWA C115
Galvanized steel pipe	ASTMA 53
Polyethylene (PE) plastic pipe	ASTM D 2239; ASTM D 3035; CSA B137.1
Polyethylene (PE) plastic tubing	ASTM D 2737; CSA B137.1
Polyethylene/aluminum/polyethylene (PE-AL-PE) pipe	ASTM F 1282; CAN/CSA B137.9
Polypropylene (PP) plastic pipe or tubing	ASTM F 2389; CSA B137.11
Polyvinyl chloride (PVC) plastic pipe	ASTM F 1785; ASTM D 2241; ASTM D 2672; CSA B137.3
Stainless steel pipe (Type 304/304L)	ASTM A 312; ASTM A 778
Stainless steel pipe (Type 316/316L)	ASTM A 312; ASTM A 778

UTILITY QUANTITIES

WATER (PUBLIC)		
1.5" CORP. STOP	2 EA	
1.5" TYPE K COPPER WL	20 LF	
1" WATER METER	2 EA	
6" X6" T.S.	2 EA	
6" G.V.	3 EA	
6" DIC	32 LF	
FIRE HYDRANT	1 EA	
SEWER (PUBLIC)		
6" CLEANOUT	2 EA	

COMMONWEALTH OF VIRGINIA
3/3/2021
PREY STATE
NO. 327
LANDSCAPE ARCHITECT

SILVERCORE
LAND DEVELOPMENT CONSULTANTS
7110 FOREST AVENUE - SUITE 204 RICHMOND, VA 23226 (804) 282-6900

310/322 BROOKLAND PARK BLVD
NOTES & DETAILS
BROOKLAND PARK DISTRICT CITY OF RICHMOND, VIRGINIA

CITY COMMENTS
REV. DATE
REV. DATE
REV. DATE

DESIGN BY: Andrew Bowman
CHECK BY: Jeff Staub
DRAWING SCALE: N/A
DATE: 12/17/2020

SHEET
13
JOB #: 200407

CITY OF RICHMOND
DEPARTMENT OF PUBLIC UTILITIES

REMOVABLE TEE HANDLE
INSIDE TURN HANDLE
STAINLESS STEEL SLAM LOCK

HATCH OPENING		DIMENSIONS	
(W)	(X)	(Y)	(Z)
32"	48"	38"	54"
40"	64"	46"	70"
60"	60"	66"	66"

NOTES:

- ALUMINUM ACCESS HATCHES SHALL BE EAST JORDAN "Q131" OR "Q132" STYLE PEDESTRIAN RATED OR APPROVED EQUAL.
- MATERIAL SHALL BE 6061-T6 ALUMINUM FOR BARS, ANGLES, AND EXTRUSIONS. 1/4" DIAMOND PLATE SHALL BE 5088 ALUMINUM.
- UNIT DESIGNED PEDESTRIAN RATED, FOR A MINIMUM LIVE LOAD OF 300 LBS./SQ.FT. DEFLECTION SHALL NOT EXCEED 1/150 OF THE SPAN.
- HINGES SHALL BE OF HEAVY DUTY DESIGN. MATERIAL SHALL BE GRADE 316 STAINLESS STEEL. EACH HINGE SHALL HAVE A GRADE 316 STAINLESS STEEL, 3/4" DIAMETER PIN. HINGES SHALL BE FASTENED TO THE CHANNEL FRAME AND DIAMOND PLATE USING GRADE 316 STAINLESS STEEL BOLTS AND NY-LOCK NUTS.
- EACH DOOR SHALL BE EQUIPPED WITH A STAINLESS STEEL HOLD OPEN ARM. DOOR SHALL LOCK OPEN IN THE 90 DEGREE POSITION. HOLD OPEN ARM SHALL BE FASTENED TO THE FRAME WITH A 1/2" GRADE 316 STAINLESS STEEL BOLT.
- CHANNEL FRAME SHALL BE OF EXTRUDED ALUMINUM. CONCRETE ANCHORS SHALL BE WELDED TO FRAME. FRAME SHALL HAVE A DOVE TAIL GROOVE TO ACCEPT A 1/2" SILICONE GASKET. CHANNEL FRAME SHALL BE A MINIMUM OF 1/4" THICK, WITH A MINIMUM CROSS SECTION OF 7.5".
- EXTERIOR OF FRAME WHICH COMES IN CONTACT WITH THE CONCRETE SHALL BE COATED WITH ONE COAT OF BLACK PAINT.
- ALL HARDWARE SHALL BE STAINLESS STEEL.
- EACH HATCH SHALL BE EQUIPPED WITH AN ALUMINUM LIFT HANDLE. THE LIFT HANDLE SHALL BE FLUSH WITH THE TOP OF THE 1/4" DIAMOND PLATE.
- EACH DOOR SHALL BE SUPPLIED WITH A HEAVY DUTY STAINLESS STEEL PINU-SRING OR APPROVED EQUAL, FOR EASE OF OPERATING WHEN OPENING COVER. COVER SHALL BE COUNTERBALANCED, SO ONE PERSON CAN EASILY OPEN THE HATCH DOOR. SPRING DESIGN SHALL ACCOMMODATE EASE OF MAINTENANCE.
- EACH HATCH SHALL BE SUPPLIED WITH A GRADE 316 STAINLESS STEEL SLAM LOCK, WITH KEY MAY PROTECTED BY A THREADED PLUG. PLUG SHALL BE FLUSH WITH THE TOP OF THE 1/4" DIAMOND PLATE. SLAM LOCK SHALL BE FASTENED WITH FOUR GRADE 316 STAINLESS STEEL BOLTS AND WASHERS.
- HATCH SHALL BE SUPPLIED WITH POLY COVER OVER DIAMOND PLATE TO PROTECT FROM SPLATTER WHEN CASTING INTO CONCRETE.
- EACH "Q131" STYLE HATCH WILL BE SUPPLIED WITH 3/16" WEAP HAZELS IN THE SIDE OF THE CHANNEL FRAME.

REVISION 12/19/2016 **LARGE METER VAULTS - HATCH FOR 3", 4", 6", & 8" METERS & DETECTOR CHECKS (PEDESTRIAN RATED)** **DPU DWG. NO. W-SDH**

CITY OF RICHMOND
DEPARTMENT OF PUBLIC UTILITIES

NOTES:

- THE DIMENSIONS NOTED ARE MINIMUMS. ALTERNATE VAULT DIMENSIONS & CONFIGURATIONS MAY BE ACCEPTABLE AS PROJECT/SITE CONDITIONS DICTATE.
- ALUMINUM ACCESS HATCHES SHALL BE EAST JORDAN "Q131" STYLE PEDESTRIAN RATED OR APPROVED EQUAL.
- FILL ANNULAR SPACE BETWEEN PIPE AND WALL WITH NON-SHRINK GROUT.
- HATCH FRAME & VAULT SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC, PEDESTRIAN TRAFFIC ONLY.

REVISION 12/15/2016 **LARGE METER VAULTS FOR 3", 4", 6", & 8" METERS & DETECTOR CHECKS (PEDESTRIAN RATED)** **DPU DWG. NO. W-SD**

CITY OF RICHMOND
DEPARTMENT OF PUBLIC UTILITIES

REVISION 12/15/2016 **LARGE METER VAULTS FOR 3", 4", 6", & 8" METERS & DETECTOR CHECKS (PEDESTRIAN RATED)** **DPU DWG. NO. W-SD**

CITY OF RICHMOND, VIRGINIA
DEPARTMENT OF PUBLIC UTILITIES

REVISION 12/15/2016 **LARGE METER VAULTS FOR 3", 4", 6", & 8" METERS & DETECTOR CHECKS (PEDESTRIAN RATED)** **DPU DWG. NO. W-SD**

Two Bike Post

Material: Carbon steel
Finish: Powder coating

FDC
YOUR ADDRESS

CITY OF RICHMOND
DEPARTMENT OF PUBLIC UTILITIES

REVISION 12/15/2016 **LARGE METER VAULTS FOR 3", 4", 6", & 8" METERS & DETECTOR CHECKS (PEDESTRIAN RATED)** **DPU DWG. NO. W-SD**

CITY OF RICHMOND, VIRGINIA
DEPARTMENT OF PUBLIC UTILITIES

REVISION 12/15/2016 **LARGE METER VAULTS FOR 3", 4", 6", & 8" METERS & DETECTOR CHECKS (PEDESTRIAN RATED)** **DPU DWG. NO. W-SD**

CITY OF RICHMOND, VIRGINIA
DEPARTMENT OF PUBLIC UTILITIES

REVISION 12/15/2016 **LARGE METER VAULTS FOR 3", 4", 6", & 8" METERS & DETECTOR CHECKS (PEDESTRIAN RATED)** **DPU DWG. NO. W-SD**

SILVERCORE
LAND DEVELOPMENT CONSULTANTS

310/322 BROOKLAND PARK BLVD
NOTES & DETAILS
BROOKLAND PARK DISTRICT CITY OF RICHMOND, VIRGINIA

REV.#	DATE	DESCRIPTION
1	12/17/2020	DESIGN BY: Andrew Bowman
2	12/17/2020	CHECK BY: Jeff Staub
3	12/17/2020	DRAWING SCALE: N/A
4	12/17/2020	DATE: 12/17/2020

SHEET 14
JOB #: 200407

STANDARD NOTES REQUIRED ON LANDSCAPE PLANS

1. PLANT MATERIAL SIZES AND GRADING ARE TO COMPLY WITH THE LATEST EDITION OF "AMERICAN STANDARDS OF NURSERY STOCK," PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
2. CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. PRIOR TO COMMENCING ANY WORK, CONTACT "MISS UTILITY" AT 1-800-552-7001.
3. THE OWNER IS RESPONSIBLE FOR REPLACEMENT OF ANY PLANTING (I.E. SHRUBS, ETC.) DAMAGED REMOVED BY DPU, OR ITS AGENT, AS REQUIRED FOR MAINTENANCE OF COUNTY OWNED WATER AND/OR SEWER FACILITIES.
4. NO CHANGES TO PLANT SCHEDULE UNLESS FIRST APPROVED BY THE CITY OF RICHMOND PLANNING DEPARTMENT PLANS REVIEW SECTION.
5. LANDSCAPING WILL BE DESIGNED SO AS NOT TO INTERFERE WITH SIGHT DISTANCE NEEDS OF DRIVERS IN THE PARKING AREAS AND AT THE ENTRANCE/EXIT LOCATIONS.
6. PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE CITY OF RICHMOND PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
7. THE OWNER IS RESPONSIBLE FOR MAINTAINING SHRUBS AND TREES THAT ARE REQUIRED PER APPROVED LANDSCAPING PLANS. DYING OR DEAD PLANT MATERIALS ARE TO BE REPLACED DURING THE NEXT PLANTING SEASON.
8. PLANT MATERIALS SHALL HAVE ALL STRINGS OR ROPES AT THE BASE OF THE PLANT CUT AWAY FROM THE TRUNK (INCLUDING BIODEGRADABLE BRANDS OF ROPE).
9. NO LANDSCAPING SHALL BE INSTALLED THAT OBSTRUCTS ACCESS TO FIRE HYDRANT OR OTHER FIRE DEPARTMENT CONNECTIONS. A CLEAR AREA OF 5' SHALL BE MAINTAINED AROUND ALL FIRE DEPARTMENT CONNECTIONS.

GENERAL NOTES:

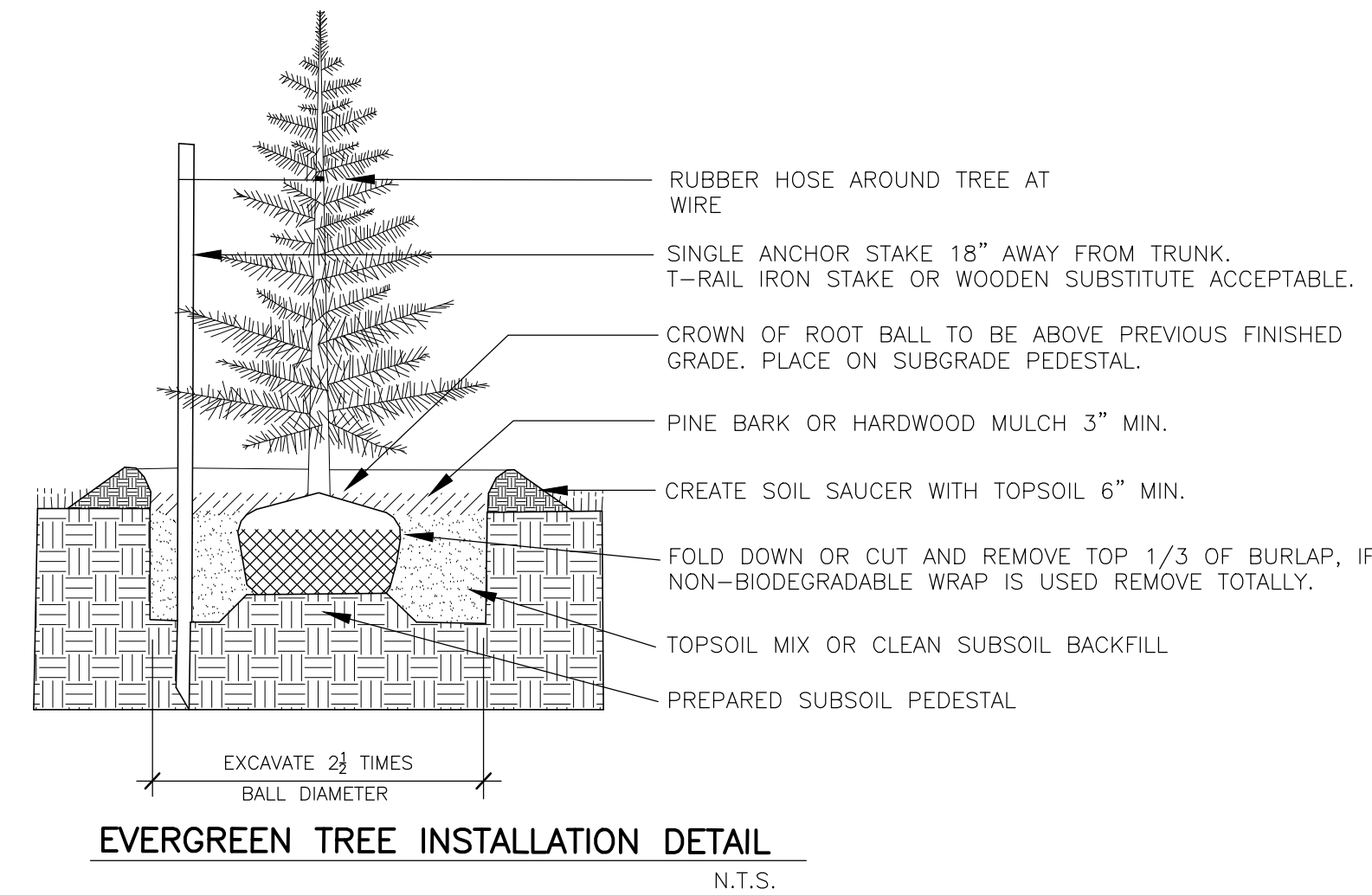
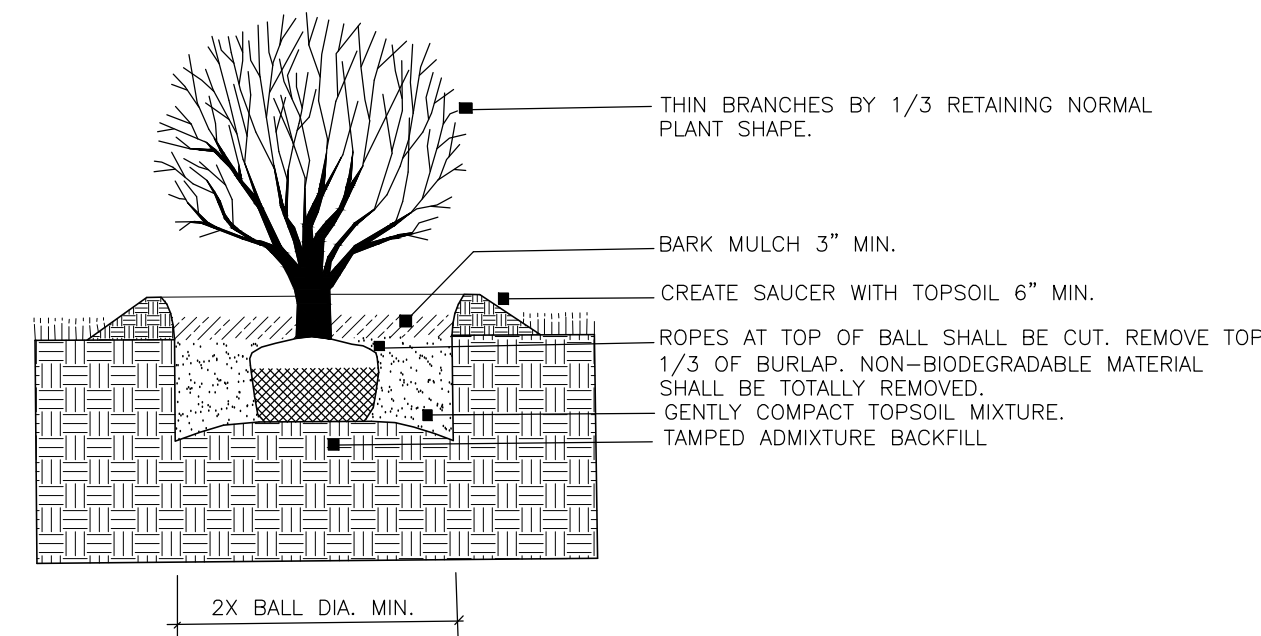
- 1.) ALL PLANTING SHALL BE IN ACCORDANCE WITH PROJECT DOCUMENTS.
- 2.) SIZE OF PLANTS INDICATED ON THIS SUMMARY SHEET REFER TO SIZE OF PLANTS DELIVERED TO THE PROJECT SITE.
- 3.) THE CONTRACTOR SHALL WATER ALL LIVING TREES DURING THE WARRANTY PERIOD; SEE WATERING SCHEDULE BELOW.
- 4.) LOCATION OF PLANT MATERIALS SHOWN ON THE PLANS ARE APPROXIMATE AND SHALL BE ADJUSTED AS REQUIRED FOR CHANGES DUE TO ACTUAL FIELD CONDITIONS WHEN DIRECTED BY THE LANDSCAPE ARCHITECT.
- 5.) ON CENTER SPACING OF PLANT MATERIAL SHALL BE INDICATED IN THE LANDSCAPE SUMMARY OR PLAN. UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
- 6.) THE LOCATION OF ALL PLANT MATERIAL SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATION OF PLANTING PITS AND/OR BEDS AND INSTALLATION OF ANY PLANT MATERIAL.
- 7.) THE MULCHING MATERIAL FOR THIS PROJECT SHALL BE SHREDDED HARDWOOD BARK.

TREE CARE NOTES:

- 1.) RICHMOND CITY TREE PLANTING SPECIFICATIONS SHALL BE FOLLOWED.
- 2.) ALL TREES TO MEET ANSI Z160 STANDARDS.
- 3.) ALL TREES SPECIFIED ARE BALLED AND BURLAPED. CONTAINER TREES ARE CONSIDERED SUBSTITUTES AND REQUIRE LANDSCAPE ARCHITECT APPROVAL PRIOR TO PLANTING.
- 4.) STAKES MUST BE REMOVED WITHIN 1 YEAR OF PLANTING.
- 5.) WHEN A BRANCH, STEM, OR LIMB IS BROKEN A CLEAN CUT AT THE SITE SHALL BE MADE.
- 6.) DEBRIS AND OTHER MATERIAL MAY NOT BE PLACED OR STORED AT THE BASE OF A TREE OR ANYWHERE OUTSIDE THE LIMIT OF WORK.
- 7.) DRIVING OR PARKING HEAVY EQUIPMENT ON THE BASE OF TREES SHALL BE AVOIDED WHENEVER POSSIBLE.
- 8.) STUMPS SHALL BE CUT AS CLOSE TO THE GROUND AS POSSIBLE.
- 9.) LANDSCAPE ARCHITECT SHALL APPROVE LOCATION OF ALL TREE PROTECTION FENCE.
- 10.) NO LARGE TREES SHALL BE PLANTED BENEATH WIRES.

WATERING SCHEDULE:

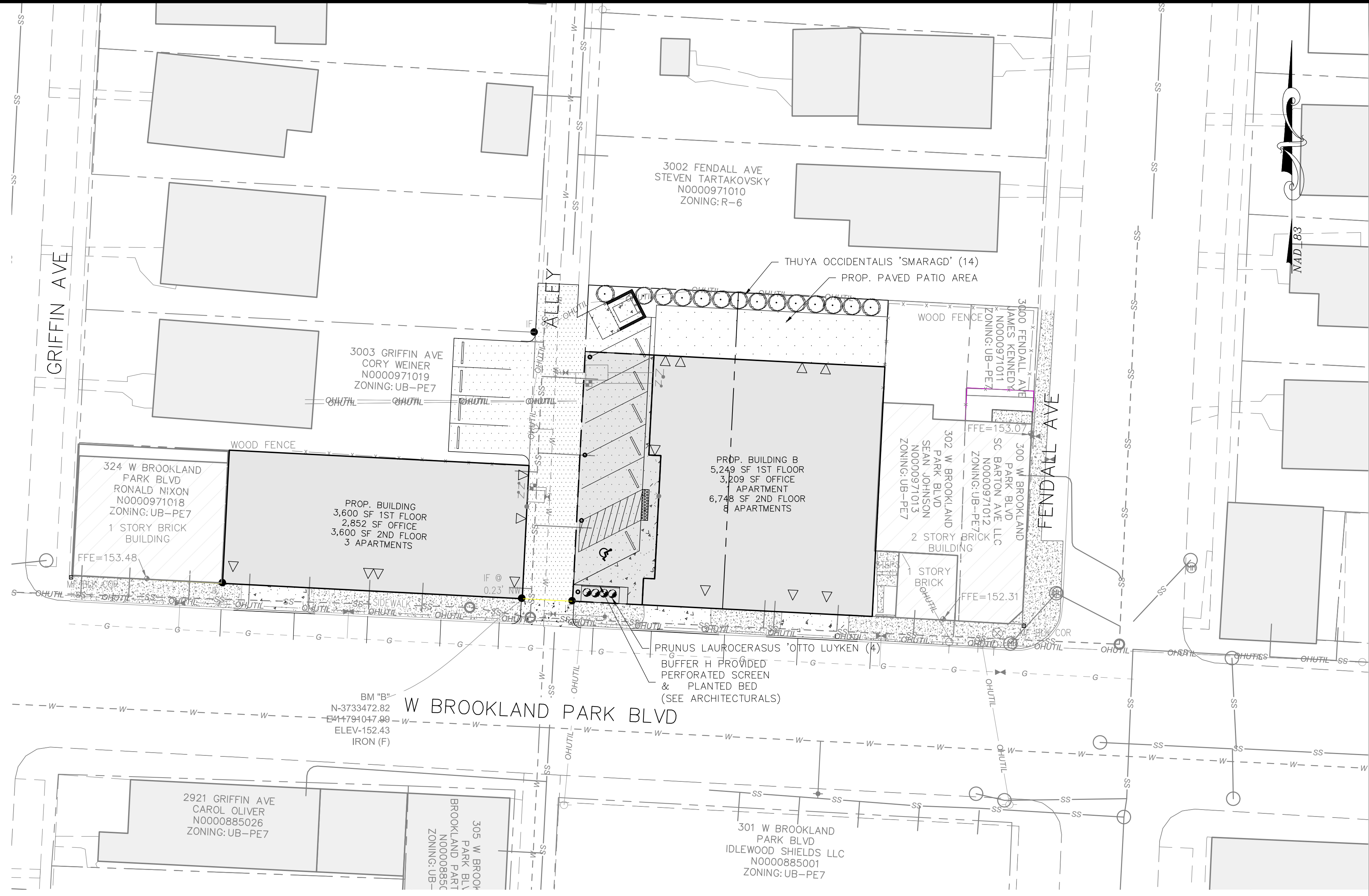
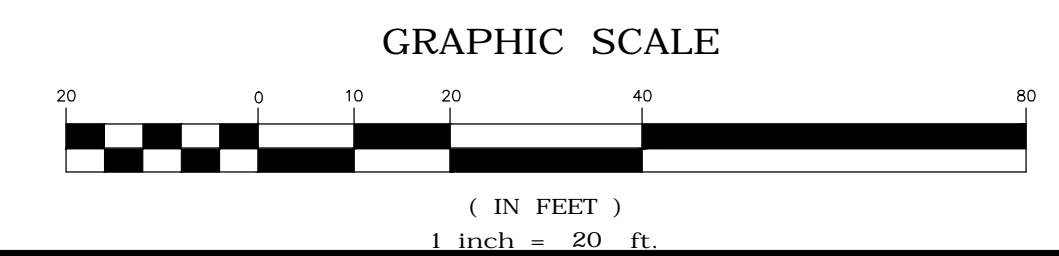
- 1.) DURING THE ESTABLISHMENT PERIOD THE CONTRACTOR SHALL WATER EACH PLANT WITH THE FOLLOWING MINIMUM QUANTITIES OF WATER FOR EACH WATERING, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 - DECIDUOUS TREES OVER 10' HT. - 12 GALLONS PER UNIT
 - DECIDUOUS TREES 10' HT. OR LESS - 6 GALLONS PER UNIT
 - EVERGREEN TREES - 8 GALLONS PER UNIT
- 2.) THE CONTRACTOR SHALL WATER ALL LIVING PLANTS EVERY 4 WEEKS DURING THE PERIOD BETWEEN APRIL 1 AND MAY 31, EVERY 2 WEEKS DURING THE PERIOD BETWEEN JUNE 1 AND SEPTEMBER 30, EVERY 4 WEEKS DURING THE PERIOD BETWEEN OCTOBER 1 AND NOVEMBER 30.



EVERGREEN TREE INSTALLATION DETAIL
N.T.S.

PLANT LIST

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES & SHRUBS					
○	4	PRUNUS LAUROCERASUS 'OTTO LUYKEN	OTTO LUYKEN LAUREL	2-3' HT.	BUFFER H REQUIREMENT
○	14	THUYA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	4-6' HT.	



310/322 BROOKLAND PARK BLVD
LANDSCAPE PLAN
BROOKLAND PARK DISTRICT CITY OF RICHMOND, VIRGINIA

REV. #	DATE	DESCRIPTION
REV# 1	3/29/2021	CITY COMMENTS
REV# 2	4/7/2021	CITY COMMENTS

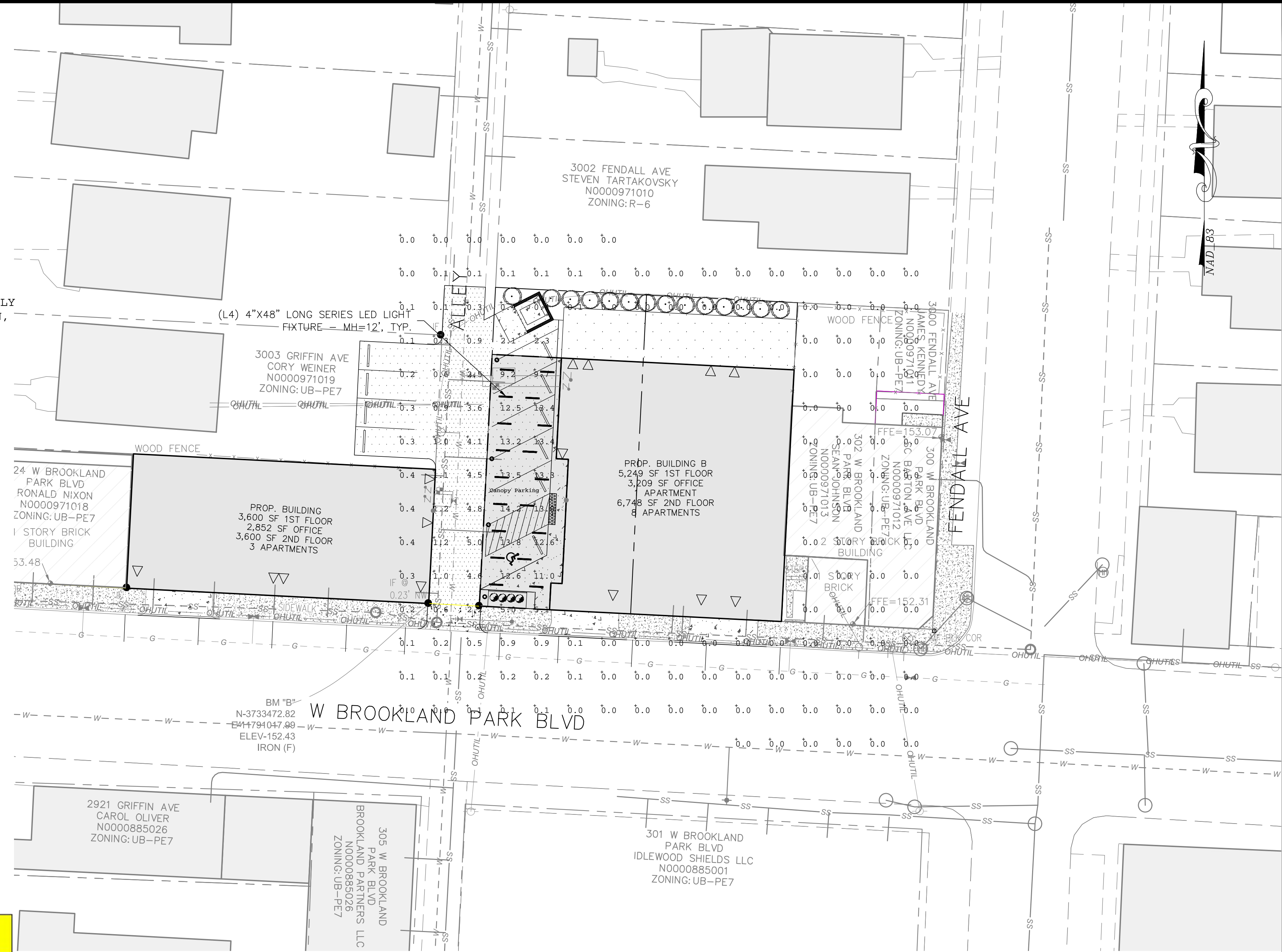
DESIGN BY: Andrew Bowman
CHECK BY: Jeff Staub
DRAWING SCALE: 1"=20'
DATE: 12/17/2020

SHEET
15
JOB #: 200407

Prepared by:
LIGHTING VIRGINIA CENTRAL
400G-2 Southlake Blvd.
Richmond, VA 23236
Tel: 804-379-7777
www.lightingvirginia.com

MH = mounting height in FEET
NOTES:

1. NO ALTERATIONS OR MODIFICATIONS SHALL BE MADE TO THIS PLAN WITHOUT THE PERMISSION OF LIGHTING VIRGINIA CENTRAL, ADAMS PARNELL, LLC.
2. THE OUTPUT ON THIS PHOTOMETRIC LAYOUT IS SPECIFIC TO THE MANUFACTURER AND CATALOG NUMBERS LISTED IN THE LUMINAIRE SCHEDULE. SUBSTITUTIONS OR DEVIATIONS FROM THIS PLAN MAY INCUR SIGNIFICANTLY DIFFERENT RESULTS. ANY SUBSTITUTIONS MUST RECEIVE ENGINEER AND ARCHITECT APPROVAL. REVIEW COSTS, REWORKED PHOTOMETRIC LAYOUTS, PRODUCT SUBMITTALS AND A FULL SET OF ITL REPORTS WILL SOLELY BE THE RESPONSIBILITY OF ANY CONTRACTING FIRM MAKING A SUBSTITUTION, AND MUST COMPLY WITH DESIGN CRITERIA AND WITH ANY APPLICABLE JURISDICTIONAL CODES.
3. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
4. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS AND SUPPLIED BY OTHERS TO LIGHTING VIRGINIA. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
5. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
6. CHECK GRAPHIC SCALE. DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.



SILVERCORE
LAND DEVELOPMENT CONSULTANTS
7110 FOREST AVENUE - SUITE 204 RICHMOND, VA 23226 (804) 282-6900

310/322 BROOKLAND PARK BLVD
LIGHTING PLAN
BROOKLAND PARK DISTRICT CITY OF RICHMOND, VIRGINIA

Submitted by Lighting Virginia Central
Job Name: 310 & 322 Brookland Park Site
Job Number: ML3WL-D-MO-K40-4-R-LOH-XX-XX-UNV-DIM1
Type: L4
LV-CENTRAL-13328

Microlinea Series 3 Direct Wet Location - LED
(Overall Width 3-17/32", Luminous Aperture 3-7/32")

ML3WL-D
Suspended, Ceiling, Recessed or Wall Mount - Wet Location (IP-65 Rated)
3-17/32" x 3-29/32" Direct (LED)

B.U.G. Ratings
(Blacklight / U.V. Light / Glass)
Wet Location - B1 - C1 - C2
Marine Output - B1 - C1 - C2

Light Engine
CSP - Sidelux LED modules available for 3000K, 3500K and 4000K CCT.

LED Module
Multiple White Low Power LED Emitting Diodes (LEDs) in a precise beam.

Wiring
All fixtures intended for continuous runs are provided with factory installed quick-connect wiring.

Mounting
All mounting components are aluminum or stainless steel. Standard finish for wall and ceiling assemblies is matte black. Stem/Canopy assemblies are painted to match fixture housing.

Options
CSP - Sidelux LED modules available for 3000K, 3500K and 4000K CCT.
High Output - 100% Total Delivered Lm. at 28 System Watts (Values per 4" using 4000K LED modules)
Medium Output - 100% Total Delivered Lm. at 17 System Watts (Values per 4" using 4000K LED modules)
Low Output - 100% Total Delivered Lm. at 10 System Watts (Values per 4" using 4000K LED modules)

Sample Catalog Number: ML3WL-D-HO-K40-4-R-LOH-F01M-EF-120-ZIM1-OPTIONS

PLEASE SELECT FINISH
PLEASE SELECT POWER FEED

Precision Architectural Lighting 4830 Timber Creek Drive Houston, Texas 77017
Tel: 713-946-6343 Fax: 713-946-4411 www.pal-lighting.com

Submitted by Lighting Virginia Central
Job Name: 310 & 322 Brookland Park Site
Job Number: ML3WL-D-MO-K40-4-R-LOH-XX-XX-UNV-DIM1
Type: L4
LV-CENTRAL-13328

Suspended/Ceiling/Recessed/Wall
ML3WL-D-HO-K40-LOH
Wet Location Direct-High Output
LED Optimized High Transmittance Lens
Catalog Number: ML3WL-D-HO-K40-4-R-LOH-120
Beam Number: ALJ4000092004A
Luminaire Description: Custom Aluminum Housing with White Aluminum Reflector and LED Optimized Acrylic Lens
LED Module: Multiple White Low Power LED Emitting Diodes (LEDs) in a precise beam.

Wet Location Direct-Medium Output
ML3WL-D-MO-K40-LOH
LED Optimized High Transmittance Lens
Catalog Number: ML3WL-D-MO-K40-4-R-LOH-120
Beam Number: ALJ4000092004A
Luminaire Description: Custom Aluminum Housing with White Aluminum Reflector and LED Optimized Acrylic Lens
LED Module: Multiple White Low Power LED Emitting Diodes (LEDs) in a precise beam.

ZONAL LUMEN SUMMARY

Zone	Lumens	%Total	0.5	2.5	45.0	87.5	90.0
0-30	900	25.0	5	1000	1200	1200	1200
0-40	1400	32.5	5	1240	1250	1250	1250
0-60	2200	62.5	10	1120	1160	1160	1160
0-90	3600	100.0	20	1050	1050	1050	1050
0-100	4	0.0	0	0	0	0	0
0-100	2600	100.0	40	600	600	600	600
			85	210	200	210	210
			75	140	120	140	90
			60	10	10	10	0
			0	0	0	0	0

lighting facts
Light Output (Lumens): 2683
Watts: 28.2
Lumens per Watt (Efficiency): 94.81
Color Accuracy: 83
Light Color: 4000 (Bright White)

lighting facts
Light Output (Lumens): 1713
Watts: 17.18
Lumens per Watt (Efficiency): 99.71
Color Accuracy: 83
Light Color: 4000 (Bright White)

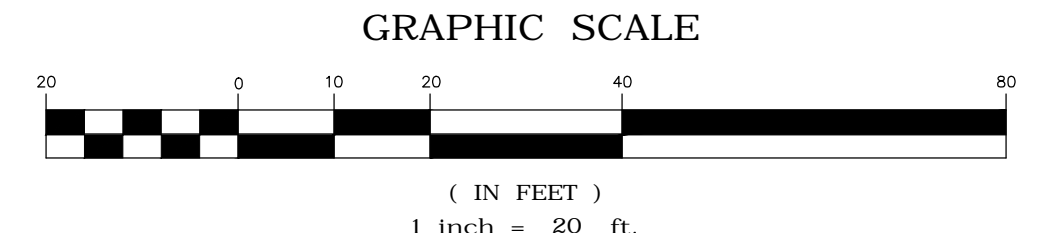
Precision Architectural Lighting 4830 Timber Creek Drive Houston, Texas 77017
Tel: 713-946-6343 Fax: 713-946-4411 www.pal-lighting.com

Luminaire Schedule

Symbol	Qty	Lum. Lumens	LLF	Label	[MANUFAC]	Description
	18	1713	0.950	L4	Precision Architectural Lighting, 4830 T	ML3WL-D-MO-K40-4-X-LOH-X-X-UNV

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Canopy Parking	Illuminance	Fc	11.59	14.2	5.0	2.32	2.84



CITY COMMENTS

REV.#	DATE	DESCRIPTION

DESIGN BY: Andrew Bowman
CHECK BY: Jeff Staub
DRAWING SCALE: 1"=20'
DATE: 12/17/2020

SHEET
16
JOB #: 200407



GENERAL PROJECT NOTES

- All work, materials, and equipment shall comply with 2015 Virginia Uniform Statewide Building Code and applicable local building codes. Where applicable, comply with all requirements of the 2010 ADA Standard for Accessible Design.
- The Contractor shall be responsible for obtaining & paying for all the required permits, inspections, etc.
- Contractor and all sub-Contractors shall take out & maintain workman's compensation insurance, and public liability & property damage insurance acceptable to the Owner & local governing authorities having jurisdiction.
- The Contractor shall be responsible for locating all existing underground utilities. Where encountered, make all necessary arrangements for support, shore-up, re-route or utility disconnections as required by applicable local or private utility companies.
- Contractor shall provide temporary facilities, service utilities, and protection as required to safely executing all work. Protect adjacent construction, and inhabitants. Comply with all applicable requirements of governing authorities including, but not limited to public utilities. When it is necessary to interrupt any existing utility service to make corrections and/or connection, a minimum of 48 hours advance notice shall be given to the Owner. Interruptions in utility services shall be of the shortest possible duration for the work at hand and shall be approved in advance by the Owner.
- Information shown on the drawings has been obtained through the review of information taken in the field. Contractor shall verify and coordinate all new and existing conditions and dimensions at job site for comparison with drawings and specifications prior to bidding, at start of, and during construction. If any discrepancies, inconsistencies or omissions are found, the Architect shall be notified, in writing for clarification prior to proceeding with work.
- Do not scale drawings. Contractor shall rely on written dimensions as indicated. The Contractor shall notify the Architect for clarifications. All dimensions shall be field verified by Contractor and coordinated with all of the work of all trades. If discrepancies are found, the Contractor shall notify the Architect in writing for clarification before proceeding.
- The Architect shall not be responsible where construction deviates from these drawings or from written recommendations. Changes to the plan by the Owner and/or Contractor shall be the responsibility of the persons making such changes.
- The Architect shall not be responsible for construction means, methods, techniques, sequences, or procedures, for safety precautions & programs in connection with the work, for the acts or omissions of the Contractor, subContractor, for any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents.
- All interior dimensions are to face of finished wall, unless noted otherwise. Interior partitions are dimensioned to nominal thickness on floor plans. See assembly types in 'A0' series drawings for nominal thickness information.
- Abbreviations throughout the plans are those in common use. Notify the Architect of any abbreviations in question. The abbreviation "AF" stands for "above finished floor". This indicates the dimension above the final floor finish [i.e. carpet, ceramic tile, VCT, etc.] The Contractor shall review and coordinate any required final floor finish with any heights required before the installation of the floor finish.
- Provide tempered glazing where glazing in fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within 24 inches of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 18 inches above the walking surface.
- Install all products in accordance with the manufacturer's instruction, recommendations & the standard of recognized agencies & associations. Provide all anchors, fasteners, & accessories required for a complete installation. Allow for thermal expansion/ contraction & building movement. Install products under appropriate environmental conditions [air temperature, surface temperature, relative humidity, etc.] To ensure quality and durability, maintain proper protection during material storage, installation, drying/curing.
- The Contractor shall, without delay & prior to fabrication or installation, bring to the attention of the Architect and Tenant representative (if applicable) any discrepancies between the manufacturer's specifications or recommendations, applicable code provisions, and the contract documents.
- Separate incompatible materials with suitable materials or spacing. Protect aluminum surfaces from contact with masonry or other metals and prevent corrosion. Provide control joints at materials & isolation joints between materials/ structure as indicated & as required by manufacturer or recognized industry standards. Provide suitable galvanic separation between all dissimilar metals.
- The Contractor shall select products which comply with the contract documents & which are compatible with one another, with existing work, & the products selected by other Contractors. Provide manufacturers information, samples, etc. when requested.
- Submission of a substitution request by the Contractor, where permitted on the contract documents, shall constitute a representation by the Contractor that he has investigated the proposed product or conditions & determined that it is equal to or better than the specified product or condition, including warranty coverage, & that he will coordinate the installation & make other changes, including modification and coordination of other work affected by the change, which may be required for their work to be complete in all aspects.
- Contractor shall check verify & maintain all dimensions, grades, levels & other conditions before proceeding with fabrication & construction. Coordinate exact locations of equipment, fixtures & outlets with finished elements. Where necessary or where specifically indicated, the Contractor shall provide shop drawings & detailed component design as required for the proper fabrication, installation, and coordination with other trades.
- Contractor shall provide Submittals [3 copies] for all fixtures, materials, and finishes, including but not limited to; Paint, Flooring, Wood Finishes, Panel Materials, Solid Surfaces, Door Hardware, Plumbing, and Lighting.
- Contractor shall provide building code compliant Engineered Shop Drawings [3 copies] for all structural work, including but not limited to; Sitework, Foundation & other Concrete Work, Expanded Masonry Openings, New Stairs and Guardrails, New Storefront and New Structural Framing.
- Contractor shall furnish shop drawings for all shop fabricated items & where customarily required & submit four sets of shop drawings for review. The Contractor shall be responsible for checking the shop drawings for accuracy, coordination with other trades, & compliance with the contract documents before being submitted for approval.
- Architect's or engineer's approval of shop drawings shall constitute review & approval of the general arrangement of components to comply with the general intent of the construction documents & in no way relieves the Contractor from his responsibility for compliance with the contract documents, even if such items are not shown on the shop drawings. All revisions to shop drawings after the first submission must be properly identified on subsequent submissions.
- Prior to performing any work, the Contractor shall examine the applicable conditions & substrates & correct any unsatisfactory conditions before proceeding with the work. Verify that substrates are compatible with new work. Work performed over any surface constitutes acceptance of that surface for the specified quality of the work being performed thereon. Include all cutting & patching for penetrations through floors, walls ceilings and roofs. Do not cut or notch any structural member to reduce its load carrying capacity.
- Notify the Architect in all cases where cutting into an existing structural portion of any building is either expedient or necessary. Prior to proceeding with work, reinforcement and/or support satisfactory to Architect and structural engineer shall be provided by Contractor prior to cutting into structural portions of any building.
- Should unforeseen conditions be encountered that affect design or function of the project, Contractor shall investigate fully and notify the Architect immediately.

- Contractor shall fill all voids in masonry and concrete created around all penetrations with construction to match surrounding conditions. Contractor is responsible for painting all exposed steel, decking, piping, conduit, sprinkler piping and ducts which are exposed in areas with no ceilings and scheduled to receive paint finish as indicated on interior finish notes.
- Contractor shall follow OSHA Lead Paint Inspection and Compliance Procedures [OSHA 29CFR 1926.62] if lead paint is encountered on the job site.
- Any work installed in conflict with the contract documents shall be corrected by the Contractor at his expense and at no additional expense to the Owner, Architect, or Consultants.
- The Contractor shall furnish all materials, labor, equipment, transportation and services necessary for the satisfactory completion of work unless designated (N.I.C.).
- The Contractor shall protect all finish work and surfaces from damage during the course of construction and shall replace and/or repair all damaged surfaces caused by Contractor or Sub-contractor personnel to the satisfaction of the Owner and Architect.
- All Contractors performing work on the premises shall be responsible for initiating, maintaining and supervising a reasonable and prudent safety program including but not limited to the isolation of work areas and the prompt removal of any debris or tools which might endanger visitors and staff of the Owner or Architect.
- Contractor shall coordinate the installation of the various trade items within the space above all ceilings [including, but not limited to; structural members, mechanical ducts and insulation, conduits, raceways, sprinkler system, light fixtures, ceiling systems, and any special structural supports required] and shall be responsible for maintaining the finish ceiling height above the finish floor indicated in the drawings and the finish schedule. [Ceiling height dimensions are to the finish surface of ceiling].
- Contractor shall provide and install all blocking, stiffeners, back-up plates and supporting brackets required for the installation of all ceilings, casework, toilet accessories and of all floor-mounted, wall-mounted, or suspended mechanical and electrical equipment.
- Access panels shall be provided and installed wherever required by building code or for the proper operation or maintenance of mechanical or electrical equipment, whether or not indicated on the drawings. Contractor shall coordinate size, location, and type of access panel with other Contractors' work and receive approval of the Architect. Access panel shall be as specified. No access panel shall be located, framed or installed without the expressed approval of the Architect.
- Required exits shall not be blocked at any time. All exit doors shall open from the inside without the use of a key or any special knowledge or effort and shall be accessible per current ADA guidelines.
- All exit doors serving the building shall swing in the direction of exit travel, when required by code. Provide approved panic hardware assemblies on all exit doors, where required by code.
- Provide illuminated exit sign at all required exits signs at all required exits and where otherwise necessary in order to indicate the direction of egress. Signs are to be illuminated at any time the building is occupied. The exit sign system is to be installed in accordance with the requirements of the electrical code.
- Provide an approved emergency exit lighting which illuminates all exit pathways an which receives its power supply from storage batteries or an emergency power generator.
- All electrical work shall be carried out by a licensed electrician only. All work shall conform to the provisions of the National Electric Code of NFPA, latest edition.
- All plumbing work shall be carried out by a licensed plumber. All equipment and fixtures to conform to the National Standard Plumbing Code, latest edition.
- All Sub-contractors are responsible for maintaining the integrity of fire-rated assemblies that their scope of work penetrates.
- The Contractor shall verify all electrical and plumbing rough-in locations for any special equipment with the supplier of such equipment.
- See Mechanical, Electrical and Plumbing drawings for layouts of and specifications for equipment and design of these respective systems. Information included but not limited to lighting, wiring, switching, HVAC, and sprinkler systems.
- Contractor shall notify the Owner and Architect (if applicable) of any conflicts with lighting fixtures, fire sprinklers, and HVAC grills to be located on suspended ceiling grid system prior to installation.
- Contractor shall coordinate locations of light fixtures, sprinkler heads, registers, etc. with the electrical, HVAC, plumbing, and sprinkler sub-Contractors. Contractor shall also coordinate light fixtures, sprinkler heads, registers, etc. All sprinkler heads, diffusers and registers shall be centered with suspended acoustical panels, unless other wise noted on drawings.
- Where switches are shown adjacent to each other, they shall be ganged and covered with a single plate.
- The Contractor shall prepare & maintain a complete set of record construction drawings indicating all actual work, modification & revisions to the work delineated on the construction drawings as well as any concealed construction work.
- Contractor shall procure final certificate of occupancy upon substantial completion of the project and forward to the Owner. Contractor shall remove and legally dispose of all materials from the job site, clean the premises, test applicable systems, and leave ready for occupancy.
- Unless otherwise indicated, Contractor is to provide written warranty for a period of one year from the date of substantial completion. The warranty shall state all work has been completed in conformance with the contract documents, applicable codes, and enforcing authorities and that all work is free from defects of material and workmanship. Provide contact information of product representatives to be contacted for service, provide operating maintenance brochures, and guarantees as required.
- Drawings and specifications as instruments of service remain the property of Architect and are protected under common law copyright provisions. They are not to be reused except by written agreement and with the agreed compensation to the Architect. If used without permission, the Architect shall be indemnified and held harmless from all liability, legal exposure, claims, damages, losses & expenses. Drawings shall not be used for issuance of a building permit unless signed & sealed by the Architect
- The Contractor shall provide submittals for all equipment and all finish material throughout the project. Submittals and Shop Drawings should be in legible pdf format. Scanned copies of drawings will not be accepted where originals are available.
- The Contractor shall provide samples of all finish material throughout the project prior to releasing material for procurement or fabrication. All panel or sheet material shall be 24" x 24". All masonry, stone, precast cement, or otherwise unit masonry shall be full size with specified finish. All Flashing, Extrusion, Bar stock, Grille, or otherwise linear material shall be 24" long minimum. If material or finish is is expected to have a 'range', the contractor shall provide sufficient material to indicate the range expected from finish installation.

MATERIAL LEGEND

GLASS	CEMENT PANEL	CERAMIC TILE
INSULATED EXTERIOR GLASS: 6MM (1/4") HEAT-STRENGTHENED OUTSIDE LITE LOW E COATING PER ARCHITECT AND OWNER REVIEW @ SURF #2 12MM (1/2") STAINLESS STEELWARM EDGE AIR SPACER - BLACK 6MM (1/4") HEAT-STRENGTHENED INSIDE LITE	ARCHITECTURAL FIBER CEMENT RAINSCREEN PANEL - FACTORY FINISH TO MATCH PT03 - VERTICAL GRAIN ORIENTATION - JAMES HARDIE 'ASPYRE' / 'ARTISAN' LINE OR ACCEPTABLE ALTERNATE	XXX CERAMIC TILE - [INSERT LOCATION]
FULLY TEMPERED INSULATED EXTERIOR GLASS: 6MM (1/4") FULLY TEMPERED OUTSIDE LITE LOW E COATING PER ARCHITECT AND OWNER REVIEW @ SURF #2 12MM (1/2") STAINLESS STEELWARM EDGE AIR SPACER - BLACK 6MM (1/4") FULLY TEMPERED INSIDE LITE	PAINT	XXX CERAMIC TILE - [INSERT LOCATION]
3/8" THK MONOLITHIC FULLY TEMPERED GLASS @ INTERIOR STOREFRONT DOORS & WINDOWS	SHERWIN WILLIAMS 'XXX WHITE' TO MATCH ARCHITECT SAMPLE	SOLID SURFACE MATERIAL
ALUMINUM	SHERWIN WILLIAMS 'XXX BLACK' TO MATCH ARCHITECT SAMPLE	XXX SOLID SURFACE TYPE 01 - SOLID HORIZONTAL SURFACES
2MM (1/16" THK) PTD ALUM EXT CLADDING TRIM & FLASHING - FINISH TO MATCH ARCHITECT SAMPLE: PRISMATIC POWDER CRYSTAL GRAY PFM 5913 - HIGH PERFORMANCE - SHOP APPLIED	SHERWIN WILLIAMS 'XXX GRAY' TO MATCH ARCHITECT SAMPLE	XXX SOLID SURFACE TYPE 02 - VANITY SURFACES
2MM (1/16" THK) PTD ALUM EXT CLADDING TRIM & FLASHING - RAL 9007 'GRAY ALUMINUM' FINISH TO MATCH ARCHITECT SAMPLE - HIGH PERFORMANCE - SHOP APPLIED	CONCRETE	LAMINATE SURFACE MATERIAL
METAL	ARCHITECTURAL GRADE CAST-IN-PLACE CONCRETE - REFER TO SPECIFICATIONS	XXX LAMINATE SURFACE TYPE 01 [THICKNESS] - MANUFACTURER AND PRODUCT LINE
XXMM (XX' THK) EXTERIOR CLADDING TRIM - XXX FINISH TO MATCH ARCHITECT SAMPLE	PRECAST CONCRETE PAVERS	XXX LAMINATE SURFACE TYPE 02 [THICKNESS] - MANUFACTURER AND PRODUCT LINE
XXMM (XX' THK) EXTERIOR CLADDING TRIM - XXX FINISH TO MATCH ARCHITECT SAMPLE	PRECAST ARCHITECTURAL PAVER - 18" X 36" HANOVER 'PREST SERIES CUSTOM SUPER BLACK' - SAND / GROUT SET	ACOUSTIC CEILING PANEL
METAL PANEL	ROOF ASSEMBLIES	ACOUSTIC CEILING PANEL TYPE 01 - [MFR] [PRODUCT LINE] [INSERT FINISH] - [INDICATE SUSPENSION SYSTEM]
XXMM (XX' THK) [METAL] CLADDING PANEL - [FINISH DESCRIPTION]	SHEET APPLIED MEMBRANE ROOFING OVER CONT. INSULATION - GAF EVERGUARD OR ACCEPTABLE ALT. TO MEET CODE MIN SRI REQUIREMENT	ACOUSTIC CEILING PANEL TYPE 02 - [MFR] [PRODUCT LINE] [INSERT FINISH] - [INDICATE SUSPENSION SYSTEM]
XXMM (XX' THK) [METAL] CLADDING PANEL - [FINISH DESCRIPTION]	UNIT MASONRY	WOOD [INT]
XXMM (XX' THK) [METAL] CLADDING PANEL - [FINISH DESCRIPTION]	UNIT MASONRY FACEBRICK - NORMAN BRICK RUNNING BOND - REVEALS, ATYPICAL BONDS & WYTHES PER ARCH DRAWINGS - THROUGH-BODY BRICK MATRIX TO MATCH RIVERSIDE BRICK SUPPLY 'FORT WASHINGTON ANTIQUED FLASHED' - MORTAR TBD	XX' THK X' X' RIFT SAWN [WOOD SPECIES] FLOORING TO MATCH ARCHITECT SAMPLE - TYP FLOOR SURFACES
XXMM (XX' THK) [METAL] CLADDING PANEL - [FINISH DESCRIPTION]	UNIT MASONRY FACEBRICK - NORMAN BRICK RUNNING BOND - REVEALS, ATYPICAL BONDS & WYTHES PER ARCH DRAWINGS - THROUGH-BODY BRICK MATRIX TO MATCH RIVERSIDE BRICK SUPPLY '323 GRAY COMMERCIAL' - MORTAR TO MATCH	XX' THK X' X' RIFT SAWN [WOOD SPECIES] WALL PANELING TO MATCH ARCHITECT SAMPLE - TYP FLOOR SURFACES
UNIT MASONRY	LAMINATE WALL PANNELLING TO MATCH ARCHITECT S SAMPLE	LAMINATE PANNELLING, MILLWORK, CABINETRY COMPONENTS TO MATCH ARCHITECT SAMPLE

BUILDING CODE AND ZONING DATA

ZONING: UB-PE7 [URBAN BUSINESS DISTRICT]	FIRE SUPPRESSION: A NEW FULLY AUTOMATED FIRE SUPPRESSION SYSTEM WILL BE INSTALLED.
APPLICABLE CODE: 2015 VIRGINIA UNIFORM STATEWIDE BUILDING CODE	FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS [PER TABLE 601]
VUSBC OCCUPANCY GROUP CLASSIFICATION:	STRUCTURAL FRAME
EXISTING USE: VACANT LOT	EXTERIOR BEARING WALLS 1
PROPOSED USE: B-BUSINESS / R-2 RESIDENTIAL	INTERIOR BEARING WALLS 1
GROSS BUILDING AREA [310]: 11,816 SF	NON-BEARING EXTERIOR WALLS 0
GROSS BUILDING AREA [322]: 7,200 SF	NON-BEARING INTERIOR WALLS 0
VUSBC CONSTRUCTION CLASSIFICATION: V-A	FLOOR CONSTRUCTION 1
REQUIRED PLUMBING FIXTURES NO. 2 PER BUSINESS SPACE & 1 PER APARTMENT	ROOF CONSTRUCTION 1
REQ D. [17 TOTAL TOILETS + LAVATORIES PROVIDED]	ALLOWABLE HEIGHT AND BUILDING AREAS [VUSBC SECTION 504]
OCCUPANCY: B-BUSINESS / R-2 RESIDENTIAL	BUILDING HEIGHT FOR TYPE V-A CONSTRUCTION [503] = [70 FEET / 4 STORIES]
310 COMMERCIAL SPACE: 3,550 GROSS SF @ 1:100 = 36 TOTAL OCCUPANTS / 2 - 18 MALE & 18 FEMALE	ACTUAL BUILDING HEIGHT = [28 FEET / 2 STORIES]
322 COMMERCIAL SPACE: 3,220 GROSS SF @ 1:100 = 33 TOTAL OCCUPANTS / 2 - 17 MALE & 17 FEMALE	ALLOWABLE BUILDING HEIGHT =
WATER CLOSETS @ 1/25 FOR FIRST 50 PERSONS: 1 PER SEX [2 TOTAL / 2 PROVIDED]	ALLOWABLE AREA PER FLOOR FOR TYPE V-A CONSTRUCTION [503] = 36,000 SF [NOT TAKEN]
LAVATORIES @ 1/40 FOR FIRST 80: 1 PER SEX [2 TOTAL / 2 PROVIDED]	ALLOWABLE AREA INCREASE DUE TO STREET FRONTAGE [506.2] = [NOT TAKEN]
DRINKING FOUNTAINS @ 1/100: [1 TOTAL / 1 PROVIDED]	ALLOWABLE AREA INCREASE FOR AUTOMATIC SPRINKLER SYSTEM = 36,000 SF
SERVICE SINK: [1 TOTAL / 1 PROVIDED]	ACTUAL AREA PER FLOOR LEVEL 01 [310 BUILDING]: 4,940 SF [GROSS]
*NOTE - BLDG 'B' COMMERCIAL TENANT SPACE PLUMBING INFO TO BE VERIFIED UPON TENANT UPFIT	ACTUAL AREA PER FLOOR LEVEL 02 [310 BUILDING]: 6,710 SF [GROSS]
	ACTUAL AREA PER FLOOR LEVEL 01 [322 BUILDING]: 3,600 SF [GROSS]
	ACTUAL AREA PER FLOOR LEVEL 02 [322 BUILDING]: 3,600 SF [GROSS]
	MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT [1004.1.1]
	FUNCTION FLOOR AREA FLOOR AREA/OCC OCCUPANTS
	310 BUILDING [AREA] SF 1:100 [OCCUPANT #]
	B-BUSINESS [AREA] SF 1:200 [OCCUPANT #]
	R-2 RESIDENTIAL [AREA] SF 1:200 [OCCUPANT #]
	322 BUILDING [AREA] SF 1:100 [OCCUPANT #]
	B-BUSINESS [AREA] SF 1:200 [OCCUPANT #]
	R-2 RESIDENTIAL [AREA] SF 1:200 [OCCUPANT #]

ABBREVIATIONS

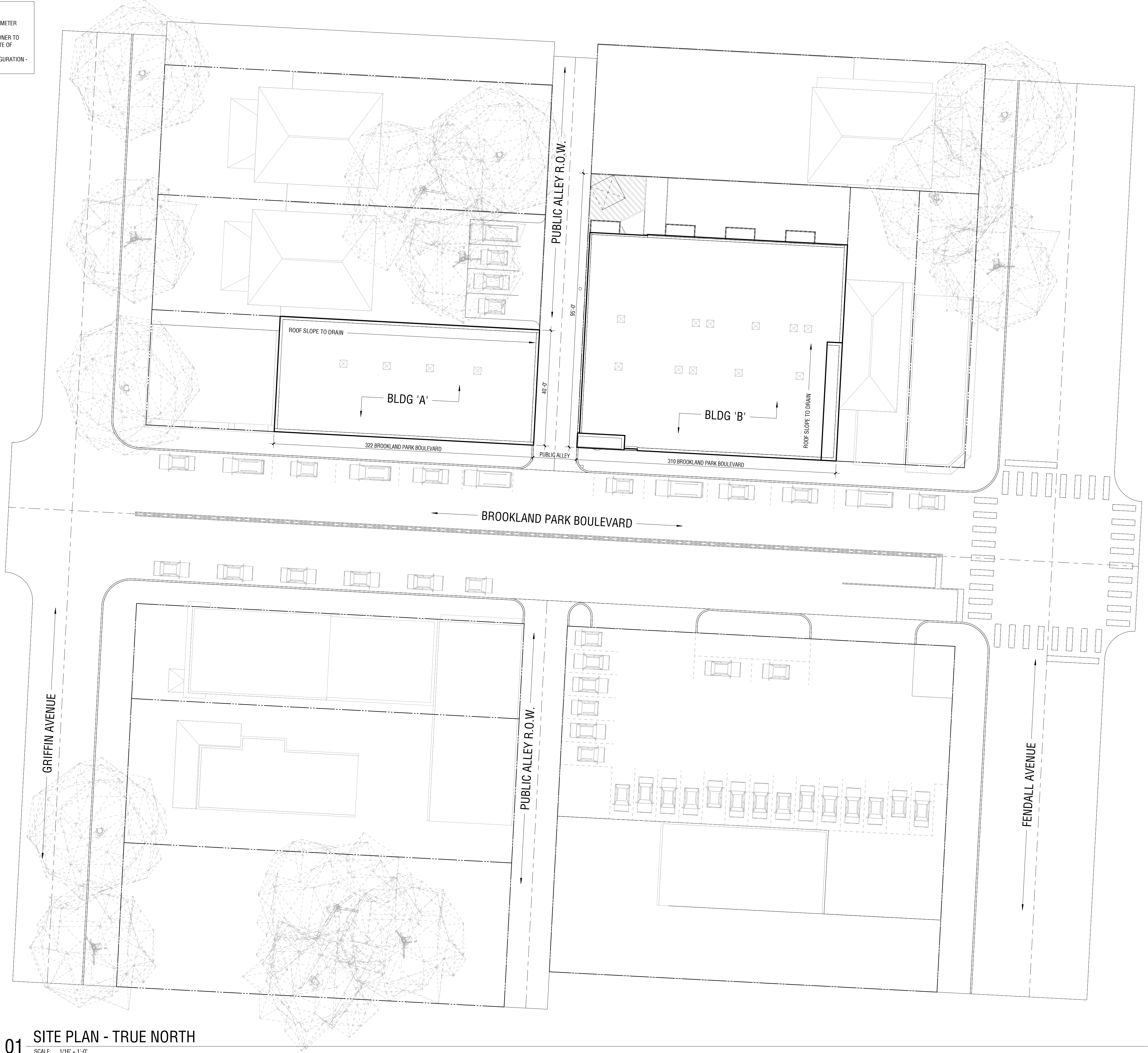
A.C.T. ACOUSTICAL CEILING TILE	DOB DEPARTMENT OF BUILDINGS	GC GENERAL CONTRACTOR	NIC NOT IN CONTRACT	SHT SHEET
ABV ABOVE	DWG DRAWING	GWB GYPSUM WALL BOARD	NO NUMBER	SIM SIMILAR
ADDL ADDITIONAL	E.O.S EDGE OF SLAB	GX GENERAL EXHAUST	NOM NOMINAL	SOE SUPPORT OF EXCAVATION
ADJ ADJUSTABLE	EA EACH	H.P HIGH POINT	NTS NOT TO SCALE	SP STAIR PRESSURIZATION
AFF ABOVE FINISHED FLOOR	EC ELECTRICAL CLOSET	H.M HOLLOW METAL	O.C ON CENTER	SPEC SPECIFICATION
AHU AIR HANDLING UNIT	EJ EXPANSION JOINT	HORIZ HORIZONTAL	OA OUTSIDE AIR	SQ. FT SQUARE FEET
ALT ALTERNATE	ELE ELEVATION	HVAC HEATING, VENTILATING, & AIR CONDITIONING	OAI OUTSIDE AIR INTAKE	STC SOUND TRANSMISSION CLASS
ARCH ARCHITECTURAL	ELEC ELECTRICAL	IN INCH / INCHES	OPNG OPENING	STD STANDARD
AVG AVERAGE	EMER EMERGENCY	INCL INCLUDE	OPP OPPOSITE	STL STEEL
AXON AXONOMETRIC	EMR ELEVATOR MACHINE ROOM	INSUL INSULATION	OPP HAND OPPOSITE HAND	STR STORAGE
B.O BOTTOM OF	ENCL ENCLOSURE	INT INTERIOR	OVHD OVERHEAD	STR STRUCTURAL
BD BOARD	ENG MTL FAB ENGINEERED METAL FABRICATION	JB JAMB	PA PUBLIC ADDRESS	SUSP SUSPENDED
BLDG BUILDING	EQ EQUAL	JC JANITOR'S CLOSET	PART PARTIAL	SVC SERVICE
BLKG BLOCKING	EQPT EQUIPMENT	KIT KITCHEN	PASS PASSENGER	SK SMOKE EXHAUST
BPB BUILDER'S PAVEMENT PLAN	ESC ESCALATOR	KX KITCHEN EXHAUST	PERF PERFORATED	SYM SYMMETRICAL
BTM BOTTOM	EVTR ELEVATOR	L.P LOW POINT	PL PROPERTY LINE	T TREAD
CJ CONTROL JOINT	EXG EXISTING	LAM LAMINATED	PLBG PLUMBING	T.O. STL TOP OF STEEL
CL CENTER LINE	EXP EXPOSED	LAV LAVATORY	PLT PLATE	T.O.S TOP OF SLAB
CLG CEILING	EXT EXTERIOR	LBS POUNDS	PML PANEL	TEN TENANT
CLG HT CEILING HEIGHT	F.F FINISHED FLOOR	LVR LOUVER	POL POLISHED	TOFF TOP OF FINISHED FLOOR
CLS CLOSET	F.O.B FACE OF BUILDING	MACH MACHINE	PSF POUNDS PER SQUARE FOOT	TOPG TOPPING
CLR CLEAR	F.O.F FACE OF FINISH	MAINT MAINTENANCE	PSI POUNDS PER SQUARE INCH	TYP TYPICAL
CMU CONCRETE MASONRY UNIT	F.O.G FACE OF GLASS	MANU MANUFACTURED	PTD PAINTED	U.O.N UNLESS OTHERWISE NOTED
COL COLUMN	FA FIRE ALARM	MATL MATERIAL	PTN PARTITION	V.I.F VERT IN FIELD
COL L COLUMN LINE	FD FLOOR DRAIN	MAX MAXIMUM	QTY QUANTITY	VERT VERTICAL
CONC CONCRETE	FE FIRE EXTINGUISHER	MECH MECHANICAL	R RISER	VEST VESTIBULE
CONT CONTINUOUS	FEC FIRE EXTINGUISHER CABINET	MEZZ MEZZANINE	R.O ROUGH OPENING	VOL VOLUME
CW CURTAIN WALL	FLR FLOOR	MGMT MANAGEMENT	RA RETURN AIR	W WITH
DEG DEGREE	FNDR FOUNDATION	MH MANHOLE	RAD RADIUS	W/O WITHOUT
DEP DEPT OF ENVIR PROTECTION	FPS FIRE PULL STATION	MIN MINIMUM	RCP REFLECTED CEILING PLAN	WP WORKING POINT
DEPT DEPARTMENT	FT FOOT / FEET	MISC MISCELLANEOUS	REF REFER TO	
DETL DETAIL	FTG FOOTING	MTD MOUNTED	REIN REINFORCED / REINFORCEMENT	
DIAG DIAGONAL	FUTR FUTURE	MTL FAB METAL FABRICATION	RM ROOM	
DIFF DIFFUSER	FW FIRE WARDEN PHONE	MTL METAL	S.S STAINLESS STEEL	
DIV DIVISION	GA GAUGE	MULL MULLION	SA SUPPLY AIR	
DN DOWN	GALV GALVANIZED		SCHED SCHEDULE	

PROJECT NARRATIVE - ARCHITECTURAL

The Brookland Park Boulevard Mixed Use project is an urban infill project on a lot previously used as a car wash and surface parking. The new ground-up project intends to extend the ongoing revitalization of the Brookland Park Boulevard Commercial Corridor by providing generous new street-facing commercial spaces with modern 1 and 2 bedroom rental apartment units above. The 310 building will offer covered parking screened from Brookland Park Boulevard by a custom metal perforated screen and planted area. The building will also take advantage of the rear setback to provide outdoor patio space to be shared by the commercial and residential tenants as an amenity.

The facades of each building are designed to proportionally blend with the immediate neighboring existing structures along Brookland Park Boulevard, and each building will be clad in brick, keeping with the weight, texture, and tone of the surrounding commercial context. Storefront zones will be capped with expressed lintels, and residential windows within the contextual brick clad areas will have expressed and exposed head and sill details as well as muntin treatments to help the building fit into the existing context.

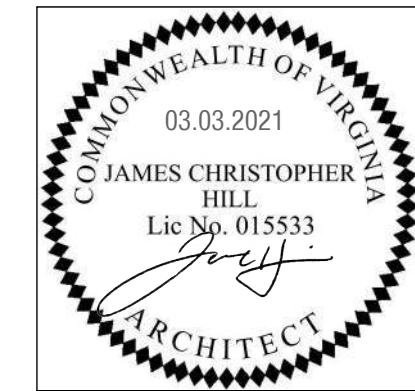
SITE PLAN GENERAL NOTES:
 1. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION, PERIMETER SCREENING & BUFFERS, DRAINAGE PLAN, ETC
 2. PARKING COUNT NOT MET AS-OF-RIGHT WILL BE RENTED - OWNER TO COORDINATE & PROVIDE DOCUMENTATION PRIOR TO CERTIFICATE OF OCCUPANCY
 3. REFER TO CIVIL DRAWING FOR DUMPSTER ENCLOSURE CONFIGURATION - COORDINATE FINISH WITH ARCHITECT



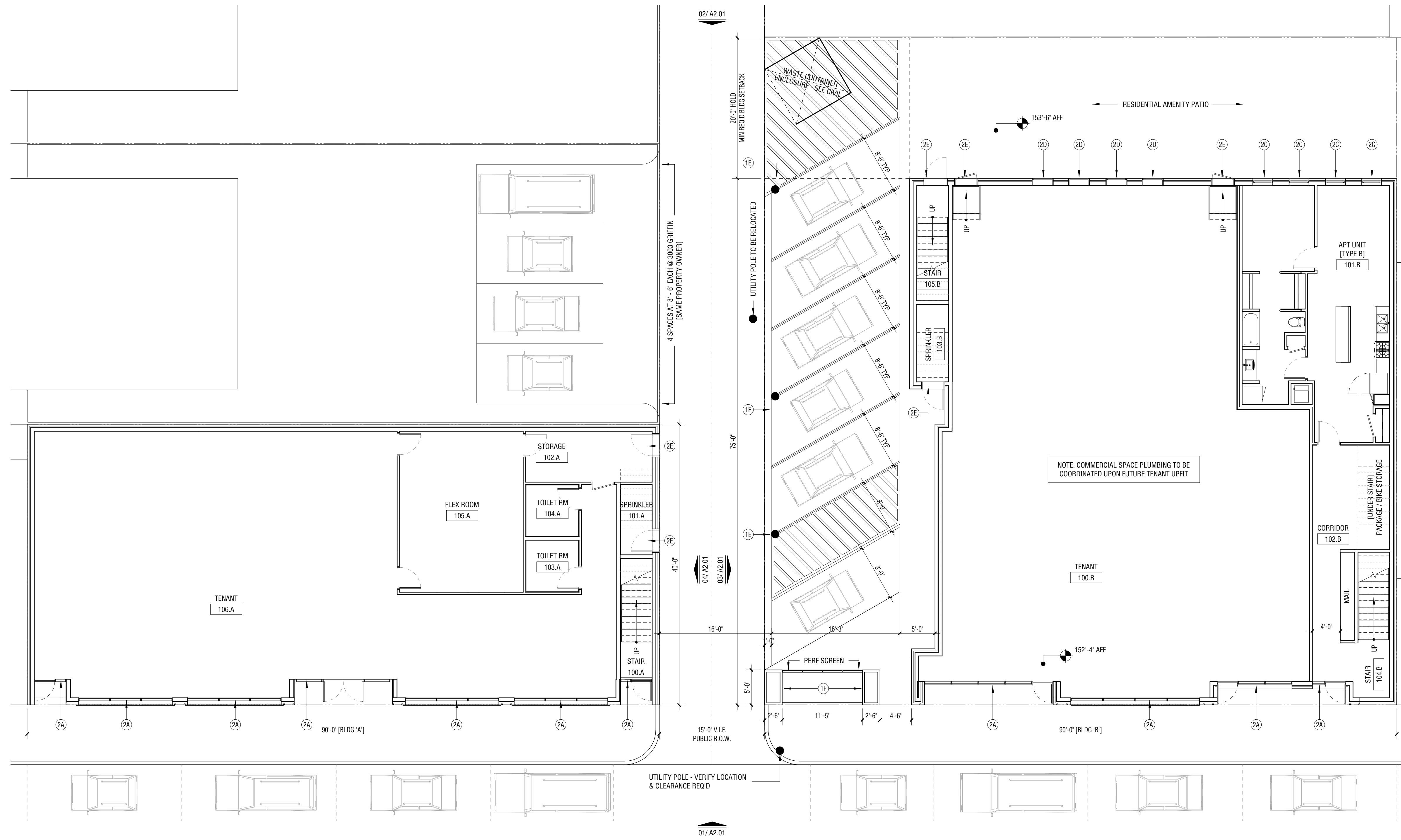
01 SITE PLAN - TRUE NORTH
 SCALE: 1/16" = 1'-0"

BPB MIXED USE

310 & 322 BROOKLAND PARK
 BOULEVARD
 RICHMOND, VA 23222



JOB NUMBER / PJN	ISSUE DATE / 03/03/2021	SCALE / 1/16" = 1'-0"	DRAWN / 	CHECKED / 	# REVISION	DATE
SHEET / AS.01	SITE PLAN - TRUE NORTH					



01 PLAN - LEVEL 01

SCALE: 1/8" = 1'-0"

RM SCHEDULE - BLDG A

LEVEL 01			
100.A	STAIR	79 SF	
101.A	SPRINKLER	45 SF	
102.A	STORAGE	130 SF	
103.A	TOILET RM	55 SF	
104.A	TOILET RM	55 SF	
105.A	FLEX ROOM	402 SF	
106.A	TENANT	2450 SF	

LEVEL 02			
200.A	CORRIDOR	289 SF	
201.A	APT UNIT	773 SF	
202.A	APT UNIT	995 SF	
203.A	APT UNIT	1079 SF	

RM SCHEDULE - BLDG B

LEVEL 01			
100.B	TENANT	3386 SF	
101.B	APT UNIT [TYPE B]	712 SF	
102.B	CORRIDOR	276 SF	
103.B	SPRINKLER	50 SF	
104.B	STAIR	98 SF	
105.B	STAIR	74 SF	

LEVEL 02			
200.B	CORRIDOR	674 SF	
201.B	APT UNIT	664 SF	
202.B	APT UNIT	654 SF	
203.B	APT UNIT	654 SF	
204.B	APT UNIT	658 SF	
205.B	APT UNIT	664 SF	
206.B	APT UNIT	682 SF	
207.B	APT UNIT	674 SF	
208.B	APT UNIT	683 SF	

GENERAL SHEET NOTES

DRAWING NOTES

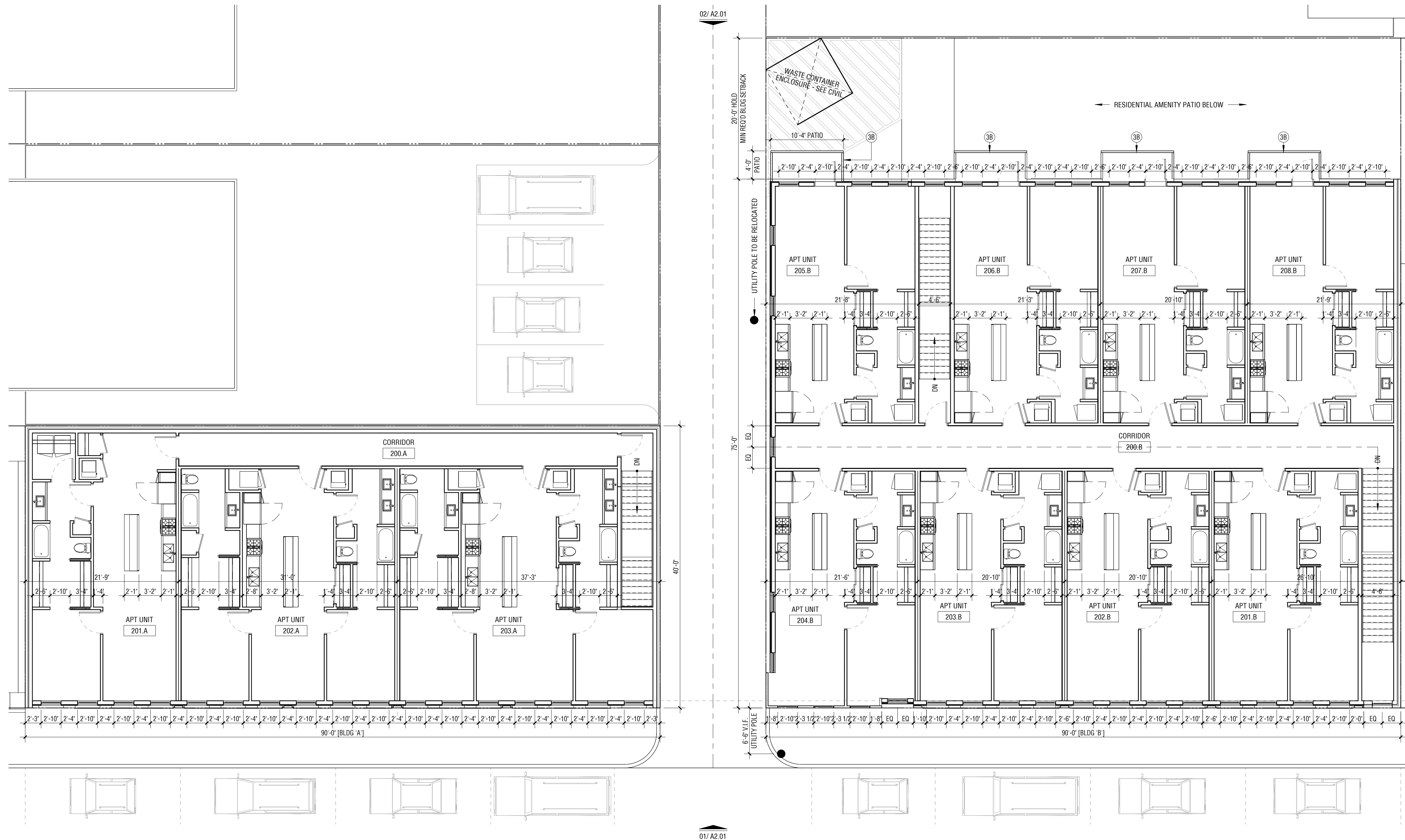
- 1A UNIT MASONRY WALL W/ RELIEF FEATURES AS INDICATED (UM01/UM02)
- 1B FIBER-CEMENT ARCHITECTURAL CLADDING PANEL (CP01)
- 1C PERFORATED METAL PANEL CLADDING ASSEMBLY - PATTERN T.B.D. - FINISH TO MATCH PT03
- 1D TENANT SIGNAGE TO BE INSTALLED IN ENTRY RECESSED SOFFIT AREAS - PROVIDE BLOCKING & ELECTRICAL CONNECTION AS NEEDED
- 1E EXPOSED STRUCTURAL COLUMN - SIZE T.B.D.
- 1F PLANTER BED IN FRONT OF SCREEN TO MEET MINIMUM ZONING PARKING SCREEN REQUIREMENT
- 2A FRONT-SET THERMALLY BROKEN ALUMINUM & GLASS STOREFRONT SYSTEM [AL01/GL01/GL02]
- 2B ALUM CLAD 4/4 DOUBLE HUNG WINDOW - MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALT. PRECAST CONC SILL & LINTEL FINISH TO MATCH PT03
- 2C ALUM CLAD DOUBLE HUNG WINDOW - MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALT. MINIMAL TRIM SILL & LINTEL FINISH TO MATCH PT03
- 2D ALUM CLAD AWNING WINDOW - MARVIN ESSENTIAL SERIES OF ACCEPTABLE ALT. - MINIMAL SILL & EXPOSED PTD STEEL LINTEL [PT03]
- 2E HOLLOW METAL EXTERIOR DOOR - FINISH TO MATCH PT03
- 3A CONFIRM & COORDINATE FLOOR ELEVATIONS & FINISH GRADE WITH CIVIL
- 3B OPEN JOINT PATIO DECKING W/ PERF MTL GARD RAIL FIN TO MATCH PT03
- 4A CONTINUOUS INSULATION SYSTEM W/ MEMBRANE ROOFING - SLOPE AS INDICATED ON ROOF PLAN(S)
- 4B SQUARE PROFILE GUTTER/DOWNSPOUTS TO MATCH AL01
- 5A SHOP-FORMED AND FINISHED ALUMINUM COPING PER DETAILS - FINISH TO MATCH PT02
- 5B EXTERIOR FINISHED GYPSUM SOFFIT SYSTEM OVER PARKING AREA
- 6A ROOFTOP-MOUNTED HVAC EQUIPMENT - PROVIDE REINFORCED ROOF TREATMENT ALONG ACCESS & INSTALLATION AREAS
- 7A EXISTING UTILITY POLE TO BE RELOCATED
- 8A FLUSH-MOUNT / RECESSED EXTERIOR LIGHTING - FIXTURE TYPE T.B.D.

BPB MIXED USE

310 & 322 BROOKLAND PARK
BOULEVARD
RICHMOND, VA 23222



# REVISION		DATE	
	FSA		
	DRAWN / CHECKED		
	SCALE /		
	ISSUE DATE /		
JOB NUMBER / PJN		PLAN LEVEL 01	
SHEET / A1.01			



01 PLAN - LEVEL 02
 SCALE: 1/8" = 1'-0"

RM SCHEDULE - BLDG A

LEVEL 01		
100.A	STAIR	79 SF
101.A	SPRINKLER	45 SF
102.A	STORAGE	130 SF
103.A	TOILET RM	55 SF
104.A	TOILET RM	55 SF
105.A	FLEX ROOM	402 SF
106.A	TENANT	2450 SF

LEVEL 02		
200.A	CORRIDOR	289 SF
201.A	APT UNIT	773 SF
202.A	APT UNIT	995 SF
203.A	APT UNIT	1079 SF

RM SCHEDULE - BLDG B

LEVEL 01		
100.B	TENANT	3386 SF
101.B	APT UNIT [TYPE B]	712 SF
102.B	CORRIDOR	276 SF
103.B	SPRINKLER	50 SF
104.B	STAIR	98 SF
105.B	STAIR	74 SF

LEVEL 02		
200.B	CORRIDOR	674 SF
201.B	APT UNIT	664 SF
202.B	APT UNIT	654 SF
203.B	APT UNIT	654 SF
204.B	APT UNIT	658 SF
205.B	APT UNIT	664 SF
206.B	APT UNIT	682 SF
207.B	APT UNIT	674 SF
208.B	APT UNIT	683 SF

GENERAL SHEET NOTES

DRAWING NOTES

- 1A UNIT MASONRY WALL W/ RELIEF FEATURES AS INDICATED (UM01/UM02)
- 1B FIBER-CEMENT ARCHITECTURAL CLADDING PANEL (CP01)
- 1C PERFORATED METAL PANEL CLADDING ASSEMBLY - PATTERN T.B.D. - FINISH TO MATCH PT03
- 1D TENANT SIGNAGE TO BE INSTALLED IN ENTRY RECESSED SOFFIT AREAS - PROVIDE BLOCKING & ELECTRICAL CONNECTION AS NEEDED
- 1E EXPOSED STRUCTURAL COLUMN - SIZE T.B.D.
- 1F PLANTER BED IN FRONT OF SCREEN TO MEET MINIMUM ZONING PARKING SCREEN REQUIREMENT
- 2A FRONT-SET THERMALLY BROKEN ALUMINUM & GLASS STOREFRONT SYSTEM [AL01/GL01/GL02]
- 2B ALUM CLAD 4/4 DOUBLE HUNG WINDOW - MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALT. PRECAST CONC SILL & LINTEL FINISH TO MATCH PT03
- 2C ALUM CLAD DOUBLE HUNG WINDOW - MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALT. MINIMAL TRIM SILL & LINTEL FINISH TO MATCH PT03
- 2D ALUM CLAD AWNING WINDOW - MARVIN ESSENTIAL SERIES OF ACCEPTABLE ALT. - MINIMAL SILL & EXPOSED PTD STEEL LINTEL [PT03]
- 2E HOLLOW METAL EXTERIOR DOOR - FINISH TO MATCH PT03
- 3A CONFIRM & COORDINATE FLOOR ELEVATIONS & FINISH GRADE WITH CIVIL
- 3B OPEN JOINT PATIO DECKING W/ PERFT MTL GARD RAIL FIN TO MATCH PT03
- 4A CONTINUOUS INSULATION SYSTEM W/ MEMBRANE ROOFING - SLOPE AS INDICATED ON ROOF PLAN(S)
- 4B SQUARE PROFILE GUTTER/DOWNSPOUTS TO MATCH ALO1
- 5A SHOP-FORMED AND FINISHED ALUMINUM COPING PER DETAILS - FINISH TO MATCH PT02
- 6A EXTERIOR FINISHED GYPSUM SOFFIT SYSTEM OVER PARKING AREA
- 7A ROOFTOP-MOUNTED HVAC EQUIPMENT - PROVIDE REINFORCED ROOF TREATMENT ALONG ACCESS & INSTALLATION AREAS
- 7A EXISTING UTILITY POLE TO BE RELOCATED
- 8A FLUSH-MOUNT / RECESSED EXTERIOR LIGHTING - FIXTURE TYPE T.B.D.



fultzsingharchitects.com
 3412 W LEIGH STREET
 SUITE 200
 RICHMOND VA 23230

BPB MIXED USE

310 & 322 BROOKLAND PARK
 BOULEVARD
 RICHMOND, VA 23222

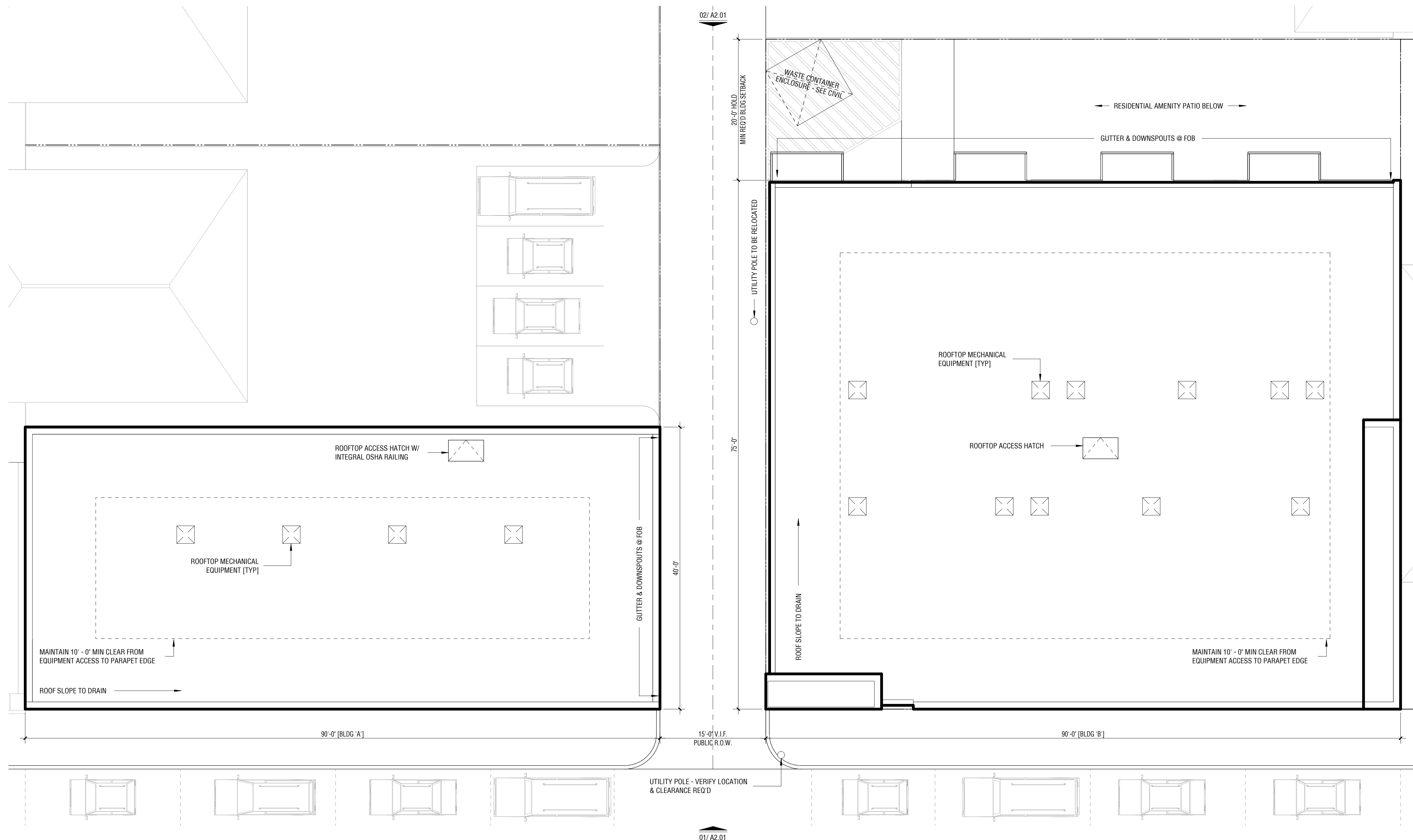


#	REVISION	DATE

JOB NUMBER / PUN	ISSUE DATE / 03/03/2021	SCALE / 1/8" = 1'-0"	DRAWN / CHECKED /	FSA
---------------------	----------------------------	-------------------------	----------------------	-----

PLAN LEVEL 02

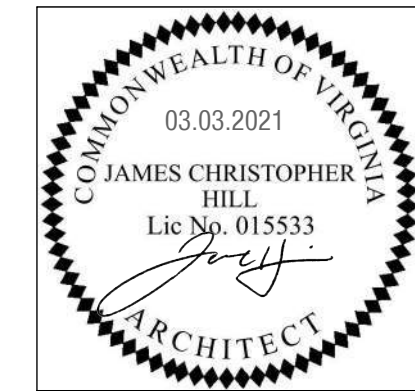
A1.02



GENERAL SHEET NOTES

DRAWING NOTES

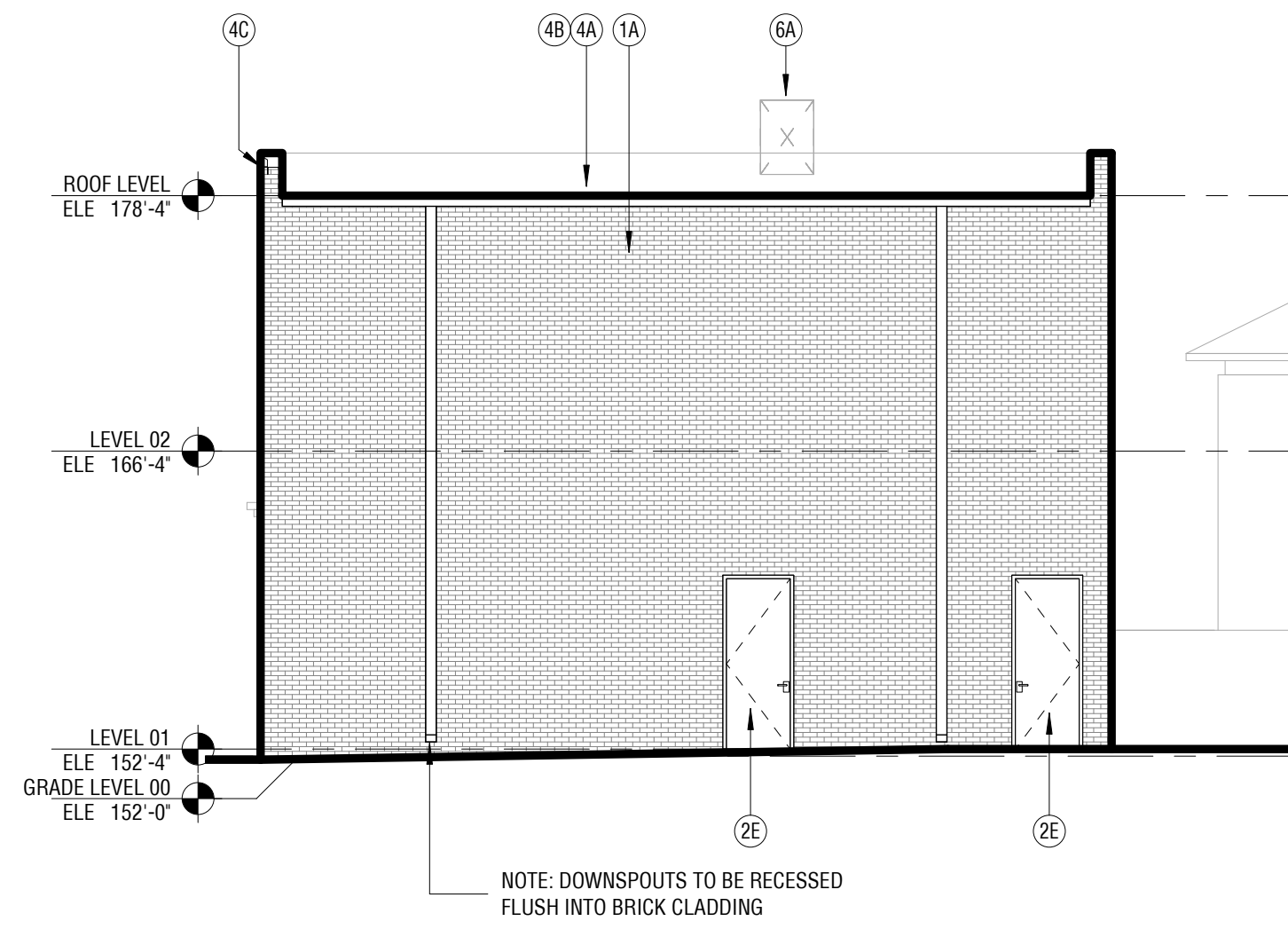
- 1A UNIT MASONRY WALL W/ RELIEF FEATURES AS INDICATED (UM01/UM02)
- 1B FIBER-CEMENT ARCHITECTURAL CLADDING PANEL (CP01)
- 1C PERFORATED METAL PANEL CLADDING ASSEMBLY - PATTERN T.B.D. - FINISH TO MATCH PT03
- 1D TENANT SIGNAGE TO BE INSTALLED IN ENTRY RECESSED SOFFIT AREAS - PROVIDE BLOCKING & ELECTRICAL CONNECTION AS NEEDED
- 1E EXPOSED STRUCTURAL COLUMN - SIZE T.B.D.
- 1F PLANTER BED IN FRONT OF SCREEN TO MEET MINIMUM ZONING PARKING SCREEN REQUIREMENT
- 2A FRONT-SET THERMALLY BROKEN ALUMINUM & GLASS STOREFRONT SYSTEM [AL01/GL01/GL02]
- 2B ALUM CLAD 4/4 DOUBLE HUNG WINDOW - MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALT. PREGAST CONC SILL & LINTEL FINISH TO MATCH PT03
- 2C ALUM CLAD DOUBLE HUNG WINDOW - MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALT. MINIMAL TRIM SILL & LINTEL FINISH TO MATCH PT03
- 2D ALUM CLAD AWNING WINDOW - MARVIN ESSENTIAL SERIES OF ACCEPTABLE ALT. - MINIMAL SILL & EXPOSED PTD STEEL LINTEL [PT03]
- 2E HOLLOW METAL EXTERIOR DOOR - FINISH TO MATCH PT03
- 3A CONFIRM & COORDINATE FLOOR ELEVATIONS & FINISH GRADE WITH CIVIL
- 3B OPEN JOINT PATIO DECKING W/ PERF MTL GUARD RAIL FIN TO MATCH PT03
- 4A CONTINUOUS INSULATION SYSTEM W/ MEMBRANE ROOFING - SLOPE AS INDICATED ON ROOF PLAN(S)
- 4B SQUARE PROFILE GUTTER/DOWNSPOUTS TO MATCH AL01
- 4C SHOP-FORMED AND FINISHED ALUMINUM COPING PER DETAILS - FINISH TO MATCH PT02
- 5A EXTERIOR FINISHED GYPSUM SOFFIT SYSTEM OVER PARKING AREA
- 6A ROOFTOP-MOUNTED HVAC EQUIPMENT - PROVIDE REINFORCED ROOF TREATMENT ALONG ACCESS & INSTALLATION AREAS
- 7A EXISTING UTILITY POLE TO BE RELOCATED
- 8A FLUSH-MOUNT / RECESSED EXTERIOR LIGHTING - FIXTURE TYPE T.B.D.



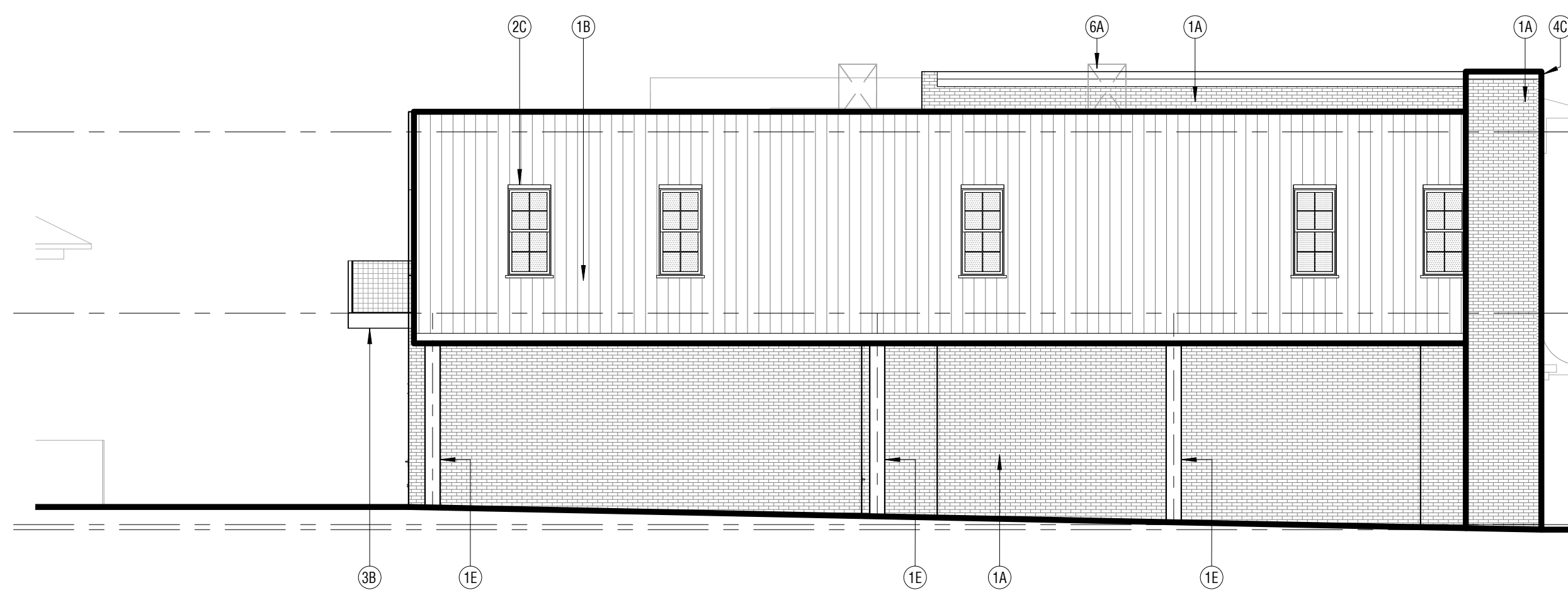
JOB NUMBER /	ISSUE DATE /	SCALE /	DRAWN /	FSA	#	REVISION	DATE
PJN	03/03/2021	1/8" = 1'-0"	CHECKED /				

ROOF PLAN

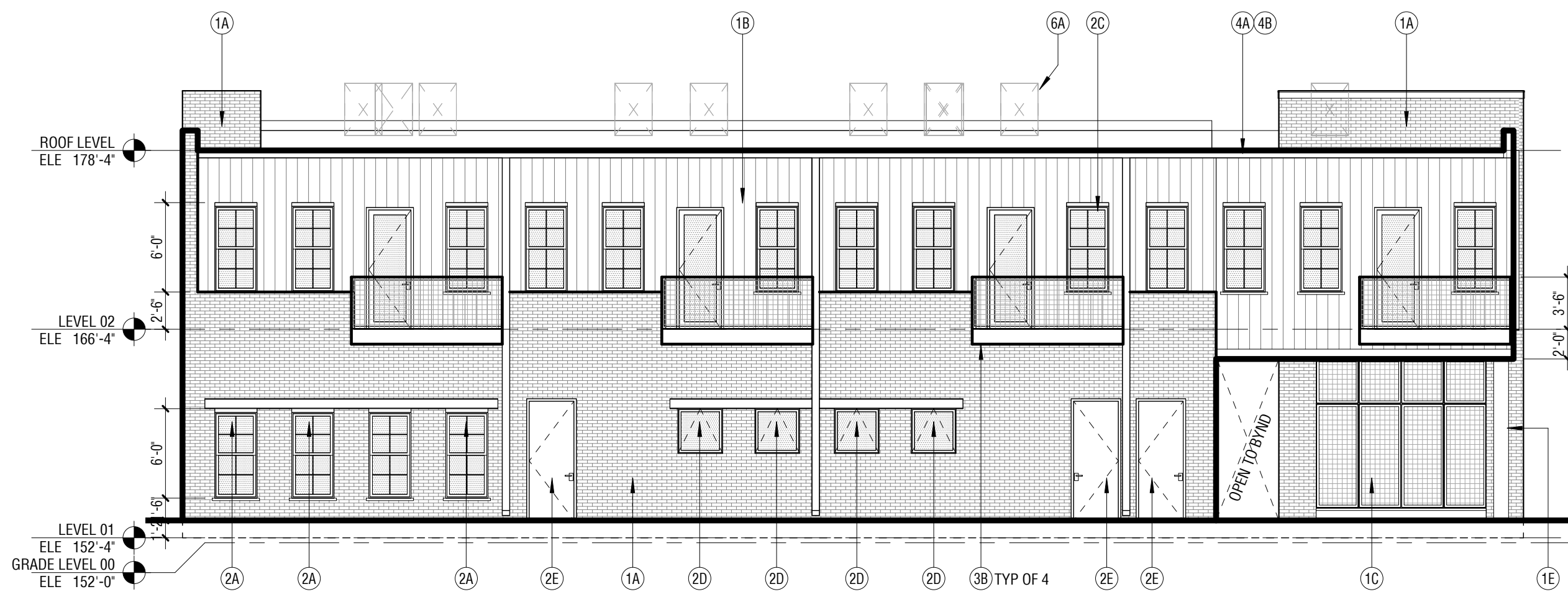
A1.03
SHEET /



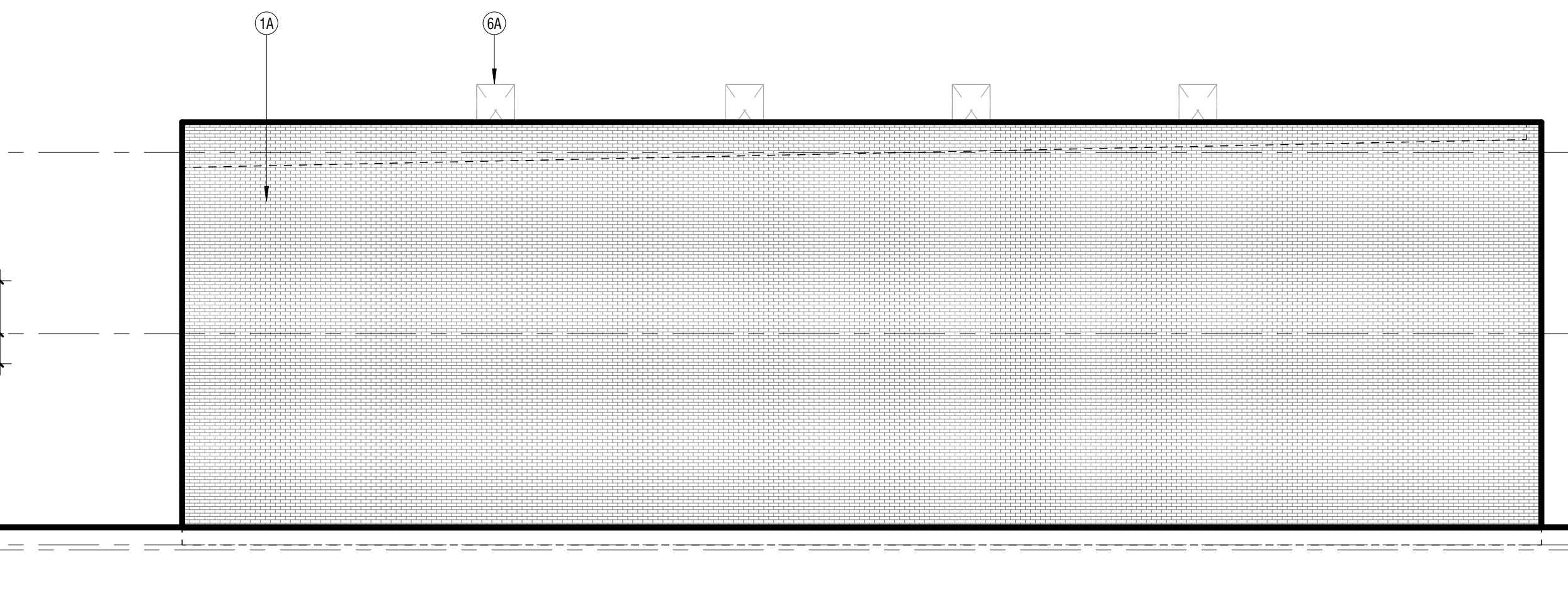
04 ALLEY ELEVATION - 322 BPB
SCALE: 1/8" = 1'-0"



03 ALLEY ELEVATION - 310 BPB
SCALE: 1/8" = 1'-0"



02 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



01 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL SHEET NOTES

DRAWING NOTES

- 1A UNIT MASONRY WALL W/ RELIEF FEATURES AS INDICATED (UM01/UM02)
- 1B FIBER-CEMENT ARCHITECTURAL CLADDING PANEL (CP01)
- 1C PERFORATED METAL PANEL CLADDING ASSEMBLY - PATTERN T.B.D. - FINISH TO MATCH PT03
- 1D TENANT SIGNAGE TO BE INSTALLED IN ENTRY RECESSED SOFFIT AREAS - PROVIDE BLOCKING & ELECTRICAL CONNECTION AS NEEDED
- 1E EXPOSED STRUCTURAL COLUMN - SIZE T.B.D.
- 1F PLANTER BED IN FRONT OF SCREEN TO MEET MINIMUM ZONING PARKING SCREEN REQUIREMENT
- 2A FRONT-SET THERMALLY BROKEN ALUMINUM & GLASS STOREFRONT SYSTEM [AL01/GL01/GL02]
- 2B ALUM CLAD 4/4 DOUBLE HUNG WINDOW - MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALT. PRECAST CONC SILL & LINTEL FINISH TO MATCH PT03
- 2C ALUM CLAD DOUBLE HUNG WINDOW - MARVIN ESSENTIAL SERIES OR ACCEPTABLE ALT. MINIMAL TRIM SILL & LINTEL FINISH TO MATCH PT03
- 2D ALUM CLAD AWNING WINDOW - MARVIN ESSENTIAL SERIES OF ACCEPTABLE ALT. - MINIMAL SILL & EXPOSED PTD STEEL LINTEL [PT03]
- 2E HOLLOW METAL EXTERIOR DOOR - FINISH TO MATCH PT03
- 3A CONFIRM & COORDINATE FLOOR ELEVATIONS & FINISH GRADE WITH CIVIL
- 3B OPEN JOINT PATIO DECKING W/ PERF MTL GUARD RAIL FIN TO MATCH PT03
- 4A CONTINUOUS INSULATION SYSTEM W/ MEMBRANE ROOFING - SLOPE AS INDICATED ON ROOF PLAN(S)
- 4B SQUARE PROFILE GUTTER/DOWNSPOUTS TO MATCH AL01
- 5A SHOP-FORMED AND FINISHED ALUMINUM COPING PER DETAILS - FINISH TO MATCH PT02
- 5B EXTERIOR FINISHED GYPSUM SOFFIT SYSTEM OVER PARKING AREA
- 6A ROOFTOP-MOUNTED HVAC EQUIPMENT - PROVIDE REINFORCED ROOF TREATMENT ALONG ACCESS & INSTALLATION AREAS
- 7A EXISTING UTILITY POLE TO BE RELOCATED
- 8A FLUSH-MOUNT / RECESSED EXTERIOR LIGHTING - FIXTURE TYPE T.B.D.

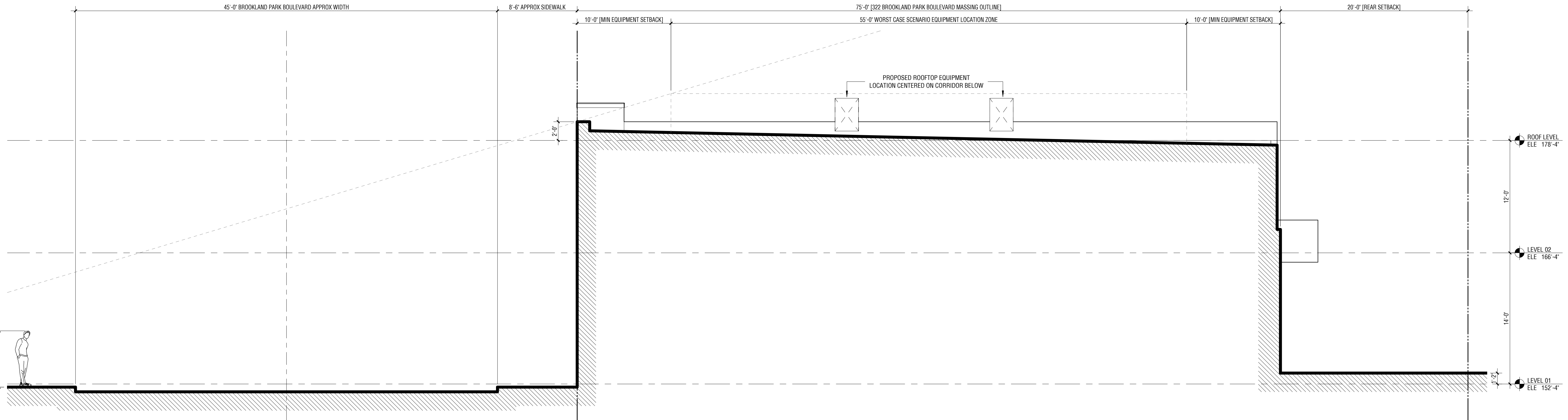
BPB MIXED USE

310 & 322 BROOKLAND PARK
BOULEVARD
RICHMOND, VA 23222



#	REVISION	DATE

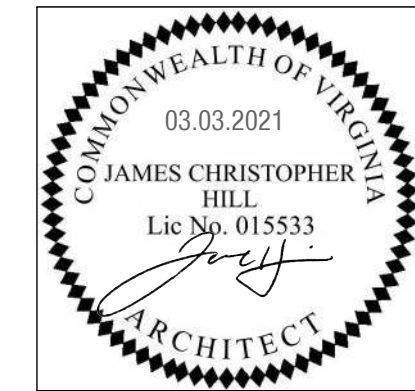
JOB NUMBER / P/JN	ISSUE DATE / 03/03/2021	SCALE / 1/8" = 1'-0"	DRAWN / 	CHECKED /
SHEET / A2.01	ELEVATION DRAWINGS			



01 ROOFTOP EQUIPMENT VIEW DIAGRAM
SCALE: 3/16" = 1'-0"

BPB MIXED USE

310 & 322 BROOKLAND PARK
BOULEVARD
RICHMOND, VA 23222



#	REVISION	DATE

JOB NUMBER / PJN	ISSUE DATE / 03/03/2021	SCALE / 3/16" = 1'-0"	DRAWN / 	CHECKED / 	FSA
BUILDING SECTIONS					
SHEET / A2.11					