

INTRODUCED: June 24, 2019

AN ORDINANCE No. 2019-177

To authorize the special use of the property known as 3205 P Street for the purpose of up to eight single-family attached dwellings, upon certain terms and conditions.

Patron – Mayor Stoney (By Request)

Approved as to form and legality
by the City Attorney

PUBLIC HEARING: JUL 22 2019 AT 6 P.M.

WHEREAS, the owner of the property known as 3205 P Street, which is situated in a R-6 Single-Family Attached Residential District, desires to use such property for the purpose of up to eight single-family attached dwellings, which use, among other things, is not currently allowed by sections 30-412.4, which imposes a minimum 2,200-square-foot lot area requirement, 30-412.5, concerning yard requirements, and 30-412.6, which imposes a maximum 55-percent lot coverage limitation, of the Code of the City of Richmond (2015), as amended; and

WHEREAS, in accordance with section 17.11 of the Charter of the City of Richmond (2019), as amended, it has been made to appear that, if granted subject to the terms and conditions set forth in this ordinance, the special use granted by this ordinance will not be detrimental to the

AYES: 9 NOES: 0 ABSTAIN: _____

ADOPTED: JUL 22 2019 REJECTED: _____ STRICKEN: _____

safety, health, morals and general welfare of the community involved, will not tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, will not create hazards from fire, panic or other dangers, will not tend to overcrowding of land and cause an undue concentration of population, will not adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements, and will not interfere with adequate light and air; and

WHEREAS, (i) the City Planning Commission has conducted a public hearing to investigate the circumstances and conditions upon which the Council is empowered to authorize such use, (ii) the City Planning Commission has reported to the Council the results of such public hearing and investigation and its recommendations with respect thereto, and (iii) the Council has conducted a public hearing on this ordinance at which the person in interest and all other persons have had an opportunity to be heard;

NOW, THEREFORE,

THE CITY OF RICHMOND HEREBY ORDAINS:

§ 1. **Finding.** Pursuant to section 30-1050.1 of the Code of the City of Richmond (2015), as amended, the Council hereby finds that the special use set forth in and subject to the terms and conditions of this ordinance will not (i) be detrimental to the safety, health, morals and general welfare of the community involved, (ii) tend to create congestion in streets, roads, alleys and other public ways and places in the area involved, (iii) create hazards from fire, panic or other dangers, (iv) tend to overcrowding of land and cause an undue concentration of population, (v) adversely affect or interfere with public or private schools, parks, playgrounds, water supplies,

sewage disposal, transportation or other public requirements, conveniences and improvements, or (vi) interfere with adequate light and air.

§ 2. Grant of Special Use Permit.

(a) Subject to the terms and conditions set forth in this ordinance, the property known as 3205 P Street and identified as Tax Parcel No. E000-0805/003 in the 2019 records of the City Assessor, being more particularly described on a drawing entitled “Conceptual Drawing of North Church Hill Corner, City of Richmond, Virginia,” prepared by Edwards, Kretz, Lohr & Associates, PLLC, dated December 7, 2018, and last revised April 12, 2019, a copy of which is attached to and made a part of this ordinance, hereinafter referred to as “the Property,” is hereby permitted to be used for the purpose of up to eight single-family attached dwellings, hereinafter referred to as “the Special Use,” substantially as shown on the drawing entitled “Conceptual Drawing of North Church Hill Corner, City of Richmond, Virginia,” prepared by Edwards, Kretz, Lohr & Associates, PLLC, dated December 7, 2018, and last revised April 12, 2019, and the plans entitled “P Street Development, North Church Hill Corner - Richmond, VA,” prepared by Penn & Co., and dated October 21, 2018, which drawing and plans together are hereinafter referred to as “the Plans,” copies of which are attached to and made a part of this ordinance.

(b) The adoption of this ordinance shall constitute the issuance of a special use permit for the Property. The special use permit shall inure to the benefit of the owner or owners of the fee simple title to the Property as of the date on which this ordinance is adopted and their successors in fee simple title, all of which are hereinafter referred to as “the Owner.” The conditions contained in this ordinance shall be binding on the Owner.

§ 3. Special Terms and Conditions. This special use permit is conditioned on the following special terms and conditions:

(a) The Special Use of the Property shall be as up to eight single-family attached dwellings, substantially as shown on the Plans.

(b) Off-street parking spaces shall not be required for the Special Use.

(c) The height of the Special Use shall not exceed the height shown on the Plans.

(d) All building materials and elevations shall be substantially as shown on the Plans.

(e) Bicycle storage areas shall be provided substantially as shown on the Plans.

(f) Storage areas for waste and recycling containers shall be provided substantially as shown on the Plans. The waste and recycling container storage areas shall be screened so as not to be visible from any public right-of-way.

(g) All mechanical equipment serving the Property shall be located or screened so as not to be visible from any public right-of-way.

(h) Prior to the issuance of any certificate of occupancy for the Special Use, the establishment of up to eight residential lots, substantially as shown on the survey referenced in section 2(a), shall be accomplished by obtaining subdivision approvals from the City and recording the appropriate plats among the land records of the Clerk of the Circuit Court of the City of Richmond.

§ 4. **Supplemental Terms and Conditions.** This special use permit is conditioned on the following supplemental terms and conditions:

(a) All required final grading and drainage plans, together with all easements made necessary by such plans, must be approved by the Director of Public Utilities prior to the issuance of the building permit.

(b) Storm or surface water shall not be allowed to accumulate on the land. The Owner, at its sole cost and expense, shall provide and maintain at all times adequate facilities for the

drainage of storm or surface water from the Property so as not to adversely affect or damage any other property or public streets and the use thereof.

(c) Facilities for the collection of refuse shall be provided in accordance with the requirements of the Director of Public Works. Such facilities shall be located or screened so as not to be visible from adjacent properties and public streets.

(d) Any encroachments existing, proposed on the Plans or contemplated in the future shall require separate authorization and shall be subject to the applicable provisions of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws.

(e) The Owner shall make improvements within the right-of-way including the construction of a new sidewalk along North 33rd Street and the installation of street trees along North 33rd Street and P Street, substantially as shown on the Plans, which improvements may be completed in one or more phases as approved by the Director of Public Works. All improvements and work within the public right-of-way shall be (i) completed in accordance with the requirements of the Director of Public Works, (ii) considered completed only upon written confirmation by the Director of Public Works that such improvements and work are in accordance with such requirements, and (iii) transferred to the City, following the written confirmation by the Director of Public Works, pursuant to a transfer of interest document approved as to form by the City Attorney and accepted by the Chief Administrative Officer or the designee thereof on behalf of the City. The Chief Administrative Officer or the designee thereof, for and on behalf of the City, is hereby authorized to accept, in the manner for which this subsection provides, all improvements and work required by and meeting the requirements of this subsection. The final certificate of occupancy shall not be issued for the Property until all requirements of this subsection are fully satisfied.

(f) In all other respects, the use of the Property shall be in accordance with the applicable underlying zoning regulations.

§ 5. **General Terms and Conditions.** This special use permit is conditioned on the following general terms and conditions:

(a) No permit implementing this special use permit shall be approved until satisfactory evidence has been presented to the Zoning Administrator that any delinquent real estate taxes applicable to the Property have been paid.

(b) The Owner shall be bound by, shall observe and shall comply with all other laws, ordinances, rules and regulations applicable to the Property, except as otherwise expressly provided in this ordinance.

(c) Words and phrases used in this ordinance shall be interpreted to have the meanings ascribed to them by section 30-1220 of the Code of the City of Richmond (2015), as amended, unless the context clearly indicates that a different meaning is intended.

(d) Notwithstanding any other provision of law, this special use permit is being approved due, in part, to the mitigating effects of each and every condition attached hereto; consequently, if any portion of this ordinance is determined to be invalid for any reason by a final, non-appealable order of any Virginia or federal court of competent jurisdiction, the invalidity shall cause the entire ordinance to be void and of no further effect from the effective date of such order.

(e) The privileges granted by this ordinance may be revoked pursuant to the provisions of sections 30-1050.7 through 30-1050.11 of the Code of the City of Richmond (2015), as amended, and all future amendments to such laws. Failure to comply with the terms and conditions of this ordinance shall constitute a violation of section 30-1080 of the Code of the City of

Richmond (2015), as amended, and all future amendments to such law, or any other applicable laws or regulations.

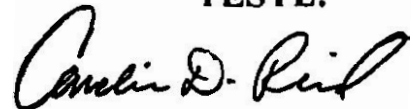
(f) When the privileges granted by this ordinance terminate and the special use permit granted hereby becomes null and void, whether as a result of the Owner relinquishing this special use permit in a writing addressed to the Director of Planning and Development Review or otherwise, use of the Property shall be governed thereafter by the zoning regulations prescribed for the district in which the Property is then situated.

§ 6. **Implementation.** The Commissioner of Buildings is authorized to issue a building permit substantially in accordance with the Plans for the Special Use subject to the terms and conditions set forth in this ordinance. An application for the building permit shall be made within 730 calendar days following the date on which this ordinance becomes effective. If either the application for the building permit is not made within the time period stated in the previous sentence or the building permit terminates under any provision of the Virginia Statewide Building Code, this ordinance and the special use permit granted hereby shall terminate and become null and void.

§ 7. **Effective Date.** This ordinance shall be in force and effect upon adoption.

A TRUE COPY:

TESTE:

A handwritten signature in black ink, appearing to read "Carlin D. Reed".

City Clerk

City of Richmond

900 East Broad Street
2nd Floor of City Hall
Richmond, VA 23219
www.richmondgov.com

Item Request

File Number: PRE.2019.201

RECEIVED O & R REQUEST

4-886Z

JUN 18 2019

MAY 30 2019

O & R Request

OFFICE OF THE CITY ATTORNEY

Office of the
Chief Administrative Officer

DATE: May 28, 2019

EDITION: 1

TO: The Honorable Members of City Council

THROUGH: The Honorable Levar M. Stoney, Mayor (Patron: Mayor, by Request)
(This in no way reflects a recommendation on behalf of the Mayor.)

JS 6/17/19

THROUGH: Selena Cuffee-Glenn, Chief Administrative Officer

SCG

THROUGH: Sharon L. Ebert, Deputy Chief Administrative Officer for Economic Development and Planning

SLE

FROM: Mark A. Olinger, Director, Department of Planning and Development Review

MAO

RE: To authorize the special use of the property known as 3205 P Street for the purpose of the construction of up to eight single-family attached dwellings.

ORD. OR RES. No. _____

PURPOSE: To authorize the special use of the property known as 3205 P Street for the purpose of the construction of up to eight single-family attached dwellings.

REASON: The subject property is zoned in the R-6 Single-Family Attached Residential District. The proposed development consists of eight single-family attached dwelling units. Single-family attached residential use is permitted in the R-6 district. However, the lot size requirements, density maximum, and off-street parking are not met. The R-6 district requires a minimum of 2,200 square feet of lot area for each single-family dwelling and allows for a maximum lot coverage of 55%. The proposed lots range from 1,569.740 SF to 1,869.989 SF and have an average proposed lot coverage of 52.03%. Therefore, a Special Use Permit is required to authorize this use.

RECOMMENDATION: In accordance with the requirements of the City Charter and the Zoning Ordinance, the City Planning Commission will review this request and make a recommendation to City Council. This item will be scheduled for consideration by the Commission at its July 15, 2019, meeting. A letter outlining the Commission's recommendation will be forwarded to City Council following that meeting.

BACKGROUND: The subject property referenced as 3205 P Street consists of a 13,282 SF (.305 acre) corner parcel of land 80 feet of street frontage along P Street and 165 feet of frontage along 33rd Street and is located in the Church Hill North neighborhood of the East Planning District. The property is located in the R-6 Single-Family Attached Residential District. Two-family attached dwellings are allowed in this district on lots no less than 6,000 square feet and with no less than 50 linear feet of street frontage. The property is currently vacant.

The City of Richmond's Master Plan designates the subject property for single-family (medium density.) Primary uses in this category are single-family and two-family dwellings, both detached and attached at densities of 8 to 20 units per acre. The proposed development would have a net density of 26 units per acre.

All properties in the vicinity are also within the R-6 Single-Family Attached Residential District. Within the area of the subject property are a number of vacant properties. Improved properties contain a mixture of single-family and multi-family structures.

FISCAL IMPACT / COST: The Department of Planning and Development Review does not anticipate any impact to the City's budget for this or future fiscal years.

FISCAL IMPLICATIONS: Staff time for processing the request; preparation of draft ordinance; and publishing, mailing and posting of public notices.

BUDGET AMENDMENT NECESSARY: No

REVENUE TO CITY: \$300 application fee

DESIRED EFFECTIVE DATE: Upon adoption

REQUESTED INTRODUCTION DATE: June 24, 2019

CITY COUNCIL PUBLIC HEARING DATE: July 22, 2019

REQUESTED AGENDA: Consent

RECOMMENDED COUNCIL COMMITTEE: None

CONSIDERATION BY OTHER GOVERNMENTAL ENTITIES: City Planning Commission
July 15, 2019

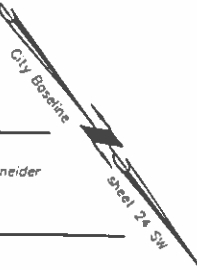
AFFECTED AGENCIES: Office of Chief Administration Office
Law Department (for review of draft ordinance)
City Assessor (for preparation of mailing labels for public notice)

RELATIONSHIP TO EXISTING ORD. OR RES.: None

REQUIRED CHANGES TO WORK PROGRAM(S): None

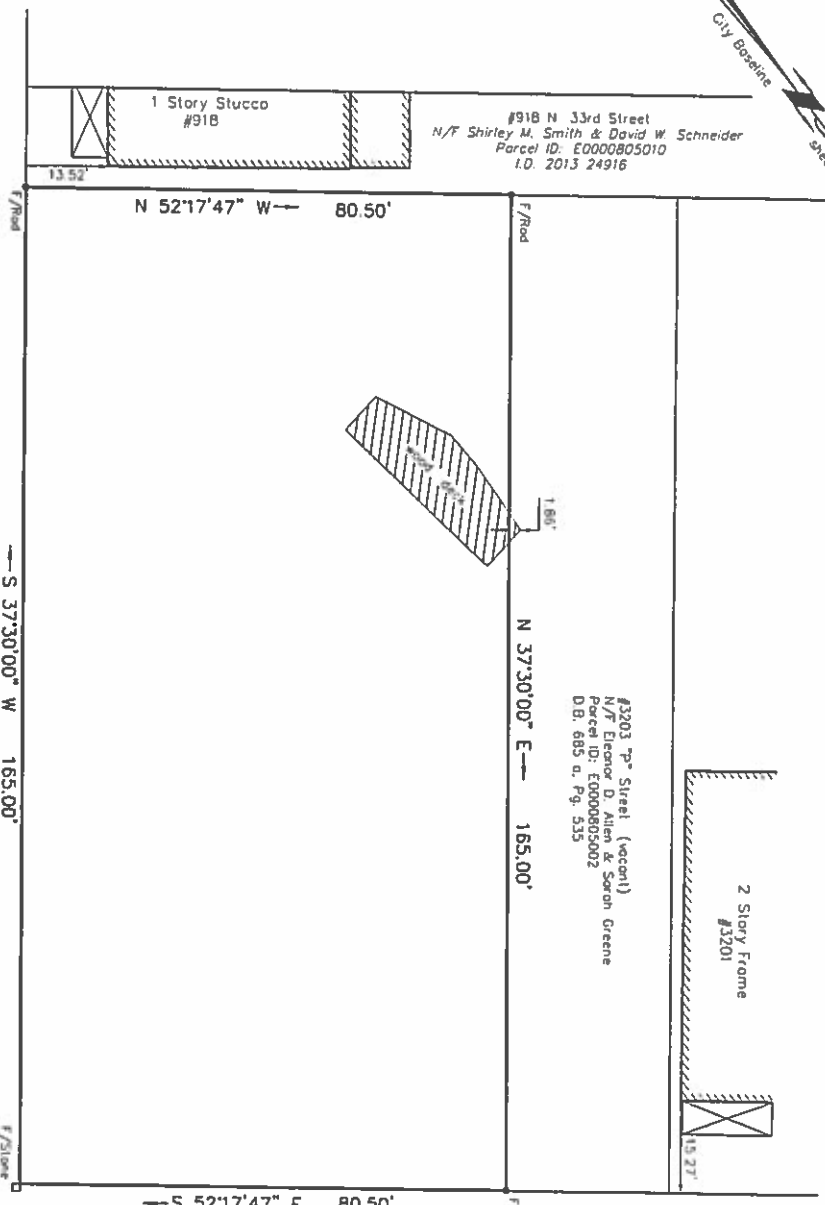
ATTACHMENTS: Application Form, Applicant's Report, Draft Ordinance, Plans, Survey, Map

STAFF: David F. Watson, Senior Planner, Land Use Administration 804-646-1036



Survey and Plat of
 The Property Known as
 #3205 "P" Street in
 the City of Richmond, VA

N. 33rd STREET



"P" STREET



Edwards, Kirby, Lohr & Associates, PLLC
 Land Surveyors-Planners
 Virginia-North Carolina
 1900 Byrd Avenue, Suite 103
 Richmond, Virginia, 23230
 Phone (804) 671-8666
 Fax (804) 671-9990
 Date: 03/13/18
 Drawn: TCJ
 Checked:
 Job: 1000-18
 Scale: 1"=20'
 FLOOD INSURANCE NOTE: By graphics plotting only, this property is in ZONE C of the Flood Insurance Rate Map, Community Panel No. 510077-0025, B, effective date of 02/04/81. Exact designations can only be determined by an Elevation Certificate. Based on the above information, this property IS NOT in a Special Flood Hazard Area.

Address: #3205 "P" Street
 Current Owners: George L. & Shirley A. Lipscomb
 Parcel ID: E0000805003
 D.B. 796, Pg. 146

Note: Bearings protracted from City
 Baseline sheet 24 SW.

This is to certify that on 03/07/18 I made an accurate field survey of the premises shown hereon that all improvements and easements known or visible are shown hereon. The width of any improvements by improvements shown hereon is shown as measured from the centerline of the street. THIS PLAT WAS MADE WITHOUT THE BENEFIT OF A TITLE SURVEY OR REPORT.

P STREET DEVELOPMENT

NORTH CHURCH HILL CORNER - RICHMOND, VA

PENNS&CO.
 1770 N. HIGHWAY 101, SUITE 100
 FARMAX, VA 22124
 (703) 675-4592
 www.pennsco.com



PENNS & CO.

P.O. BOX 4481
 FARMAX, VA 22124

Phone (703) 675-4592

BUILDING CODE:
 PROJECT SHALL COMPLY TO THE 2012 VIRGINIA UNIFORM STATEWIDE BUILDING CODE
CITY OF RICHMOND APPLICABLE DOCUMENTS PERMITS:
 COMMISSION OF ARCHITECTURAL REVIEW PROJECT NUMBER
REGULATORY CITY ORDINANCES:
 SETBACKS
 DESIGNED FRONT YARD 1'0"
 DESIGNED SIDE YARD 3'
 DESIGNED REAR YARD 15'
 DESIGNED HEIGHT 2 STOREYS, 26'1"
LOT SIZE & COVERAGE:
 LOT AREAS 7,810 SF
 DESIGNED COVERAGE: 800 SF EACH
 COVER: 51%

SYMBOL LEGEND

- △ COLUMN TAG
- BEAM TAG
- ◇ FOOTING TAG
- DN/UP AR STAIR TAG
- POINT TAG
- SECTION TAG
- DETAIL LETTER
- POINT OF VIEW SHEET NUMBER
- SECTION CUT PLANE
- SECTION NUMBER
- POINT OF VIEW SHEET NUMBER

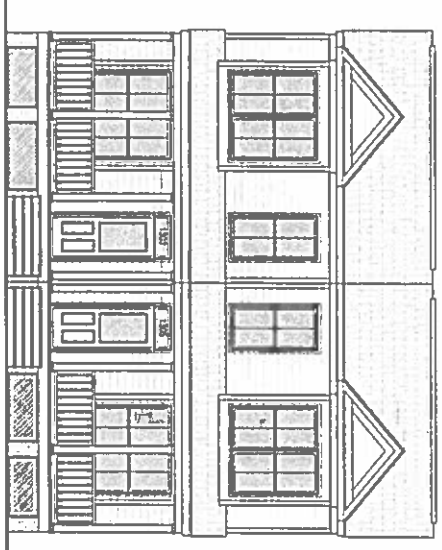
SHEET INDEX

PAGE NUMBER	DESCRIPTION
C-001	CONSTRUCTION SHEET MAT
A-001	FOUNDATION AND FIRST FLOOR PLAN - SECTIONS 1 AND 4
A-002	SECTION FLOOR AND ROOF PLAN - SECTIONS 1 AND 4
A-003	SECTION FLOOR AND ROOF PLAN - SECTIONS 2 AND 3
A-004	FOUNDATION AND FIRST FLOOR PLAN - SECTIONS 2 AND 3
A-005	SECTION FLOOR AND ROOF PLAN - SECTIONS 2 AND 3
A-006	FOUNDATION AND FIRST FLOOR PLAN - SECTIONS 1 AND 1
A-007	SECTION FLOOR AND ROOF PLAN - SECTIONS 1 AND 1
A-008	FOUNDATION AND FIRST FLOOR PLAN - SECTIONS 1 AND 1
A-009	SECTION FLOOR AND ROOF PLAN - SECTIONS 1 AND 1
A-010	FOUNDATION AND FIRST FLOOR PLAN - SECTIONS 1 AND 1
A-011	SECTION FLOOR AND ROOF PLAN - SECTIONS 1 AND 1
A-012	FOUNDATION AND FIRST FLOOR PLAN - SECTIONS 1 AND 1
A-013	SECTION FLOOR AND ROOF PLAN - SECTIONS 1 AND 1
A-014	FOUNDATION AND FIRST FLOOR PLAN - SECTIONS 1 AND 1
A-015	SECTION FLOOR AND ROOF PLAN - SECTIONS 1 AND 1
A-016	FOUNDATION AND FIRST FLOOR PLAN - SECTIONS 1 AND 1
A-017	SECTION FLOOR AND ROOF PLAN - SECTIONS 1 AND 1
A-018	FOUNDATION AND FIRST FLOOR PLAN - SECTIONS 1 AND 1
A-019	SECTION FLOOR AND ROOF PLAN - SECTIONS 1 AND 1
A-020	FOUNDATION AND FIRST FLOOR PLAN - SECTIONS 1 AND 1



SQUARE FOOTAGE CALCULATIONS - SECTIONS 1 AND 4

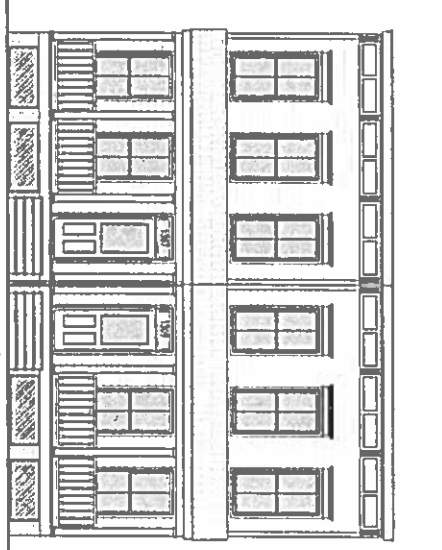
ELEVATION	TRADITIONAL	AREA	UNFINISHED
1ST FLOOR/UNIT	920 SF	FRONT PORCH/UNIT	90 SF
2ND FL DOOR/UNIT	1,840 SF	REAR PORCH/UNIT	102 SF
TOTAL/UNIT		TOTAL/UNIT	192 SF



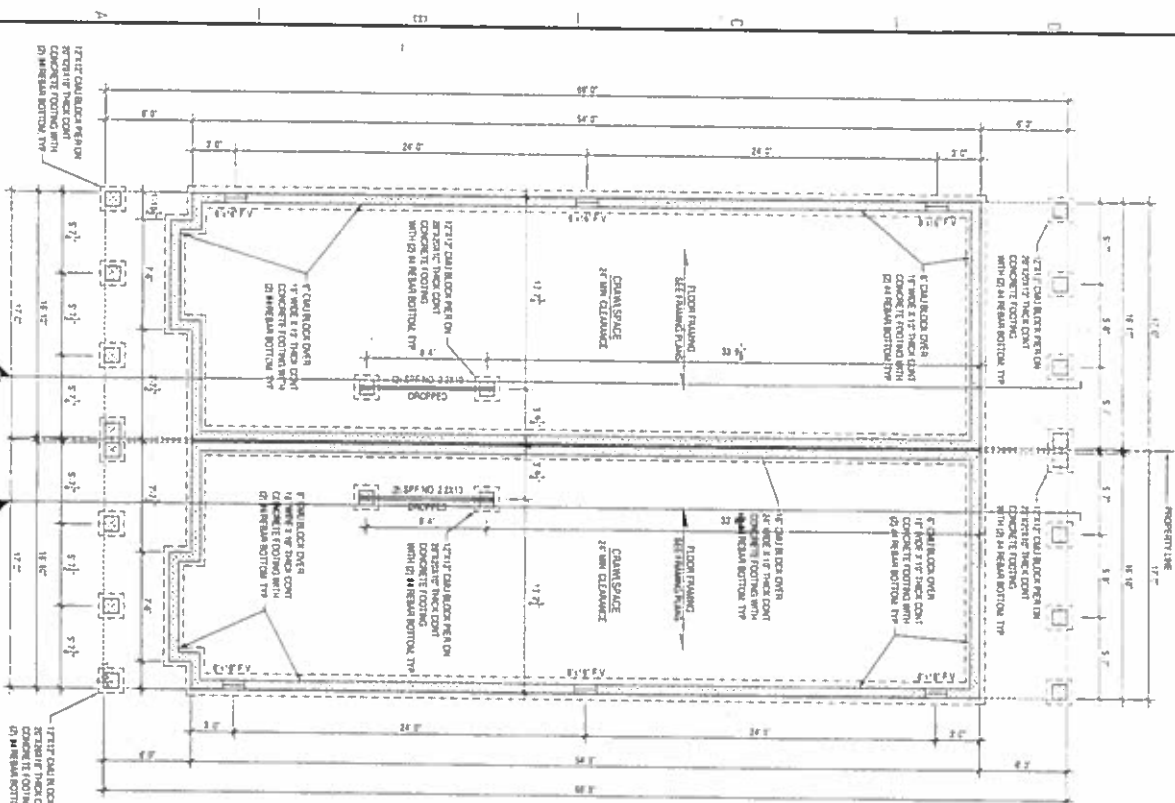
SECTIONS 1 AND 4

SQUARE FOOTAGE CALCULATIONS - SECTIONS 2 AND 3

ELEVATION	ITALINATE	AREA	UNFINISHED
1ST FLOOR/UNIT	910 SF	FRONT PORCH/UNIT	102 SF
2ND FL DOOR/UNIT	910 SF	REAR PORCH/UNIT	102 SF
TOTAL/UNIT	1,820 SF	TOTAL/UNIT	204 SF

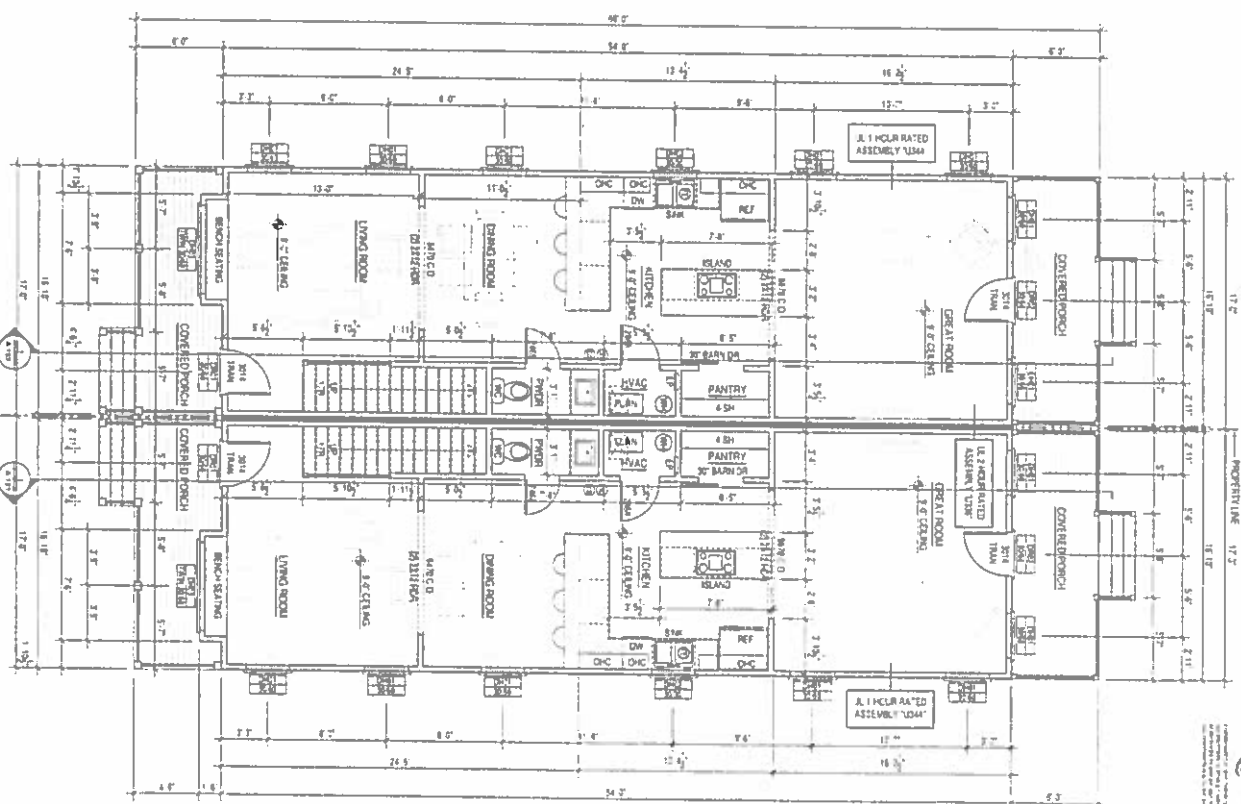


SECTIONS 2 AND 3



FOUNDATION PLAN - SECTIONS 1 AND 4

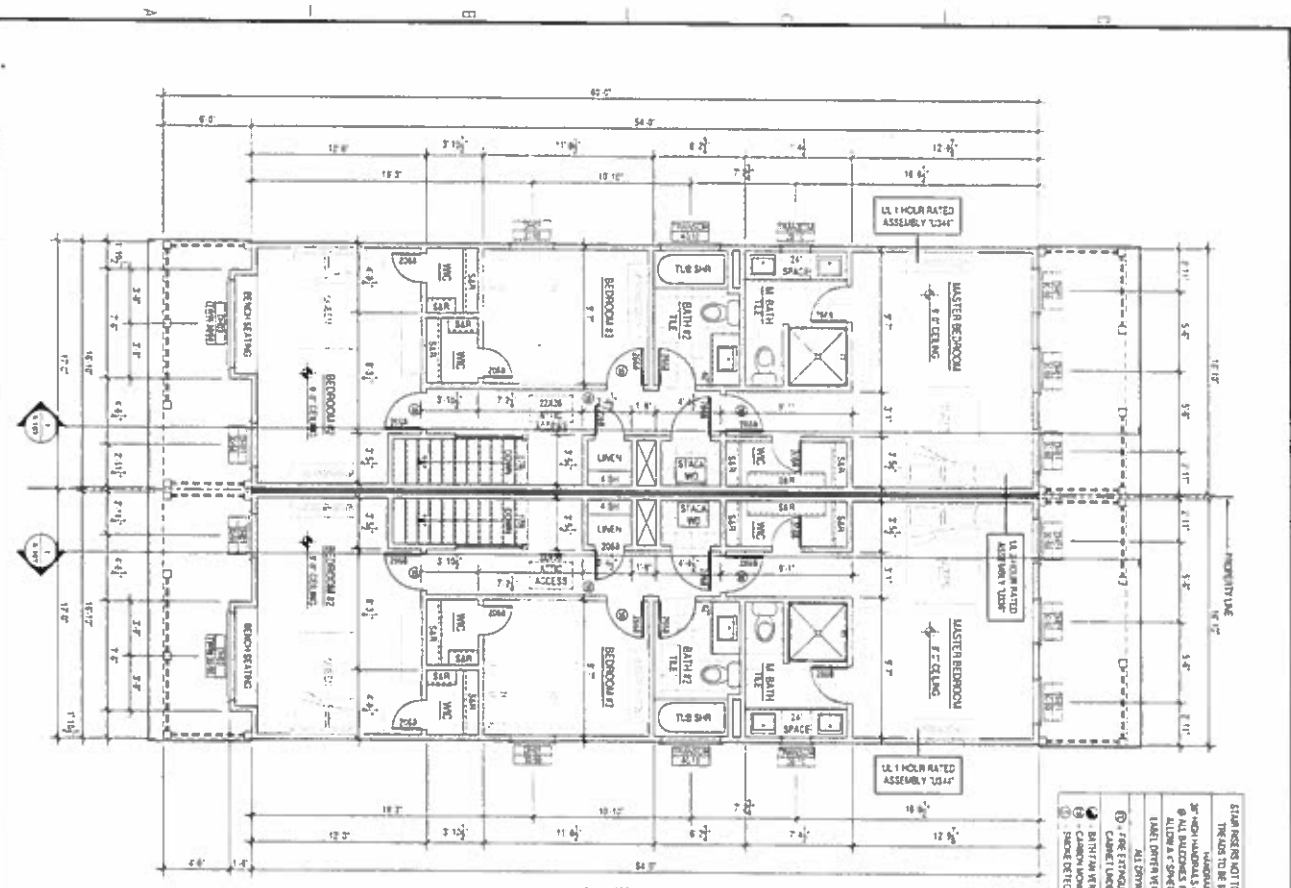
- FOUNDATION NOTES**
- SEE SCA REPORT FOR FOOTING SIZE AND REINFORCEMENT
 - CRAWL SPACE ACCESS DOOR TO BE (2) 1/4" X 1/4" FLUSH IN FLOOR SYSTEM WITH TOP HINGE AND HINGE ASSEMBLY
 - CRAWL SPACE EXTERIOR GROUND SURFACE TO BE COVERED WITH 6-mil POLY VAPOR BARRIER



FIRST FLOOR PLAN - SECTIONS 1 AND 4

- PLAN NOTES**
- EXTERIOR WALL FRAMING SHALL BE 2X4 STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED
 - INTERIOR WALL FRAMING SHALL BE 2X4 STUDS AT 16" ON CENTER UNLESS OTHERWISE NOTED

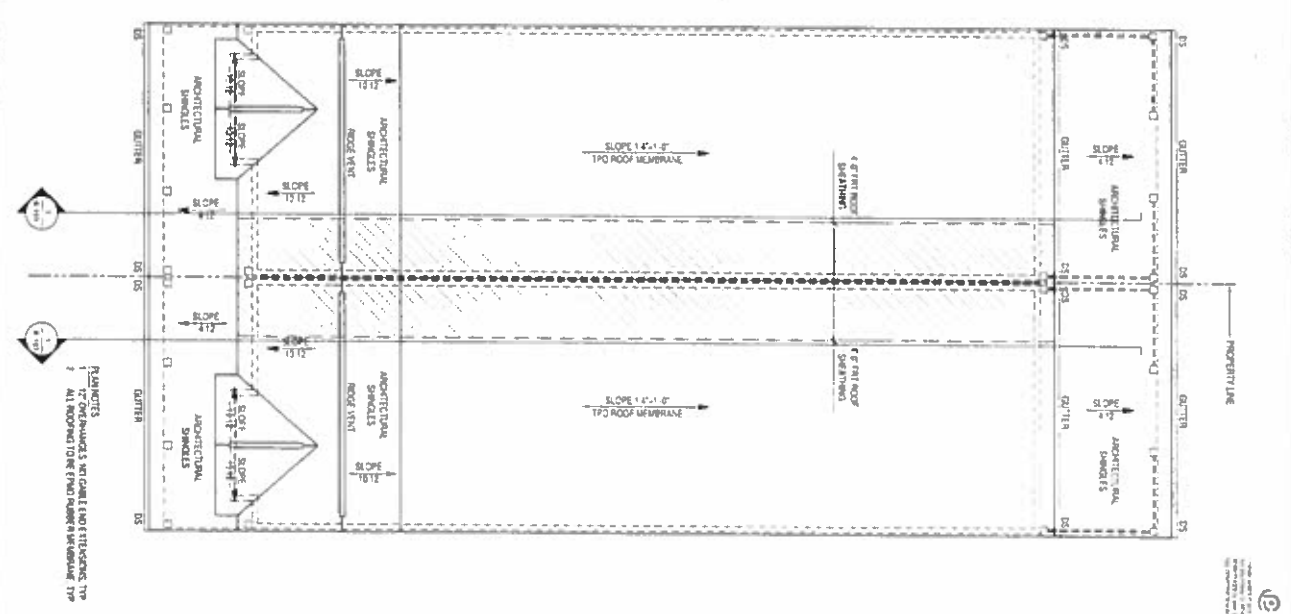
P STREET DEVELOPMENT PROJECT CITY OF RICHMOND, VIRGINIA FOUNDATION AND FIRST FLOOR PLAN - SECTIONS 1 AND 4 A-101	PENNINC CO. ARCHITECTS 1777 COMMONWEALTH AVENUE RICHMOND, VA 23220 (804) 781-1111	HOMETOWN REALTY MATT JARREAU 1777 COMMONWEALTH AVENUE RICHMOND, VA 23220 (804) 781-1111	100% COMPLETE 10-21-18
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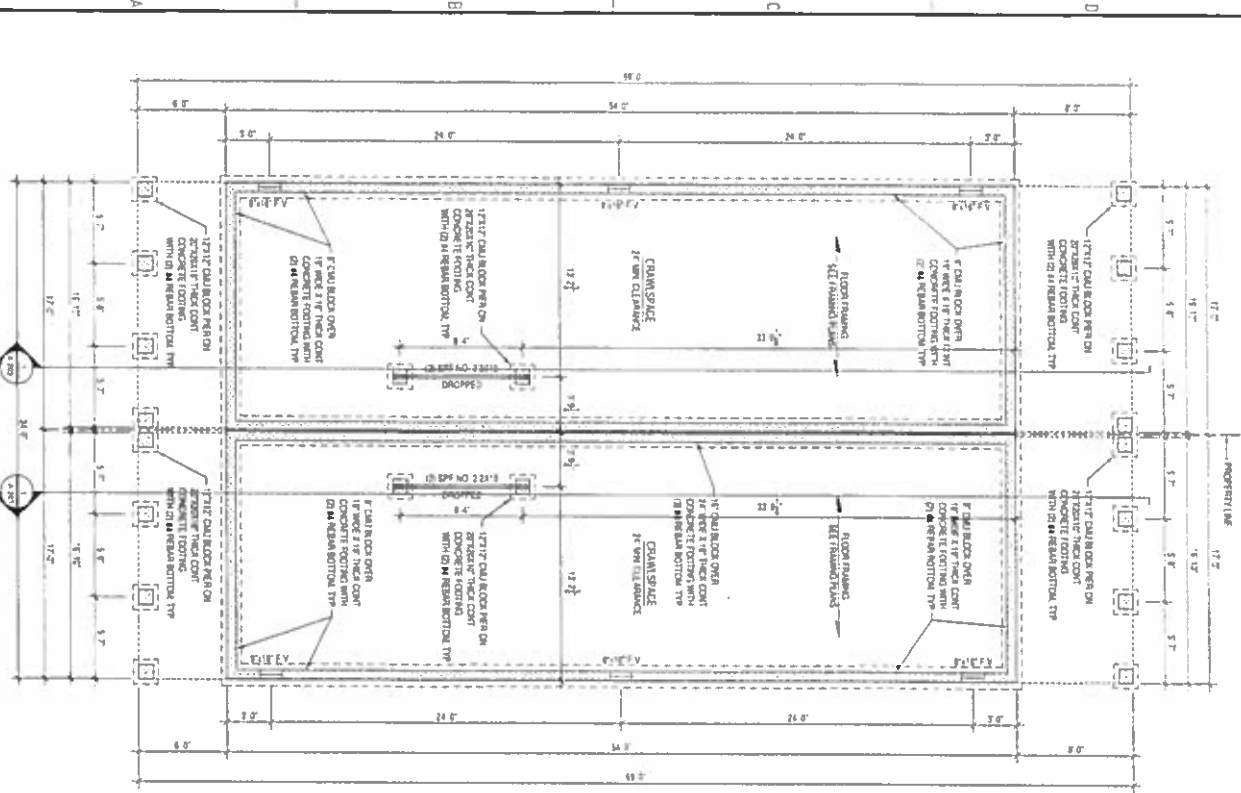
SECOND FLOOR PLAN - SECTIONS 1 AND 4

- PLAN NOTES**
1. EXTERIOR WALL FRAMING SHALL BE 2x4 STUDS AT 16" OC UNLESS OTHERWISE NOTED
 2. EXTERIOR WALL FRAMING SHALL BE 2x4 STUDS AT 16" OC UNLESS OTHERWISE NOTED

- CLASH NOTES**
- 1. CLASH WITH MECHANICAL SYSTEMS
 - 2. CLASH WITH ELECTRICAL SYSTEMS
 - 3. CLASH WITH STRUCTURAL SYSTEMS
 - 4. CLASH WITH INTERIORS
 - 5. CLASH WITH EXTERIORS
 - 6. CLASH WITH SITEWORK
 - 7. CLASH WITH UTILITIES
 - 8. CLASH WITH LANDSCAPE
 - 9. CLASH WITH TRAFFIC
 - 10. CLASH WITH FENCING

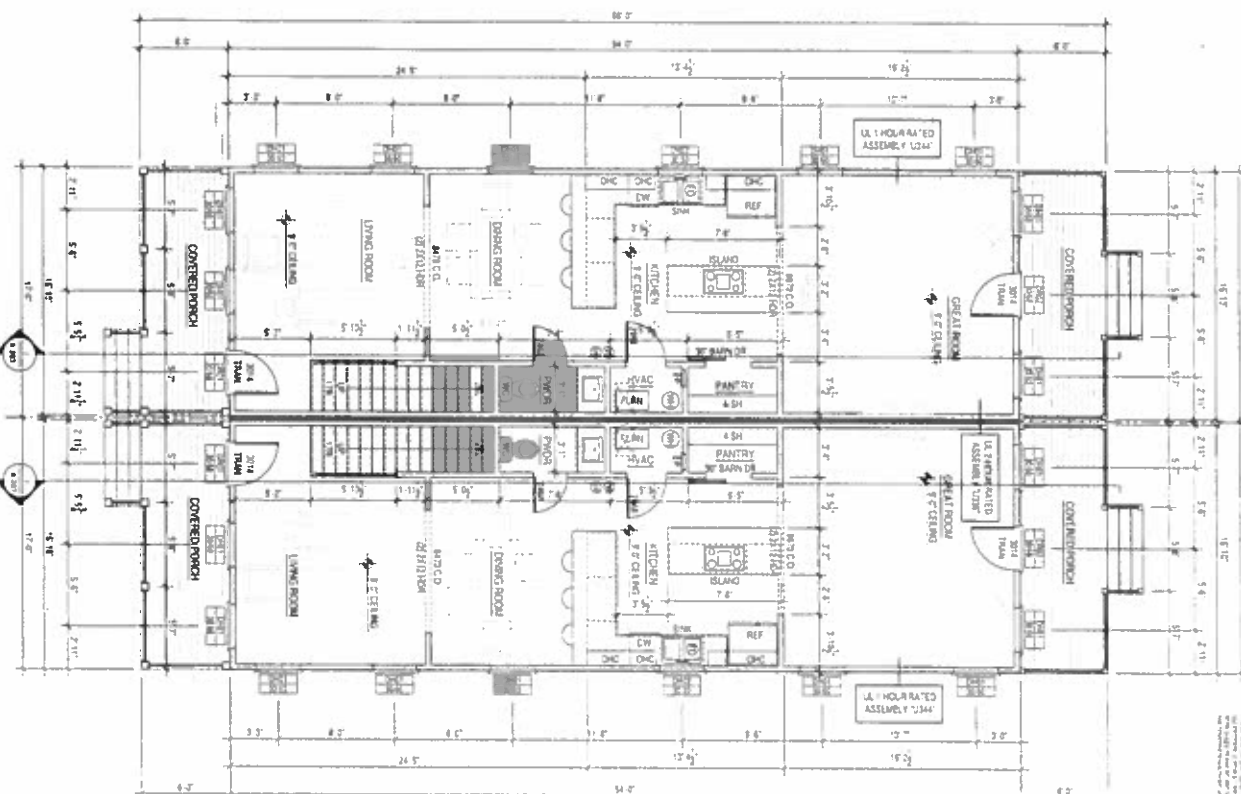


ROOF PLAN - SECTIONS 1 AND 4



FOUNDATION PLAN - SECTIONS 2 AND 3

- FOUNDATION NOTES**
1. SEE SOI REPORT FOR FOOTING SIZE AND REINFORCEMENT
 2. CRAWL SPACE ACCESS DOOR TO BE FIELD LOCATED. HEADER FOR CRAWL DOOR TO BE 2x12 LVL FLUSH W/ FLOOR SYSTEM WITH TOP MOUNT JOIST HANGERS
 3. CRAWL SPACE INTERIOR GRAULAC SURFACE TO BE COVERED WITH 6-mil POLY VAPOR BARRIER

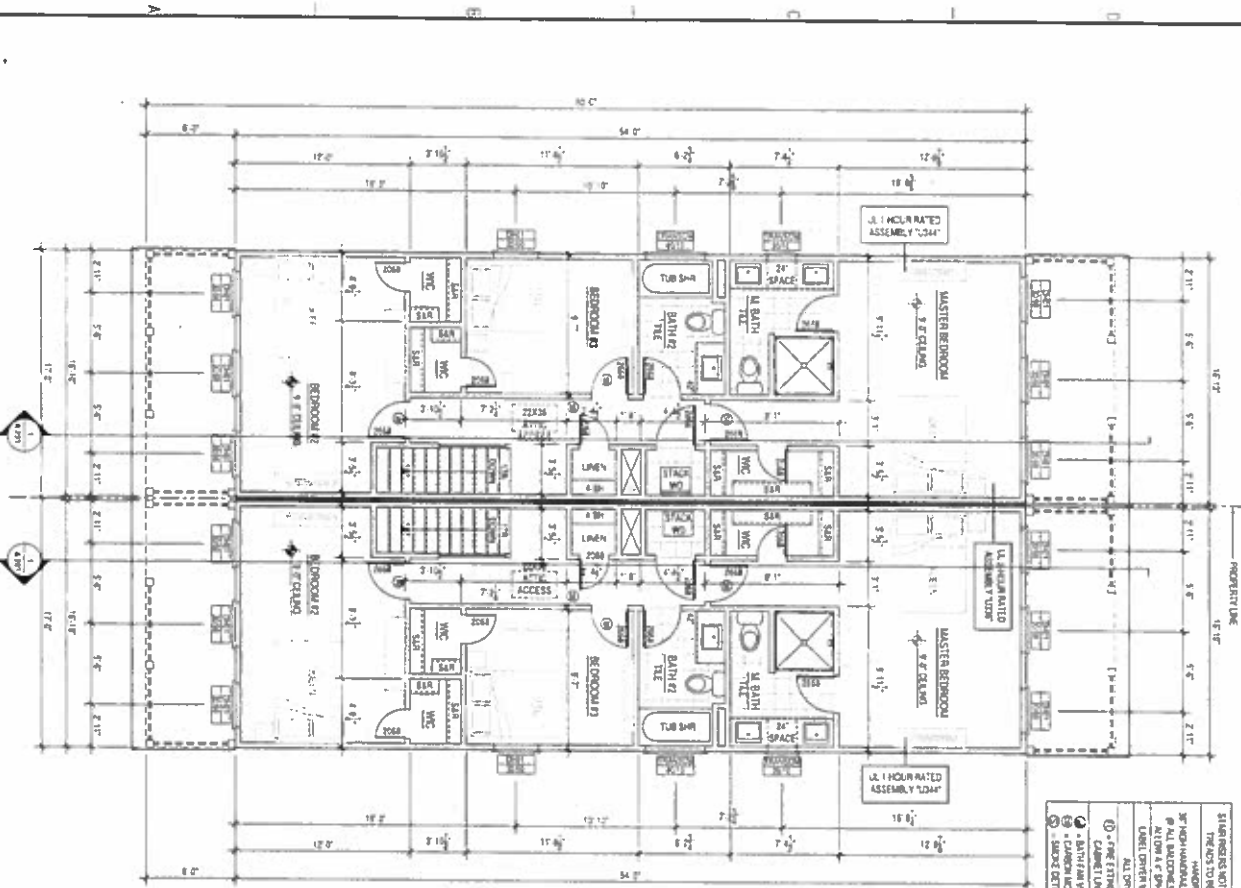


FIRST FLOOR PLAN - SECTIONS 2 AND 3

- PLAN NOTES**
1. EXTERIOR WALL FRAMING SHALL BE 2x4 STUDS AT 16" OC UNLESS OTHERWISE NOTED
 2. 4" EXTERIOR WALL FRAMING SHALL BE 2x4 STUDS AT 16" OC UNLESS OTHERWISE NOTED

PENNY E. CO.

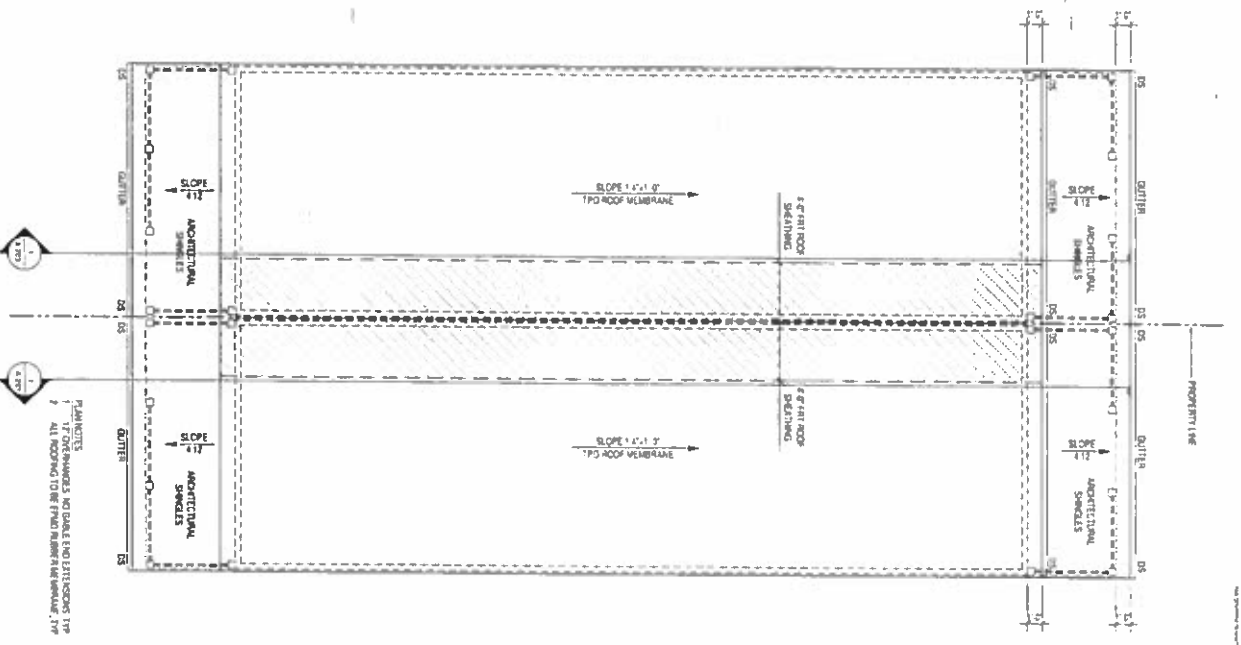
<p>P STREET DEVELOPMENT PROJECT</p> <p>CITY OF RICHMOND, VIRGINIA</p> <p>FOUNDATION AND FIRST FLOOR PLAN - SECTIONS 2 AND 3</p>	<p>HOYTOWN REALTY</p> <p>MATT JARREAU</p>	<p>PENNY E. CO.</p>	<p>100% COMPLETE</p> <p>10-24-18</p>
			<p>A-201</p>



SECOND FLOOR PLAN - SECTIONS 2 AND 3

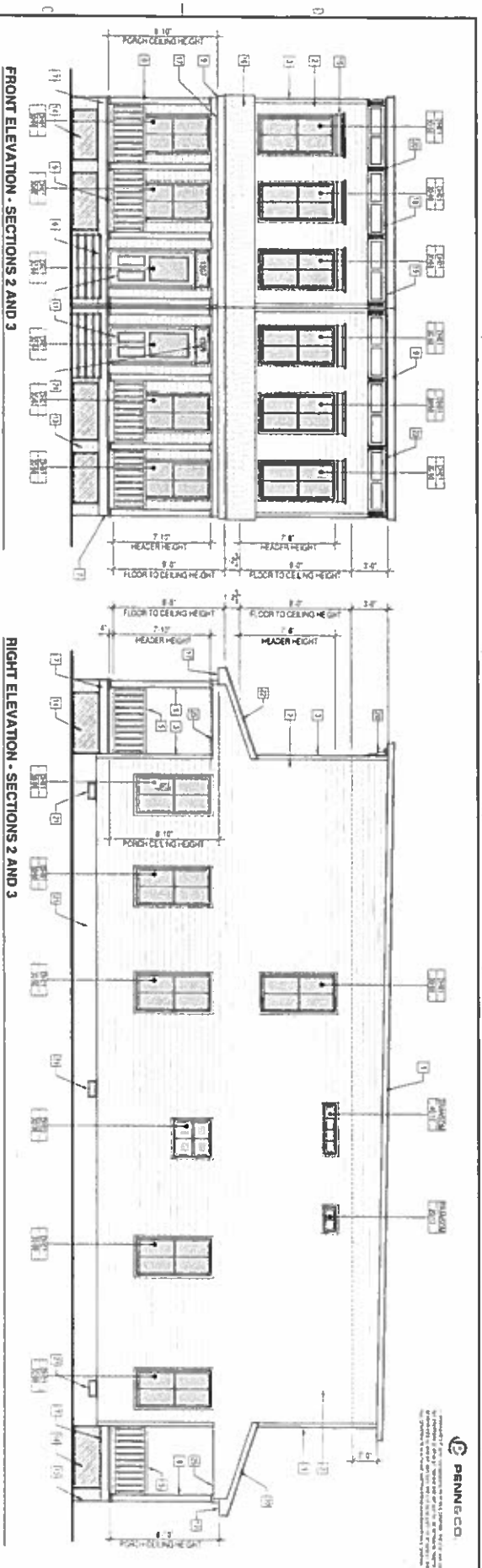
PLAN NOTES
 1 EXTERIOR WALL FRAMING SHALL BE 2X4 STUDS AT 16" OC UNLESS OTHERWISE NOTED
 2 INTERIOR WALL FRAMING SHALL BE 2X4 STUDS AT 16" OC UNLESS OTHERWISE NOTED

- 1. 1 HOUR RATED ASSEMBLY 1/204"
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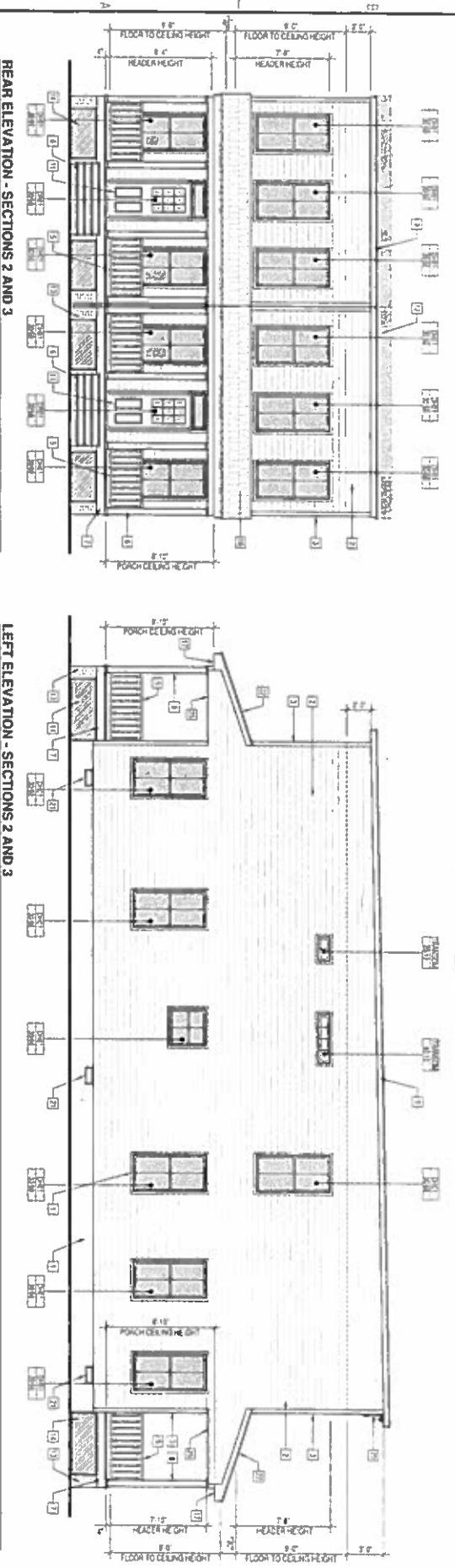
ROOF PLAN - SECTIONS 2 AND 3

<p>P STREET DEVELOPMENT PROJECT</p> <p>CITY OF RICHMOND, VIRGINIA</p> <p>SECOND FLOOR PLAN AND ROOF LINE - SECTION 2 AND 3</p> <p>A-102</p>	<p>DATE: 10/21/18</p> <p>SCALE: AS SHOWN</p> <p>PROJECT: P STREET DEVELOPMENT PROJECT</p> <p>CLIENT: CITY OF RICHMOND, VIRGINIA</p> <p>DESIGNER: PENNIE & CO.</p>	<p>PENNIE & CO.</p> <p>12700 WOODLAND DRIVE, SUITE 100</p> <p>ARLINGTON, VA 22204</p> <p>TEL: 703.441.1200</p> <p>WWW.PENNIEANDCO.COM</p>	<p>HOUGHTON REALTY</p> <p>MATT JARREAU</p> <p>12700 WOODLAND DRIVE, SUITE 100</p> <p>ARLINGTON, VA 22204</p> <p>TEL: 703.441.1200</p> <p>WWW.HOUGHTONREALTY.COM</p>	<p>100% COMPLETE</p> <p>10-21-18</p>
	<p>DATE: 10/21/18</p> <p>SCALE: AS SHOWN</p> <p>PROJECT: P STREET DEVELOPMENT PROJECT</p> <p>CLIENT: CITY OF RICHMOND, VIRGINIA</p> <p>DESIGNER: PENNIE & CO.</p>	<p>PENNIE & CO.</p> <p>12700 WOODLAND DRIVE, SUITE 100</p> <p>ARLINGTON, VA 22204</p> <p>TEL: 703.441.1200</p> <p>WWW.PENNIEANDCO.COM</p>	<p>HOUGHTON REALTY</p> <p>MATT JARREAU</p> <p>12700 WOODLAND DRIVE, SUITE 100</p> <p>ARLINGTON, VA 22204</p> <p>TEL: 703.441.1200</p> <p>WWW.HOUGHTONREALTY.COM</p>	<p>100% COMPLETE</p> <p>10-21-18</p>
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FRONT ELEVATION - SECTIONS 2 AND 3

RIGHT ELEVATION - SECTIONS 2 AND 3



REAR ELEVATION - SECTIONS 2 AND 3

LEFT ELEVATION - SECTIONS 2 AND 3

- 1 PAINTED POLYURETHANE WALL, TP
- 2 1" SQUARE BRASS CLASH RESISTANT LIP
- 3 1/2" FIBER GLASS BOARD WITH 1/4" COPING
- 4 1/2" PAINTED WOOD SHIP BOARD 1/4" FINISH
- 5 WOOD 1" X 4" X 8" VERTICAL PLANT FINISH
- 6 1/2" PAINTED WOOD SHIP BOARD 1/4" FINISH
- 7 1/2" PAINTED WOOD SHIP BOARD 1/4" FINISH
- 8 1/2" PAINTED WOOD SHIP BOARD 1/4" FINISH
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- 21 1/2" PAINTED WOOD SHIP BOARD 1/4" FINISH

PENNCO
 100% COMPLETE 10-21-18

P STREET DEVELOPMENT PROJECT
 CITY OF RICHMOND, VIRGINIA
 ALL VIEW ELEVATIONS - SECTIONS 2 AND 3

ROBERTSON REALTY
 MAIT JARRAU

PENNCO
 100% COMPLETE 10-21-18

A-401



Application for **SPECIAL USE PERMIT**

Department of Planning and Development Review
Land Use Administration Division
900 E. Broad Street, Room 511
Richmond, Virginia 23219
(804) 646-6303
www.richmondva.gov

Application is hereby submitted for (check one)

- special use permit, new
- special use permit, plan amendment
- special use permit, text only amendment

Project Name/Location

Property Address 3205 P Street, Richmond, VA 23223 Date 09/19/2018
 Tax Map # E00008C50G3 Fee \$1,800
 Total area of affected site in acres: 305

(See page 6 for fee schedule, please make check payable to the "City of Richmond")

Zoning

Current Zoning R-6

Existing Use vacant lot

Proposed Use

(Please include a detailed description of the proposed use in the required applicant's report)

Eight (8) single family attached homes

Existing Use vacant lot

Is this property subject to any previous land use cases?

Yes No If Yes, please list the Ordinance Number _____

Applicant/Contact Person: Mark Baker / Charla Wilson

Company: Baker Development Resources

Mailing Address: 11 S 12th Street, Suite 500

City: Richmond State: VA Zip Code: 23219

Telephone: () () () Fax: () () ()

Email: markbaker@bakerdevelopmentresources.com

Property Owner: Byrd Investment Group LLC

If Business Entity name and title of authorized signee: Gene Walden

(The person or persons evaluating or attesting the execution of this Application on behalf of the Company certifies that he or she has or have been duly authorized and empowered to so execute or attest.)

Mailing Address 11 S 12th Street, Suite 500

City Richmond State VA Zip Code 23219

Telephone (804) 874-6275 Fax () () ()

Email markbaker@bakerdevelopmentresources.com

Property Owner Signature: [Signature]

The names, addresses, telephone numbers and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner please attach an executed power of attorney. **Faxed or photocopied signatures will not be accepted.**

NOTE: Please attach the required plans, checklist and a check for the application fee (see Filing Procedures for special use permits)

APPLICANT'S REPORT

September 19, 2018

*Special Use Permit Request
3205 P Street, Richmond, Virginia
Map Reference Numbers: E-000-0805/003*

Submitted to: **City of Richmond**
Department of Planning and Development Review
Land Use Administration
900 East Broad Street, Suite 511
Richmond, Virginia 23219

Submitted by: **Byrd Investment Group, LLC**
1111 E Main Street, Suite 2100
Richmond, Virginia 23219

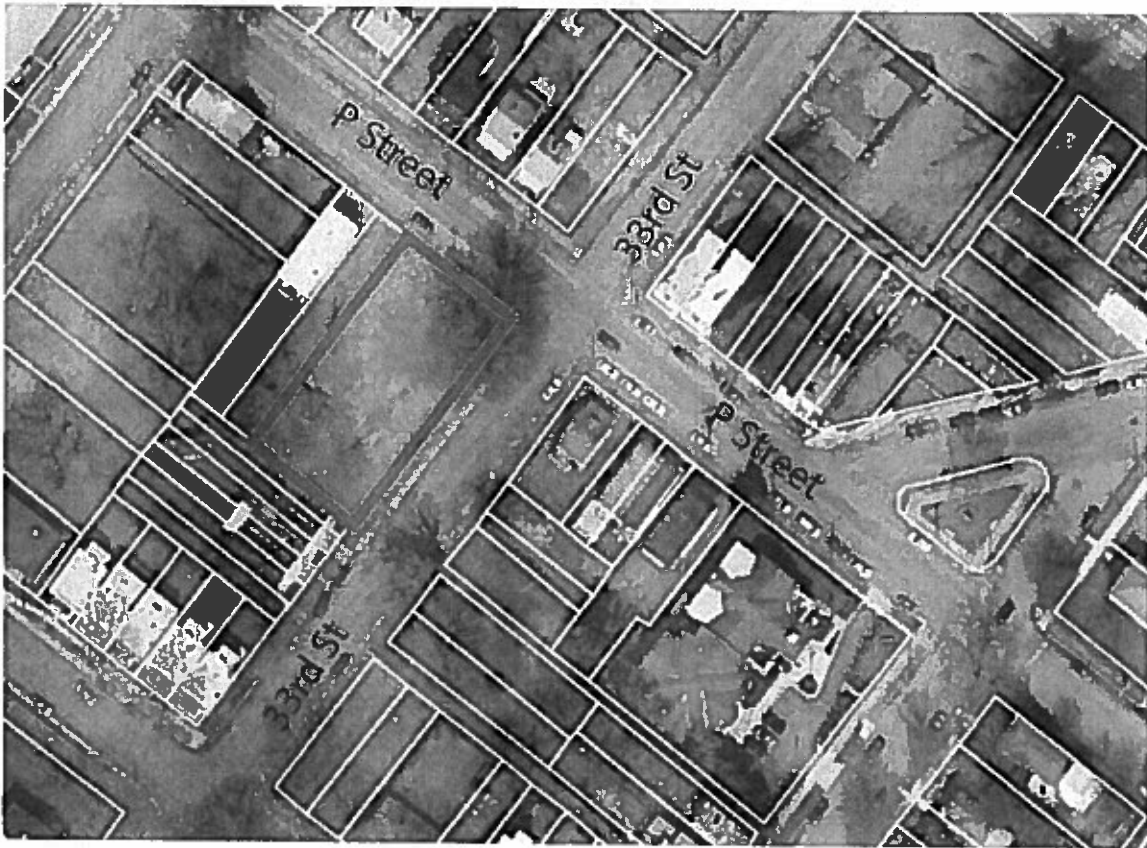
Introduction

Byrd Investment Group, LLC requests a special use permit (SUP) for 3205 P Street ("the Property"). The special use permit would authorize the construction of eight single-family attached dwellings, some of the features of which do not conform to the underlying R-6 zoning requirements applicable to the Property.

Existing Conditions

SITE DESCRIPTION AND EXISTING LAND USE

The Property is located at the southwest corner of the intersection between P Street and 33rd Street. The Property is referenced by the City Assessor as one parcel (E-000-0805/003). 3205 P Street is 80.5' wide by 165' deep, contains approximately 13,283 square feet of lot area, and is generally unimproved. See the attached survey for greater detail.



The properties on the south line of P Street in this block are either vacant occupied by single-family dwellings and one two-family dwelling. Along the north Line of P Street in this block are multiple single family detached dwellings and one vacant lot. Similarly, the properties fronting on the west side of 33rd Street on this block are single family attached dwellings. The properties fronting on

the east side of 33rd Street on this block are all vacant lots, with some new construction underway. The property at the northwest corner of O Street and 33rd Street is a four-family attached dwelling.

EXISTING ZONING

The Property and the surrounding properties to the east, north, and west in the vicinity are zoned R-6 Single-Family Attached Residential, which generally permits single-family detached, single-family attached, two-family detached, and two family attached dwellings subject to certain feature requirements.

MASTER PLAN DESIGNATION

The Master Plan recommends "Single-Family (medium density)" for the Property. The Master Plan describes this land use category as follows: "Primary uses are single-family and two-family dwellings, both detached and attached, at densities of 8 to 20 units per acre...Typical zoning classifications that may accommodate this land use category: R-5A, R-6 and R-7."

Proposal

PURPOSE OF REQUEST

The Property consists of a lot that is exceptionally large for the vicinity. Respective to its P Street frontage, the lot had a width of over 80.5', a depth of 165', and a lot area of 13,285 square feet, or 0.305 acres. At that size, the Property, were it vacant, would be large enough to accommodate six single-family attached dwellings or two single-family detached dwellings, by-right according to the applicable R-6 district dimensional regulations. Consistent with surrounding densities, the owner would like to build eight (8) single-family attached dwellings in the form of four separate series of two single family attached dwellings. In order to do so, relief is needed from several R-6 district feature requirements.

In order to accomplish the proposed development, 3205 P Street would be subdivided into eight (8) separate lots in order to accommodate eight (8) single-family attached dwellings. As proposed, the lot area and lot coverage requirements would not be met. In addition, the lot closest to the corner of P and North 33rd Streets would technically require two front yards, one of which, along 33rd Street, would not be met. Because these feature requirements would not be met, a special use permit is required.

The proposed lot area for the lots would be compatible with other lots in the vicinity and allows for the efficient use of the otherwise vacant property. Based on the historic lot pattern, many lots in the vicinity are nonconforming with regard to lot area, lot width or unit width for attached dwellings in a series. At 20' feet or greater of lot width the proposed lots would be the widest lots fronting on N 33rd on this block and would be compatible with the existing rhythm of development in the vicinity. The proposed dwellings will all be 17 feet in width, which allows for 3' minimum side yards, so as to provide light and air to the greatest extent possible. At 58.6%, the four units fronting on North 33rd Street only marginally exceed the permitted lot coverage ratio of 55%. While a 15' front yard is technically required along North 33rd Street for the lot at the corner of North 33rd and P Streets it is not consistent with the development pattern in the vicinity. The area commonly includes row homes on corner lots which do not provide front yards along both frontages. Rather,

there is typically little to no setback in these instances. The proposed 3' setback is consistent with and respectful to the existing neighborhood character.

In exchange for the SUP, the intent of this request is to ensure a thoughtful infill development of the atypically large vacant lot. The overall project would be appropriately dense and efficient while meeting most aspects of the underlying zoning. At the same time, it would remain respectful to the historic lot pattern in the vicinity thereby remaining consistent with the predominant character of the area. Finally, the quality assurances conditioned through the SUP would guarantee a higher quality development than might otherwise be developed by right.

PROJECT DETAILS/DESIGN

The eight proposed single-family attached dwellings would be two stories in height. Each dwelling would contain approximately 1,800 square feet of floor area. The dwellings would include eight 3-bedroom, 2½-bath units.

The proposed floor plans include modern and open living spaces. Kitchens are centrally located between a rear "great room" and front formal dining and living room in the open first floor concept. The kitchen is defined through the use of island and peninsula counter arrangements with bar seating. Each unit would include a master bedroom suite on the second floor, complete with en suite master bath, walk-in closet, and rear balcony. Second and third bedrooms would also be located on the second floor.

The architecture on the proposed elevations is traditional with cementitious siding as the primary cladding material. The front elevations would have full width covered front porches. The color of the elevations would likely vary slightly from unit to unit but all within the same color palette. All elevations have tall windows on the first floor and varying front door and modest, yet classical front porch designs to add visual interest. Rear elevations would have upper and lower full width covered rear porches. Front yards would be improved as lawn area and foundation landscape beds. Rear decks would be come as standard options.

Findings of Fact

The following are factors indicted in Section 17.11 of the Charter and Section 30-1050.1 of the Zoning Ordinance relative to the approval of special use permits by City Council. The proposed special use permit will not:

- *Be detrimental to the safety, health, morals and general welfare of the community involved.*

The proposed SUP will not impact the safety, health, morals and general welfare of the nearby neighborhoods. The proposed development is compatible with existing development in the vicinity. The request would simply permit the reconfiguration of the Property in order to develop 8 single-family detached homes that are contextually sensitive. The redevelopment of this underutilized property in conjunction with the high quality/benefits provided by the SUP will provide positive impacts in terms of health, welfare, etc.

- *Tend to create congestion in streets, roads, alleys and other public ways and places in the area involved.*

The proposed SUP will not result in significant traffic impacts to nearby residential neighborhoods. There is ample, underutilized on-street parking available on 33rd Street and P Street. As such, the SUP will not create congestion on streets, roads, alleys or any other public right of way.

- *Create hazards from fire, panic or other dangers.*

The property will be developed in a manner consistent with the requirements of the building code and in accordance with the requirements of Fire and Emergency Services. The City's codes applicable to this development are designed to eliminate such hazards.

- *Tend to overcrowding of land and cause an undue concentration of population.*

The proposed SUP will not tend to over crowd the land or create an undue concentration of population. The request represents a density that is consistent with the traditional urban development pattern in the vicinity.

- *Adversely affect or interfere with public or private schools, parks, playgrounds, water supplies, sewage disposal, transportation or other public requirements, conveniences and improvements.*

The special use permit amendment would not adversely affect the above referenced City services. To the contrary, the proposal would provide positive fiscal (tax) benefits that would enhance the City's ability to provide these services to the proposed development.

- *Interfere with adequate light and air.*

The light and air available to the subject and adjacent properties will not be affected. Proposed side and rear yard setbacks along property lines shared with abutting arcels will meet or exceed those which would be required for by-right development by the underlying zoning. These setbacks are also consistent with existing setbacks for similar development in the area.

Summary

Byrd Investment Group, LLC is enthusiastically seeking approval for the construction of eight single-family attached dwellings on the Property. This proposal represents an ideal, small-scale urban infill development for this location; it is a more marketable alternative to a less urban by-right single-family attached product, and a by-right single family detached product that might not efficiently utilize developable land. In exchange for the special approval, the quality assurances conditioned through the SUP would guarantee higher quality new development than might otherwise be developed by right. This would contribute to the vibrancy of the block through the provision of a much-desired traditional neighborhood design that is consistent with the historic development pattern of the surrounding neighborhood.