

# QUADPLEX DEVELOPMENT

2110 P STREET - RICHMOND, VA 23223



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SVN	DESCRIPTION	DATE	APPR
5	PLAT REVISION	4-19-19	
4	PLANS REVISED	4-15-19	
3	PERMIT PLANS	3-17-19	
2	CLIENT REVIEW	3-10-19	
1	CLIENT REVIEW	3-2-19	

SYMBOL LEGEND	
	COLUMN TAG
	BEAM TAG
	FOOTING TAG
	STAIR TAG
	POINT LOAD
	DETAIL TAG
	SECTION TAG
	DETAIL LETTER
	POINT OF VIEW
	SHEET NUMBER
	SECTION CUT PLANE
	SECTION NUMBER
	POINT OF VIEW
	SHEET NUMBER



**PENN & CO.**

P.O. BOX 4481  
FAIRFAX, VA 22038

Phone: (703) 675-4592

SQUARE FOOTAGE CALCULATIONS			
ELEVATION:	ITALIANATE		
AREA	FINISHED	AREA	UNFINISHED
UNIT 101 & 201	1,150 SF EACH	FRONT PORCH	168 SF EACH
UNIT 102 & 202	690 SF EACH	REAR PORCH	138 SF EACH
TOTAL	3,680 SF TOTAL	TOTAL	612 SF TOTAL

**BUILDING CODE:**  
PROJECT SHALL CONFORM TO THE 2015 VIRGINIA UNIFORM STATEWIDE BUILDING CODE

**CITY OF RICHMOND APPLICABLE DOCUMENTS/PERMITS :**  
COMMISSION OF ARCHITECTURAL REVIEW PROJECT NUMBER:

**RICHMOND CITY ORDINANCE:**  
ZONED R-63  
SETBACKS:  
DESIGNED FRONT YARD: 15' MAXIMUM  
DESIGNED SIDE YARDS: 5'  
DESIGNED REAR YARD: 15'  
DESIGNED HEIGHT: 2 STORIES, 26'±

USEABLE OPEN SPACE: 2,201 SF  
RATIO: 2,201 SF / 3,876 SF = 56.8% (30% MIN. REQUIRED)

**LOT SIZE & COVERAGE:**  
LOT AREAS: 3,876 S.F.  
DESIGNED COVERAGE: 1,840 S.F.  
MAX COVERAGE: 65%  
DESIGNED COVERAGE RATIO: 47%

SHEET INDEX	
PAGE NUMBER	DESCRIPTION
C-001	COVERSHEET
C-101	SURVEY AND CONSTRUCTION PLAT
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A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-103	ROOF PLAN
A-104	BUILDING SECTION
A-105	SCHEDULES AND FIRE WALL INFORMATION
A-201	FRONT, REAR AND RIGHT ELEVATIONS
A-202	LEFT ELEVATION
S-001	GENERAL NOTES
S-101	FIRST AND SECOND FLOOR FRAMING PLAN
S-102	ROOF FRAMING PLAN
S-103	FIRST AND SECOND FLOOR BRACED WALL PLAN
S-104	TYPICAL DETAILS



VICINITY MAP



42296 BENFOLD SQUARE  
ASHBURN VA 20148  
(703) 675-4592 PHONE

DESIGN CONSULTANT



**MATT JARREAU**  
(804) 762-8092 PHONE

GENERAL CONTRACTOR

ACTIVITY

SATISFACTORY TO DATE

DES: \*\*\* | DRW: JRP3 | CHK: JRP3

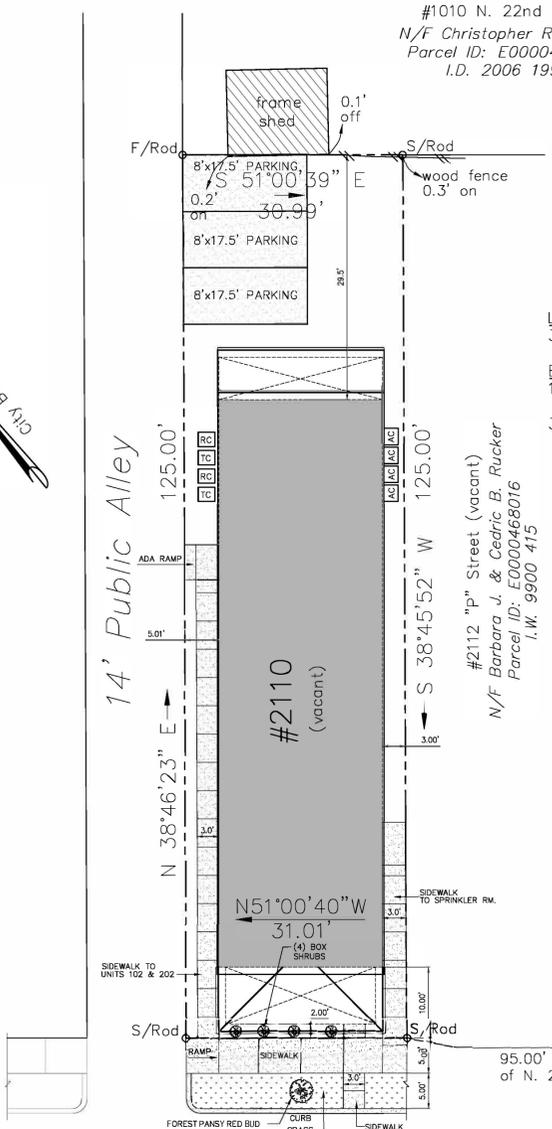
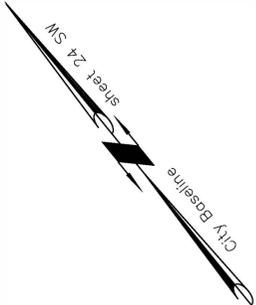
2110 P STREET QUADPLEX  
RICHMOND, VIRGINIA 23223  
COVERSHEET

SCALE: 1/4"=1'-0"  
PROJECT NO.: 2019-01  
CONSTR. CONTR. NO.:  
DRAWING NO.:  
SHEET OF  
**C-001**

Purchaser: Chromatic, LLC  
 Current Owners: Laura I. & Aaron Battle, Jr.  
 Parcel ID: E0000468017  
 D.B. 554D, Pg. 82

Note: Bearings protracted from City  
 Baseline sheet 8 SE.

#1010 N. 22nd Street  
 N/F Christopher R. Whiting  
 Parcel ID: E0000468012  
 I.D. 2006 19914



LOT AREA  
 3876 SQUARE FEET  
 BUILDING AREA  
 1150 SQUARE FEET  
 30% COVERAGE

#2112 "P" Street (vacant)  
 N/F Barbara J. & Cedric B. Rucker  
 Parcel ID: E0000468016  
 I.W. 9900 415

## "P" STREET

### Survey and Plat of The Property Known as #2110 "P" Street in the City of Richmond, VA

This is to certify that on 04/05/18 I made an accurate field survey of the premises shown hereon that all improvements and easements known or visible are shown hereon, that there are no encroachments by improvements either from adjoining premises or from subject premises upon adjoining premises other than shown hereon. THIS PLAT WAS MADE WITHOUT THE BENEFIT OF A TITLE SURVEY OR REPORT.

FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE X of the Flood Insurance Rate Map, Community Panel No. 5101290041E effective date of 07/16/14. Exact designations can only be determined by an Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.

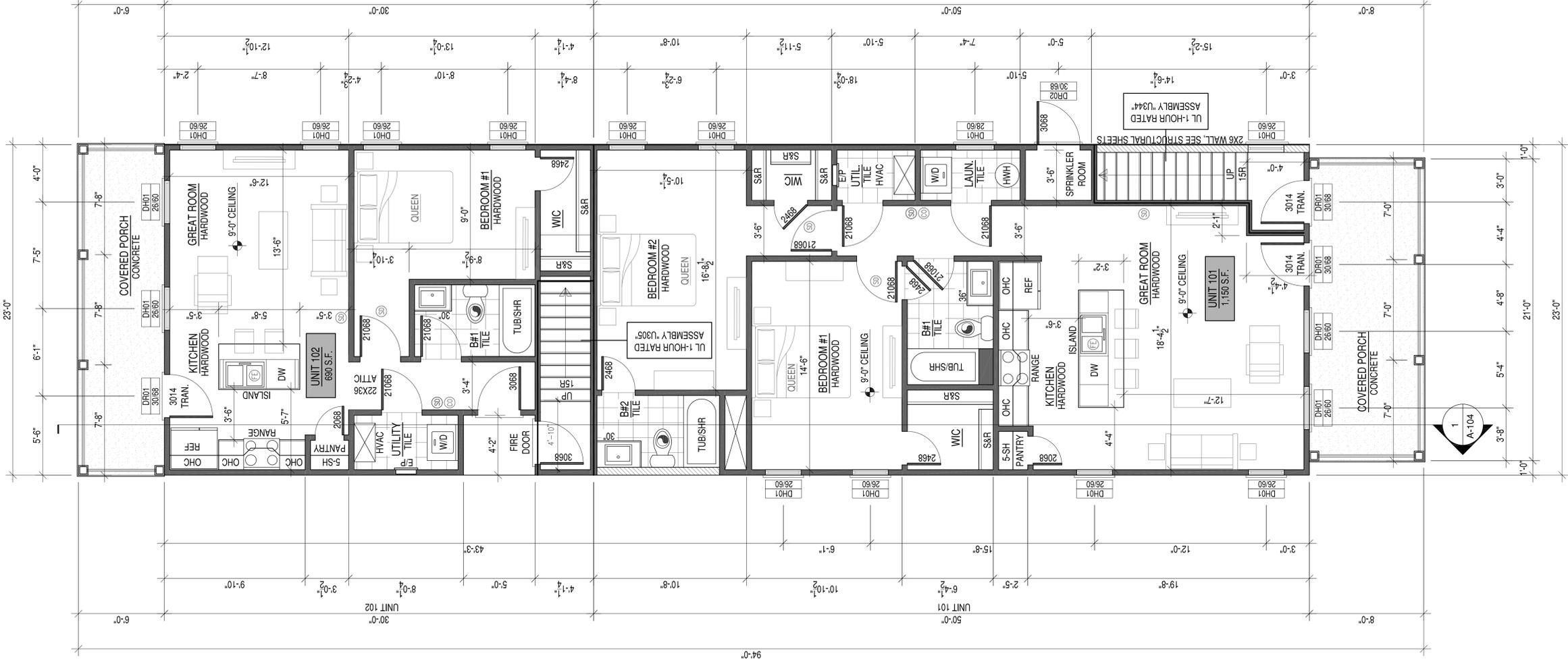


Edwards, Kretz, Lohr & Associates, PLLC  
 Land Surveyors-Planners  
 Virginia-North Carolina  
 1900 Byrd Avenue, Suite 103  
 Richmond, Virginia, 23230  
 Phone (804) 673-9666  
 Fax (804) 673-9990

Scale: 1"=20' Date: 04/09/18  
 Drawn: TCJ Checked: JAL  
 Job: 1153-18

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<b>2110 P STREET QUADPLEX</b> RICHMOND, VIRGINIA 23233 SURVEY AND CONSTRUCTION PLAT		DATE OF SURVEY: 04/05/18 DRAWN BY: TCJ CHECKED BY: JAL	APPROVED: <b>MATT JARREAU</b> (804) 782-8892 PHONE REALTOR	PENN E.C.O. 42296 BENFOLD SQUARE ASHBURN, VA 20148 (703) 875-4848 PHONE	<table border="1"> <tr> <th>SY#</th> <th>DESCRIPTION</th> <th>DATE</th> <th>APPR</th> </tr> <tr> <td>5</td> <td>PLAT REVISION</td> <td>4-19-19</td> <td></td> </tr> <tr> <td>4</td> <td>PLANS REVISED</td> <td>4-15-19</td> <td></td> </tr> <tr> <td>3</td> <td>PERMIT PLANS</td> <td>3-17-19</td> <td></td> </tr> <tr> <td>2</td> <td>CLIENT REVIEW</td> <td>3-10-19</td> <td></td> </tr> <tr> <td>1</td> <td>CLIENT REVIEW</td> <td>3-2-19</td> <td></td> </tr> </table>	SY#	DESCRIPTION	DATE	APPR	5	PLAT REVISION	4-19-19		4	PLANS REVISED	4-15-19		3	PERMIT PLANS	3-17-19		2	CLIENT REVIEW	3-10-19		1	CLIENT REVIEW	3-2-19	
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STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE. TREADS TO BE 9" MIN. WITH 1" NOSING.

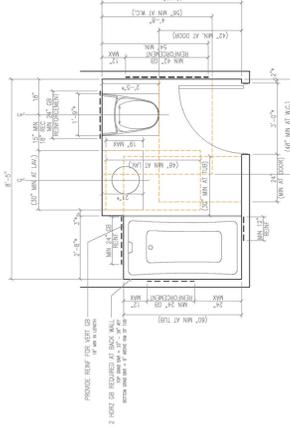
HANDRAILS & PICKETS:  
36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING @ ALL BALCONIES. PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.  
LABEL DRYER VENT LENGTH ON DUCT  
ALL DRYWALL TO BE 1/2"  
FIRE EXTINGUISHER TO BE LOCATED IN CABINET UNDER KITCHEN SINK  
BATH FAN VENTED TO EXTERIOR  
CARBON MONOXIDE DETECTOR  
SMOKE DETECTOR

**PLAN AND FRAMING NOTES**

1. ALL WALL FRAMING TO BE 2X4'S AT 16" OC UNLESS OTHERWISE NOTED.
2. ALL INTERIOR AND EXTERIOR WALLS SHOWN ARE 4-1/2" THICK (FINISHED) UNLESS OTHERWISE NOTED.
3. ALL WINDOW AND DOOR HEADERS TO BE (2) 2X8'S WITH (1) JACK STUDS UNLESS OTHERWISE NOTED.
4. INTERIOR DOORS IN CLOSE PROXIMITY TO A PERPENDICULAR WALL ON THE HINGE SIDE TO MAINTAIN 4" CLEAR FROM JAMB TO ADJACENT PERPENDICULAR WALL SURFACE. COORDINATE THIS DIMENSION WITH DOOR SURROUND TRIM.
5. CLOSET DOORS (SINGLE AND DOUBLE TYPE) ARE TO BE CENTERED WITHIN THE CLOSET THEY SERVE.
6. DOOR SIZES PROVIDED AND WINDOWS DIMENSIONED ARE NOMINAL. COORDINATE ROUGH FRAMING OPENING SIZES WITH WINDOW AND DOOR MANUFACTURER/INSTALLERS REQUIREMENTS AND CLEARANCES.
7. PROVIDE WOOD BLOCKING IN 2X4 FRAMING AT ALL BUILT-IN CABINETRY LOCATIONS. REQUIRED GRAB BAR LOCATIONS, CLOSET SHELVING, AND WALL MOUNTED TV LOCATIONS.
8. CLOSETS AND OTHER SURFACES NOT CALLED OUT OTHERWISE HAVE FLOOR, WALL, AND CEILING MATERIALS AND FINISHES TO MATCH THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANS FOR ANY INTERRUPTION OF FLOORING BETWEEN THESE SPACES.
9. ALL TYPE 'B' LAVATORIES HAVE EITHER OPEN KNEE SPACE BELOW OR CABINETS WITH RETRACTABLE DOORS OR REMOVABLE BASES.
10. FIRE DOOR TO UNIT 202 TO BE 3/4 HOUR FIRE-RATED. DOOR TO BE EQUIPPED WITH FIRE LISTED HARDWARE AND HAVE STEEL BEARING-TYPE HINGES.

FIRE-RATED STAIR WELL WALLS  
STAIR WELL FIRE WALLS TO BE 1 HOUR FIRE-RATED ASSEMBLY U305.  
SEE SHEET A-105

FIRE-RATED FLOOR/CEILING  
CEILING TO BE WEYERHAEUSER 1 HOUR FIRE-RATED CEILING ASSEMBLY E.  
SEE SHEET A105



**ADA BATH AT FIRST FLOOR UNIT 101**

**FIRST FLOOR PLAN**

**HOMETOWN REALTY**  
"The Exceptional Exception"  
**MATT JARREAU**  
(804) 762-8092 PHONE

**PENN & CO.**  
42296 BENFOLD SQUARE  
ASHBURN VA 20148  
(703) 675-4502 PHONE

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**2110 P STREET QUADPLEX**  
RICHMOND, VIRGINIA 23233  
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"  
PROJECT NO.: 2019-01  
CONSTR. CONTR. NO.

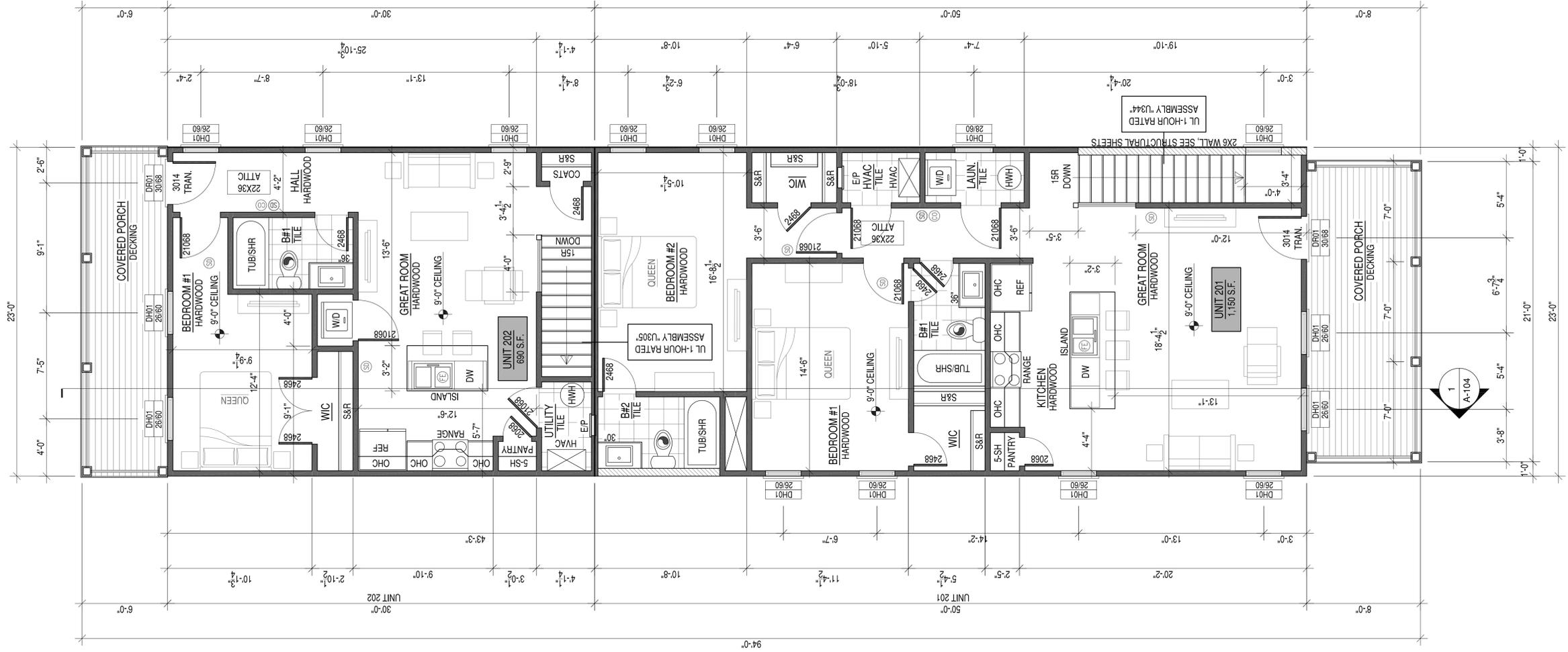
DRAWING NO.

SHEET 1 OF 1  
**A-101**

STAIR RISERS NOT TO EXCEED 8 1/4" PER CODE. TREADS TO BE 9" MIN. WITH 1" NOSING.
HANDRAILS & PICKETS: 36" HIGH HANDRAILS @ ALL STAIRS. 36" RAILING @ ALL BALCONIES. PICKETS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH. LABEL DRYER VENT LENGTH ON DUCT
ALL DRYWALL TO BE 1/2"
☒ = FIRE EXTINGUISHER TO BE LOCATED IN CABINET UNDER KITCHEN SINK
☉ = BATH FAN VENTED TO EXTERIOR
☉ = CARBON MONOXIDE DETECTOR
☉ = SMOKE DETECTOR

**PLAN AND FRAMING NOTES**

- ALL WALL FRAMING TO BE 2X4'S AT 16" OC UNLESS OTHERWISE NOTED.
- ALL INTERIOR AND EXTERIOR WALLS SHOWN ARE 4-1/2" THICK (FINISHED) UNLESS OTHERWISE NOTED.
- ALL WINDOW AND DOOR HEADERS TO BE (2) 2X6'S WITH (1) JACK STUDS UNLESS OTHERWISE NOTED.
- INTERIOR DOORS IN CLOSE PROXIMITY TO A PERPENDICULAR WALL ON THE HINGE SIDE TO MAINTAIN 4" CLEAR FROM JAMB TO ADJACENT PERPENDICULAR WALL SURFACE. COORDINATE THIS DIMENSION WITH DOOR SURROUND TRIM.
- CLOSET DOORS (SINGLE AND DOUBLE TYPE) ARE TO BE CENTERED WITHIN THE CLOSET THEY SERVE. DOOR SIZES PROVIDED AND WINDOW DIMENSIONS ARE NOMINAL. COORDINATE ROUGH FRAMING OPENING SIZES WITH WINDOW AND DOOR MANUFACTURER'S INSTALLERS REQUIREMENTS AND CLEARANCES.
- PROVIDE WOOD BLOCKING IN 2X4 FRAMING AT ALL BUILT-IN CABINETS LOCATIONS. REQUIRED GRAB BAR LOCATIONS, CLOSET SHELVING, AND WALL MOUNTED TV LOCATIONS.
- CLOSETS AND OTHER SURFACES NOT CALLED OUT OTHERWISE ABOVE FLOOR, WALL, AND CEILING MATERIALS AND FINISHES TO MATCH THE SPACE THEY ARE ACCESSED FROM. REFER TO PLANS FOR ANY INTERRUPTION OF FLOORING BETWEEN THESE SPACES.
- \* INDICATES FUTURE GRAB BARS. PROVIDE BLOCKING.
- ALL TYPE B LAVATORIES HAVE EITHER OPEN KNEE SPACE BELOW OR CABINETS WITH RETRACTABLE DOORS OR REMOVABLE BASES.



**SECOND FLOOR PLAN**

**2110 P STREET QUADPLEX**  
 RICHMOND, VIRGINIA 23233  
 SECOND FLOOR PLAN

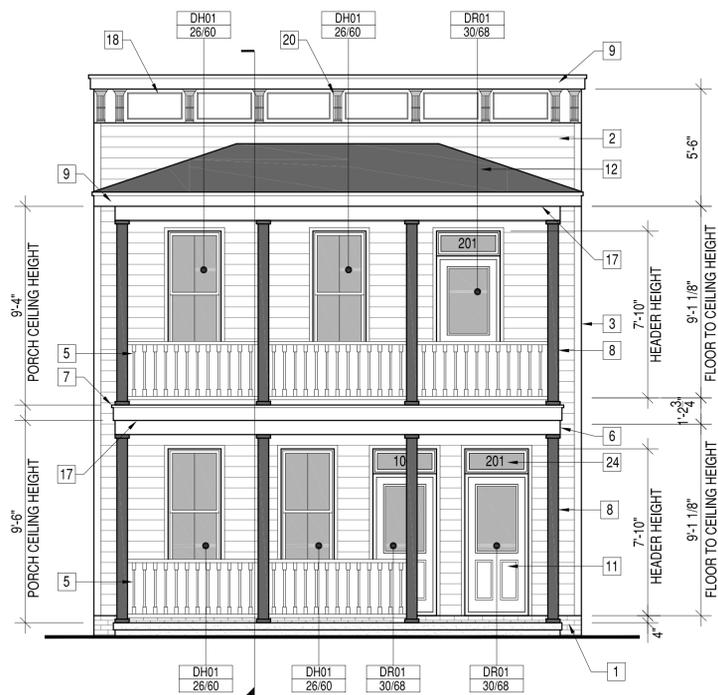
SCALE: 1/4"=1'-0"
PROJECT NO.: 2019-01
CONSTR. CONTR. NO.
DRAWING NO.
SHEET OF
<b>A-102</b>

APPROVED	DESIGNER: [Signature]
ACTIVITY	SATISFACTORY TO DATE: [Signature]
DESIGNER: [Signature]	CHK: JRP3

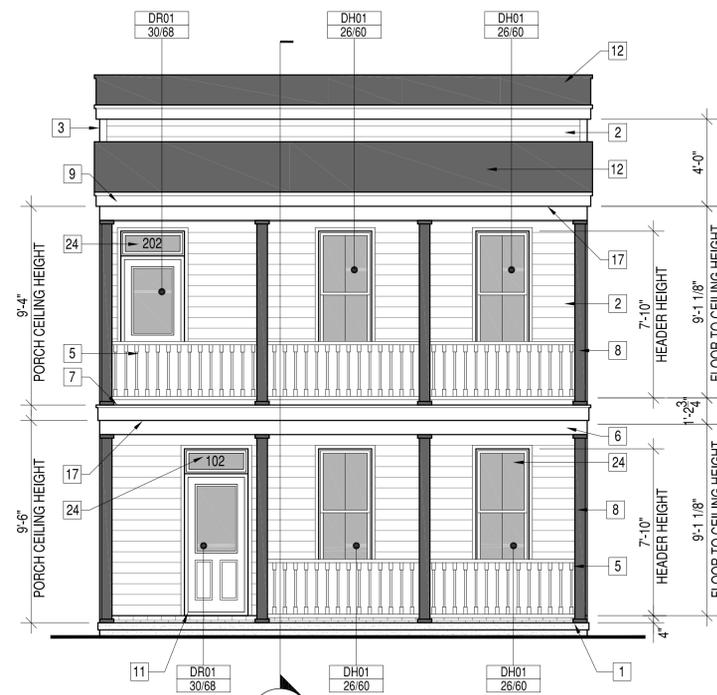
**HOMETOWN REALTY**  
 "The Exceptional Exception"  
**MATT JARREAU**  
 (804) 762-8092 PHONE

**PENN & CO.**  
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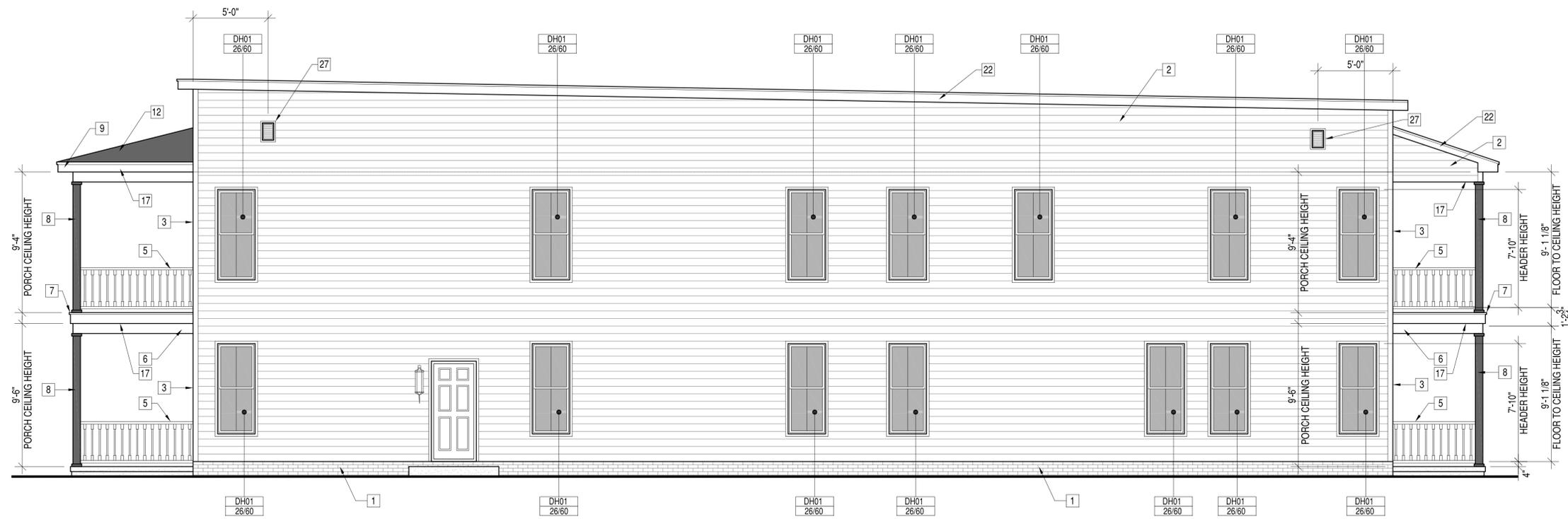
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**FRONT ELEVATION**



**REAR ELEVATION**



**RIGHT ELEVATION**

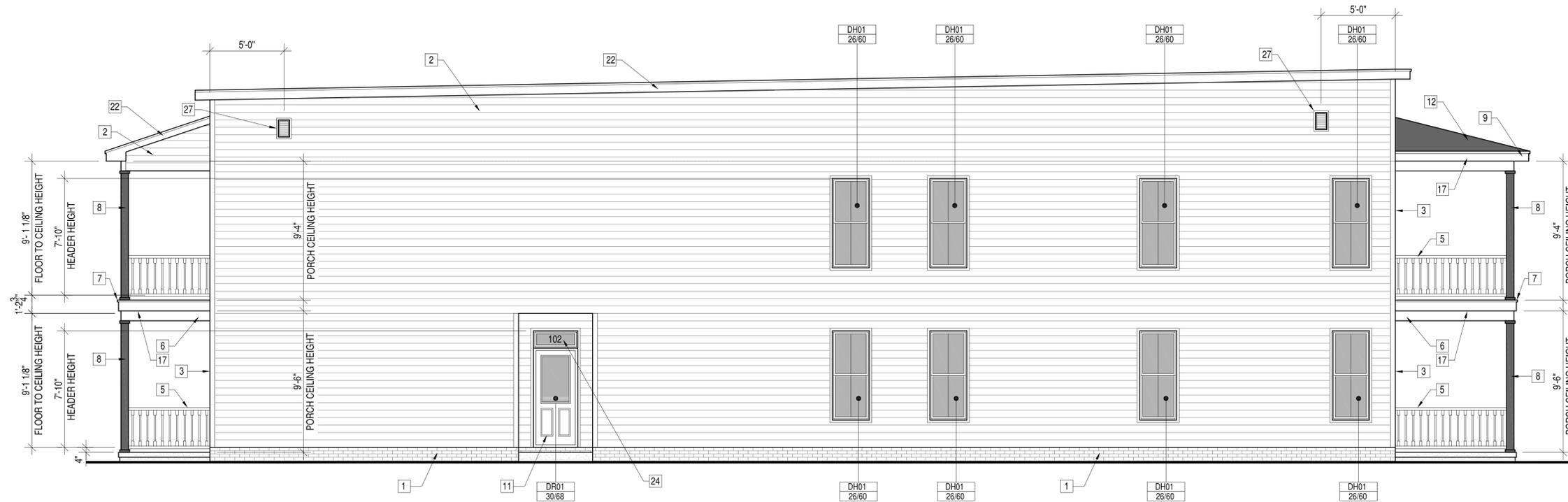
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**2110 P STREET QUADPLEX**  
 RICHMOND, VIRGINIA 23233  
 FRONT, REAR AND RIGHT ELEVATIONS

SCALE: 1/4"=1'-0"  
 PROJECT NO.: 2019-01  
 CONSTR. CONTR. NO.  
 DRAWING NO.  
 SHEET OF  
**A-201**



**LEFT ELEVATION**

**BLDG ELEVATION MATERIAL KEYNOTES**

- |  |  |   |  |                               |
|--|--|---|--|-------------------------------|
| 1 BRICK VENEER TO GRADE, TYP.                                  | 6 WOOD FRAMED PORCH, PAINTED.                                    | 11 STEEL DOOR W/TRANSOM AND PAINTED MOULDING SURROUND | 16 EPMD ROOFING AT PORCH ROOF          | 22 1X6 PAINTED RAKE BOARD     |
| 2 6" EXPOSURE FIBER CEMENT HORIZONTAL LAP SIDING, PAINT FINISH | 7 T&G WOOD DECKING W/ PAINTED BUILT-UP TRIM AT PORCH BAND BOARD. | 12 60 MIL TPO ROOFING                                 | 17 BEADED VINYL SOFFIT, TYP            | 23 PVC BEADED PORCH PANELING  |
| 3 FIBER CEMENT SIDING TRIM AT CORNERS                          | 8 6X6 DECORATIVE WOOD PAINTED COLUMN                             | 13 BRICK PIERS, TYP                                   | 18 PVC PICTURE FRAME MOULDING, TYP     | 24 GLASS GILDED HOUSE NUMBERS |
| 4 PVC BRACKET BKT12X12GP                                       | 9 1X6 PAINTED WOOD TRIM FASCIA                                   | 14 WOOD LATTICE BELOW DECK                            | 19 PVC DENTIL MOULDING FYPON MLD354-12 | 25 ARCHITECTURAL SHINGELS     |
| 5 WOOD "RICHMOND RAIL" RAILING, PAINT FINISH                   | 10 TWO PANEL WOOD DOOR W/TRANSOM & MOULD SURROUND                | 15 DECORATIVE FYPON WINDOW HEADER                     | 20 PVC BRACKET FYPON BKT7X18           | 26 12"X32" FOUNDATION VENT    |
|  |  |   | 21 VENTS, SEE FOUNDATION PLAN          | 27 18"X24" GABLE VENT, TYP    |

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**MATT JARREAU**  
(804) 762-8092 PHONE

APPROVED

ACTIVITY

SATISFACTORY TO DATE

DES: \*\*\* | DRW: JRP3 | CHK: JRP3

**2110 P STREET QUADPLEX**  
RICHMOND, VIRGINIA 23233  
LEFT ELEVATION & BUILDING MATERIAL LIST

GENERAL NOTES

- 1. DESIGN BUILD CODE: 2015 VIRGINIA RESIDENTIAL BUILDING CODE
2. THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND ELEVATIONS SHOWN ON THESE DRAWINGS WITH ARCHITECTURAL AND OTHER TRADES DRAWINGS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AND SHORING.
4. DESIGN LOADS: LIVE LOADS, DEAD LOADS, WIND

SITE WORK

- 1. SUBGRADE DESIGN VALUES: THE FOLLOWING SUBSURFACE INFORMATION IS ASSUMED FOR DESIGN PURPOSES.
2. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM OF 1'-6" BELOW GRADE.
3. ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL OR COMPACTED STRUCTURAL FILL.

CAST-IN-PLACE CONCRETE

- 1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302, EDITIONS REFERENCED BY BUILDING CODE.
2. REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60.
3. REINFORCEMENT SPLICES SHALL BE LAP SPLICES WITH A MINIMUM LAP OF 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.

WOOD

- 1. ALL FOLLOWING DESIGN VALUES ARE IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATIONS (NDS) AND SUPPLEMENT NATIONAL DESIGN SPECIFICATIONS (EDITION REFERENCED BY BUILDING CODE.)
2. ALL HEADERS AND BEAMS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE
3. EXTERIOR AND INTERIOR BEARING WALL STUDS SHALL BE SPF NO. 2 OR OTHER SPECIES HAVING THE FOLLOWING MINIMUM PROPERTIES: UNLESS NOTED OTHERWISE

- 6. LVL (LAMINATED VENEER LUMBER) SHALL BE 1-3/4" WIDE, OF THE DEPTH SPECIFIED ON THE PLANS, AND SHALL BE SECURED TOGETHER AS DIRECTED BY THE MANUFACTURER UNO.
7. ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
8. ALL STUDS SHALL BE INSTALLED IN ACCORDANCE WITH AF & PA (AMERICAN FOREST & PAPER ASSOCIATION) REQUIREMENTS.
9. STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MIDSPAN VERTICAL SPACING BETWEEN FLOORS (AND ROOF) LEVELS.

CONCRETE MASONRY

- 1. HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT, TYPE 1, GRADE N WITH A MINIMUM 28 DAY NET COMPRESSIVE UNIT STRENGTH OF 1900 PSI.
2. MORTAR SHALL BE TYPE M BELOW GRADE AND IN CONTACT WITH SOIL AND TYPE S AT ALL OTHER LOCATIONS.
3. FILLED CELLS SHALL BE FILLED WITH COARSE GROUT. COARSE GROUT SHALL CONFORM TO ASTM C476, PROPERTIES SHALL INCLUDE: 2500 PSI AT 28 DAY, 3/8" MAX. AGGREGATE, AND 8"-11" SLUMP.

MASONRY

- 1. ALL MASONRY SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TMS 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TMS 602) FOR THE YEAR REFERENCED IN THE BUILDING CODE NOTED.
2. ALL BRICK AND CONCRETE MASONRY AND CONSTRUCTION SHALL COMPLY WITH THE RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA (BIA) AND THE NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA) AND MINIMUM REQUIREMENTS ESTABLISHED BY NOTED BUILDING CODES.
3. GROUT TO FILL CORES SHALL BE ASTM C476, COARSE GROUT (3/8" MAXIMUM AGGREGATE) WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS.



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Table with columns for revision number, description, and date. Includes entries for PLAT REVISION, PLANS REVISED, PERMIT PLANS, CLIENT REVIEW, and CLIENT REVIEW.

PENN & CO. logo and address: 42296 BENFOLD SQUARE, ASHBURN VA 20148. (703) 675-4502 PHONE.

DESIGN CONSULTANT

HOMETOWN REALTY logo and contact information for MATT JARREAU, (804) 762-8092 PHONE.

GENERAL CONTRACTOR

DESIGNATED BY DATE

2110 P STREET QUADPLEX, RICHMOND, VIRGINIA 23233, STRUCTURAL GENERAL NOTES

SCALE: 1/4"=1'-0", PROJECT NO.: 2019-01, CONSTR. CONTR. NO., DRAWING NO., SHEET OF, S-001